

# NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

**SITE:**

**25 SUNNINGDALE CLOSE, MIDWAY POINT**

**PROPOSED DEVELOPMENT:**

**DWELLING**

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at [www.sorell.tas.gov.au](http://www.sorell.tas.gov.au) until **Tuesday 24th February 2026**.

Any person may make representation in relation to the proposal by letter or electronic mail ([sorell.council@sorell.tas.gov.au](mailto:sorell.council@sorell.tas.gov.au)) addressed to the General Manager. Representations must be received no later than **Tuesday 24th February 2026**.

**APPLICATION NO: 5.2026-8.1**  
**DATE: 06 FEBRUARY 2026**





- Property**
- Property
  - Titles
- Transport**
- Capital Works 2026
- Footpath
  - Recon
  - Reseal
  - Resheet
- Roads**
- -



**Disclaimer**

Any information extracted from this document (from the face of the document or by scale) should be verified on site. Council takes no responsibility for the accuracy of any information contained or presented in the document. While every care has been taken to ensure the accuracy of this information, Council makes no representations or warranties about the accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and liability.

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**Part B: Please note that Part B of this form is publicly exhibited.**

Full description of Proposal:	Use:
	Development:
	<i>Large or complex proposals should be described in a letter or planning report.</i>
Design and construction cost of proposal: \$ .....	

Is all, or some the work already constructed:	No: <input type="checkbox"/> Yes: <input type="checkbox"/>
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Location of proposed works:	Street address: .....
	Suburb: ..... Postcode: .....
	Certificate of Title(s) Volume: ..... Folio: .....

Current Use of Site	.....
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Current Owner/s:	Name(s).....
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Is the Property on the Tasmanian Heritage Register?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Council or Crown land section on page 3</i>

**If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form**  
<https://www.sorell.tas.gov.au/services/engineering/>



**Sorell Council**

Development Application: 5.2026.8.1 -  
 Development Application - 25 Sunningdale Close,  
 Midway Point - P1.pdf  
 Plans Reference:P1  
 Date Received:15/01/2026



Declarations and acknowledgements	
<ul style="list-style-type: none"> <li>I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land.</li> <li>I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council's representatives to enter the land at any time during normal business hours.</li> <li>I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies.</li> <li>I/we declare that, in accordance with s52(1) of the <i>Land Use Planning and Approvals Act 1993</i>, that I have notified the owner(s) of the intention to make this application.</li> <li>I/we declare that the information in this application is true and correct.</li> </ul> <p><i>Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council's Privacy Policy available on the Council website.</i></p>	
<ul style="list-style-type: none"> <li>I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.</li> </ul>	
<ul style="list-style-type: none"> <li>Where the General Manager's consent is also required under s.14 of the <i>Urban Drainage Act 2013</i>, by making this application I/we also apply for that consent.</li> </ul>	
<b>Applicant Signature:</b>	Signature: <u>Simon Direen</u> Date: .....

Crown or General Manager Land Owner Consent	
<p>If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the <i>Land Use Planning and Approvals Act 1993</i>).</p> <p>Please note:</p> <ul style="list-style-type: none"> <li>If General Manager consent is required, please first complete the General Manager consent application form available on our website <a href="http://www.sorell.tas.gov.au">www.sorell.tas.gov.au</a></li> <li>If the application involves Crown land you will also need a letter of consent.</li> <li>Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.</li> </ul>	
<p>I _____ being responsible for the administration of land at _____ declare that I have given permission for the making of this application for _____</p>	
<b>Signature of General Manager, Minister or Delegate:</b>	Signature: ..... Date: .....





## SEARCH OF TORRENS TITLE

VOLUME 189367	FOLIO 65
EDITION 1	DATE OF ISSUE 24-Sept-2025

SEARCH DATE : 14-Jan-2026

SEARCH TIME : 03.41 pm

DESCRIPTION OF LAND

Parish of SORELL Land District of PEMBROKE

Lot 65 on Sealed Plan [189367](#)

Derivation : Part of Lot 306, 120 Acres Gtd. to John Lord

Prior CT [189273/1000](#)SCHEDULE 1

[M871097](#) TRANSFER to JAC ESTATES PTY LTD Registered  
17-Feb-2021 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP189367](#) EASEMENTS in Schedule of Easements[SP189367](#) COVENANTS in Schedule of Easements[SP189367](#) FENCING COVENANT in Schedule of Easements

[SP183934](#), [SP184510](#), [SP184768](#), [SP184962](#), [SP185905](#), [SP186229](#),  
[SP186700](#), [SP187500](#), [SP188745](#) & [SP189273](#) COVENANTS in  
Schedule of Easements

[SP14888](#), [SP184510](#), [SP184768](#), [SP184962](#), [SP185905](#), [SP186229](#),  
[SP186700](#), [SP187500](#), [SP188745](#) & [SP189273](#) FENCING  
COVENANT in Schedule of Easements

[SP183934](#) FENCING PROVISION in Schedule of Easements

[SP14888](#) COUNCIL NOTIFICATION under Section 468(12) of the  
Local Government Act 1962

[M871097](#) FENCING CONDITION in TransferUNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

**Sorell Council**

Development Application: 5.2026.8.1 -  
Development Application - 25 Sunningdale Close,  
Midway Point - P1.pdf  
Plans Reference:P1  
Date Received:15/01/2026



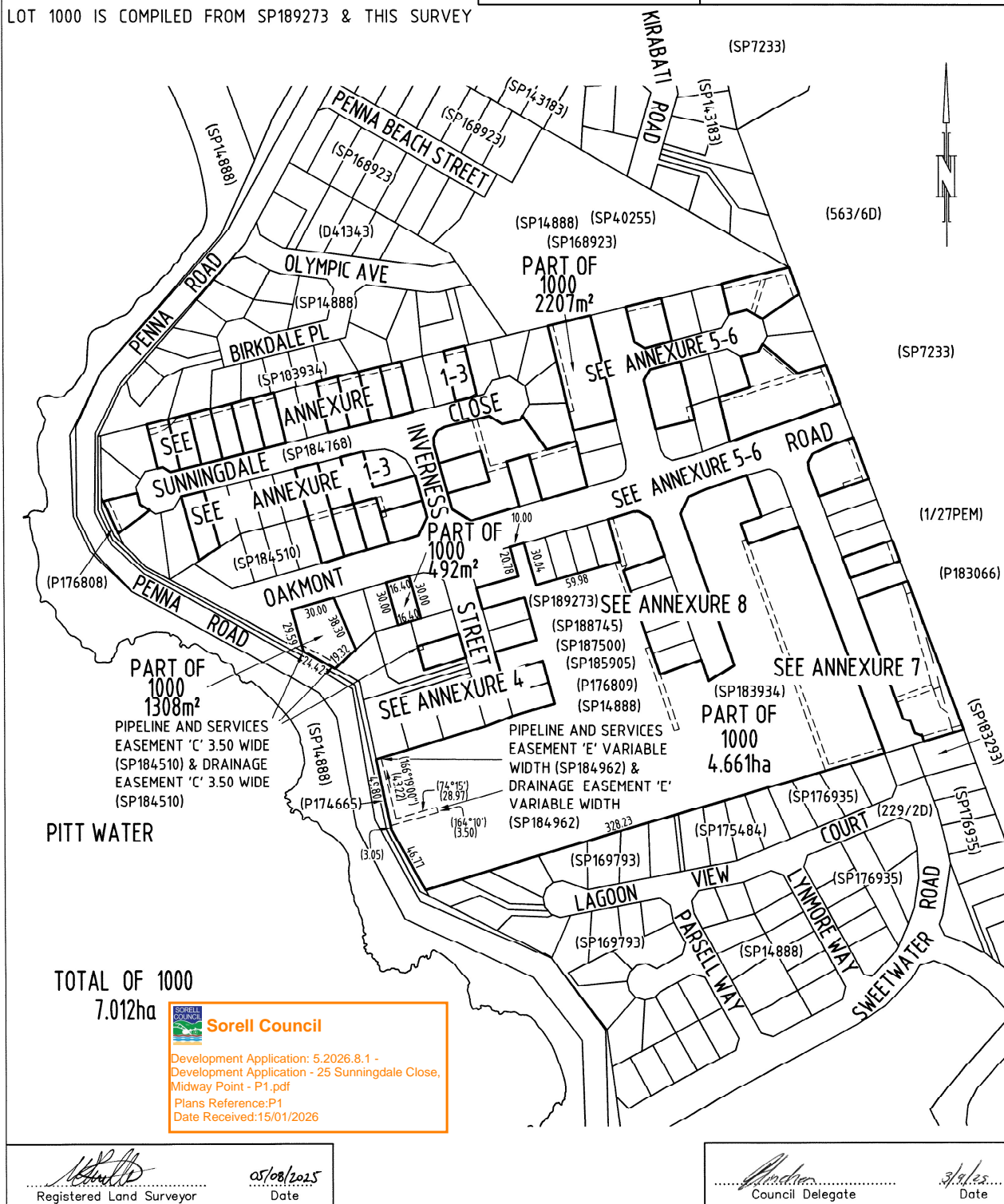
OWNER: JAC ESTATES PTY LTD	<b>PLAN OF SURVEY</b>		REGISTERED NUMBER <b>SP189367</b>
FOLIO REFERENCE: 189273/1000	BY SURVEYOR: M. M. STRATTON of 127 BATHURST STREET, HOBART	<b>PDA</b> SURVEYORS, ENGINEERS & PLANNERS	APPROVED EFFECTIVE FROM 24 SEP 2025
GRANTEE: PART OF LOT 306, 120 ACRES GTD TO JOHN LORD	LOCATION: PEMBROKE-SORELL	SCALE 1: 2500	RECORDED OF TITLES <i>Renn</i>
	LENGTHS IN METRES	SURVEYORS REF 54754MS-1	

**INDEX PLAN**




LOT 1000 IS COMPILED FROM SP189273 & THIS SURVEY

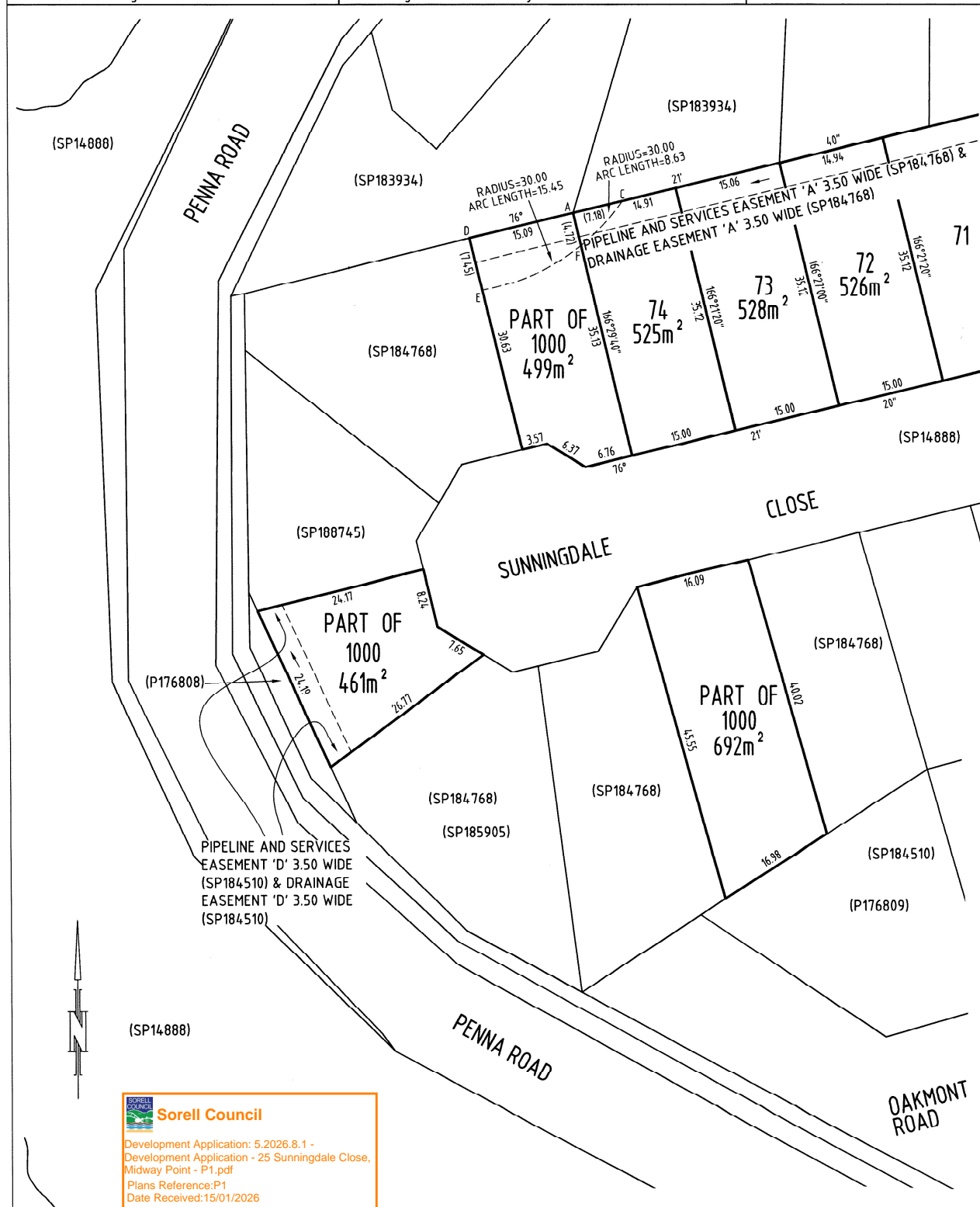
PRIORITY FINAL PLAN

ALL EXISTING SURVEY NUMBERS TO BE  
CROSS REFERENCED ON THIS PLAN



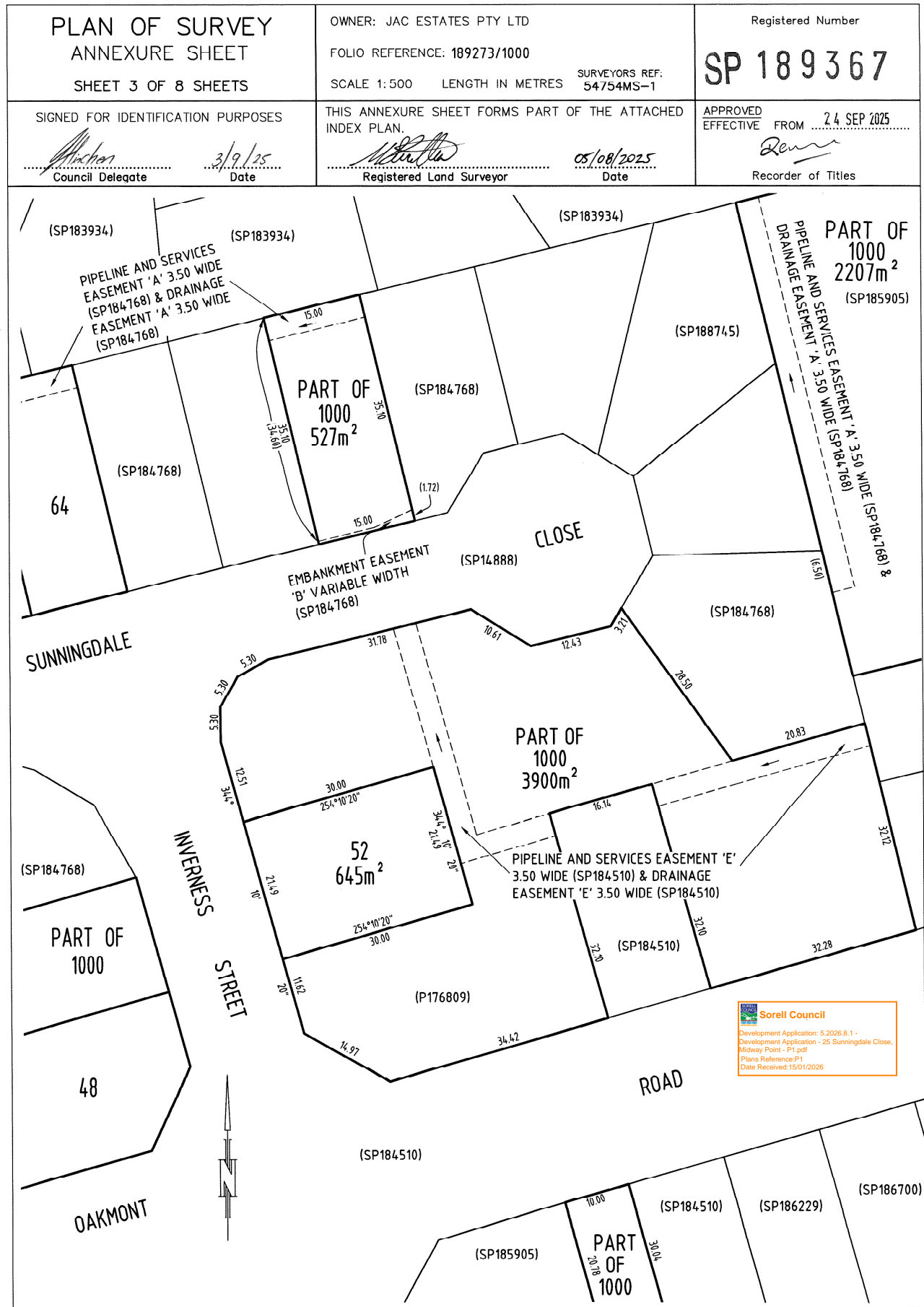


<p><b>PLAN OF SURVEY ANNEXURE SHEET</b></p> <p>SHEET 1 OF 8 SHEETS</p>	<p>OWNER: JAC ESTATES PTY LTD</p> <p>FOLIO REFERENCE: 189273/1000</p> <p>SCALE 1:500 LENGTH IN METRES</p> <p>SURVEYORS REF: 54754MS-1</p>	<p>Registered Number</p> <p><b>SP 189367</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p> 3.9.25 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p> 05/08/2025 Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM 24 SEP 2025</p> <p> Recorder of Titles</p>











<h1>PLAN OF SURVEY</h1> <h2>ANNEXURE SHEET</h2> <p>SHEET 4 OF 8 SHEETS</p>		OWNER: JAC ESTATES PTY LTD FOLIO REFERENCE: 109273/1000 SCALE 1:500    LENGTH IN METRES    SURVEYORS REF: 54754MS-1	Registered Number <h1>SP189367</h1>
SIGNED FOR IDENTIFICATION PURPOSES <div>  <div> <div>3/9/25</div> <div>Date</div> </div> </div> <div>  <div> <div>05/08/2025</div> <div>Date</div> </div> </div>		THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. APPROVED EFFECTIVE FROM 24 SEP 2025 <div>  <div>Recorder of Titles</div> </div>	



**OAKMONT ROAD**

**INVERNESS STREET**

**PARCELS:**

- (SP185905) 20.78, 30.00, 15.00
- (SP189273) 30.00, 30.00, 15.00
- (SP184962) 30.00, 30.00, 15.00
- (SP186700) 30.00, 30.00, 15.00
- (SP184510) 1000 492m<sup>2</sup>
- (SP184510) 1000 1308m<sup>2</sup>
- (SP184962) 89 508m<sup>2</sup>
- (SP184962) 1000 4.661ha

**EASEMENTS:**

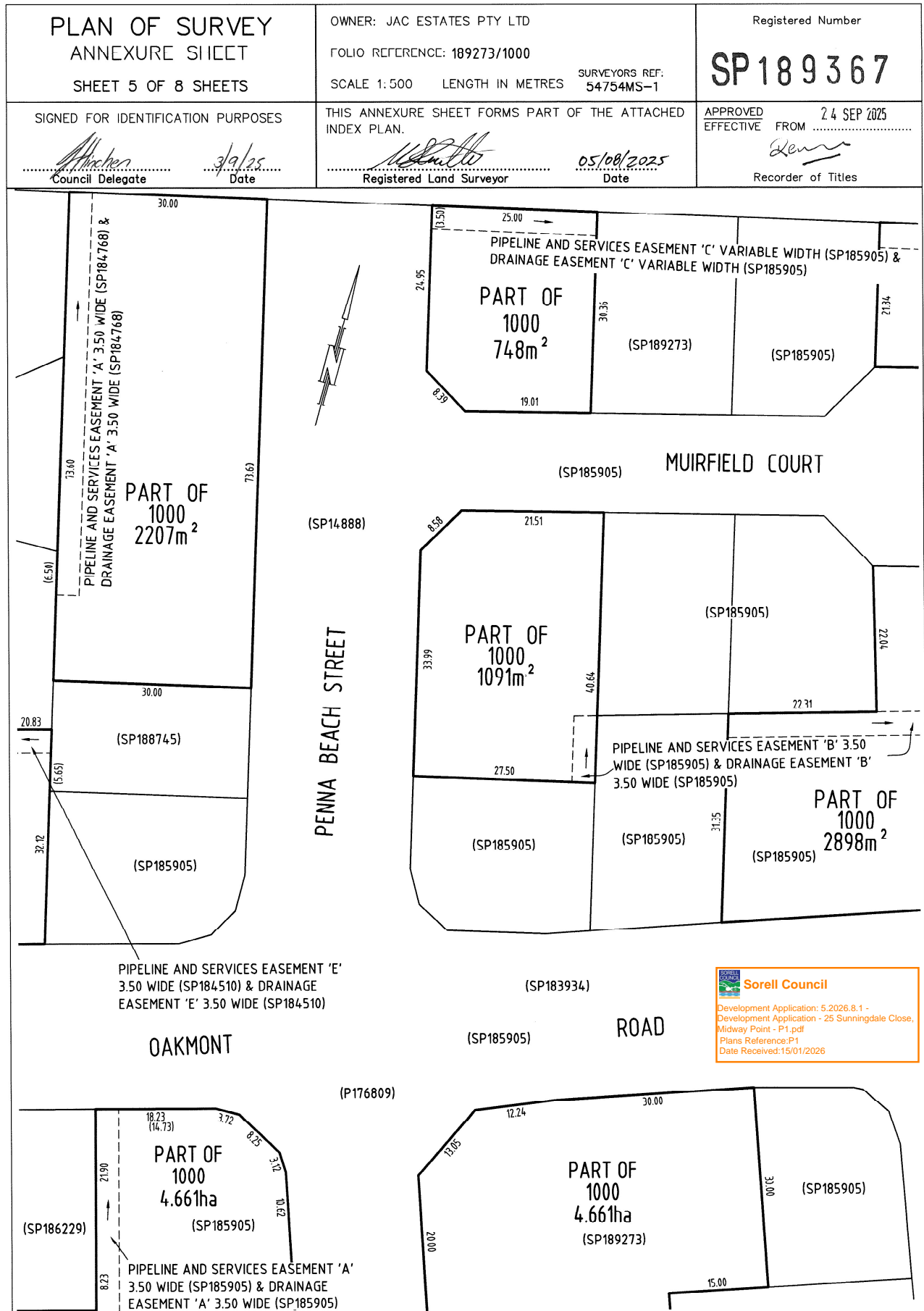
- PIPELINE AND SERVICES EASEMENT 'C' 3.50 WIDE (SP184510) & DRAINAGE EASEMENT 'C' 3.50 WIDE (SP184510)
- PIPELINE AND SERVICES EASEMENT 'E' VARIABLE WIDTH (SP184962) & DRAINAGE EASEMENT 'E' VARIABLE WIDTH (SP184962)

**Other labels:** (SP183934), (SP184962), (SP184768), (SP187500), (SP184510), (SP188745), (P176809)



**Sorell Council**

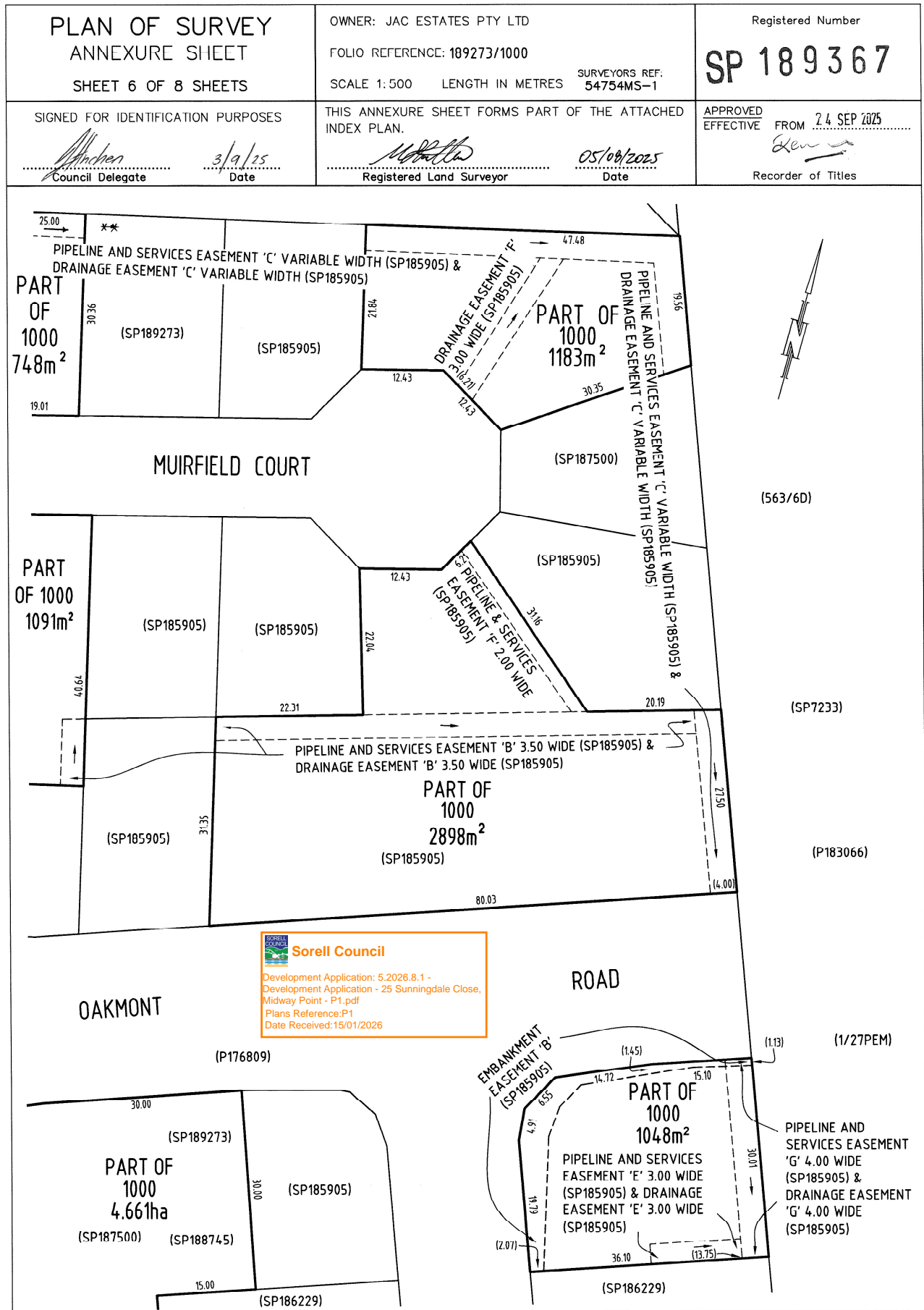
Development Application: 5.2026.8.1 -  
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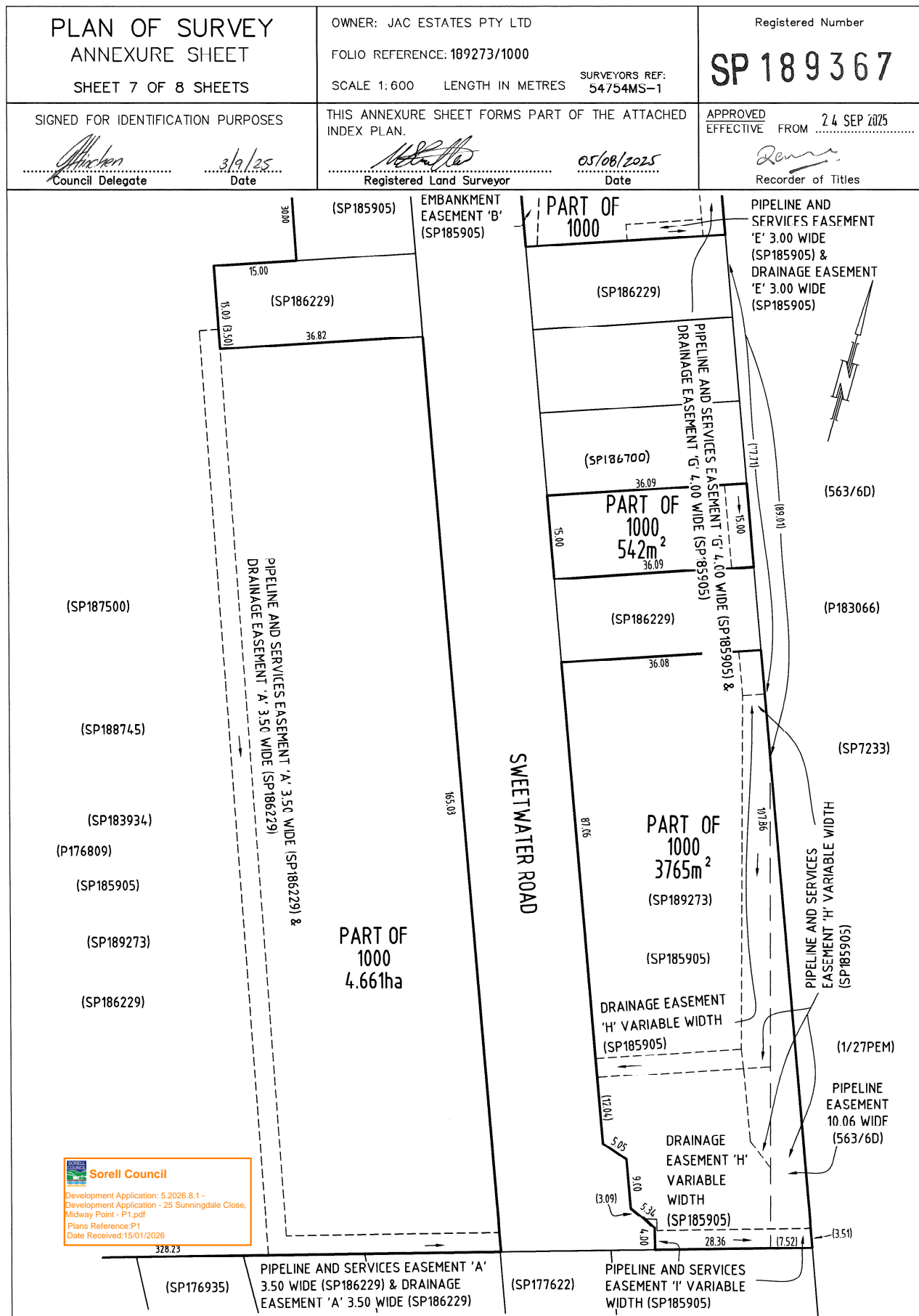


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<b>SCHEDULE OF EASEMENTS</b>	Registered Number
<b>NOTE:</b> THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	<b>SP 189367</b>

PAGE 1 OF 7 PAGES

## EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

### Taswater

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'G' 4.00 WIDE (SP 185905) & DRAINAGE EASEMENT 'G' 4.00 WIDE (SP 185905)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'H' VARIABLE WIDTH (SP 185905)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'I' VARIABLE WIDTH (SP 185905)" as shown on the plan ("the Easement Land").

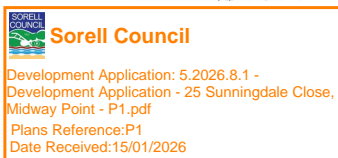
Lots 64-67, 70-74 & 1000 are SUBJECT TO a Pipeline & Services Easement gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successor and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP 184768) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP 184768)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'C' VARIABLE WIDTH (SP 185905) & DRAINAGE EASEMENT 'C' VARIABLE WIDTH (SP 185905)" as shown on the plan ("the Easement Land").

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: JAC ESTATES PTY LTD	PLAN SEALED BY: SORELL COUNCIL
FOLIO REF: 189273/1000	DATE: <u>3/9/25</u>
SOLICITOR & REFERENCE:	SA 2020/00006 - 1
Butler McIntyre & Butler (JS:251287)	REF NO. Council Delegate
<b>NOTE:</b> The Council Delegate must sign the Certificate for the purposes of identification.	

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<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 2 OF 7 PAGES	Registered Number <b>SP 189367</b>
SUBDIVIDER: JAC ESTATES PTY LTD FOLIO REFERENCE: 189273/1000	

Lots 89 & 1000 are SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'C' 3.50 WIDE (SP 184510) & DRAINAGE EASEMENT 'C' 3.50 WIDE (SP 184510)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'E' 3.00 WIDE (SP 185905) & DRAINAGE EASEMENT 'E' 3.00 WIDE (SP 185905)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'D' 3.50 WIDE (SP 184510) & DRAINAGE EASEMENT 'D' 3.50 WIDE (SP 184510)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'E' VARIABLE WIDTH (SP 184962) & DRAINAGE EASEMENT 'E' VARIABLE WIDTH (SP 184962)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'E' 3.50 WIDE (SP184510) & DRAINAGE EASEMENT 'E' 3.50 WIDE (SP184510)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'F' 2.00 WIDE (SP 185905)" as shown on the plan ("the Easement Land").

Lot 31, 32,48, & 1000 are SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP 184510) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP 184510)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'B' 3.50 WIDE (SP 185905) & DRAINAGE EASEMENT 'B' 3.50 WIDE (SP 185905)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP185905) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP185905)" as shown on the plan ("the Easement Land").

Director .....

Director .....

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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**Sorell Council**  
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<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 3 OF 7 PAGES	Registered Number <b>SP 189367</b>
SUBDIVIDER: JAC ESTATES PTY LTD FOLIO REFERENCE: 189273/1000	

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP186229) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP186229)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP 187500) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP187500)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'B' 3.50 WIDE (SP 187500) & DRAINAGE EASEMENT 'B' 3.50 WIDE (SP 187500)" as shown on the plan ("the Easement Land").

## Drainage

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'G' 4.00 WIDE (SP 185905) & DRAINAGE EASEMENT 'G' 4.00 WIDE (SP 185905)" as shown on the plan.

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "DRAINAGE EASEMENT 'H' VARIABLE WIDTH (SP 185905)" as shown on the plan.

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP 186229) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP 186229)" as shown on the plan.

Lots 31,32,48, & 1000 are SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP184510) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP184510)" as shown on the plan.

Lots 64-67,70-74, & 1000 are SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP184768) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP184768)" as shown on the plan.

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'C' VARIABLE WIDTH (SP 185905) & DRAINAGE EASEMENT 'C' VARIABLE WIDTH (SP 185905)" as shown on the plan.

Lots 89 & 1000 are SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'C' 3.50 WIDE (SP 184510) & DRAINAGE EASEMENT 'C' 3.50 WIDE (SP 184510)" as shown on the plan.

Director .....

Director .....

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 4 OF 7 PAGES	Registered Number <b>SP 189367</b>
SUBDIVIDER: JAC ESTATES PTY LTD FOLIO REFERENCE: 189273/1000	

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'E' 3.00 WIDE (SP 185905) & DRAINAGE EASEMENT 'E' 3.00 WIDE (SP 185905)" as shown on the plan.

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "DRAINAGE EASEMENT 'F' 3.00 WIDE (SP 185905)" as shown on the plan.

Lots 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'D' 3.50 WIDE (SP 184510) & DRAINAGE EASEMENT 'D' 3.50 WIDE (SP 184510)" as shown on the plan.

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'E' VARIABLE WIDTH (SP 184962) & DRAINAGE EASEMENT 'E' VARIABLE WIDTH (SP 184962)" as shown on the plan.

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'E' 3.50 WIDE (SP184510) & DRAINAGE EASEMENT 'E' 3.50 WIDE (SP184510)" as shown on the plan.

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP 185905) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP 185905)" as shown on the plan.

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'B' 3.50 WIDE (SP 185905) & DRAINAGE EASEMENT 'B' 3.50 WIDE (SP 185905)" as shown on the plan.

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP 187500) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP 187500)" as shown on the plan.

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'B' 3.50 WIDE (SP 187500) & DRAINAGE EASEMENT 'B' 3.50 WIDE (SP 187500)" as shown on the plan.

#### Pipeline

Lot 1000 is SUBJECT TO an easement in favour of Metropolitan Water Board over the area marked "PIPELINE EASEMENT 10.06 WIDE (563/6D)" shown on the plan and fully set forth in sealed plan 14888.

Lot 1000 is SUBJECT TO an easement for pipeline rights in favour of Sorell Council over the area marked "PIPELINE EASEMENT 10.06 WIDE (563/6D)" shown on the plan and fully set forth in transfer B912948.

Director .....

Director .....

 <b>Sorell Council</b>
Development Application: 5.2026.8.1- Development Application - 25 Sunningdale Close, Midway Point - P1.pdf Plans Reference:P1 Date Received:15/01/2026

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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<p align="center"><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p align="center">PAGE 5 OF 7 PAGES</p>	<p align="center">Registered Number</p> <p align="center"><b>SP 18 9 3 6 7</b></p>
<p>SUBDIVIDER: JAC ESTATES PTY LTD FOLIO REFERENCE: 189273/1000</p>	

## Embankment

Lot 1000 is SUBJECT TO an Embankment Easement, as defined in SP185905, in gross in favour of the Sorell Council over the land marked "EMBANKMENT EASEMENT "B" (SP 185905)" as shown on the plan.

Lot 1000 is SUBJECT TO an Embankment Easement, as defined in SP184768, in gross in favour of the Sorell Council over the land marked "EMBANKMENT EASEMENT "B" VARIABLE WIDTH (SP184768)" as shown on the plan.

## COVENANTS

The owner of Lot 1000 on the Plan covenants in gross with the Sorell Council to the intent that the burden of this covenant may run with and bind the covenantors' lot and every part thereof and that the benefit thereof shall be in favour of the said Sorell Council to observe the following stipulation:-

- Not to construct, or allow to be constructed, any habitable room of a dwelling within the area marked A.D.E.F. on the Plan.

The owner of Lot 74 on the Plan covenants in gross with the Sorell Council to the intent that the burden of this covenant may run with and bind the covenantors' lot and every part thereof and that the benefit thereof shall be in favour of the said Sorell Council to observe the following stipulation:-

- Not to construct, or allow to be constructed, any habitable room of a dwelling within the area marked A.C.F. on the Plan.

The owner of all lots on the Plan covenants in gross with the Sorell Council to the intent that the burden of these covenants may run with and bind the covenantor's lot and each and every part of it and that the benefit of these covenants shall be annexed to and devolve with Sorell Council to observe the following stipulation:

- not to construct on a lot a dwelling without :
  - i) A minimum 5,000 litre rain water tank fitted to collect all roof runoff; and
  - ii) Such tank shall be installed with minimum retention storage of 2000 litres and be plumbed into toilets so that re-use occurs, with top up from the reticulated water supply.

The owner of lot 1000 on the Plan covenant in gross with the Sorell Council to the intent that the burden of these covenants may run with and bind the covenantor's lot and each and every part of it and that the benefit of these covenants shall be annexed to and devolve with Sorell Council to observe the following stipulation:

- not to allow vehicular access to Penna Road.

## FENCING COVENANT

In respect to the lots on the plan, the owners of each lot on the plan covenants with the vendor (JAC ESTATES PTY LTD) that the vendor shall not be required to fence.

## Definitions;

"Embankment Easement" means that defined in the respective SPs 185905 and SP184768.

Director: .....

Director: .....

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**Sorell Council**  
Development Application: 5.2026.8.1 -  
Development Application - 25 Sunningdale Close,  
Midway Point - P1.pdf  
Plans Reference: P1  
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<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 6 OF 7 PAGES	Registered Number <b>SP 189367</b>
SUBDIVIDER: JAC ESTATES PTY LTD FOLIO REFERENCE: 189273/1000	

**"Pipeline and Services Easement"** means-

**FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY** for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

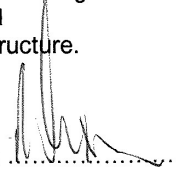
- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
  - (a) without doing unnecessary damage to the Easement Land; and
  - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

**SECONDLY**, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

**"Infrastructure"** means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

Director: 

Director: 

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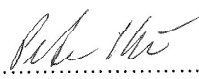
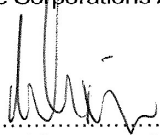
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 <b>Sorell Council</b> Development Application: 5.2026.8.1 - Development Application - 25 Sunningdale Close, Midway Point - P1.pdf Plans Reference: P1 Date Received: 15/01/2026
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<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 7 OF 7 PAGES	Registered Number <b>SP 189367</b>
SUBDIVIDER: JAC ESTATES PTY LTD FOLIO REFERENCE: 189273/1000	

**"Right of Drainage"** means a right of drainage as defined within Schedule 8 of the Conveyancing and Law of Property Act 1884 (Tas).

**EXECUTED** by **JAC ESTATES PTY LTD (ACN 638 495 182)** pursuant to section 127(1) of the Corporations Act 2001 (Cth) by:

 ..... Director Signature	 ..... Director/ <del>Secretary</del> Signature
PETER KRAUSE ..... Director Full Name (print)	PETER CHEN DIXON ..... Director/ <del>Secretary</del> Full Name

 **Sorell Council**

Development Application: 5.2026.8.1 -  
 Development Application - 25 Sunningdale Close,  
 Midway Point - P1.pdf  
 Plans Reference: P1  
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# **DISPERSIVE SOIL ASSESSMENT**

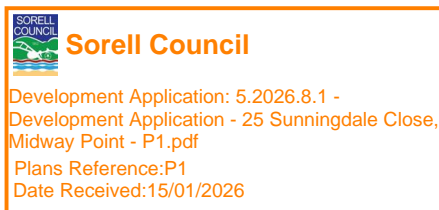
**25 Sunningdale Close**

**Midway Point**

**September 2025**



GEO-ENVIRONMENTAL  
SOLUTIONS



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## **Investigation Details**

<b>Client:</b>	Direen Homes
<b>Site Address:</b>	25 Sunningdale Close, Midway Point
<b>Date of Inspection:</b>	08/08/2025
<b>Proposed Works:</b>	New house
<b>Investigation Method:</b>	Geoprobe 540UD - Direct Push
<b>Inspected by:</b>	C. Cooper

## **Site Details**

<b>Certificate of Title (CT):</b>	TBA
<b>Title Area:</b>	Approx. 528 m <sup>2</sup>
<b>Applicable Planning Overlays:</b>	Bushfire-prone areas, Airport obstacle limitation area
<b>Slope &amp; Aspect:</b>	7° WNW facing slope
<b>Vegetation:</b>	Grass & Weeds

## **Background Information**

<b>Geology Map:</b>	MRT
<b>Geological Unit:</b>	Triassic Sandstone
<b>Climate:</b>	Annual rainfall 400mm
<b>Water Connection:</b>	Mains
<b>Sewer Connection:</b>	Serviced-Mains
<b>Testing and Classification:</b>	AS2870:2011, AS1726:2017 & AS4055:2021

## Investigation

A number of bore holes were completed to identify the distribution and variation of the soil materials at the site, bore hole locations are indicated on the site plan. See soil profile conditions presented below. Tests were conducted across the site to obtain bearing capacities of the material at the time of this investigation.

### ***Soil Profile Summary***

BH 1 Depth (m)	BH 2 Depth (m)	USCS	Description
0.00-0.20	0.00-0.20	SM	<b>Silty SAND:</b> dark brown, slightly moist, medium dense
0.20-0.60	0.20-0.70	CI	<b>Sandy CLAY:</b> medium plasticity, brown, slightly moist, stiff,
0.60-1.00	0.70-0.80	SC	<b>Clayey SAND:</b> yellow, brown, slightly moist, very dense, refusal on assumed sandstone

## Site Notes

Soils on the site are developing from Triassic Sandstone. The clay fraction is likely to show moderate ground surface movement. The clay subsoils were found to be slightly dispersive - Class 2(1).

## Dispersive Soil Assessment

The dispersive soil assessment of the property considers the proposed construction area.

### Potential for dispersive soils

The site has been identified as an area subject to a tunnel erosion hazard according to 'Dispersive Soils and Their Management: Technical Reference Manual'. This is due to the soils present on site that developed from Triassic Sandstone that contain considerable fine sand/silt content and medium plastic clays. Triassic Sandstone in the local area is known to produce soils with an excess of sodium on the soil exchange complex, which can cause soil dispersion. Under some circumstances the presence of dispersive soils can also lead to significant erosion, and in particular tunnel erosion. Based upon field survey of the property, no visible tunnel or gully erosion was identified. However, a soil sampling program was undertaken to identify the presence of dispersive soils in the proposed development areas.

### Soil sampling and testing

Samples were taken at the site for assessment of dispersion. An Emerson (1968) Dispersion test was conducted to determine if these samples were dispersive.

The soil samples taken from site were found to be Slightly dispersive (Class 2.1) - Some dispersion (slight milkiness, immediately adjacent to aggregate).



## **Management Recommendations**

A number of site and soil management measures are recommended for development on the site.

The proposed site cut/fill and driveway areas must be managed by:

- Applying a geo-fabric, jute mesh or similar material to the exposed batters of any cutting on site and revegetating the slope
- Applying a surface layer of at least 50mm of suitable crushed rock/gravel to the driveway surface (and any proposed house pad), with adequate compaction to ensure a relatively impervious surface to maintain site surface stability
- Vegetation on any fill batters must be established and maintained, if any bare area of soil on the batter develops then it must be top-dressed with suitable topsoil and additional vegetation planted

The risk of erosion and tunnel erosion associated with construction must be minimized by:

- Any new water, power, or other service trenches within the property must ensure recommendations for dispersive soils are followed:
  - o Where possible trenches to be placed shallow in topsoil and mounded over to achieve the required cover depth
  - o If buried the trench must be backfilled in layers of no more than 200mm with clay with 5% by weight gypsum added (the clay must be sufficiently moist to allow good compaction).
  - o The trench must be finished with at least 150mm depth of non-dispersive suitable topsoil and finished to a level at least 75mm above natural ground to allow for possible settlement
- Vegetation cover must be maintained wherever possible on the property
- Foundations may be placed into the natural soil; however, care must be taken to ensure all exposed soil in the foundation area is compacted and 1Kg/m<sup>2</sup> of gypsum is applied. Excavated fill from the construction area is not recommended for reuse on site in landscaping unless it is appropriately treated with gypsum, compacted, and capped with topsoil with natural soil and gypsum
- All stormwater runoff from the dwelling to be directed to mains connection (all the drains are to be adequately treated with gypsum)
- Drainage of any site cut must not employ conventional rock drain construction; it must adhere to recommendations for dispersive soils (unless founded entirely in rock)
- All excavation works on site should be monitored for signs of soil dispersion and remedial action taken as required – any excavated fill from the construction area is not recommended for reuse on site in landscaping unless it is appropriately treated with gypsum, compacted, and capped with topsoil

There is a low risk associated with dispersive soils and potential erosion on the site provided the recommendations in this report are adhered to. Efforts should be made to cover all exposed soils on cut/fill batters with topsoil and seeded with well suited pasture species to avoid rainwater, runoff, surface water flows from intercepting exposed subsoils.

A number of site management recommendations have been made in this report and further information can also be found in the publication “Dispersive soils and their management – Technical manual” (DPIWE Tas 2009)

It is recommended that during construction that GES be notified of any variation to the soil conditions as outlined in this report.

A handwritten signature in blue ink, appearing to be 'J.P. Cumming', written over a horizontal line.

Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD  
Environmental and Engineering Soil Scientist

# Laboratory Test Results

**Sample Submitted By:** C Cooper

**Date Submitted:** 13/08/2025

**Sample Identification:** 2 samples – 25 Sunningdale Close, Midway Point

**Soil to be tested:** Emerson soil dispersion test

**Result:**

Sample	Texture	Emerson class	Description
Sample 1	clay	Class 2 (1)	Slight dispersion
Sample 2	clay	Class 2 (1)	Slight dispersion

Notes: Some dispersion (slight milkiness, immediately adjacent to aggregate).

**Sample Tested by:** C Cooper



## **Disclaimer**

This Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the Client. To the best of GES's knowledge, the information presented herein represents the client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that discussed in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organizations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

The scope of this study does not allow for the review of every possible geotechnical parameter or the soil conditions over the whole area of the site. Soil and rock samples collected from the investigation area are assumed to be representative of the areas from where they were collected and not indicative of the entire site. The conclusions discussed within this report are based on observations and/or testing at these investigation points.

This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required.

No responsibility is accepted for the use of any part of this report in any other context or for any other purpose by a third party.

Site Information


Title Reference:	189367/65	
Wind Classification:	N3	Site Classification to <b>AS 4055 - 2006</b>
Soil Classification:	M	Site Classification to <b>AS 2870 - 2011</b>
Climate Zone:	7	
BAL Level:	N/A	No areas of bushfire prone vegetation > 1ha within 100m of the building
Corrosion Environment:	N/A	For steel subject to the influence of salt water, breaking surf or heavy industrial areas refer <b>NCC Housing Provisions Part 6.3.9 and Table 6.3.9a</b> Cladding and fixings to manufacturer's recommendations.
Other Hazards:	Yes	Dispersive Soil (Report by GES Environmental Solutions)
Floor Area:	176.0m²	
Deck/Patio Area:	18.2m²	
Total Floor Area:	194.2m²	

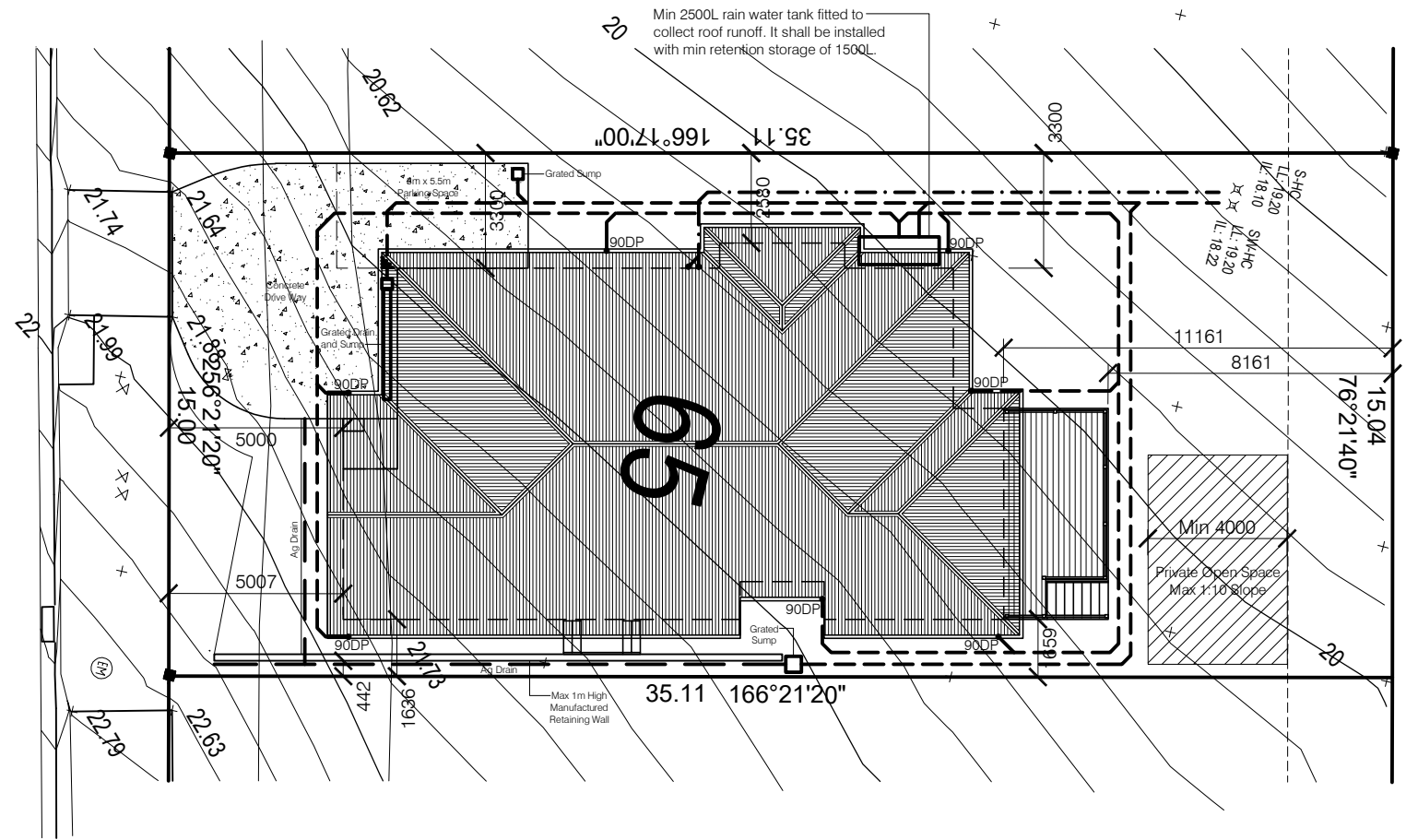
Drawing Schedule:

A-01	Cover Page
A-02	Site Plan
A-03	Floor Plan
A-04	Elevations

**Sorell Council**

Development Application: 5.2026.8.1 -  
Development Application - 25 Sunningdale Close,  
Midway Point - P1.pdf  
Plans Reference:P1  
Date Received:15/01/2026


Rev	Amendment:	Date:	Accredited Practitioner:	 <div><b>DIREEN</b> <b>HOMES</b> PTY LTD Unit 1, 18 Kennedy Drive, Cambridge, 7170 P: 03 62484366 E: info@direenhomes.com.au</div>	Client Name: Direen Homes  Project Address: 25 Sunningdale Close Midway Point TASMANIA	Drawing Title: Cover Sheet	Date: 13-Jan-26	Sheet Size: A3
			Narelle Walker - CC1661W Unit 1, 18 Kennedy Drive Cambridge TAS 7170 P: 03 62484366 E: narelle@direenhomes.com.au			File Name: 25 DHD-8, 25 Sunningdale Cl.dwg	Drawing Scale: N/A	Drawing No: A-01



Site Plan  
SCALE 1:200

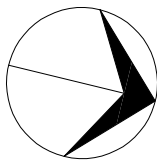
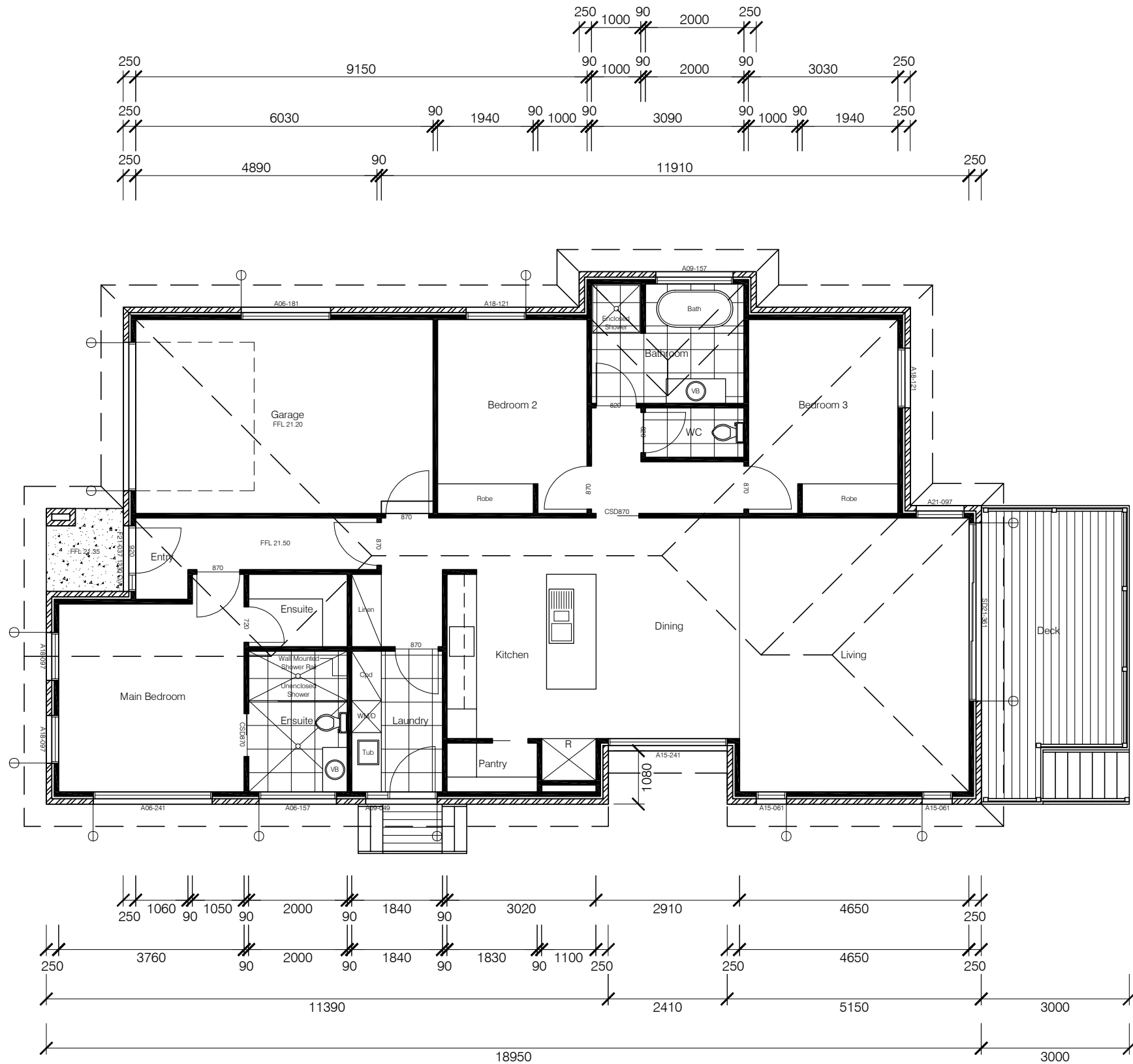
**Sorell Council**

Development Application:5.2026.8.1 -  
Response to Request For Information - 25  
Sunningdale Close, Midway Point - P3 .pdf  
Plan Reference:P3  
Date received:29/01/2026

Rev	Amendment:	Date:	Accredited Practitioner:	 <div><b>DIREEN</b> HOMES PTY LTD Unit 1, 18 Kennedy Drive, Cambridge, 7170 P: 03 62484366 E: info@direenhomes.com.au</div>	Client Name: Direen Homes Project Address: 25 Sunningdale Close Midway Point TASMANIA 7171	Drawing Title: Site Plan	Date: 13-Jan-26	Sheet Size: A3
			Narelle Walker - CC1661W Unit 1, 18 Kennedy Drive Cambridge TAS 7170 P: 03 62484366 E: narelle@direenhomes.com.au			File Name: 25 DHD-8, 25 Sunningdale Cl.dwg	Drawing Scale: 1:200	Drawing No: A-02

Legend & Notes:

- Brick Veneer Walls  
90mm Stud Walls  
Articulation Joint
- C Carpet  
T Floor Tiles  
Con Concrete Floor  
P Pantry  
R Refrigerator  
CT Cooktop  
VB Vanity Basin  
WC Toilet  
CSD Cavity Sliding Door  
MB Meter Box



Floor Plan

SCALE 1:100  
FLOOR AREA: 176.0m<sup>2</sup>

**Sorell Council**  
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Plans Reference:P1  
Date Received:15/01/2026

Rev	Amendment:	Date:	Accredited Practitioner:	Client Name:	Drawing Title:	Date:	Sheet Size:
			Narelle Walker - CC1661W Unit 1, 18 Kennedy Drive Cambridge TAS 7170 P: 03 62484366 E: narelle@direenhomes.com.au	Direen Homes	Floor Plan	13-Jan-26	A3
				Project Address:	File Name:	Drawing Scale:	Drawing No:
				25 Sunningdale Close Midway Point TASMANIA 7171	25 DHD-8, 25 Sunningdale Cl.dwg	1:100	A-03

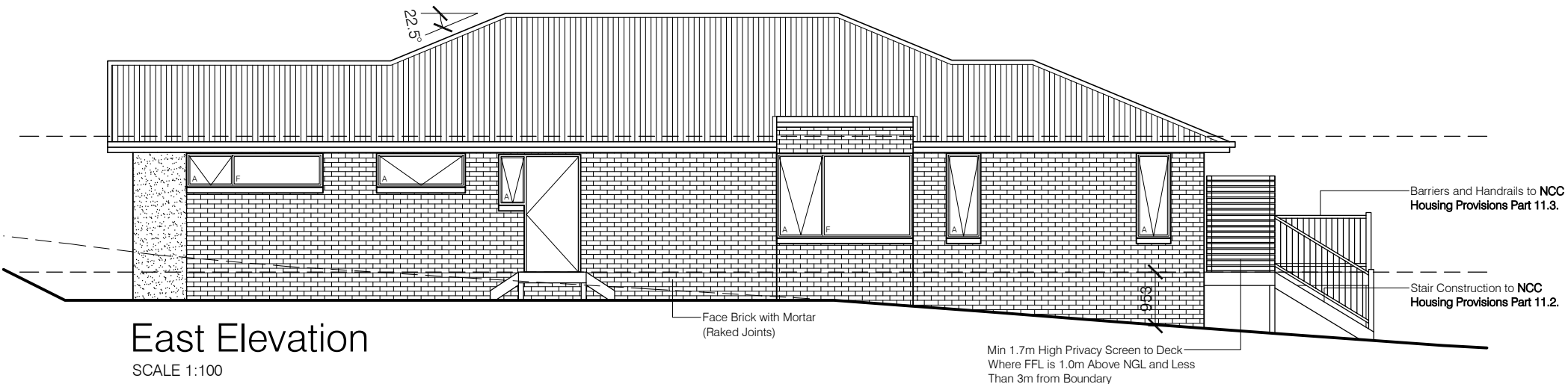


Colour Selection:

Roof: Monument  
Gutter: Monument  
Fascia: Monument  
Windows: Dover White  
Ext Doors: Dover White  
Garage Door: Dover White  
Render: Dover White  
Brick: Almond Smooth (Island Block)

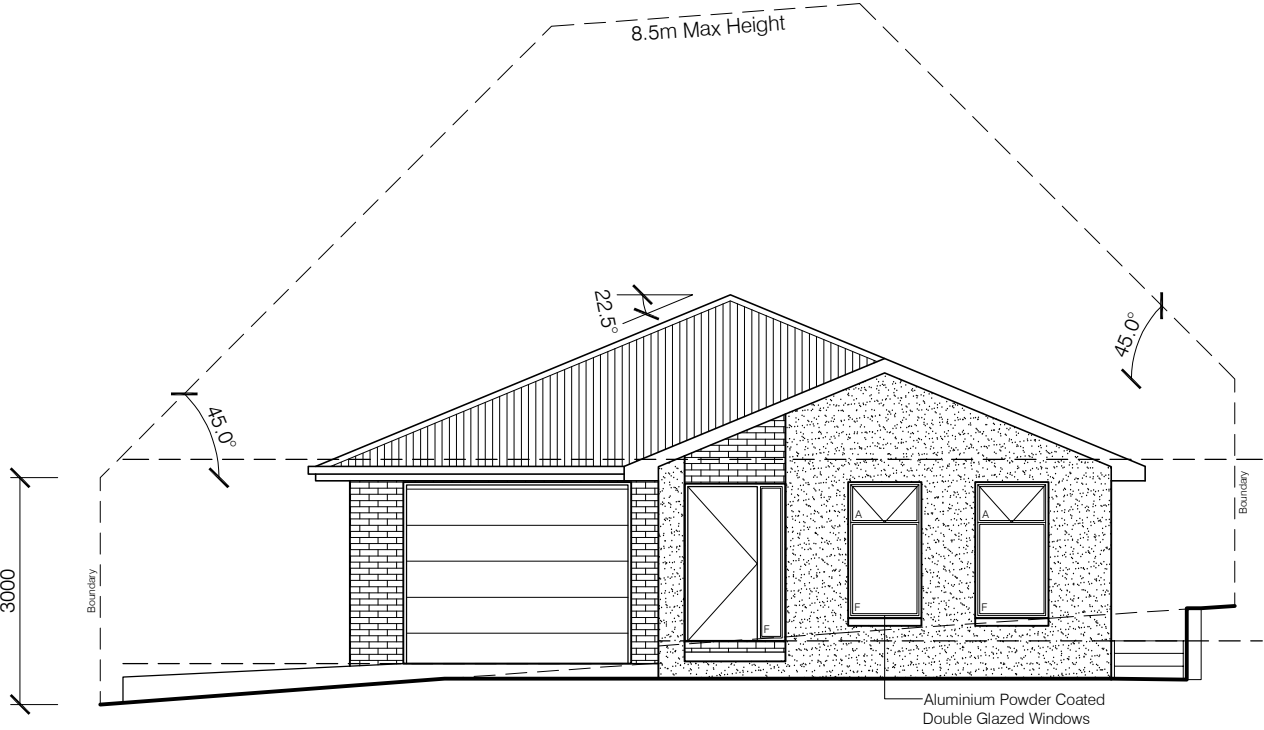
Legend & Notes:

A Awning Window  
AJ Articulation Joint  
CL Ceiling Level  
DP Downpipe  
F Fixed Window  
FL Floor Level  
SD Sliding Door



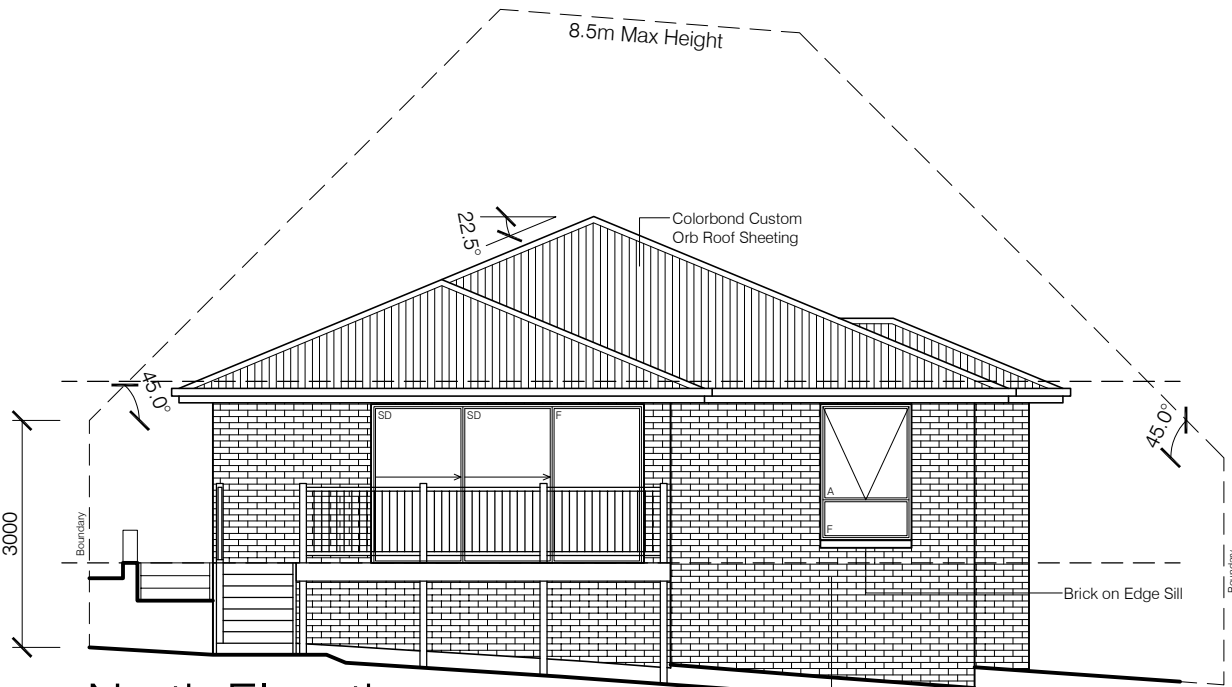
East Elevation

SCALE 1:100



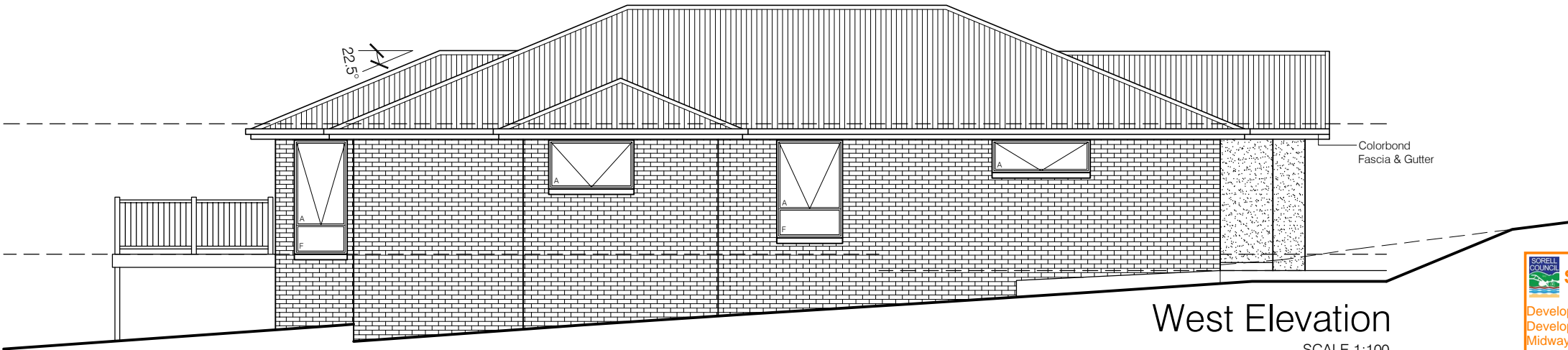
South Elevation

SCALE 1:100



North Elevation


SCALE 1:100



West Elevation

SCALE 1:100

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			Narelle Walker - CC1661W Unit 1, 18 Kennedy Drive Cambridge TAS 7170 P: 03 62484366 E: narelle@direenhomes.com.au				Drawing Scale: 1:100	Drawing No: A-04
						File Name: 25 DHD-8, 25 Sunningdale Cl.dwg		