

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE:

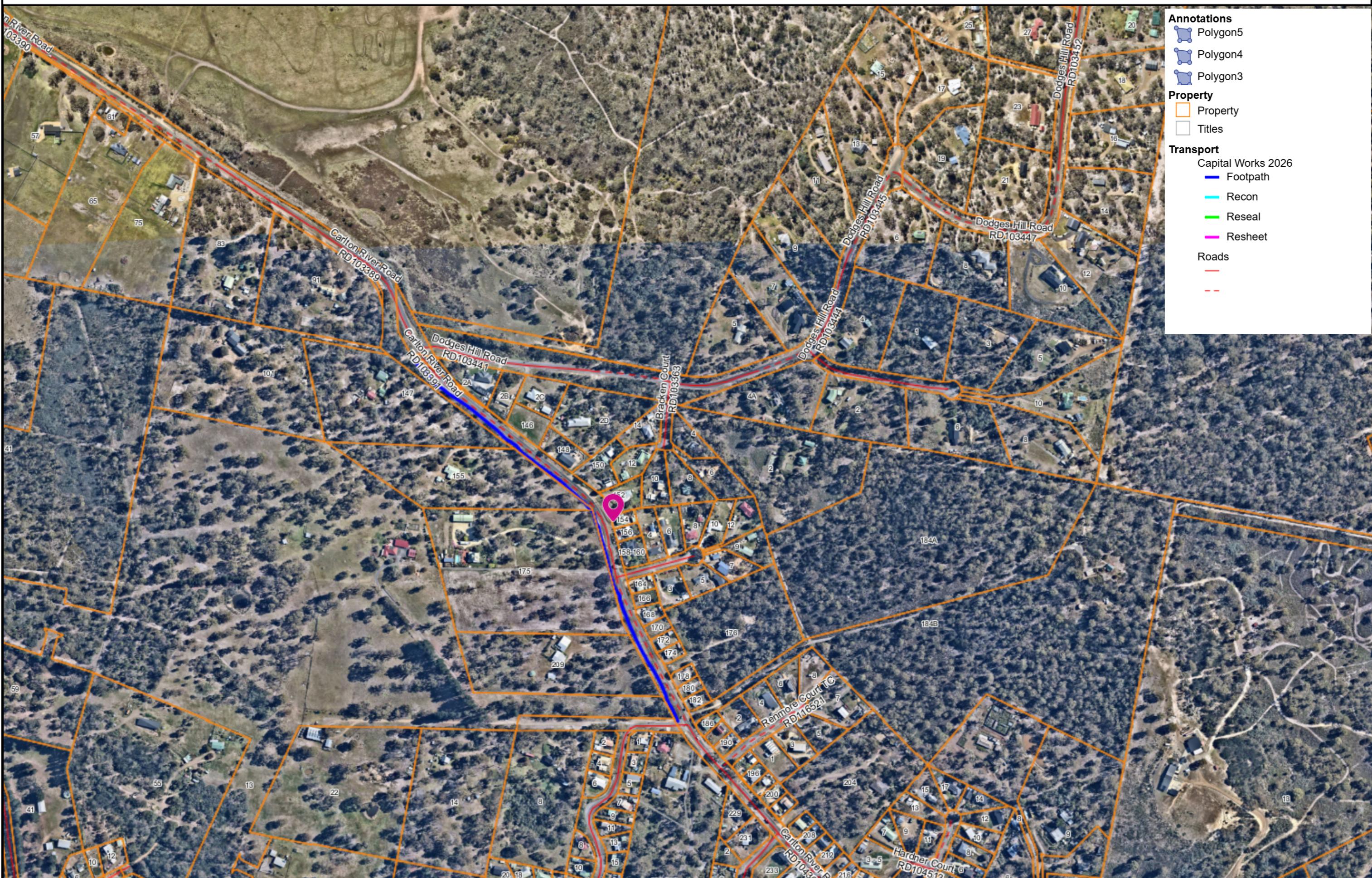
154 CARLTON RIVER ROAD, CARLTON

**PROPOSED DEVELOPMENT:
SPA AND POOL FENCING**

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Tuesday 24th February 2026**.

Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the General Manager. Representations must be received no later than **Tuesday 24th February 2026**.

**APPLICATION NO: 5.2025-346.1
DATE: 06 FEBRUARY 2026**



Disclaimer

Any information extracted from this document (from the face of the document or by scale) should be verified on site. Council takes no responsibility for the accuracy of any information contained or presented in the document. While every care has been taken to ensure the accuracy of this information, Council makes no representations or warranties about the accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and liability.

100 m



Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	<i>Use:</i>
	<i>Development:</i>
	<i>Large or complex proposals should be described in a letter or planning report.</i>

Design and construction cost of proposal:	\$
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Is all, or some the work already constructed:	No: <input type="checkbox"/> Yes: <input type="checkbox"/>
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Location of proposed works:	Street address:
	Suburb: Postcode:
	Certificate of Title(s) Volume: Folio:

Current Use of Site
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Current Owner/s:	Name(s).....
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Is the Property on the Tasmanian Heritage Register?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Council or Crown land section on page 3</i>

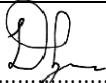
If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form

<https://www.sorell.tas.gov.au/services/engineering/>



Development Application: 5.2025.346.1 -
Development Application - 154 Carlton River
Road, Carlton - P1.pdf
Plans Reference:P1
Date Received:11/12/2025

Part B continued: Please note that Part B of this form is publicly exhibited

Declarations and acknowledgements		
<ul style="list-style-type: none">I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land.I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council's representatives to enter the land at any time during normal business hours.I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies.I/we declare that, in accordance with s52(1) of the <i>Land Use Planning and Approvals Act 1993</i>, that I have notified the owner(s) of the intention to make this application.I/we declare that the information in this application is true and correct.		
<p><i>Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council's Privacy Policy available on the Council website.</i></p>		
<ul style="list-style-type: none">I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.Where the General Manager's consent is also required under s.14 of the <i>Urban Drainage Act 2013</i>, by making this application I/we also apply for that consent.		
Applicant Signature:		Signature: Date:

Crown or General Manager Land Owner Consent		
If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the <i>Land Use Planning and Approvals Act 1993</i>).		
<p>Please note:</p> <ul style="list-style-type: none">If General Manager consent is required, please first complete the General Manager consent application form available on our website www.sorell.tas.gov.auIf the application involves Crown land you will also need a letter of consent.Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.		
<p>I _____ being responsible for the administration of land at _____</p> <p>declare that I have given permission for the making of this application for _____</p> <p> Sorell Council Development Application: 5.2025.346.1 - Development Application - 154 Carlton River Road, Carlton - P1.pdf Plans Reference:P1 Date Received:11/12/2025</p>		
Signature of General Manager, Minister or Delegate:	Signature: Date:	

SEARCH OF TORRENS TITLE

VOLUME	FOLIO
6952	1
EDITION	DATE OF ISSUE
3	30-Sept-2008

SEARCH DATE : 11-Dec-2025

SEARCH TIME : 11.52 am

DESCRIPTION OF LAND

Parish of FORCETT, Land District of PEMBROKE

Lot 1 on Sealed Plan **6952**

Derivation : Portion of Lot 17409 Gtd. to W.N. Holmes.

Prior CT **3482/3****SCHEDULE 1**

(B363323) **M187692** LYNETTE JUNE GASSON Registered
30-Sept-2008 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP **6952** COUNCIL NOTIFICATION under Section 468(12) of the
Local Government Act 1962
B733062 MORTGAGE to National Australia Bank Limited
Registered 31-Jan-1994 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

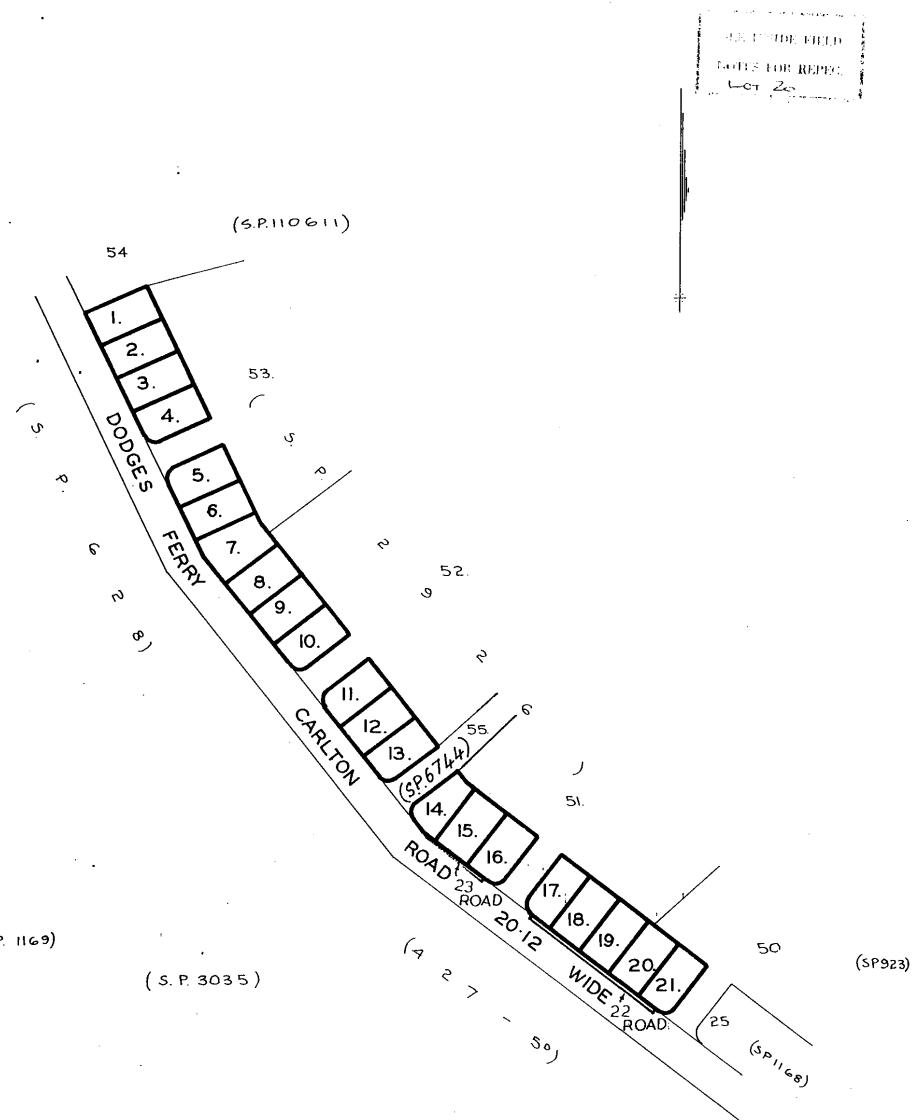


6962 - 1000 21 MAY 1975

S.N.6952

Owner: <u>E. Holmes</u> <u>J. C. Dabrowski</u>	PLAN OF SURVEY by Surveyor <u>G. W. Griggs</u> of land situated in the	Registered Number: S.P6952
Title Reference: CT. 3318 - 89		LAND DISTRICT OF PEMBROKE PARISH OF FORCETT
Grantee: Portion Of Lot 17409, 247 ^A 2 ^R 0 ^P Gtd to William Nassau Holmes UJR FNS 22/5/75 MEMO 4/6/75	Scale 1:2000	Effective from 1 August 1975 P/J ROMA a/c Recorder of Titles

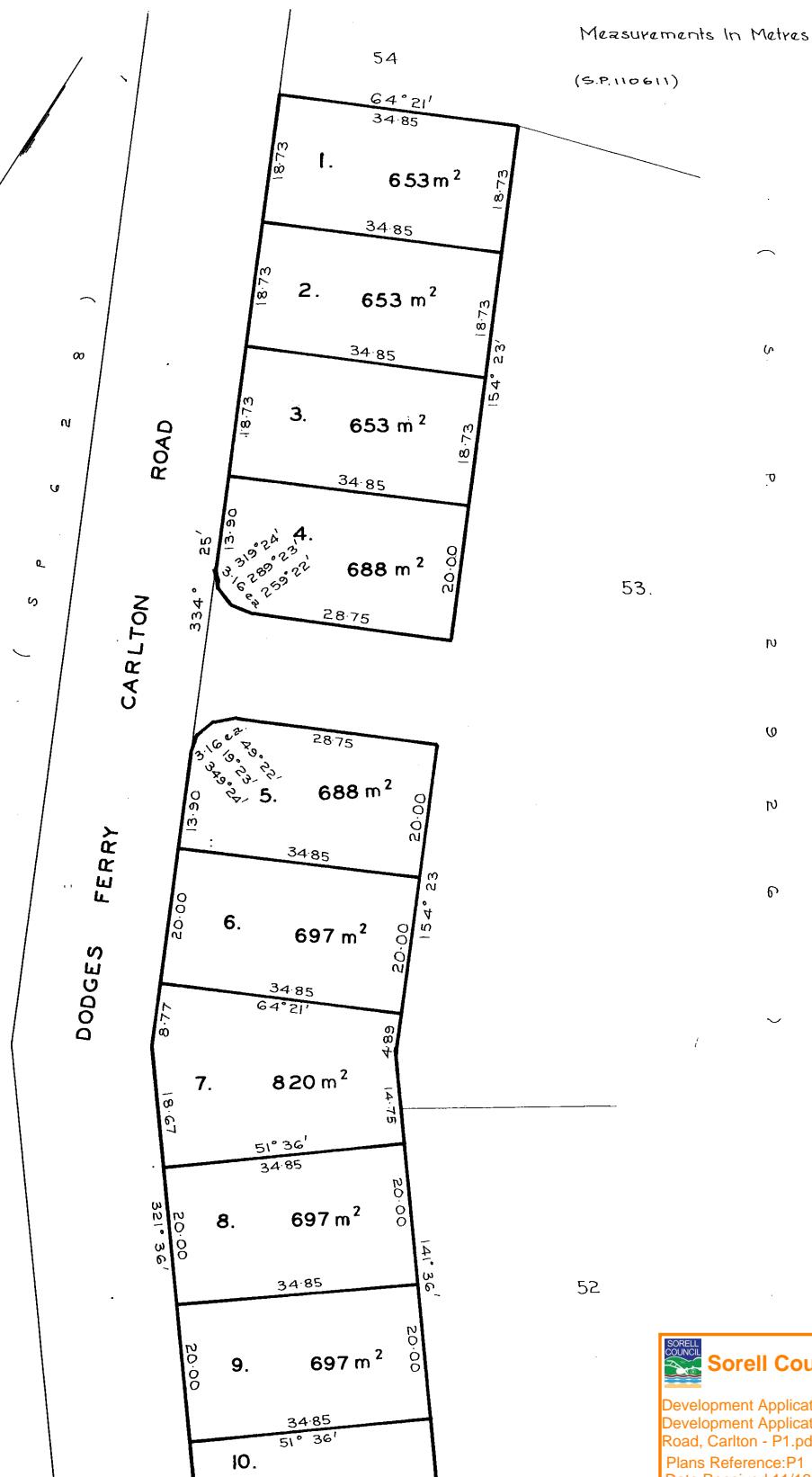
Measurements In Metres



Sorell Council

Development Application: 5.2025.346.1 -
Development Application - 154 Carlton River
Road, Carlton - P1.pdf
Plans Reference:P1
Date Received:11/12/2025

<p>ANNEXURE SHEET No. (of 3 annexures) to plan by Surveyor G.W. Griggs</p>	<p>This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated 30-4-71 and that certificate extends to the detail shown on this sheet.</p> <p><i>[Handwritten signature of G.W. Griggs]</i></p>	<p>Registered Number: S.P6952</p>
<p>Signed for the purposes of identification</p>		<p>Surveyor <i>[Handwritten signature]</i></p> <p>Owner: E. L. Holmes</p> <p>Title Reference: CT. 3318-89</p>
<p>Council Clerk <i>[Handwritten signature]</i></p>		

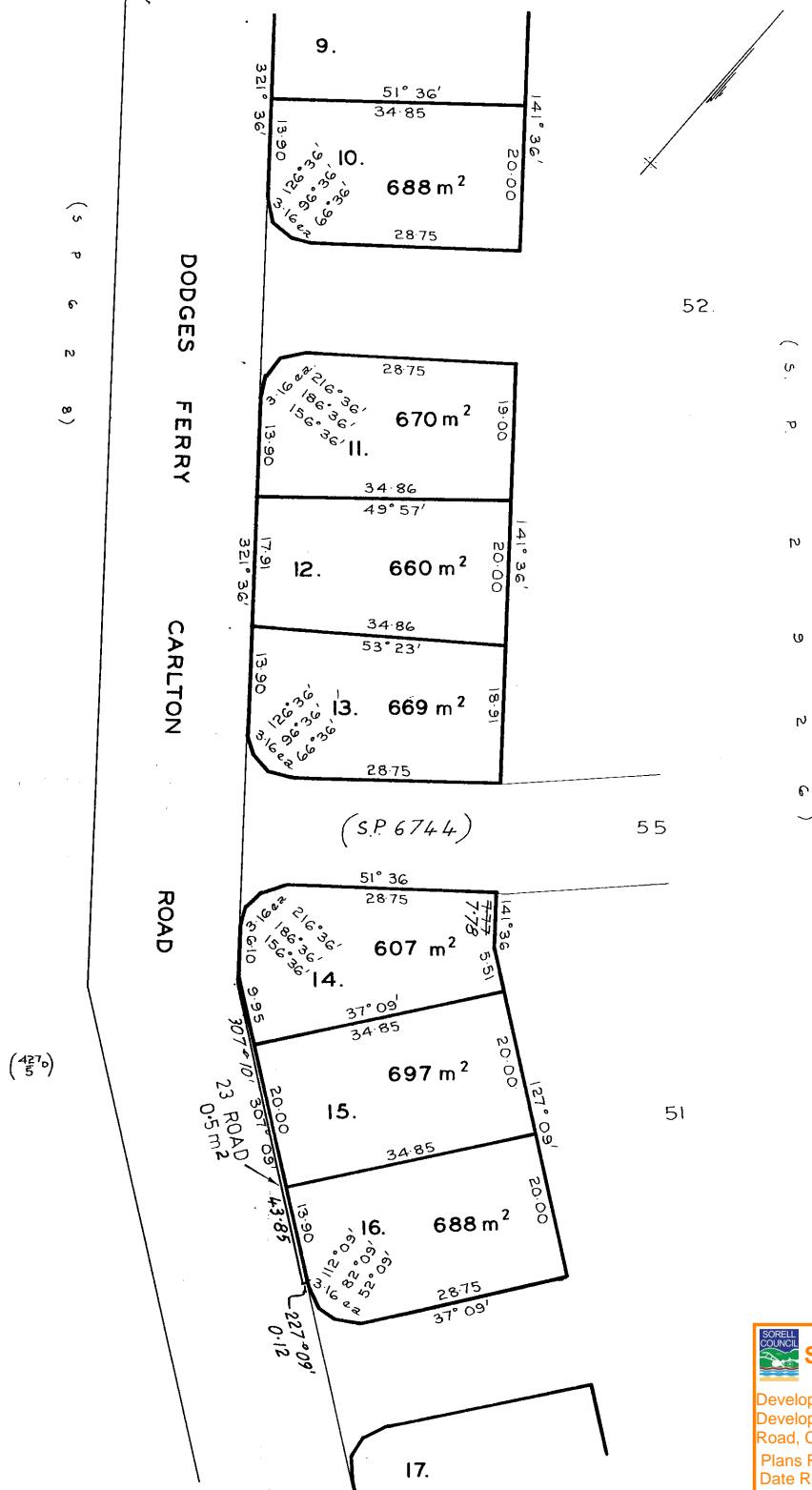


Sorell Council

Development Application: 5.2025.346.1 -
Development Application - 154 Carlton River
Road, Carlton - P1.pdf
Plans Reference:P1
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<p>ANNEXURE SHEET No. 2 (of 3 annexures) to plan by Surveyor G. W. Griggs</p>	<p>This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated <u>30-9-70</u> and that certificate extends to the detail shown on this sheet.</p>	<p>Registered Number: S.P6952</p>
<p>Signed for the purposes of identification</p> <p><i>[Signature]</i></p> <p>Surveyor: <u>E. K. Holmes</u></p> <p>Owner: <u>E. K. Holmes</u></p> <p>Title Reference: <u>CT 3318-89</u></p>		<p>Scale 1:500</p>
<p>Council Clerk: <i>[Signature]</i></p>		

Measurements In Metres



 Sorell Council

Development Application: 5.2025.346.1 -
Development Application - 154 Carlton River
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ANNEXURE SHEET No. 3
(of 3 annexures) to plan by Surveyor
G. W. Griggs.

Signed for the purposes of identification

Council Clerk *M. Hartnett*

This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated 27/02/89 and that certificate extends to the detail shown on this sheet.

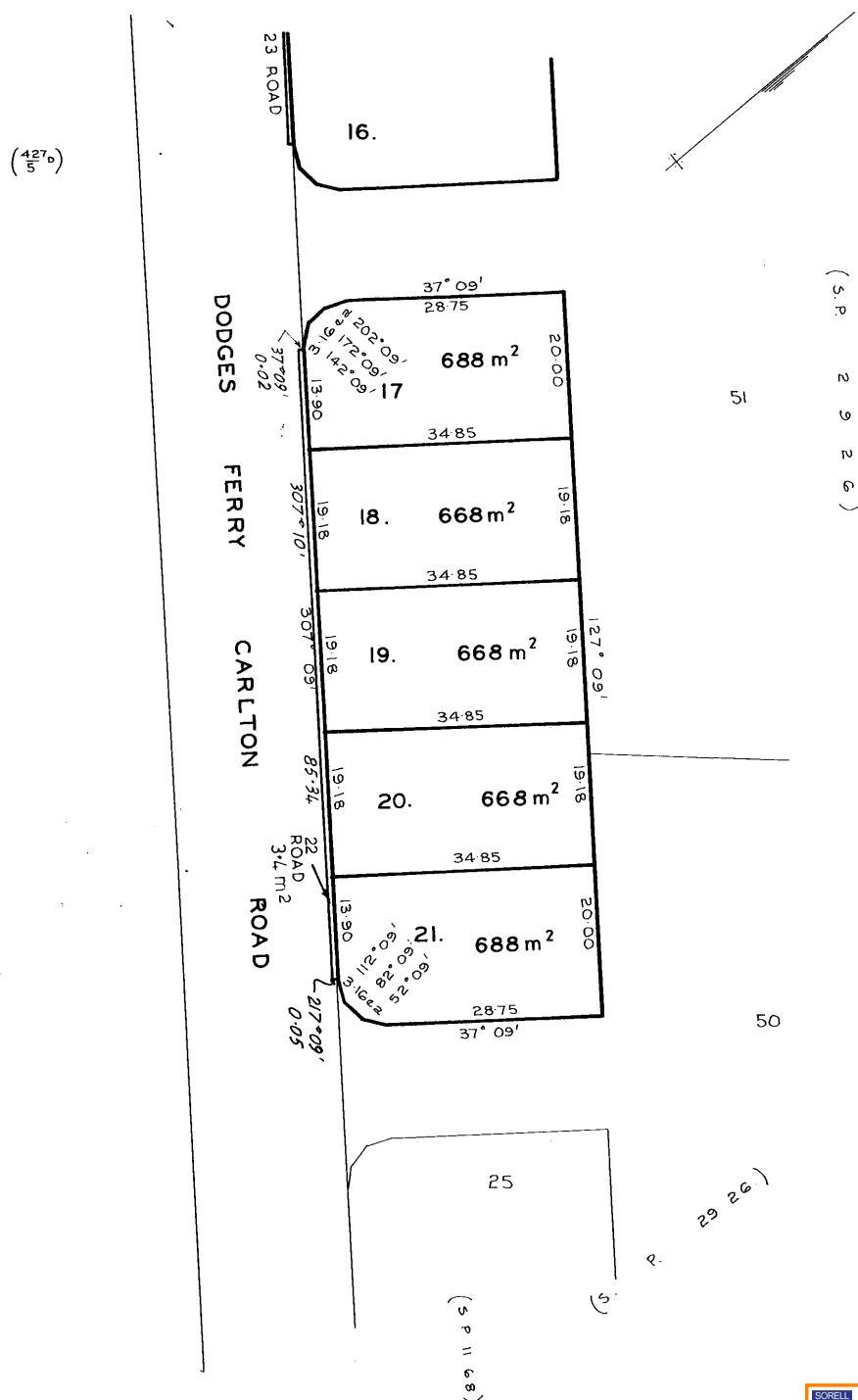
Surveyor *E.L. Holmes*
Owner: E.L. Holmes
Title Reference: CT. 3318-89

Registered Number:

S.P6952

Scale 1:500

Measurements In Metres



Sorell Council

Development Application: 5.2025.346.1 -
Development Application - 154 Carlton River
Road, Carlton - P1.pdf
Plans Reference:P1
Date Received:11/12/2025

PLANNING - NEW SPA & POOL FENCING

154 CARLTON RIVER ROAD
CARLTON, TASMANIA, 7173

LYNETTE GASSEN

REV P2 - ISSUED FOR PLANNING APPROVAL 28.01.2026

PLEASE READ CAREFULLY
THIS PLAN CERTIFIED CORRECT IS THE ONE REFERRED TO IN THE
BUILDING CONTRACT AND I UNDERSTAND CHANGES HEREAFTER MAY NOT
BE POSSIBLE.
FINAL PLAN : ANY REQUESTED VARIATIONS TO YOUR HOUSE PLAN WILL
INCUR AN AMENDMENT / ADMINISTRATION MINIMUM FEE

GENERAL INFORMATION:

DESIGNER: DAVID LYNE CC7063

CLIENT: LYNETTE GASSEN

JOB NUMBER: 1755/25

CLASSIFICATION: 10B

TITLE REFERENCE: 6952/1

DESIGN WIND SPEED: 'N3'

SOIL CLASSIFICATION: N/A

CLIMATE ZONE: 7

BAL: N/A

LOT SIZE: 642m²

DRAWING REGISTER:

B00	COVER SHEET	N/A
B01	NOTES SHEET 1	N/A
B02	NOTES SHEET 2	N/A
B03	SITE PLAN	1:200
B04	ELEVATIONS	1:100

P2 28.01.2026 REVISED PLANNING ISSUE
P1 11.12.2025 PRELIMINARY ISSUE
REV DATE REMARK

GENERAL NOTES:

- CHECK ALL DIMENSIONS, BOUNDARIES, EASEMENTS AND SERVICE LOCATIONS ON SITE.
- ALL WORK SHALL COMPLY WITH THE TASMANIAN BUILDING REGULATIONS 2016, AND RELEVANT CURRENT AUSTRALIAN STANDARDS.
- CHECK CAREFULLY ALL ASPECTS OF THESE DOCUMENTS BEFORE COMMENCING WORK.
- ANY ERRORS OR ANOMALIES TO BE REPORTED TO THE DRAWER BEFORE WORK IS CONTINUED.
- CONFIRM ALL SIZES AND HEIGHTS ON SITE. DO NOT SCALE OFF PLAN.
- ALL FRAMING TO COMPLY WITH AS 1684 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION. NOTE: ALL TIMBER SIZES SPECIFIED ARE MINIMUM REQUIREMENT ONLY.
- SUBSTITUTES MAY BE USED AS LONG AS VERIFICATION OF EQUAL PERFORMANCE IS OBTAINED.
- ALL CONSTRUCTION IS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT AUSTRALIAN STANDARDS.
- WIND LOADS DETERMINED IN ACCORDANCE WITH AS 4055 WIND LOADS FOR HOUSING.
- THESE DOCUMENTS TO BE USED WITH THE DESIGNERS SPECIFICATIONS, SOIL TESTS AND ALL DOCUMENTATION PREPARED BY AN ENGINEER.
- THESE DOCUMENTS ARE INTENDED FOR COUNCIL APPLICATIONS AND NORMAL CONSTRUCTION.
- THIS DESIGN IS COVERED UNDER COPYRIGHT AND ANY CHANGES MUST BE CONFIRMED WITH THE DESIGNER, THE DESIGNER RETAINS ALL INTELLECTUAL PROPERTY.

LYNE DESIGN

BUILDING DESIGN/ DRAFTING - BUSHFIRE MANAGEMENT
DAVID LYNE ACCREDITED DESIGNER: CC7063
11 GRANVILLE AVENUE
GEILSTON BAY, TASMANIA 7015
MOBILE: 0421 852 987 david@lynedesign.com.au

PROJECT
154 CARLTON RIVER ROAD
CARLTON, TAS 7173

TITLE
COVER SHEET

Accepted	LYNETTE GASSEN	Date
(Client 1)		
Accepted	N/A	Date
(Client 2)		
Approved	N/A	Date
(Builder)		

This document must be signed

SCALES @ A3	DESIGNED BY	DRAWN BY
N/A	D.LYNE	D.LYNE
	PLOT DATE	28/01/2026

DO NOT SCALE: Use only figured dimensions. Locations of structure, fittings, services etc on this drawing are indicative only. CONTRACTOR to check all other project drawings for co-ordination between structure, fabric, fixtures, fittings, services etc. CONTRACTOR to site check all dimensions and exact locations of all items. no responsibility shall be taken for dimensional information scaled or digitally derived from this document.

PLOT DETAILS CARLTON RIVER ROAD.DWG

PROJECT NO. 1755/25

DWG NO.	REVISION
B00	P2

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The recipient client is licensed to use this drawing for its commissioned purpose subject to authorisation per note above. Unlicensed use is prohibited. Unlicensed parties may not copy, reproduce or retransmit or amend this document or any part of this document without consent. Amendment of this document is prohibited.

 **Sorell Council**
Development Application: 5.2025.346.1 -
Response to Request For Information - 154
Carlton River Road, Carlton - P2.pdf
Plans Reference: P2
Date received: 28/01/2026

NOT FOR CONSTRUCTION

GENERAL:

1. THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT. (THIS INCLUDES BUT IS NOT LIMITED TO THE OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, OPERATORS, RENOVATORS, MAINTAINERS AND DEMOLISHERS).
2. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE STRUCTURAL DESIGN DRAWINGS, ANY OTHER DRAWINGS BY OTHERS, SPECIFICATIONS AND OR REPORTS, AND WITH SUCH OTHER WRITTEN INSTRUCTION THAT MAY BE ISSUED.
3. ALL CONSTRUCTION WORK TO COMPLY WITH THE CURRENT BUILDING CODES AND REGULATIONS OF THE RELEVANT AUSTRALIAN STATE OR TERRITORY.
4. DIMENSIONS ARE EXPRESSED IN MILLIMETERS, UNO. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THESE DRAWINGS. SETTING OUT DIMENSIONS SHALL BE VERIFIED BY LICENCED BUILDER/ SURVEYOR BEFORE COMMENCING WORK. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND THE OTHER DRAWINGS IS TO BE ADVISED BEFORE PROCEEDING WITH ANY WORK.
5. THE PLANS AND SPECIFICATIONS ARE SUBJECT TO APPROVAL BY THE LOCAL BUILDING AUTHORITY PRIOR TO CONSTRUCTION.
6. THE BUILDING CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS, APPROVALS, AND INSPECTIONS AS REQUIRED BY LAW.
7. ALL STRUCTURAL ELEMENTS, INCLUDING FOOTINGS, FOUNDATIONS, WALLS, AND ROOF STRUCTURES, MUST BE DESIGNED BY A QUALIFIED STRUCTURAL ENGINEER AND COMPLY WITH THE APPROPRIATE AUSTRALIAN STANDARDS. REFER TO STRUCTURAL DRAWINGS BEFORE COMMENCING ANY WORKS.
8. THE MATERIALS AND FINISHES SPECIFIED MUST MEET THE REQUIRED AUSTRALIAN STANDARDS AND REGULATIONS FOR FIRE SAFETY, ACOUSTIC PERFORMANCE, ENERGY EFFICIENCY, AND DURABILITY.
9. THE BUILDER SHALL CARRY OUT REGULAR QUALITY INSPECTIONS DURING CONSTRUCTION TO ENSURE COMPLIANCE WITH THE PLANS AND SPECIFICATIONS.
10. THE HOUSE PLANS ARE COPYRIGHT PROTECTED, AND UNAUTHORIZED REPRODUCTION, OR USE WITHOUT THE WRITTEN CONSENT OF THE DESIGNER IS STRICTLY PROHIBITED.
11. THE FINAL COMPLETION OF THE PROJECT SHALL INCLUDE OBTAINING THE NECESSARY OCCUPANCY CERTIFICATE FROM THE LOCAL BUILDING AUTHORITY.

HEALTH AND SAFETY:

1. THERE ARE A NUMBER OF HAZARDS AND HENCE RISKS WHICH ARE NOT UNIQUE TO THIS PROJECT WHICH NEED TO BE MANAGED DURING THESE PHASES. A REMINDER TO CONSTRUCTORS, OPERATORS, MAINTAINERS AND DEMOLISHERS OF THEIR RESPONSIBILITIES UNDER WORK HEALTH & SAFETY ACTS AND REGULATIONS.
2. FOR ALTERATIONS TO OR DEMOLITION OF A BUILDING CONSTRUCTED PRIOR TO:
1990 - IT MAY CONTAIN ASBESTOS
1986 - IT IS LIKELY TO CONTAIN ASBESTOS EITHER IN CLADDING MATERIAL, OR IN FIRE-RETARDANT INSULATION MATERIAL. IN EITHER CASE, THE BUILDER SHOULD CHECK, AND IF NECESSARY TAKE APPROPRIATE ACTION BEFORE DEMOLISHING, CUTTING, SANDING, DRILLING OR OTHERWISE DISTURBING THE EXISTING STRUCTURE.
3. MANY OTHER MATERIALS USED IN CONSTRUCTION OF THIS BUILDING SUCH AS (BUT NOT LIMITED TO) POWDERED MATERIALS, TREATED TIMBER, VOLATILE ORGANIC COMPOUNDS, SYNTHETIC MINERAL FIBER, CAN CAUSE HARM IF INHALED. ALL PERSONS WORKING ON OR IN THE BUILDING DURING DEMOLITION AND OR CONSTRUCTION SHOULD BE WEARING PERSONAL PROTECTION EQUIPMENT INCLUDING PROTECTION AGAINST INHALATION OF HARMFUL MATERIAL.

SITE PREPARATION AND EXCAVATION:

1. IN ACCORDANCE WITH PART H1D3 OF CURRENT N.C.C., AND TO LOCAL COUNCIL REQUIREMENTS.
2. THE SITE MUST BE PROPERLY PREPARED AND LEVELED BEFORE CONSTRUCTION BEGINS. ANY NECESSARY EARTHWORKS AND SITE PREPARATION ARE THE RESPONSIBILITY OF THE CONTRACTOR.
3. SURFACE DRAINS SHALL BE DESIGNED AND CONSTRUCTED TO AVOID WATER PONDING AGAINST OR NEAR THE FOOTINGS. THE GROUND IN THE IMMEDIATE VICINITY OF THE PERIMETER FOOTINGS, INCLUDING THE GROUND UPHILL FROM A SLAB ON CUT-AND FILL SITES, SHALL BE GRADED TO FALL 50mm MINIMUM OVER A DISTANCE OF 1m AND SHAPED TO PREVENT PONDING OF WATER. WHERE FILL IS PLACED ADJACENT TO THE BUILDING, THE FILL SHALL BE COMPACTED AND GRADED TO ENSURE DRAINAGE OF WATER AWAY FROM THE BUILDING.
4. INTERNAL FINISHED FLOOR LEVEL (FFL) TO BE MIN. 150mm ABOVE FINISHED EXTERNAL GROUND AREAS (FLOWER BEDS OR GRASSED AREAS) AND MIN. 50mm ABOVE FINISHED EXTERNAL SEALED SURFACES (PAVED AREAS). PROVIDE 50mm MIN. FALL FOR THE FIRST METER AWAY FROM BUILDING TOWARDS LOWER GROUND OR ALTERNATIVELY SUFFICIENT DRAINAGE PROVISIONS (AG DRAINS, SUMPS OR SIMILAR).

FOOTINGS & SLABS:

1. CONCRETE FOOTINGS AND SLABS ARE TO BE IN ACCORDANCE WITH PART H1D4 OF CURRENT N.C.C. AND AS 2870.1 AND ENGINEERS DOCUMENTATION/ SPECIFICATIONS.
2. PROVIDE WALL CAVITY DRAINAGE WITH WEEPHOLES AT 960 MAX CENTERS ALONG LINE ABOVE FINISHED GROUND LEVEL. (SLAB AREA).

PLUMBING (SEWER & STORMWATER):

1. ALL PLUMBING WORK SHALL COMPLY WITH THE RELEVANT PLUMBING STANDARDS AND BE CARRIED OUT BY A LICENSED PLUMBER.
2. ADEQUATE PROVISIONS FOR STORMWATER DRAINAGE MUST BE MADE TO PREVENT WATERLOGGING AND FLOODING ON THE PROPERTY. THE DRAINAGE SYSTEM DESIGN SHOULD COMPLY WITH THE LOCAL COUNCIL'S GUIDELINES.

GLAZING:

1. ALL WINDOWS AND GLAZING MUST COMPLY WITH AS2047 AND AS1288 AND PART H1D1 OF CURRENT N.C.C. MANUFACTURER TO PROVIDE CERTIFICATION OF COMPLIANCE.
2. ALL WINDOW MEASUREMENTS SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED ON SITE, PRIOR TO ORDERING.

LIGHT:

1. NATURAL LIGHT TO BE IN ACCORDANCE WITH PART H4P4 OF CURRENT N.C.C.
2. NATURAL LIGHT MUST BE PROVIDED TO ALL HABITABLE ROOMS
3. REQUIRED WINDOWS MUST HAVE A LIGHT TRANSMITTING AREA OF AT LEAST 10% OF THE FLOOR AREA.
4. SANITARY COMPARTMENTS, BATHROOM, LAUNDRIES AND THE LIKE NOT PROVIDED WITH NATURAL LIGHT MUST BE PROVIDED WITH ARTIFICIAL LIGHT AT A RATE OF NOT LESS THAN 1 LIGHT FITTING PER 16m² OF FLOOR AREA AND IN ACCORDANCE WITH AS/NZS 1680.0

HEATING APPLIANCES:

1. IN ACCORDANCE WITH PART H7D5 OF CURRENT N.C.C AND AS/NZS 2918 FOR DOMESTIC SOLID-FUEL BURNING APPLIANCES.
2. ALL HEATING APPLIANCES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

BUILDING SEALING:

1. IN ACCORDANCE WITH CURRENT N.C.C. CHIMNEYS AND FLUE MUST BE FITTED WITH A DAMPER/FLAP THAT CAN BE CLOSED.
2. ROOFS, WALLS & FLOORS SEALED BY CAULKING, SKIRTING, ARCHITRAVES OR THE LIKE.
3. EXTERNAL WINDOWS AND DOORS TO BE FITTED WITH COMPRESSIBLE STRIP, FOAM, RUBBER OR FIBROUS SEAL TO ALL EXTERNAL WINDOW SASHES AND EXTERNAL DOORS.
4. EXTERNAL FANS TO BE SELF CLOSING DAMPER OR FILTER TO BE FITTED.
5. ALL DOWNLIGHTS TO BE SEALED.

SMOKE ALARMS:

1. SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH PART H3D6 OF CURRENT N.C.C. AND AS3786 REQUIREMENTS.
2. SMOKE ALARMS TO BE INSTALLED IN A CLASS 1a BUILDING ON OR NEAR THE CEILING IN: - ANY STOREY CONTAINING BEDROOMS (i) BETWEEN EACH PART OF THE DWELLING CONTAINING BEDROOMS AND THE REMAINDER OF THE DWELLING; AND (ii) WHERE BEDROOMS ARE SERVED BY A HALLWAY, IN THAT HALLWAY.
3. ALL SMOKE ALARMS MUST BE CONNECTED TO THE CONSUMER MAINS POWER WHERE CONSUMER POWER IS SUPPLIED TO THE BUILDING
4. SMOKE ALARMS TO BE INTERCONNECTED WHERE THERE IS MORE THAN 1 ALARM
5. SMOKE ALARMS TO HAVE BATTERY BACK UP IN CASE OF POWER OUTAGE. RECOMMENDED BATTERIES MUST BE CAPABLE OF SERVICING THE SMOKE ALARM WITH A FAULT FOR 1 YEAR.

ROOF CLADDING, GUTTERING AND DOWNPipes:

1. IN ACCORDANCE WITH H2D6 OF CURRENT N.C.C., AS/NZS 3500.3 AND AS/NZS 3500.5. SECTION 5 INSTALLATION TO BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
2. WHEREVER FULL SHEETS CAN'T BE UTILIZED PROVIDE THE DISTANCE FOR END LAPING WHERE SHEETS MEET: - SLOPES 5-15 = A LAP OF 200mm - SLOPES 15 AND GREATER = A LAP OF 150mm.
3. GUTTERS MUST BE INSTALLED WITH A FALL OF NOT LESS THAN 1:500 FOR EAVES GUTTERS AND 1:100 FOR BOX GUTTERS.
4. DOWNPipes MUST:
 - a) NOT SERVE MORE THAN 12m OF GUTTER LENGTH FOR EACH DOWNPipe.
 - b) BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS AND IF THE DOWNPipe IS MORE THAN 1.2m FROM A VALLEY, PROVISION FOR OVERFLOW MUST BE MADE TO THE GUTTER.

WET AREAS & EXTERNAL WATERPROOFING:

1. IN ACCORDANCE WITH PART H4D2 OF CURRENT N.C.C. AND AS/NZS 3740.
2. BUILDING ELEMENTS IN WET AREAS MUST BE WATERPROOF OR WATER RESISTANT IN ACCORDANCE WITH TABLE UNDER H4D4.
3. WATERPROOFING MEMBRANES FOR EXTERNAL ABOVE GROUND USE MUST COMPLY WITH AS4654 PARTS 1 AND 2.

PLEASE READ CAREFULLY

THIS PLAN CERTIFIED CORRECT IS THE ONE REFERRED TO IN THE BUILDING CONTRACT AND I UNDERSTAND CHANGES HEREAFTER MAY NOT BE POSSIBLE.
FINAL PLAN : ANY REQUESTED VARIATIONS TO YOUR HOUSE PLAN WILL INCUR AN AMENDMENT / ADMINISTRATION MINIMUM FEE



Sorell Council

Development Application: 5.2025.346.1 -
Response to Request For Information - 154
Carlton River Road, Carlton - P2.pdf
Plans Reference: P2
Date received: 28/01/2026

P2 28.01.2026 REVISED PLANNING ISSUE
P1 11.12.2025 PRELIMINARY ISSUE
REV DATE REMARK

LYNE DESIGN

BUILDING DESIGN/ DRAFTING - BUSHFIRE MANAGEMENT
DAVID LYNE ACCREDITED DESIGNER: CC7063
11 GRANVILLE AVENUE
GEILSTON BAY, TASMANIA 7015
MOBILE: 0421 852 987 david@lynedesign.com.au

PROJECT
154 CARLTON RIVER ROAD
CARLTON, TAS 7173

TITLE
NOTES SHEET

Accepted	LYNETTE GASSON	Date
Accepted	N/A	Date
Approved	N/A	Date

This document must be signed

SCALES @ A3	DESIGNED BY	DRAWN BY
N/A	D. LYNE	D. LYNE

PLOT DATE 28/01/2026

DO NOT SCALE: Use only figured dimensions. Locations of structure, fittings, services etc on this drawing are indicative only. CONTRACTOR to check all other project drawings for co-ordination between structure, fabric, fixtures, fittings, services etc. CONTRACTOR to site check all dimensions and exact locations of all items, no responsibility shall be taken for dimensional information scaled or digitally derived from this document.

PLOT DETAILS CARLTON RIVER ROAD.DWG

PROJECT NO. 1755/25

DWG NO.	B01	REVISION	P2
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NOT FOR CONSTRUCTION

STAIR CONSTRUCTION:

1. IN ACCORDANCE WITH PART H5D1 OF CURRENT N.C.C.
2. STAIRS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOW: (a) EACH FLIGHT MUST HAVE NOT MORE THAN 18 NOR LESS THAN 2 RISERS. (b) THE NOMINAL DIMENSION OF GOINGS AND RISERS OF A STAIR MUST BE CONSTANT THROUGHOUT EACH STAIR (c) TREADS MUST BE SOLID CONSTRUCTION IF THE STAIRWAY IS MORE THAN 10m HIGH OR 3 STOREYS. (d) A FLIGHT OF STAIRS MUST NOT HAVE MORE THAN 3 WINDERS (e) THE RISERS MUST NOT ALLOW A 125mm SPHERE TO PASS THROUGH BETWEEN THE TREADS (f) TREADS & NOSINGS MUST HAVE-(i) A SURFACE WITH A SLIP-RESISTANCE CLASSIFICATION NOT LESS THAN THAT LISTED IN TABLE UNDER H5D2 WHEN TESTED IN ACCORDANCE WITH AS4586

BARRIERS AND HANDRAILS:

1. IN ACCORDANCE WITH PART H5P1 OF CURRENT N.C.C.
2. (a) A CONTINUOUS BARRIER MUST BE PROVIDED ALONG THE SIDE OF -(i) ANY ROOF TO WHICH GENERAL ACCESS IS PROVIDED; AND (ii) ANY STAIRWAY OR RAMP; AND (iii) A FLOOR, CORRIDOR, HALLWAY, DECK, VERANDAH, MEZZANINE OR THE LIKE; AND (iv) ANY DELINEATED PATH OF ACCESS TO A BUILDING (b) THE REQUIREMENTS OF (a) DO NOT APPLY TO -(i) AREAS REFERRED TO IN H5D2; OR (ii) A RETAINING WALL, UNLESS THE RETAINING WALL FORMS PART OF, OR IS DIRECTLY ASSOCIATED WITH A DELINEATED PATH OF ACCESS TO A BUILDING FROM THE ROAD, OR A DELINEATED PATH OF ACCESS BETWEEN BUILDINGS; OR (iii) A BARRIER PROVIDED TO AN OPENABLE WINDOW COVERED BY H5D2 (a) THE HEIGHT OF A BARRIER REQUIRED BY H5D3 MUST BE IN ACCORDANCE WITH THE FOLLOWING: (i) THE HEIGHT MUST NOT BE LESS THAN 865mm ABOVE THE NOSINGS OF THE STAIR TREADS OR THE FLOOR OF A RAMP. (ii) THE HEIGHT MUST NOT BE LESS THAN -(A) 1m ABOVE THE FLOOR OF ANY ACCESS PATH, BALCONY, LANDING OR THE LIKE; OR (B) 865mm ABOVE THE FLOOR OF A LANDING TO A STAIR WHERE THE BARRIER IS PROVIDED ALONG THE INSIDE EDGE OF THE LANDING AND DOES NOT EXCEED A LENGTH OF 500mm (b) OPENINGS IN BARRIERS MUST NOT EXCEED 125mm (c) A BARRIER, EXCEPT A WINDOW SERVING AS A BARRIER, MUST BE DESIGNED TO TAKE LOADING FORCES IN ACCORDANCE WITH AS/NZS 1170.1 (d) FOR FLOORS MORE THAN 4m ABOVE THE SURFACE BENEATH, ANY HORIZONTAL ELEMENTS WITHIN THE BARRIER BETWEEN 150mm AND 760mm ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING. (f) WHERE WIRE BALUSTRAUDING IS USED IT MUST COMPLY WITH PART H5D3.
4. (a) HANDRAILS TO A STAIRWAY OR RAMP MUST -(i) BE LOCATED ALONG AT LEAST 1 SIDE OF THE FLIGHT OR RAMP; AND (ii) BE LOCATED ALONG THE FULL LENGTH OF THE FLIGHT OR RAMP, EXCEPT WHERE IT MEETS A BARRIER (iii) HAVE A TOP SURFACE HANDRAIL HEIGHT OF NOT LESS THAN 865mm VERTICALLY ABOVE THE NOSING OF THE STAIRS.
5. (a) A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION, IF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2m OR MORE ABOVE THE SURFACE BENEATH. (b) WHERE THE LOWEST LEVEL OF THE WINDOW OPENING IS LESS THAN 1.7m ABOVE THE FLOOR, A WINDOW OPENING COVERED BY (a) MUST COMPLY WITH THE FOLLOWING: (i) THE OPENABLE PORTION OF THE WINDOW MUST BE PROTECTED WITH -(a) A DEVICE CAPABLE OF RESTRICTING THE WINDOW OPENINGS; OR (b) A SCREEN WITH SECURE FITTINGS (ii) A DEVISE OR SCREEN REQUIRED BY (i) MUST -(A) NOT PERMIT A 125mm SPHERE TO PASS THROUGH THE WINDOW OPENING OR SCREEN; AND (B) RESIST AN OUTWARD HORIZONTAL ACTION OF 250N AGAINST THE -(aa) WINDOW RESTRAINED BY A DEVICE; OR (bb) SCREEN PROTECTING THE OPENING; AND (c) HAVE A CHILD RESISTANT RELEASE MECHANISM IF THE SCREEN OR DEVICE IS ABLE TO BE REMOVED, UNLOCKED OR OVERRIDDEN.

ROOM HEIGHTS:

1. IN ACCORDANCE WITH PART H4D4 OF CURRENT N.C.C.
2. CEILING HEIGHTS MUST NOT BE LESS THAN: (a) IN A HABITABLE ROOM EXCLUDING A KITCHEN - 2.4m (b) IN A KITCHEN - 2.1m (c) IN A CORRIDOR, PASSAGEWAY OR THE LIKE - 2.1m (d) IN A BATHROOM, LAUNDRY, WC, PANTRY, STOREROOM, GARAGE OR THE LIKE - 2.1m (e) IN A ROOM WITH A SLOPING CEILING OR PROJECTIONS BELOW THE CEILING LINE WITHIN: (i) A HABITABLE ROOM -(A) IN AN ATTIC - NOT LESS THAN 2.2m FOR AT LEAST 2/3 OF THE FLOOR AREA OF THE ROOM (B) IN OTHER ROOMS - NOT LESS THAN 2.4m OVER 2/3 OF THE FLOOR AREA OF THE ROOM (ii) A NON-HABITABLE ROOM - NOT LESS THAN 2.1m FOR AT LEAST 2/3 OF THE ROOM AREA (f) IN A STAIRWAY, RAMP OR LANDING - 2.0m MEASURE VERTICALLY ABOVE THE NOSING OR SURFACE.

PLEASE READ CAREFULLY

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FINAL PLAN: ANY REQUESTED VARIATIONS TO YOUR HOUSE PLAN WILL INCUR AN AMENDMENT / ADMINISTRATION MINIMUM FEE



Sorell Council

Development Application: 5.2025.346.1 -
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AIR MOVEMENT:

1. IN ACCORDANCE WITH PART H4V3 OF CURRENT N.C.C.

BUSHFIRE PRONE AREAS:

1. IN ACCORDANCE WITH PART H7D4 OF CURRENT N.C.C AND AS3959-2018.
2. AN ASSESSMENT TO DETERMINE THE BAL RATING MUST BE UNDERTAKEN AND ANY REQUIREMENTS FROM THE SUBSEQUENT BAL LEVEL MUST BE APPLIED.
3. A CLASS 1 BUILDING WITHIN A DESIGNATED BUSHFIRE PRONE AREA MUST BE IN ACCORDANCE WITH TAS 3.7.4.1 VEHICULAR ACCESS AND TAS 3.7.4.2 WATER SUPPLY.

VENTILATION:

1. IN ACCORDANCE WITH PART H4P5 OF CURRENT N.C.C.
2. AN EXHAUST FAN OR OTHERS MEANS OF MECHANICAL VENTILATION MAY BE USED TO VENTILATE A SANITARY COMPARTMENT, LAUNDRY OR BATHROOM PROVIDED CONTAMINATED AIR EXHAUSTS-(i) DIRECTLY OUTSIDE THE BUILDING BY WAY OF DUCTS; OR (ii) INTO A ROOF SPACE-(A) IS ADEQUATLY VENTILATED BY OPEN EAVES, AND/OR ROOF VENTS (B) IS COVERED BY ROOF TILES WITHOUT SARKING.
3. SANITARY COMPARTMENTS MUST NOT OPEN DIRECTLY INTO A KITCHEN OR PANTRY UNLESS-(a) ACCESS IS BY AN AIRLOCK, HALLWAY OR OTHER ROOM (b) THE ROOM CONTAINING THE CLOSET PAN IS PROVIDED WITH MECHANICAL EXHAUST.

SOUND INSULATION:

1. IN ACCORDANCE WITH PART H4P6 OF CURRENT N.C.C.

FACILITIES:

1. IN ACCORDANCE WITH PART H4D5 OF CURRENT N.C.C
2. THE DOOR TO A SANITARY CLOSED COMPARTMENT MUST -(a) OPEN OUTWARDS OR (b) SLIDE OR (c) BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT UNLESS THERE IS A CLEAR SPACE OF 1.2m BETWEEN THE PAN AND THE DOORWAY.

P2 28.01.2026 REVISED PLANNING ISSUE
P1 11.12.2025 PRELIMINARY ISSUE
REV DATE REMARK

LYNE DESIGN

BUILDING DESIGN/ DRAFTING - BUSHFIRE MANAGEMENT
DAVID LYNE ACCREDITED DESIGNER: CC7063
11 GRANVILLE AVENUE
GEILSTON BAY, TASMANIA 7015
MOBILE: 0421 852 987 david@lynedesign.com.au

PROJECT
154 CARLTON RIVER ROAD
CARLTON, TAS 7173

NOTES SHEET

Accepted LYNETTE GASSON (Client 1)	Date
Accepted N/A (Client 2)	Date
Approved N/A (Builder)	Date

This document must be signed

SCALES @ A3	DESIGNED BY	DRAWN BY
N/A	D. LYNE	D. LYNE

PLOT DATE 28/01/2026
DO NOT SCALE: Use only figured dimensions. Locations of structure, fittings, services etc on this drawing are indicative only. CONTRACTOR to check all other project drawings for co-ordination between structure, fabric, fixtures, fittings, services etc. CONTRACTOR to site check all dimensions and exact locations of all items, no responsibility shall be taken for dimensional information scaled or digitally derived from this document.

PLOT DETAILS CARLTON RIVER ROAD.DWG

PROJECT NO. 1755/25

DWG NO. B02 REVISION P2

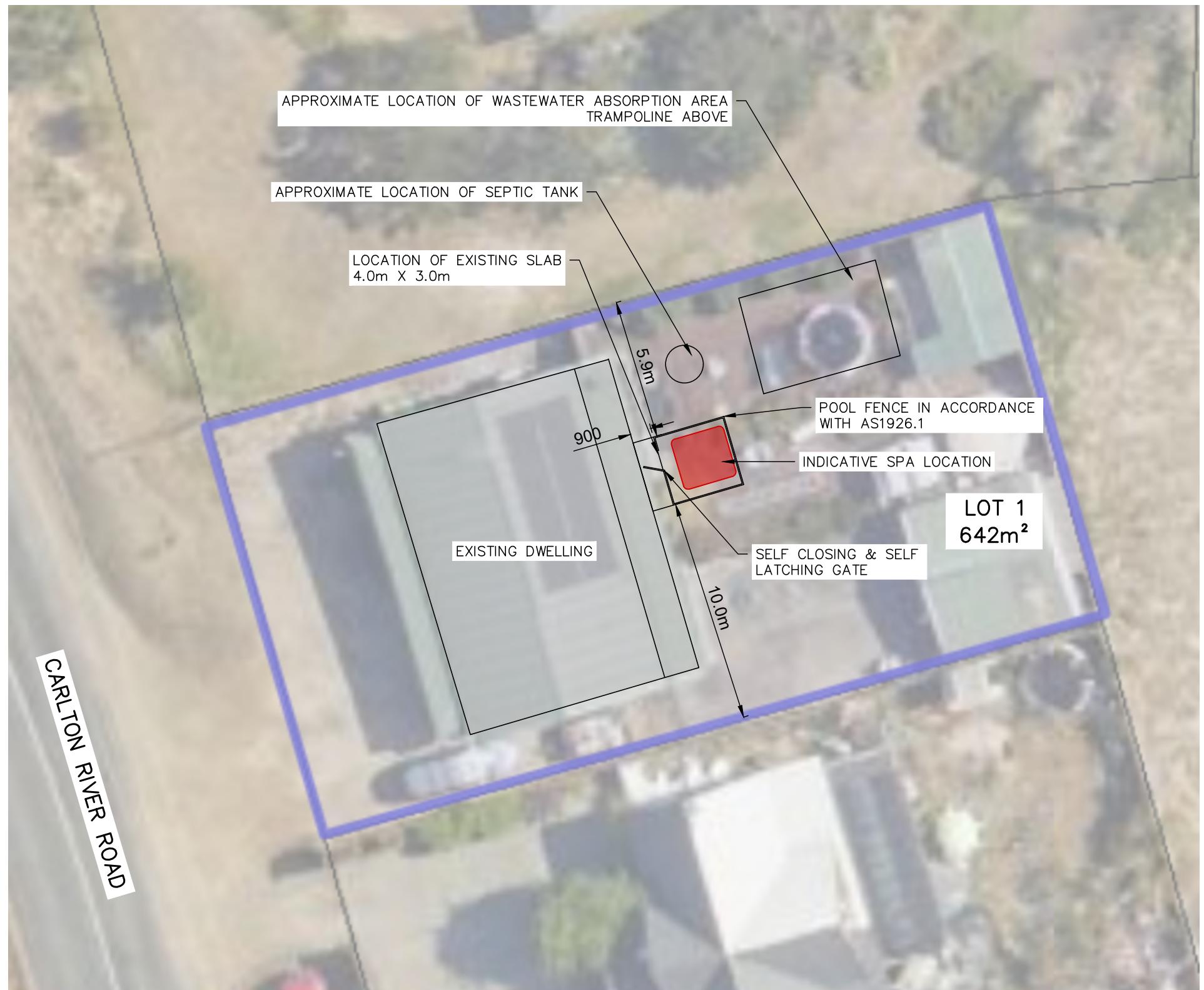
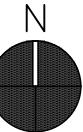
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NOTES:

- SPA POOL TO SIT ON EXISTING CONCRETE SLAB
- POOL REQUIREMENTS IN ACCORDANCE WITH AS1926.2.2012: THERE MUST BE AN APPROPRIATE WARNING SIGN INCLUDING DETAILS OF RESUSCITATION CPR TECHNIQUES, IN THE IMMEDIATE VICINITY OF THE POOL AREA, WHICH CAN BE EASILY READ FROM A DISTANCE OF 3M
- POOL BARRIER TO AS1926.1
- POOL FENCE TO BE DESIGNED TO SUIT SITE WIND SPEEDS (AS/NZ 1170.0-2021).
- POOL FENCE TO BE A MINIMUM OF 1200MM HIGH WITH NO STEPS, RETAINING WALLS, OBJECTS OF LEVEL CHANGES THAT REDUCE THE HEIGHT OF THE BARRIER WITHIN 500MM OF BARRIER
- GATES TO OPEN OUTWARDS & BE SELF-CLOSING & SELF-LATCHING TO AS1926.1-2012

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Sorell Council
 Development Application: 5.2025.346.1 -
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SITE PLAN

SCALE: 1:200

NOT FOR CONSTRUCTION

P2 28.01.2026 REVISED PLANNING ISSUE
 P1 11.12.2025 PRELIMINARY ISSUE
 REV DATE REMARK

LYNE DESIGN

BUILDING DESIGN/ DRAFTING - BUSHFIRE MANAGEMENT
 DAVID LYNE ACCREDITED DESIGNER: CC7063
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 GEILSTON BAY, TASMANIA 7015
 MOBILE: 0421 852 987 david@lynedesign.com.au

PROJECT
 154 CARLTON RIVER ROAD
 CARLTON, TAS 7173

TITLE
SITE PLAN

Accepted	LYNETTE GASSON	Date
(Client 1)		
Accepted	N/A	Date
(Client 2)		
Approved	N/A	Date
(Builder)		

This document must be signed

SCALES @ A3	DESIGNED BY	DRAWN BY
1:200	D.LYNE	D.LYNE
	PLOT DATE	28/01/2026

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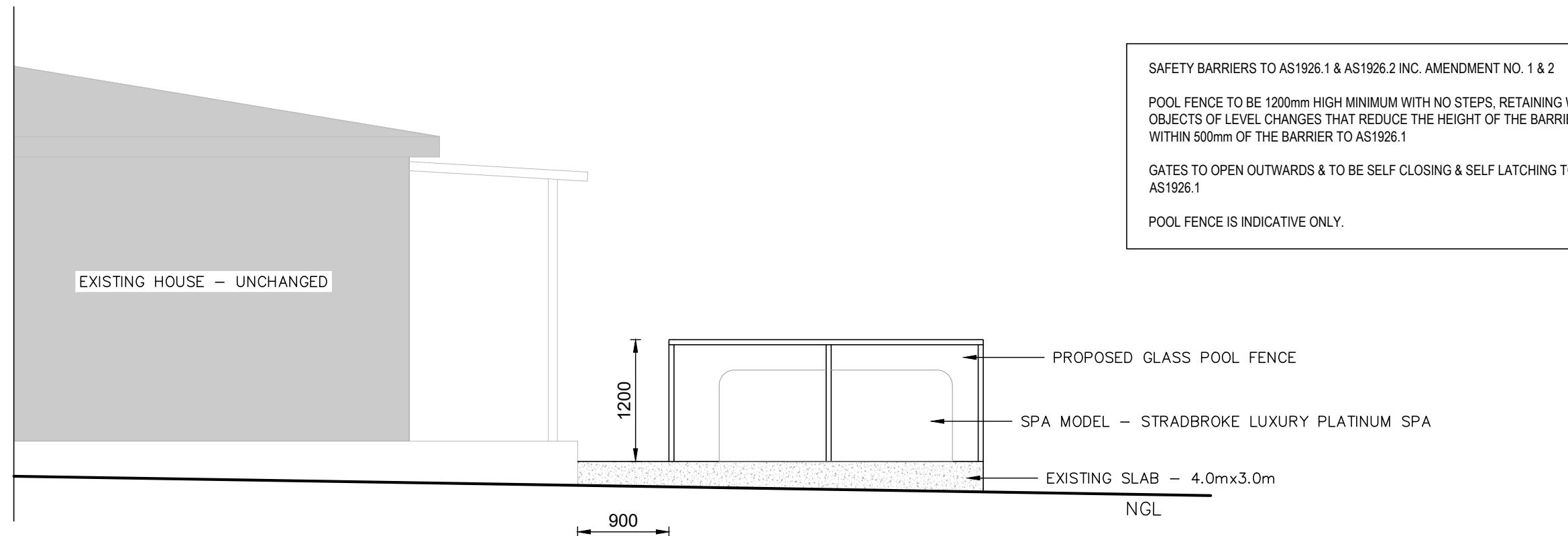
PLOT DETAILS CARLTON RIVER ROAD.DWG

PROJECT NO. 1755/25

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SOUTHERN ELEVATION

SCALE: 1:50

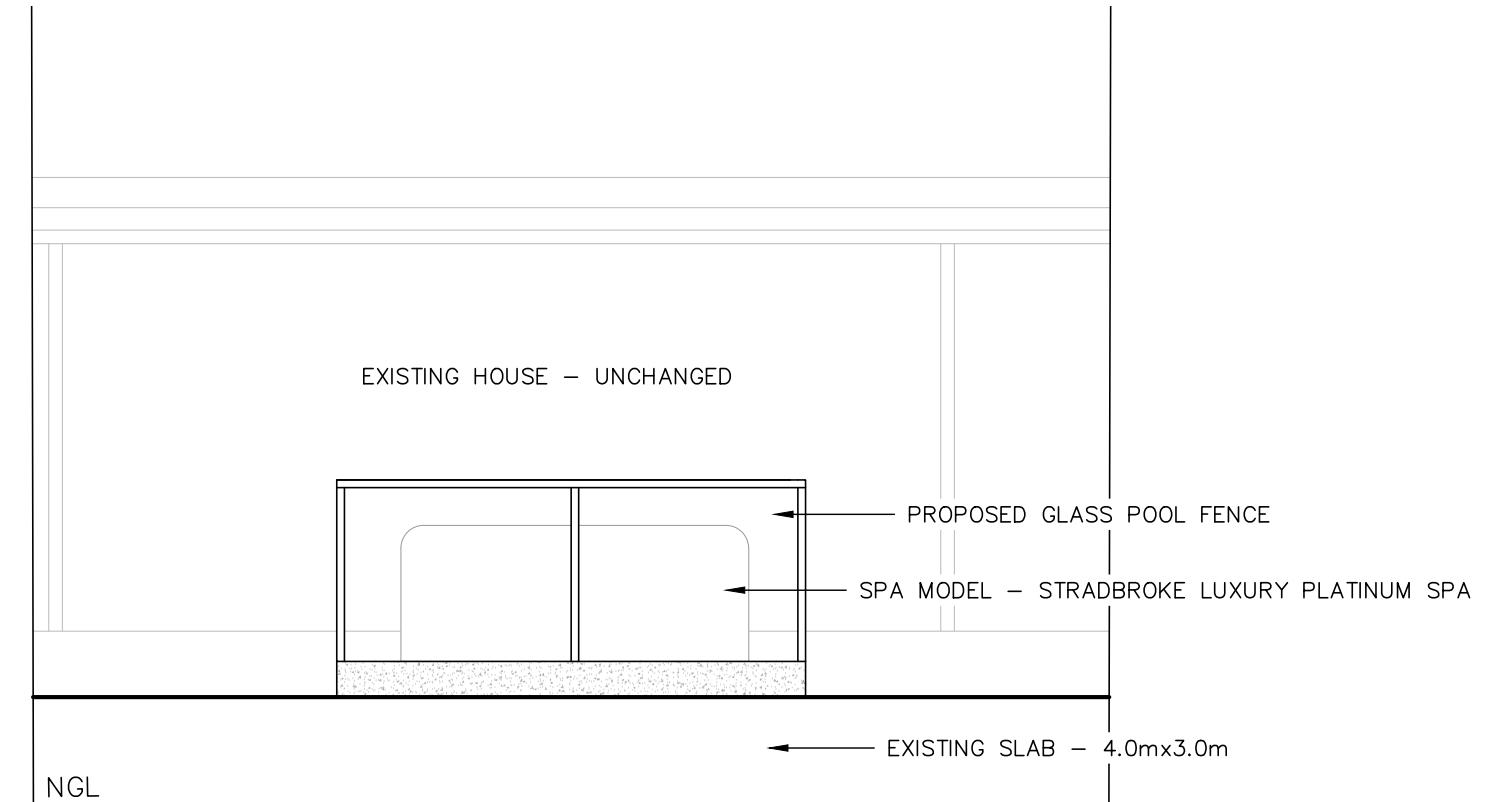
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 REV DATE REMARK

LYNE DESIGN

BUILDING DESIGN/ DRAFTING - BUSHFIRE MANAGEMENT
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PROJECT
 154 CARLTON RIVER ROAD
 CARLTON, TAS 7173

ELEVATIONS



EASTERN ELEVATION

SCALE: 1:50



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