

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE:

154 CARLTON RIVER ROAD, CARLTON

PROPOSED DEVELOPMENT:

SPA AND POOL FENCING

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Tuesday 24th February 2026**.

Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the General Manager. Representations must be received no later than **Tuesday 24th February 2026**.

APPLICATION NO: 5.2025-346.1
DATE: 06 FEBRUARY 2026



Disclaimer

Any information extracted from this document (from the face of the document or by scale) should be verified on site. Council takes no responsibility for the accuracy of any information contained or presented in the document. While every care has been taken to ensure the accuracy of this information, Council makes no representations or warranties about the accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and liability.

100 m



Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	Use:
	Development:
	<i>Large or complex proposals should be described in a letter or planning report.</i>
Design and construction cost of proposal: \$	

Is all, or some the work already constructed:	No: <input type="checkbox"/> Yes: <input type="checkbox"/>
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Location of proposed works:	Street address:
	Suburb: Postcode:
	Certificate of Title(s) Volume: Folio:

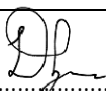
Current Use of Site
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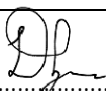
Current Owner/s:	Name(s).....
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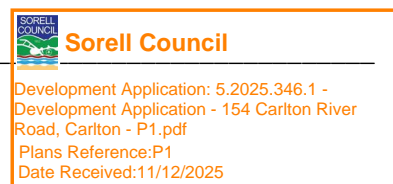
Is the Property on the Tasmanian Heritage Register?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Council or Crown land section on page 3</i>

If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form
<https://www.sorell.tas.gov.au/services/engineering/>


Sorell Council
 Development Application: 5.2025.346.1 -
 Development Application - 154 Carlton River
 Road, Carlton - P1.pdf
 Plans Reference: P1
 Date Received: 11/12/2025

Declarations and acknowledgements	
<ul style="list-style-type: none"> I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land. I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council's representatives to enter the land at any time during normal business hours. I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies. I/we declare that, in accordance with s52(1) of the <i>Land Use Planning and Approvals Act 1993</i>, that I have notified the owner(s) of the intention to make this application. I/we declare that the information in this application is true and correct. <p><i>Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council's Privacy Policy available on the Council website.</i></p>	
<ul style="list-style-type: none"> I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only. 	
<ul style="list-style-type: none"> Where the General Manager's consent is also required under s.14 of the <i>Urban Drainage Act 2013</i>, by making this application I/we also apply for that consent. 	
Applicant Signature:	<div style="text-align: center; margin-bottom: 10px;">  </div> Signature: Date:

Crown or General Manager Land Owner Consent	
<p>If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the <i>Land Use Planning and Approvals Act 1993</i>).</p> <p>Please note:</p> <ul style="list-style-type: none"> If General Manager consent is required, please first complete the General Manager consent application form available on our website www.sorell.tas.gov.au If the application involves Crown land you will also need a letter of consent. Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development. 	
<p>I _____ being responsible for the administration of land at _____ declare that I have given permission for the making of this application for _____</p>	
Signature of General Manager, Minister or Delegate:	<div style="text-align: center; margin-bottom: 10px;">  </div> Signature: Date:



SEARCH OF TORRENS TITLE

VOLUME 6952	FOLIO 1
EDITION 3	DATE OF ISSUE 30-Sept-2008

SEARCH DATE : 11-Dec-2025

SEARCH TIME : 11.52 am

DESCRIPTION OF LAND

Parish of FORCETT, Land District of PEMBROKE

Lot 1 on Sealed Plan 6952

Derivation : Portion of Lot 17409 Gtd. to W.N. Holmes.

Prior CT 3482/3

SCHEDULE 1

(B363323) M187692 LYNETTE JUNE GASSON Registered
30-Sept-2008 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP 6952 COUNCIL NOTIFICATION under Section 468(12) of the
Local Government Act 1962
B733062 MORTGAGE to National Australia Bank Limited
Registered 31-Jan-1994 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

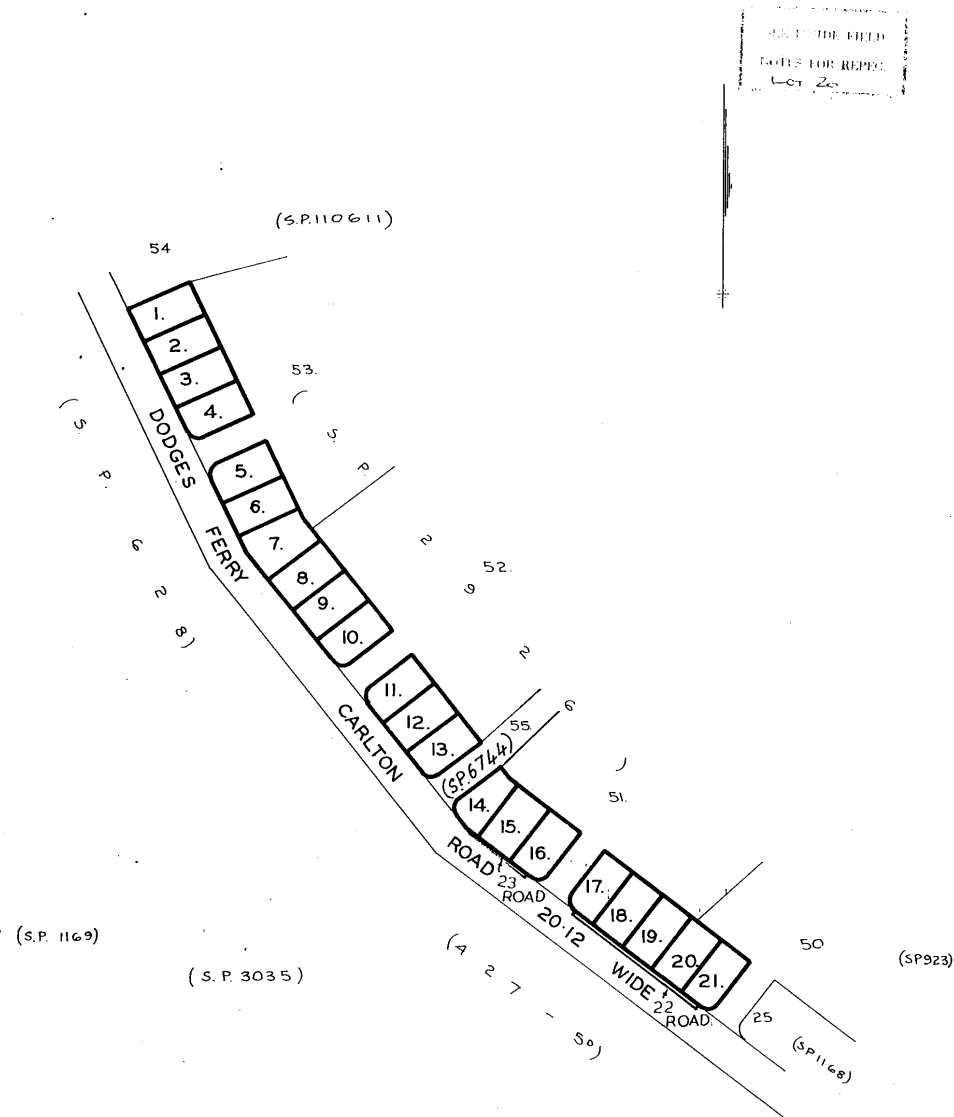
**Sorell Council**

Development Application: 5.2025.346.1 -
Development Application - 154 Carlton River
Road, Carlton - P1.pdf
Plans Reference:P1
Date Received:11/12/2025

6952 - 21 MAY 1975 S.P. 6952

Owner: Ed. Holmes J. C. Dabrowski	PLAN OF SURVEY by Surveyor G.W. Griggs of land situated in the	Registered Number: S.P. 6952
Title Reference: C.T. 3318-89	LAND DISTRICT OF PEMBROKE PARISH OF FORCETT	Effective from: 1 August 1975
Grantee: Portion Of Lot 17409, 247 ^a 2 ^b 0 ^p Gtd to William Nassau Holmes UJR FNs 22/5/75 MEMO 4/6/75	Scale 1:2000	P/A PMA apl Acting Recorder of Titles

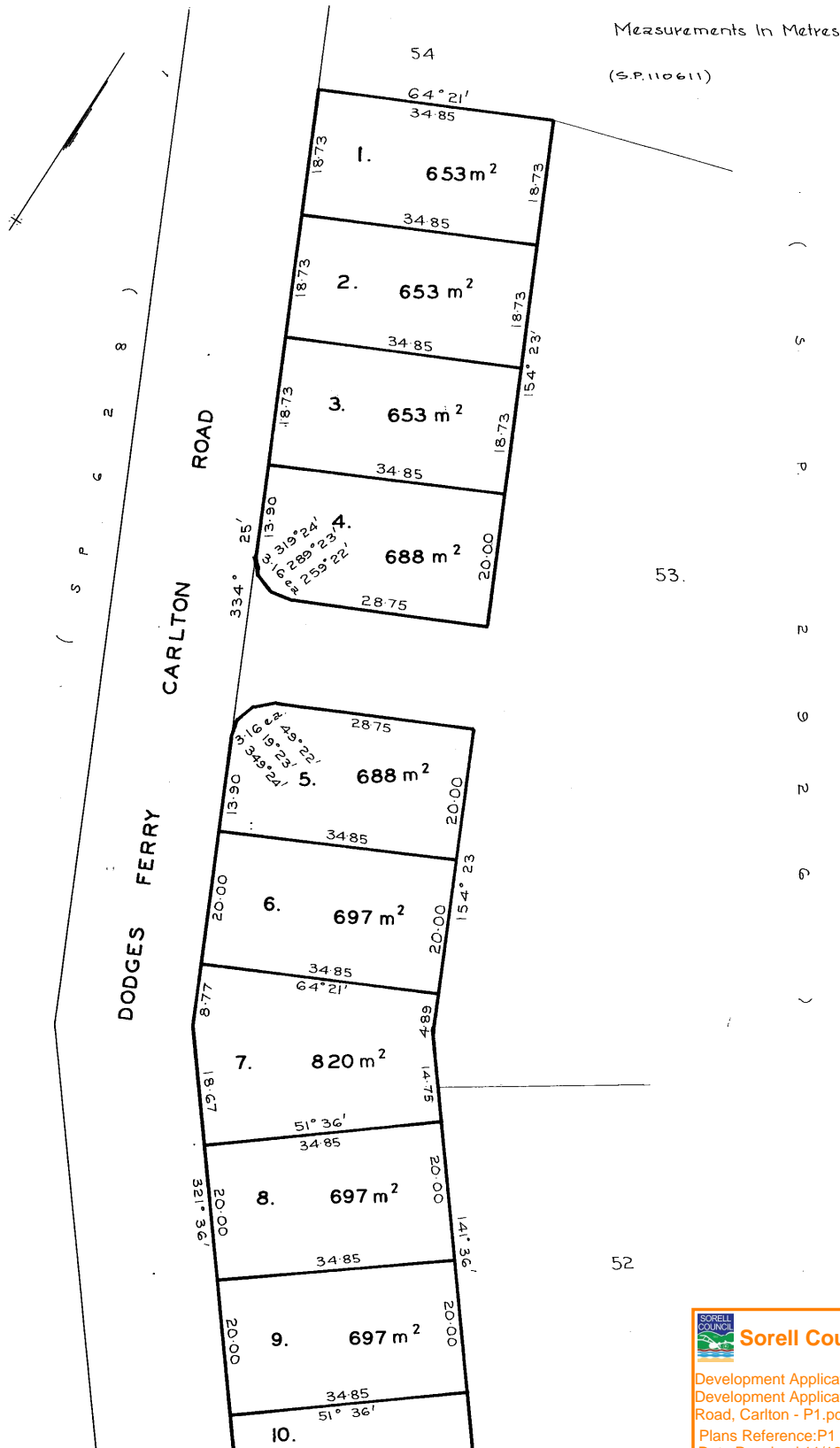
Measurements in Metres



Sorell Council

Development Application: 5.2025.346.1 -
Development Application - 154 Carlton River
Road, Carlton - P1.pdf
Plans Reference: P1
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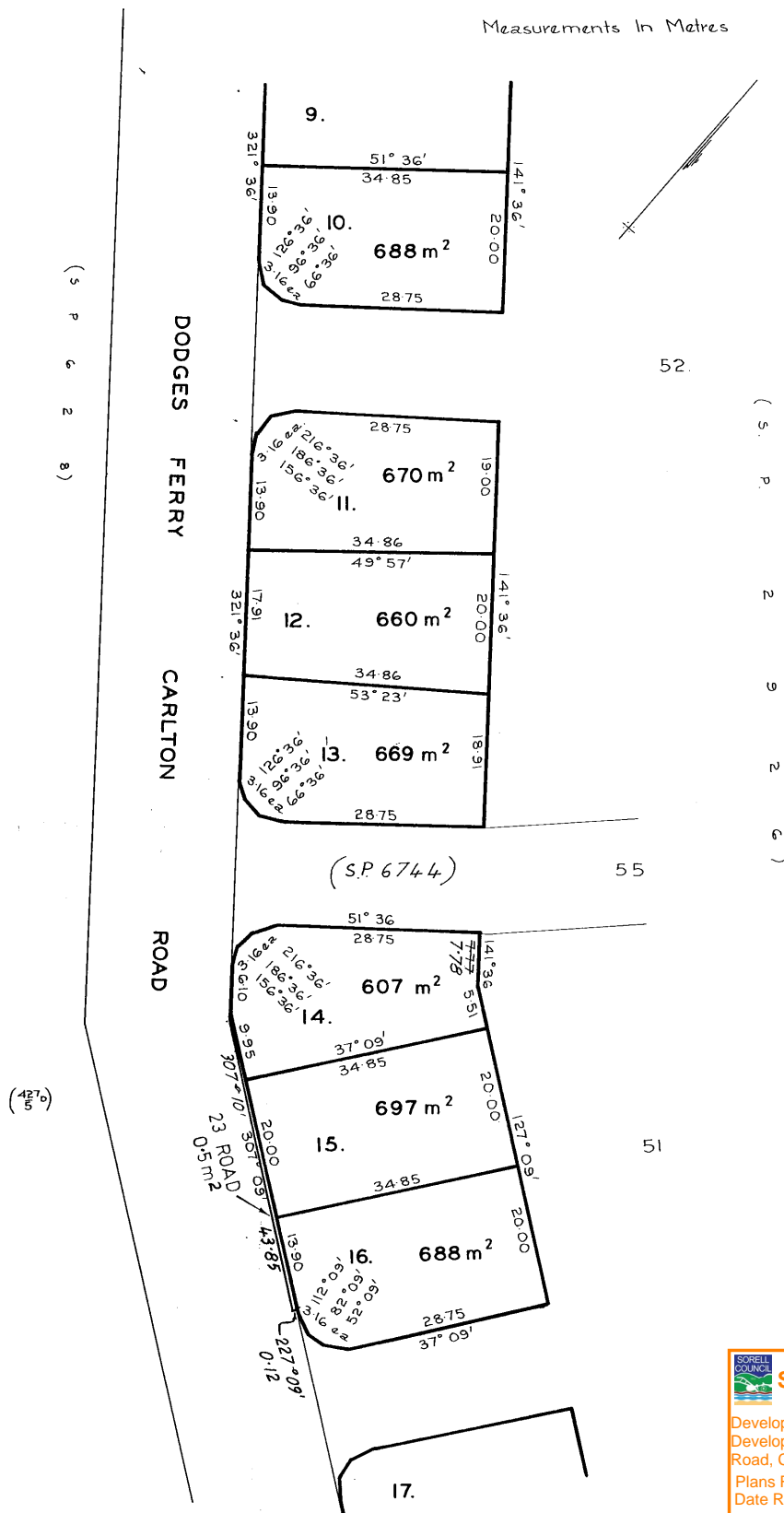
<p>ANNEXURE SHEET No. 1 (of 3 annexures) to plan by Surveyor G.W. Griggs</p>	<p>This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated 30.04.77 and that certificate extends to the detail shown on this sheet.</p>	<p>Registered Number: S.P6952</p>
<p>Signed for the purposes of identification Council Clerk <i>[Signature]</i></p>	<p>Surveyor <i>[Signature]</i> Owner: E.L. Holmes Title Reference: CT. 3318-89</p>	<p>Scale 1:500</p>



Sorell Council

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<p align="center">ANNEXURE SHEET No. 2</p> <p>(of 3 annexures) to plan by Surveyor G.W. Griggs</p> <hr/> <p>Signed for the purposes of identification</p> <hr/> <p>Council Clerk <i>[Signature]</i></p>	<p>This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated <i>50-8-77</i> and that certificate extends to the detail shown on this sheet.</p>	<p align="center">Registered Number: S.P6952</p> <p align="right">Scale 1:500</p>
	<p>Surveyor <i>[Signature]</i></p> <hr/> <p>Owner: E. K. Holmes</p> <p>Title Reference: CT 3318-89</p>	

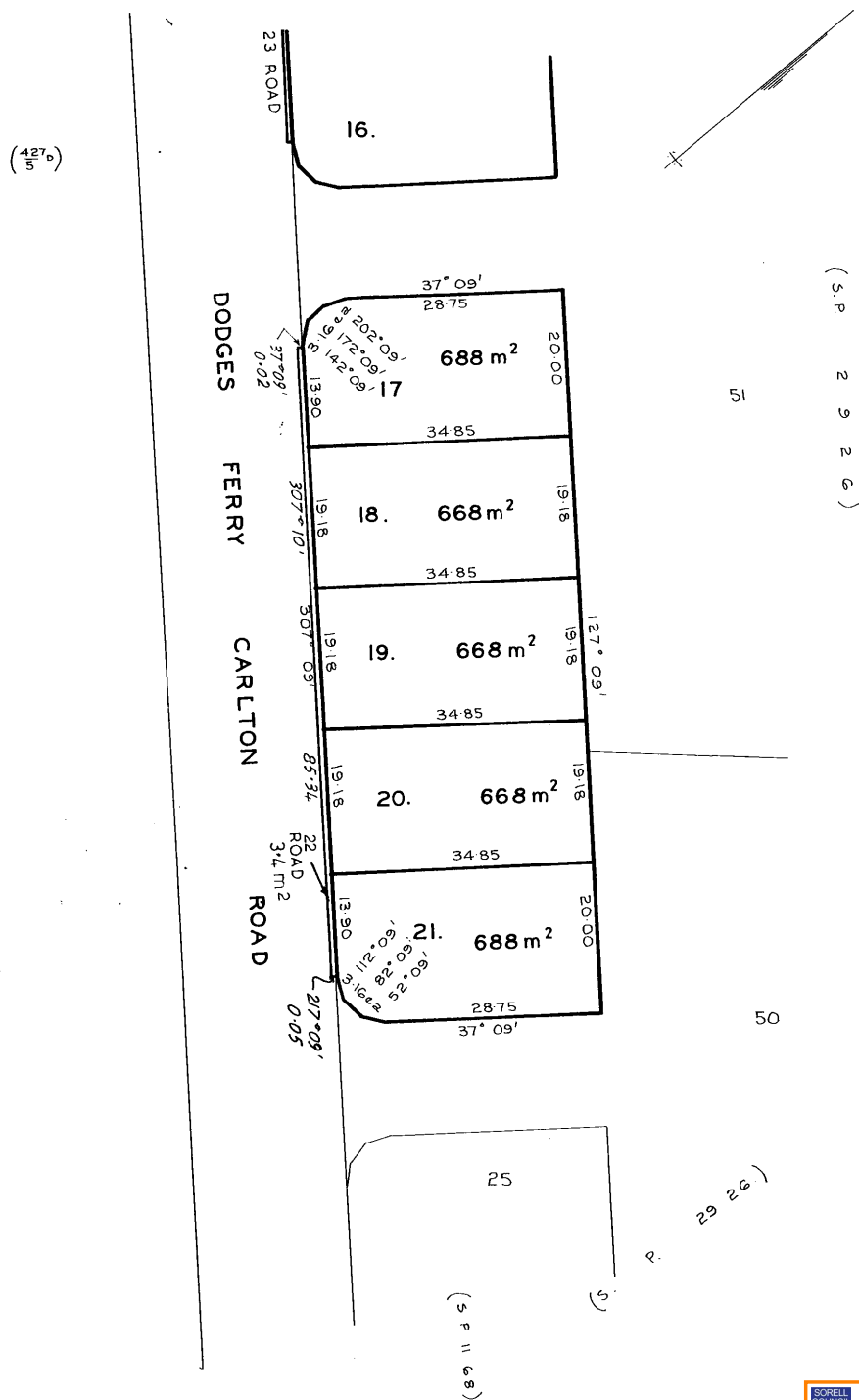


Sorell Council

Development Application: 5.2025.346.1 -
Development Application - 154 Carlton River
Road, Carlton - P1.pdf
Plans Reference:P1
Date Received:11/12/2025

<p>ANNEXURE SHEET No. 3 (of 3 annexures) to plan by Surveyor G. W. Griggs</p> <p>Signed for the purposes of identification</p> <p>Council Clerk <i>M. Stewart</i></p>	<p>This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated 27-12-2025 and that certificate extends to the detail shown on this sheet.</p> <p>Surveyor <i>[Signature]</i></p> <p>Owner: E.L. Holmes</p> <p>Title Reference: C.T. 3318-89</p>	<p>Registered Number: S.P6952</p> <p>Scale 1:500</p>

Measurements In Metres



Sorell Council

Development Application: 5.2025.346.1 -
Development Application - 154 Carlton River
Road, Carlton - P1.pdf
Plans Reference: P1
Date Received: 11/12/2025

PLANNING - NEW SPA & POOL FENCING

154 CARLTON RIVER ROAD
CARLTON, TASMANIA, 7173
LYNETTE GASSON

REV P2 - ISSUED FOR PLANNING APPROVAL 28.01.2026

GENERAL INFORMATION:

DESIGNER: DAVID LYNE CC7063
CLIENT: LYNETTE GASSON
JOB NUMBER: 1755/25
CLASSIFICATION: 10B
TITLE REFERENCE: 6952/1
DESIGN WIND SPEED: 'N3'
SOIL CLASSIFICATION: N/A
CLIMATE ZONE: 7
BAL: N/A
LOT SIZE: 642m²

DRAWING REGISTER:

B00	COVER SHEET	N/A
B01	NOTES SHEET 1	N/A
B02	NOTES SHEET 2	N/A
B03	SITE PLAN	1:200
B04	ELEVATIONS	1:100

GENERAL NOTES:

- CHECK ALL DIMENSIONS, BOUNDARIES, EASEMENTS AND SERVICE LOCATIONS ON SITE.
- ALL WORK SHALL COMPLY WITH THE TASMANIAN BUILDING REGULATIONS 2016, AND RELEVANT CURRENT AUSTRALIAN STANDARDS.
- CHECK CAREFULLY ALL ASPECTS OF THESE DOCUMENTS BEFORE COMMENCING WORK.
- ANY ERRORS OR ANOMALIES TO BE REPORTED TO THE DRAWER BEFORE WORK IS CONTINUED.
- CONFIRM ALL SIZES AND HEIGHTS ON SITE. DO NOT SCALE OFF PLAN.
- ALL FRAMING TO COMPLY WITH AS 1684 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION. NOTE: ALL TIMBER SIZES SPECIFIED ARE MINIMUM REQUIREMENT ONLY.
- SUBSTITUTES MAY BE USED AS LONG AS VERIFICATION OF EQUAL PERFORMANCE IS OBTAINED.
- ALL CONSTRUCTION IS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT AUSTRALIAN STANDARDS.
- WIND LOADS DETERMINED IN ACCORDANCE WITH AS 4055 WIND LOADS FOR HOUSING.
- THESE DOCUMENTS TO BE USED WITH THE DESIGNERS SPECIFICATIONS, SOIL TESTS AND ALL DOCUMENTATION PREPARED BY AN ENGINEER.
- THESE DOCUMENTS ARE INTENDED FOR COUNCIL APPLICATIONS AND NORMAL CONSTRUCTION.
- THIS DESIGN IS COVERED UNDER COPYRIGHT AND ANY CHANGES MUST BE CONFIRMED WITH THE DESIGNER, THE DESIGNER RETAINS ALL INTELLECTUAL PROPERTY.

PLEASE READ CAREFULLY

THIS PLAN CERTIFIED CORRECT IS THE ONE REFERRED TO IN THE BUILDING CONTRACT AND I UNDERSTAND CHANGES HEREAFTER MAY NOT BE POSSIBLE.
FINAL PLAN : ANY REQUESTED VARIATIONS TO YOUR HOUSE PLAN WILL INCUR AN AMENDMENT / ADMINISTRATION MINIMUM FEE

P2	28.01.2026	REVISED PLANNING ISSUE
P1	11.12.2025	PRELIMINARY ISSUE
REV	DATE	REMARK

LYNE DESIGN

BUILDING DESIGN/ DRAFTING - BUSHFIRE MANAGEMENT
DAVID LYNE ACCREDITED DESIGNER: CC7063
11 GRANVILLE AVENUE
GEILSTON BAY, TASMANIA 7015
MOBILE: 0421 852 987 david@lynedesign.com.au

PROJECT
154 CARLTON RIVER ROAD
CARLTON, TAS 7173

TITLE
COVER SHEET

Accepted LYNETTE GASSON (Client 1)	Date
Accepted N/A (Client 2)	Date
Approved N/A (Builder)	Date

This document must be signed

SCALES @ A3	DESIGNED BY	DRAWN BY
N/A	D.LYNE	D.LYNE
	PLOT DATE	28/01/2026


DO NOT SCALE. Use only figured dimensions. Locations of structure, fittings, services etc on this drawing are indicative only. CONTRACTOR to check all other project drawings for co-ordination between structure, fabric, fixtures, fittings, services etc. CONTRACTOR to site check all dimensions and exact locations of all items. no responsibility shall be taken for dimensional information scaled or digitally derived from this document.

PLOT DETAILS CARLTON RIVER ROAD.DWG

PROJECT NO. 1755/25

DWG NO. B00	REVISION P2
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Sorell Council
Development Application: 5.2025.346.1 -
Response to Request For Information - 154
Carlton River Road, Carlton - P2.pdf
Plans Reference: P2
Date received: 28/01/2026

NOT FOR CONSTRUCTION

STAIR CONSTRUCTION:

1.
- IN ACCORDANCE WITH PART H5D1 OF CURRENT N.C.C.
2.
- STAIRS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOW: (a) EACH FLIGHT MUST HAVE NOT MORE THAN 18 NOR LESS THAN 2 RISERS. (b) THE NOMINAL DIMENSION OF GOINGS AND RISERS OF A STAIR MUST BE CONSTANT THROUGHOUT EACH STAIR (c) TREADS MUST BE SOLID CONSTRUCTION IF THE STAIRWAY IS MORE THAN 10m HIGH OR 3 STOREYS. (d) A FLIGHT OF STAIRS MUST NOT HAVE MORE THAN 3 WINDERS (e) THE RISERS MUST NOT ALLOW A 125mm SPHERE TO PASS THROUGH BETWEEN THE TREADS (f) TREADS & NOSINGS MUST HAVE-(i) A SURFACE WITH A SLIP-RESISTANCE CLASSIFICATION NOT LESS THAN THAT LISTED IN TABLE UNDER H5D2 WHEN TESTED IN ACCORDANCE WITH AS4586

BARRIERS AND HANDRAILS:

1.
- IN ACCORDANCE WITH PART H5P1 OF CURRENT N.C.C.
2.
- (a) A CONTINUOUS BARRIER MUST BE PROVIDED ALONG THE SIDE OF -(i) ANY ROOF TO WHICH GENERAL ACCESS IS PROVIDED; AND (ii) ANY STAIRWAY OR RAMP; AND (iii) A FLOOR, CORRIDOR, HALLWAY, DECK, VERANDAH, MEZZANINE OR THE LIKE; AND (iv) ANY DELINEATED PATH OF ACCESS TO A BUILDING (b) THE REQUIREMENTS OF (a) DO NOT APPLY TO -(i) AREAS REFERRED TO IN H5D2; OR (ii) A RETAINING WALL, UNLESS THE RETAINING WALL FORMS PART OF, OR IS DIRECTLY ASSOCIATED WITH A DELINEATED PATH OF ACCESS TO A BUILDING FROM THE ROAD, OR A DELINEATED PATH OF ACCESS BETWEEN BUILDINGS; OR (iii) A BARRIER PROVIDED TO AN OPENABLE WINDOW COVERED BY H5D2
3.
- (a) THE HEIGHT OF A BARRIER REQUIRED BY H5D3 MUST BE IN ACCORDANCE WITH THE FOLLOWING: (i) THE HEIGHT MUST NOT BE LESS THAN 865mm ABOVE THE NOSINGS OF THE STAIR TREADS OR THE FLOOR OF A RAMP. (ii) THE HEIGHT MUST NOT BE LESS THAN -(A) 1m ABOVE THE FLOOR OF ANY ACCESS PATH, BALCONY, LANDING OR THE LIKE; OR (B) 865mm ABOVE THE FLOOR OF A LANDING TO A STAIR WHERE THE BARRIER IS PROVIDED ALONG THE INSIDE EDGE OF THE LANDING AND DOES NOT EXCEED A LENGTH OF 500mm (b) OPENINGS IN BARRIERS MUST NOT EXCEED 125mm (c) A BARRIER, EXCEPT A WINDOW SERVING AS A BARRIER, MUST BE DESIGNED TO TAKE LOADING FORCES IN ACCORDANCE WITH AS/NZS 1170.1 (d) FOR FLOORS MORE THAN 4m ABOVE THE SURFACE BENEATH, ANY HORIZONTAL ELEMENTS WITHIN THE BARRIER BETWEEN 150mm AND 760mm ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING. (f) WHERE WIRE BALUSTRAUDING IS USED IT MUST COMPLY WITH PART H5D3.
4.
- (a) HANDRAILS TO A STAIRWAY OR RAMP MUST -(i) BE LOCATED ALONG AT LEAST 1 SIDE OF THE FLIGHT OR RAMP; AND (ii) BE LOCATED ALONG THE FULL LENGTH OF THE FLIGHT OR RAMP, EXCEPT WHERE IT MEETS A BARRIER (iii) HAVE A TOP SURFACE HANDRAIL HEIGHT OF NOT LESS THAN 865mm VERTICALLY ABOVE THE NOSING OF THE STAIRS.
5.
- (a) A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION, IF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2m OR MORE ABOVE THE SURFACE BENEATH. (b) WHERE THE LOWEST LEVEL OF THE WINDOW OPENING IS LESS THAN 1.7m ABOVE THE FLOOR, A WINDOW OPENING COVERED BY (a) MUST COMPLY WITH THE FOLLOWING: (i) THE OPENABLE PORTION OF THE WINDOW MUST BE PROTECTED WITH -(A) A DEVICE CAPABLE OF RESTRICTING THE WINDOW OPENINGS; OR (B) A SCREEN WITH SECURE FITTINGS (ii) A DEVISE OR SCREEN REQUIRED BY (i) MUST -(A) NOT PERMIT A 125mm SPHERE TO PASS THROUGH THE WINDOW OPENING OR SCREEN; AND (B) RESIST AN OUTWARD HORIZONTAL ACTION OF 250N AGAINST THE -(aa) WINDOW RESTRAINED BY A DEVICE; OR (bb) SCREEN PROTECTING THE OPENING; AND (C) HAVE A CHILD RESISTANT RELEASE MECHANISM IF THE SCREEN OR DEVICE IS ABLE TO BE REMOVED, UNLOCKED OR OVERRIDDEN.

ROOM HEIGHTS:

1.
- IN ACCORDANCE WITH PART H4D4 OF CURRENT N.C.C.
2.
- CEILING HEIGHTS MUST NOT BE LESS THAN: (a) IN A HABITABLE ROOM EXCLUDING A KITCHEN - 2.4m (b) IN A KITCHEN - 2.1m (c) IN A CORRIDOR, PASSAGEWAY OR THE LIKE - 2.1m (d) IN A BATHROOM, LAUNDRRY,WC,PANTRY,STOREROOM,GARAGE OR THE LIKE -2.1m (e) IN A ROOM WITH A SLOPING CEILING OR PROJECTIONS BELOW THE CEILING LINE WITHIN: (i) A HABITABLE ROOM -(A) IN AN ATTIC - NOT LESS THAN 2.2m FOR AT LEAST 2/3 OF THE FLOOR AREA OF THE ROOM (B) I OTHER ROOMS - NOT LESS THAN 2.4m OVER 2/3 OF THE FLOOR AREA OF THE ROOM (ii) A NON-HABITABLE ROOM - NOT LESS THAN 2.1m FOR AT LEAST 2/3 OF THE ROOM AREA (f) IN A STAIRWAY, RAMP OR LANDING - 2.0m MEASURE VERTICALLY ABOVE THE NOSING OR SURFACE.

AIR MOVEMENT:

1.
- IN ACCORDANCE WITH PART H4V3 OF CURRENT N.C.C.

BUSHFIRE PRONE AREAS:

1.
- IN ACCORDANCE WITH PART H7D4 OF CURRENT N.C.C AND AS3959-2018.
2.
- AN ASSESSMENT TO DETERMINE THE BAL RATING MUST BE UNDERTAKEN AND ANY REQUIREMENTS FROM THE SUBSEQUENT BAL LEVEL MUST BE APPLIED.
3.
- A CLASS 1 BUILDING WITHIN A DESIGNATED BUSHFIRE PRONE AREA MUST BE IN ACCORDANCE WITH TAS 3.7.4.1 VEHICULAR ACCESS AND TAS 3.7.4.2 WATER SUPPLY.

VENTILATION:

1.
- IN ACCORDANCE WITH PART H4P5 OF CURRENT N.C.C.
2.
- AN EXHAUST FAN OR OTHERS MEANS OF MECHANICAL VENTILATION MAY BE USED TO VENTILATE A SANITARY COMPARTMENT, LAUNDRY OR BATHROOM PROVIDED CONTAMINATED AIR EXHAUSTS-(i) DIRECTLY OUTSIDE THE BUILDING BY WAY OF DUCTS; OR (ii) INTO A ROOF SPACE-(A) IS ADEQUATLY VENTILATED BY OPEN EAVES, AND/OR ROOF VENTS (B) IS COVERED BY ROOF TILES WITHOUT SARKING.
3.
- SANITARY COMPARTMENTS MUST NOT OPEN DIRECTLY INTO A KITCHEN OR PANTRY UNLESS-(a) ACCESS IS BY AN AIRLOCK, HALLWAY OR OTHER ROOM (b) THE ROOM CONTAINING THE CLOSET PAN IS PROVIDED WITH MECHANICAL EXHAUST.

SOUND INSULATION:

1.
- IN ACCORDANCE WITH PART H4P6 OF CURRENT N.C.C.

FACILITIES:

1.
- IN ACCORDANCE WITH PART H4D5 OF CURRENT N.C.C
2.
- THE DOOR TO A SANITARY CLOSED COMPARTMENT MUST -(a) OPEN OUTWARDS OR (b) SLIDE OR (c) BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT UNLESS THERE IS A CLEAR SPACE OF 1.2m BETWEEN THE PAN AND THE DOORWAY.

PLEASE READ CAREFULLY

THIS PLAN CERTIFIED CORRECT IS THE ONE REFERRED TO IN THE BUILDING CONTRACT AND I UNDERSTAND CHANGES HEREAFTER MAY NOT BE POSSIBLE.
FINAL PLAN : ANY REQUESTED VARIATIONS TO YOUR HOUSE PLAN WILL INCUR AN AMENDMENT / ADMINISTRATION MINIMUM FEE



Sorell Council

Development Application: 5.2025.346.1 -
Response to Request For Information - 154
Carlton River Road, Carlton - P2.pdf
Plans Reference: P2
Date received: 28/01/2026

P2	28.01.2026	REVISED PLANNING ISSUE
P1	11.12.2025	PRELIMINARY ISSUE
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LYNE DESIGN

BUILDING DESIGN/ DRAFTING - BUSHFIRE MANAGEMENT
DAVID LYNE ACCREDITED DESIGNER: CC7063
11 GRANVILLE AVENUE
GELLSTON BAY, TASMANIA 7015
MOBILE: 0421 852 987 david@lynedesign.com.au

PROJECT
154 CARLTON RIVER ROAD
CARLTON, TAS 7173

TITLE
NOTES SHEET

Accepted (Client 1)	LYNETTE GASSON	Date
Accepted (Client 2)	N/A	Date
Approved (Builder)	N/A	Date
This document must be signed		
SCALES @ A3	DESIGNED BY	DRAWN BY
N/A	D. LYNE	D. LYNE
	PLOT DATE	28/01/2026

DO NOT SCALE. Use only figured dimensions. Locations of structure, fittings, services etc on this drawing are indicative only. CONTRACTOR to check all other project drawings for co-ordination between structure, fabric, fixtures, fittings, services etc. CONTRACTOR to site check all dimensions and exact locations of all items. no responsibility shall be taken for dimensional information scaled or digitally derived from this document.

PLOT DETAILS CARLTON RIVER ROAD.DWG

PROJECT NO. 1755/25

DWG NO. B02	REVISION P2
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NOT FOR CONSTRUCTION

- NOTES:
- SPA POOL TO SIT ON EXISTING CONCRETE SLAB
 - POOL REQUIREMENTS IN ACCORDANCE WITH AS1926.2:2012: THERE MUST BE AN APPROPRIATE WARNING SIGN INCLUDING DETAILS OF RESUSCITATION CPR TECHNIQUES, IN THE IMMEDIATE VICINITY OF THE POOL AREA, WHICH CAN BE EASILY READ FROM A DISTANCE OF 3M
 - POOL BARRIER TO AS1926.1
 - POOL FENCE TO BE DESIGNED TO SUIT SITE WIND SPEEDS (AS/NZ 1170.0-2021).
 - POOL FENCE TO BE A MINIMUM OF 1200MM HIGH WITH NO STEPS, RETAINING WALLS, OBJECTS OF LEVEL CHANGES THAT REDUCE THE HEIGHT OF THE BARRIER WITHIN 500MM OF BARRIER
 - GATES TO OPEN OUTWARDS & BE SELF-CLOSING & SELF-LATCHING TO AS1926.1-2012

PLEASE READ CAREFULLY

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FINAL PLAN : ANY REQUESTED VARIATIONS TO YOUR HOUSE PLAN WILL INCUR AN AMENDMENT / ADMINISTRATION MINIMUM FEE



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LYNE DESIGN

BUILDING DESIGN/ DRAFTING - BUSHFIRE MANAGEMENT
DAVID LYNE
11 GRANVILLE AVENUE
GEILSTON BAY, TASMANIA 7015
MOBILE: 0421 852 987 david@lynedesign.com.au

PROJECT
154 CARLTON RIVER ROAD
CARLTON, TAS 7173

TITLE
SITE PLAN

Accepted (Client 1)	LYNETTE GASSON	Date
Accepted (Client 2)	N/A	Date
Approved (Builder)	N/A	Date

This document must be signed

SCALES @ A3	DESIGNED BY	DRAWN BY
1:200	D.LYNE	D.LYNE
	PLOT DATE	28/01/2026

DO NOT SCALE. Use only figured dimensions. Locations of structure, fittings, services etc on this drawing are indicative only. CONTRACTOR to check all other project drawings for co-ordination between structure, fabric, fixtures, fittings, services etc. CONTRACTOR to site check all dimensions and exact locations of all items. no responsibility shall be taken for dimensional information scaled or digitally derived from this document.

PLOT DETAILS CARLTON RIVER ROAD.DWG

PROJECT NO. 1755/25

DWG NO.	REVISION
B03	P2

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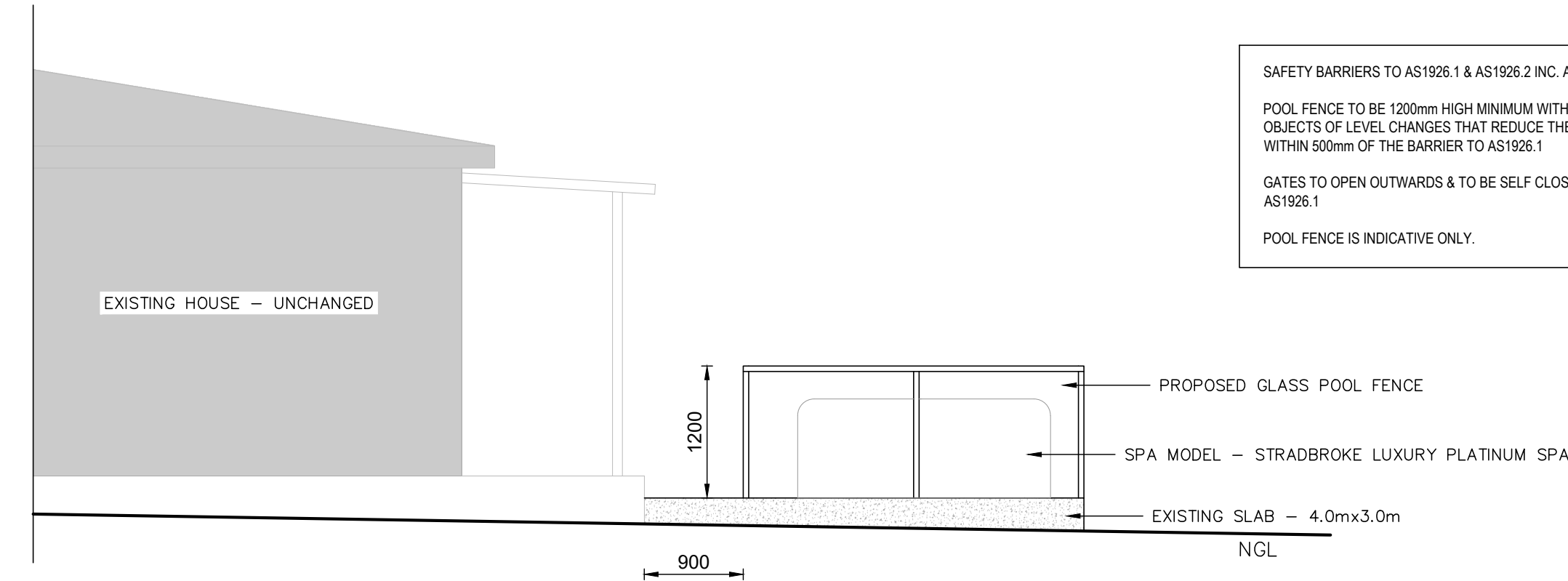
Sorell Council
Development Application: 5.2025.346.1 -
Response to Request For Information - 154
Carlton River Road, Carlton - P2.pdf
Plans Reference: P2
Date received: 28/01/2026

SITE PLAN

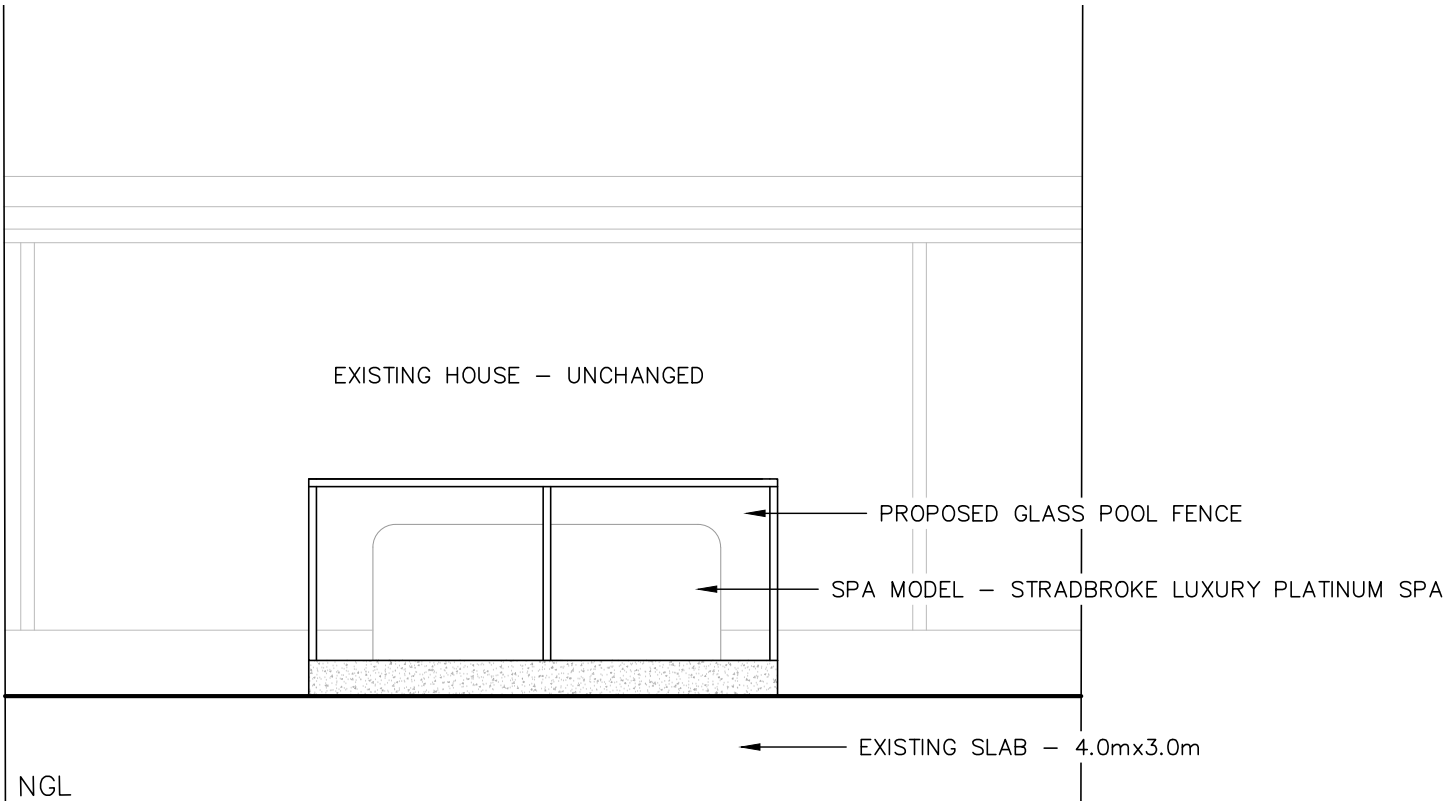
SCALE: 1:200

NOT FOR CONSTRUCTION

PLEASE READ CAREFULLY
THIS PLAN CERTIFIED CORRECT IS THE ONE REFERRED TO IN THE BUILDING CONTRACT AND I UNDERSTAND CHANGES HEREFTER MAY NOT BE POSSIBLE.
FINAL PLAN : ANY REQUESTED VARIATIONS TO YOUR HOUSE PLAN WILL INCUR AN AMENDMENT / ADMINISTRATION MINIMUM FEE



SOUTHERN ELEVATION
SCALE: 1:50



EASTERN ELEVATION
SCALE: 1:50



Sorell Council
Development Application: 5.2025.346.1 -
Response to Request For Information - 154
Carlton River Road, Carlton - P2.pdf
Plans Reference: P2
Date received: 28/01/2026

SAFETY BARRIERS TO AS1926.1 & AS1926.2 INC. AMENDMENT NO. 1 & 2

POOL FENCE TO BE 1200mm HIGH MINIMUM WITH NO STEPS, RETAINING WALLS, OBJECTS OF LEVEL CHANGES THAT REDUCE THE HEIGHT OF THE BARRIER WITHIN 500mm OF THE BARRIER TO AS1926.1

GATES TO OPEN OUTWARDS & TO BE SELF CLOSING & SELF LATCHING TO AS1926.1

POOL FENCE IS INDICATIVE ONLY.

P2	28.01.2026	REVISED PLANNING ISSUE
P1	11.12.2025	PRELIMINARY ISSUE
REV	DATE	REMARK

LYNE DESIGN

BUILDING DESIGN/ DRAFTING - BUSHFIRE MANAGEMENT
DAVID LYNE ACCREDITED DESIGNER: CC7063
11 GRANVILLE AVENUE
GEILSTON BAY, TASMANIA 7015
MOBILE: 0421 852 987 david@lynedesign.com.au

PROJECT
154 CARLTON RIVER ROAD
CARLTON, TAS 7173

TITLE
ELEVATIONS

Accepted (Client 1)	LYNETTE GASSON	Date
Accepted (Client 2)	N/A	Date
Approved (Builder)	N/A	Date

This document must be signed

SCALES @ A3	DESIGNED BY	DRAWN BY
1:50	D.LYNE	D.LYNE
	PLOT DATE	28/01/2026

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PLOT DETAILS CARLTON RIVER ROAD.DWG

PROJECT NO. 1755/25

DWG NO.	REVISION
B04	P2

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