

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE:

154 CARLTON BEACH ROAD, DODGES FERRY

PROPOSED DEVELOPMENT:

DWELLING

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Thursday 15th January 2026**.

Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the General Manager. Representations must be received no later than **Thursday 15th January 2026**.

APPLICATION NO: 5.2025-108.1
DATE: 19 DECEMBER 2025



Disclaimer

Any information extracted from this document (from the face of the document or by scale) should be verified on site. Council takes no responsibility for the accuracy of any information contained or presented in the document. While every care has been taken to ensure the accuracy of this information, Council makes no representations or warranties about the accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and liability.

20 m



Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	Use:
	Development:
	<i>Large or complex proposals should be described in a letter or planning report.</i>
Design and construction cost of proposal: \$	

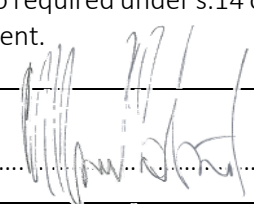
Is all, or some the work already constructed:	No: <input type="checkbox"/> Yes: <input type="checkbox"/>
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Location of proposed works:	Street address:
	Suburb: Postcode:
	Certificate of Title(s) Volume: Folio:

Current Use of Site
---------------------	-------

Current Owner/s:	Name(s).....
------------------	--------------

Is the Property on the Tasmanian Heritage Register?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Council or Crown land section on page 3</i>
If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form https://www.sorell.tas.gov.au/services/engineering/		

Declarations and acknowledgements	
<ul style="list-style-type: none"> I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land. I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council's representatives to enter the land at any time during normal business hours. I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies. I/we declare that, in accordance with s52(1) of the <i>Land Use Planning and Approvals Act 1993</i>, that I have notified the owner(s) of the intention to make this application. I/we declare that the information in this application is true and correct. <p><i>Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council's Privacy Policy available on the Council website.</i></p>	
<ul style="list-style-type: none"> I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only. 	
<ul style="list-style-type: none"> Where the General Manager's consent is also required under s.14 of the <i>Urban Drainage Act 2013</i>, by making this application I/we also apply for that consent. 	
Applicant Signature:	<div style="text-align: center;">  </div> Signature: Date:

Crown or General Manager Land Owner Consent	
<p>If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the <i>Land Use Planning and Approvals Act 1993</i>).</p>	
<p>Please note:</p> <ul style="list-style-type: none"> If General Manager consent if required, please first complete the General Manager consent application form available on our website www.sorell.tas.gov.au If the application involves Crown land you will also need a letter of consent. Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development. 	
<p>I _____ being responsible for the administration of land at _____</p> <p>declare that I have given permission for the making of this application for</p> <p>_____</p>	
Signature of General Manager, Minister or Delegate:	Signature: Date:



SEARCH OF TORRENS TITLE

VOLUME 6571	FOLIO 1
EDITION 9	DATE OF ISSUE 15-Jun-2024

SEARCH DATE : 29-Apr-2025

SEARCH TIME : 10.25 AM

DESCRIPTION OF LAND

Parish of FORCETT, Land District of PEMBROKE

Lot 1 on Sealed Plan 6571

Derivation : Part of 547 Acres - Gtd. to T. MacDowell.

Prior CT 3446/63

SCHEDULE 1

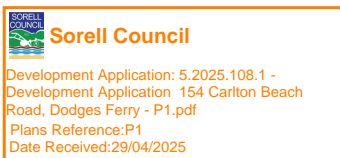
N196619 TRANSFER to TIMOTHY KENT BEAMAN and ELIZABETH MOYA
BEAMAN Registered 15-Jun-2024 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP 6571 EASEMENTS in Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



974

6571 2-1-75

DIAGRAM FROM ACTUAL SURVEY

COUNTY OF PEMBROKE.
PARISH OF FORCETT.

No. OF APPLICATION

Part of 547 acres Gld to T MacDonnell

~~At A Newberry Owner~~ 2413-81 c.T.

E.O. & R. W. A. Hawker

Scale 60 Links to an inch

Effective from
29-1-75
M. W. H. Recorder of Titles

S.P. 6571

Filed by

Lodged at the Lands
Titles Office

on

at

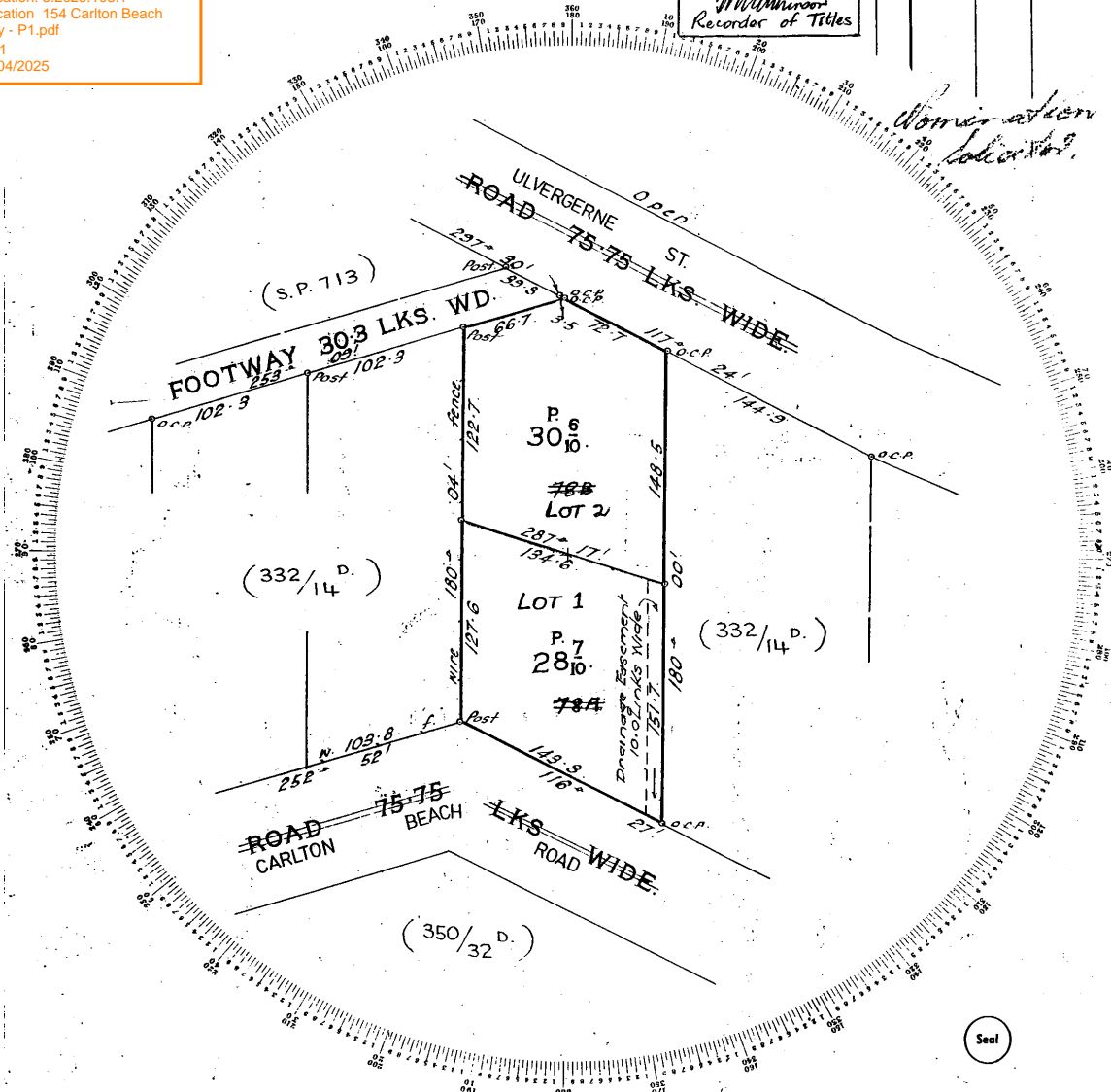
Receipt No.

Receiving Clerk

REFERENCE TO CORNERS

COR.	BEARING	DISTANCE IN LINKS	FROM

Sorell Council
Development Application: 5.2025.108.1 -
Development Application 154 Carlton Beach
Road, Dodges Ferry - P1.pdf
Plans Reference: P1
Date Received: 29/04/2025



To be filled in
by Surveyor.

Survey commenced } 7.12.63
Survey finished }
Error of close 1 in

Office
examination.

Plotted by
Examined as to boundaries 11/1/64
Mathematically checked JC 15/1/75
Entered on Card by

I, David Alan Parkes
of Rosny Point

Registered Surveyor, of Tasmania, do hereby certify
that this plan has been made from surveys executed
by me or under my own personal supervision,
inspection, and field check, and that both plan and
survey are correct, and have been made in
accordance with the Land Surveyors' By-Law No. 2,
dated 3rd July, 1946.

Dated this 12th day of December, 1963. *D. A. Parkes* Authorised Surveyor.

APPROVAL BY LOCAL AUTHORITY

[The Common Seal of the Municipality
of Sorell has been hereunto affixed in
the presence of us this 18th
day of December one thousand
nine hundred and sixty 74
in pursuance of authorisation given at
a meeting of the Council held on the
18th day of December

W. J. ... Warden
... Councillor
... Council Clerk



SCHEDULE OF EASEMENTS

PLAN NO.

S.P 6571

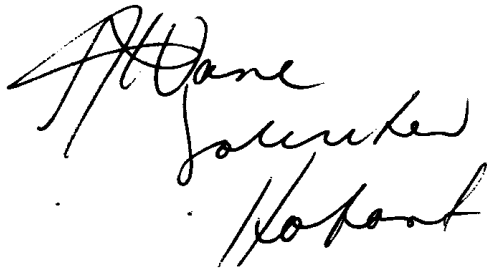
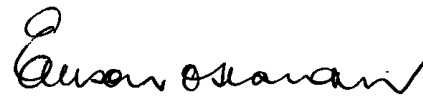
NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

~~LOT 1~~ is subject to a right of drainage ~~10.00 links wide~~ (appurtenant to ~~shown hereon for Lot 2~~) over the drainage easement shown hereon.

~~LOT 2~~ is to have a right of drainage ~~10.00 links wide~~ ~~shown hereon over Lot 1~~ together with a right of drainage easement shown hereon.

~~SIGNED~~ by ELLISON OCTAVIUS HAWKER and ^{Agnes}ROBIN WERA HAWKER his Wife registered proprietors of an estate in fee simple of all the land described in Certificate of Title Volume 2413 Folio 81 in the presence of:-



Sorell Council

Development Application: 5.2025.108.1 -
Development Application 154 Carlton Beach
Road, Dodges Ferry - P1.pdf
Plans Reference: P1
Date Received: 29/04/2025

6571

**Sorell Council**

Development Application: 5.2025.108.1 -
Development Application 154 Carlton Beach
Road, Dodges Ferry - P1.pdf
Plans Reference: P1
Date Received: 29/04/2025

Certified correct for the purposes of the Real Property Act 1862, as amended.

CRISP WRIGHT & BROWN

per: 

Subdivider/Solicitor for the Subdivider

This is the schedule of easements attached to the plan of

Two lots part of 547m² Pt 6 T Mac Donald comprising part of the land in


(Insert Title Reference)

Sealed by

Municipality of Sorell

on

13 December 1974


Council Clerk/Town Clerk

50740



Sorell Council

Development Application: 5.2025.108.1 -
Response to Request For Information - 154
Beach Road, Dodges Ferry -P4.pdf
Plans Reference: P4
Date Received: 15/12/2025

Traffic Impact Statement



New Residential Dwelling at
154 Carlton Beach Road,
Dodges Ferry



Hubble Traffic

December 2025 Updated

Disclaimer: This report has been prepared based on and in reliance upon the information provided to Hubble Traffic Pty Ltd by the client and gathered by Hubble Traffic Pty Ltd during the preparation of the report. Whilst all reasonable skill, care and diligence has been used in preparation of the report, Hubble Traffic Pty Ltd take no responsibility for errors or omissions arising from misstatements by third parties.

This report has been prepared specifically for the exclusive use of the client named in the report and to the extent necessary, Hubble Traffic Pty Ltd disclaim responsibility for any loss or damage occasioned by use of or reliance upon this report, or the data produced herein, by any third party.

Version	Date	Reason for Issue
Draft	August 2025	Draft issued for client feedback
Final	September 2025	Final issued
Updated	December 2025	Details regarding barrier, and driveway width widened to 3.6m



Sorell Council

Development Application: 5.2025.108.1 -
Response to Request For Information - 154
Beach Road, Dodges Ferry -P4.pdf
Plans Reference: P4
Date Received: 15/12/2025

Contents

1. Introduction	1
2. Development site	2
3. Development proposal	3
4. Carlton Beach Road	4
5. Access arrangements.....	5
5.1. Existing vehicular access	5
5.2. Sight distance leaving the development site.....	6
5.3. Pedestrian sight distance	8
6. Internal driveway	10
6.1. Internal driveway.....	10
6.2. Internal gradients.....	10
6.3. Safety barrier	11
7. Conclusion	13



Sorell Council

Development Application: 5.2025.108.1 -
Response to Request For Information - 154
Beach Road, Dodges Ferry -P4.pdf
Plans Reference: P4
Date Received: 15/12/2025

1. Introduction

Tim Beaman (developer) has engaged Hubble Traffic to prepare an independent Traffic Impact Statement. This statement provides technical advice regarding the suitability for the existing vehicular access and driveway to support a residential dwelling at 154 Carlton Beach Road, Dodges Ferry.

The Sorell Council has requested information to determine whether the proposed driveway location is suitable for providing safe and efficient access, considering the site's topography and the available sight distance at the access point.

This assessment references the Australian Standard 2890.1:2004 Off-street Car Parking document (referred to as the Standard) and the Local Government Association Tasmania's Tasmanian Standard Drawings document (referred to as LGAT).



Sorell Council

Development Application: 5.2025.108.1 -
Response to Request For Information - 154
Beach Road, Dodges Ferry -P4.pdf
Plans Reference: P4
Date Received: 15/12/2025

2. Development site

Located at 154 Carlton Beach Road, Dodges Ferry, the development site is an undeveloped parcel of land situated on the side of a steep embankment. The site has an existing vehicular access onto Carlton Beach Road and an unsealed driveway that terminates at the footpath.

According to the Land Information System Tasmania (LIST) Database, the development site is located within a Low Density Residential zone, situated within an established residential area.

Diagram 2.0 – Extract from LIST Database



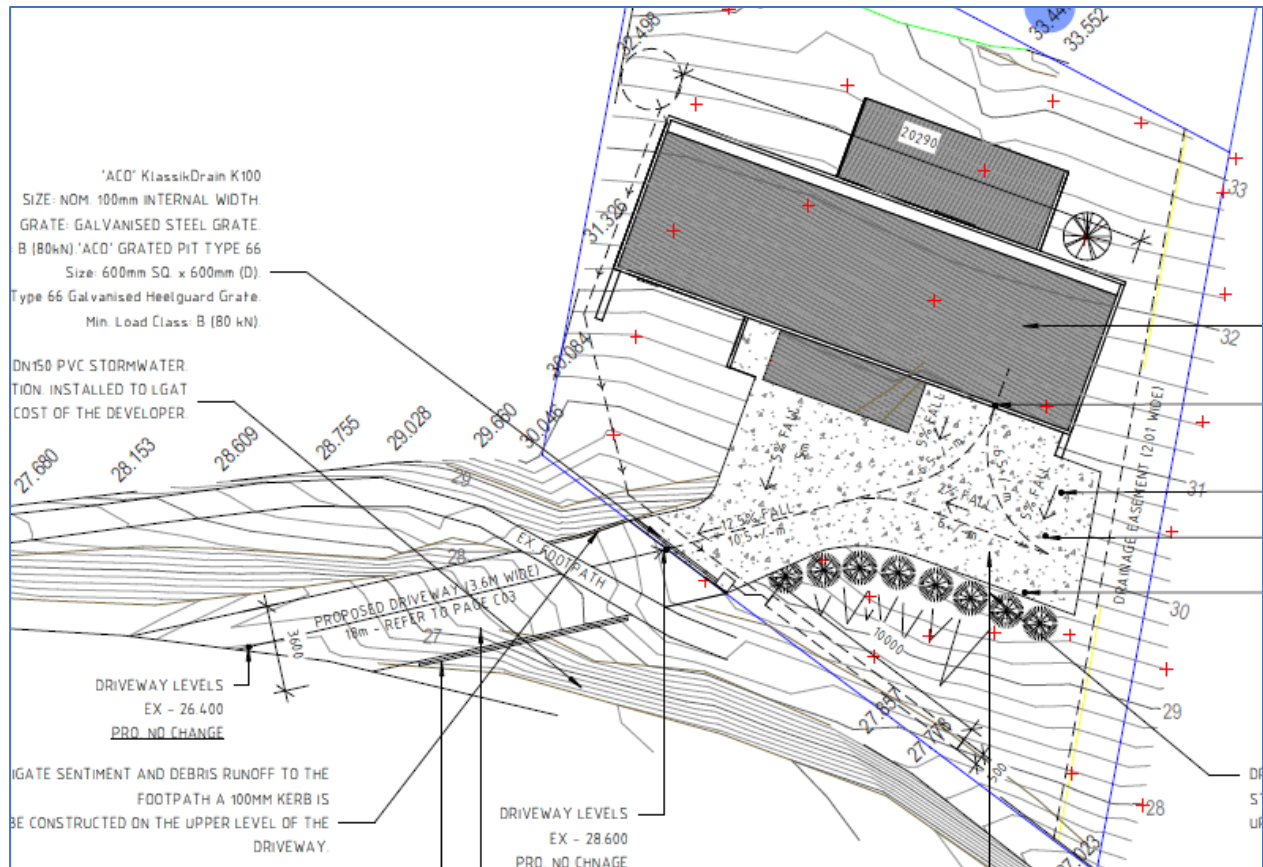
Sorell Council

Development Application: 5.2025.108.1 -
Response to Request For Information - 154
Beach Road, Dodges Ferry -P4.pdf
Plans Reference: P4
Date Received: 15/12/2025

3. Development proposal

The developer is seeking to construct a new three-bedroom residential dwelling, supported by two on-site car parking spaces. The development will retain and upgrade the existing driveway and vehicular access onto Carlton Beach Road.

Diagram 3.0 – Development proposal



Sorell Council

Development Application: 5.2025.108.1 -
Response to Request For Information - 154
Beach Road, Dodges Ferry -P4.pdf
Plans Reference: P4
Date Received: 15/12/2025

4. Carlton Beach Road

Carlton Beach Road is a collector road located within the Sorell municipality, connecting motorists from the townships of Dodges Ferry and Carlton to the nearest arterial roads, Old Forcett Road and Carlton River Road.

For the purpose of this assessment, Carlton Beach Road operates in a west to east orientation. The road has a curvilinear alignment, with a sweeping reverse curve past the development site, situated within undulating terrain that flattens out beyond the site. The road operates with a posted 50 km/h speed limit.

Adjacent to the development site, the road is built to a rural standard. The sealed carriageway is six metres wide, with narrow gravel shoulders. The alignment is delineated by a marked single solid centreline, and argument with street lights. A steel beam safety barrier is installed along the southern edge, whereas a retaining wall extends upward from the road to the development site on the opposite side. Due to the narrow road corridor, there are no pedestrian facilities adjacent to the roadway. Instead, a dedicated pedestrian footpath operates along the northern side, where the footpath is raised and separated above the roadway.

Photograph 4.0A – Carlton Beach Road standard to the east



Photograph 4.0B – Carlton Beach Road standard to the west



5. Access arrangements

5.1. Existing vehicular access

The development site has an existing three-metre-wide vehicular access to Carlton Beach Road. This access will be retained and upgraded to a bitumen surface up to the property boundary.

Given the site's steep terrain, the existing acute angle between the driveway and Carlton Beach Road will remain unchanged, as altering it would result in vertical grades that do not meet standards.

The acute angle makes turning left-out difficult, as vehicles must cross the centreline. To address this, the developer proposes that all vehicles enter via a left-in turn and exit via a right-out turn, minimising disruption to current traffic.

Photograph 5.1 – Existing vehicular access



Sorell Council

Development Application: 5.2025.108.1 -
Response to Request For Information - 154
Beach Road, Dodges Ferry -P4.pdf
Plans Reference: P4
Date Received: 15/12/2025

5.2. Sight distance leaving the development site

It is important that drivers have appropriate sight distance when leaving the development site. LGAT Standard Drawing TSD-RF01-v3 provides guidance on sight distance for driveway accesses and specifies a Safe Intersection Sight Distance of 80 metres for a 50 km/h speed environment, as shown in the extract below.

Extract 5.2 – Sight distance requirements at access driveways (LGAT standards)

VEHICLE SPEED	SAFE INTERSECTION SIGHT DISTANCE METRES, FOR SPEED LIMITS OF:	
	60 km/h or less	Greater than 60 km/h
(km/h)		
50	80	90
60	105	115
70	130	140
80	165	175
90		210
100		250
110		290

NOTES:

1. – For maximum driveway access slopes refer TSD-R04
2. – The angle of intersection should be between 70° and 90° to the major road.
3. – Shall be the posted speed limit for assessment of access driveways.
4. – Refer to AGRD04A – Part 4A Unsignalised and Signalised Intersection.

The available sight distance at the existing access was measured on-site, with the driver positioned 2.5 metres back from the roadway and 1.1 metres above the driveway surface, and an approaching vehicle being 1.25 metres high. The available sight distance measured in excess of 80 metres in both directions, providing drivers with sufficient sight distance to enter Carlton Beach Road safely and efficiently.



Sorell Council

Development Application: 5.2025.108.1 -
Response to Request For Information - 154
Beach Road, Dodges Ferry -P4.pdf
Plans Reference: P4
Date Received: 15/12/2025

Photograph 5.2A – Available sight distance to the left



Photograph 5.2B – Available sight distance to the right



5.3. Intersecting angle of driveway

Note 2 within the above LGAT standard specifies that driveways should meet roads at angles between 70° and 90° for optimal safety and visibility. However, the steep terrain makes realigning the driveway to comply with this intersecting angle impractical due to grade constraints.

Despite this, adequate sight distance will be available to both drivers using the access and motorists travelling along Carlton Beach Road. With vehicle speeds limited to 50 km/h and the driveway serving just one domestic home, the driveway is expected to operate in a safe and efficient manner without adversely impacting traffic efficiency along Carlton Beach Road.

5.4. Pedestrian sight distance

It is important for drivers entering and leaving the development site to have adequate sight lines to pedestrians using the footpath, which can be achieved by not having any physical obstacles on either side of the driveway.

Photographs 5.4A and 5.4B demonstrate clear sight lines for drivers either side of the driveway, as it crosses the footpath, which will be maintained by the developer. While vegetation that limits sight lines between pedestrians and drivers leaving the driveway, will be removed by the developer, which is shown in the photograph 5.4C.

Overall, there will be adequate sight lines to ensure pedestrians can use the footpath in a safe manner.

Photograph 5.4A – Pedestrian sight distance to the left entering the site



Photograph 5.4B – Pedestrian sight distance to the right entering the site




Photograph 5.4C – Pedestrian sight distance to the left leaving the site



Photograph 5.4D – Pedestrian sight distance to the right leaving the site



 **Sorell Council**
Development Application: 5.2025.108.1 -
Response to Request For Information - 154
Beach Road, Dodges Ferry -P4.pdf
Plans Reference: P4
Date Received: 15/12/2025

6. Driveway characteristics

6.1. Driveway layout

The driveway extending off Carlton Beach Road will be widened to 3.6 metres wide, suitable to accommodate traffic generation from a single domestic dwelling. The driveway will widen into a large forecourt to allow vehicles to turn around on-site and leave in a forward-driving direction.

Inside the property boundary, the driveway will be constructed with a hard-wearing concrete surface. Suitable cambers and kerbing will be used to direct surface water to a transverse catch drain located at the property boundary, ensuring that the surface water is contained on-site.

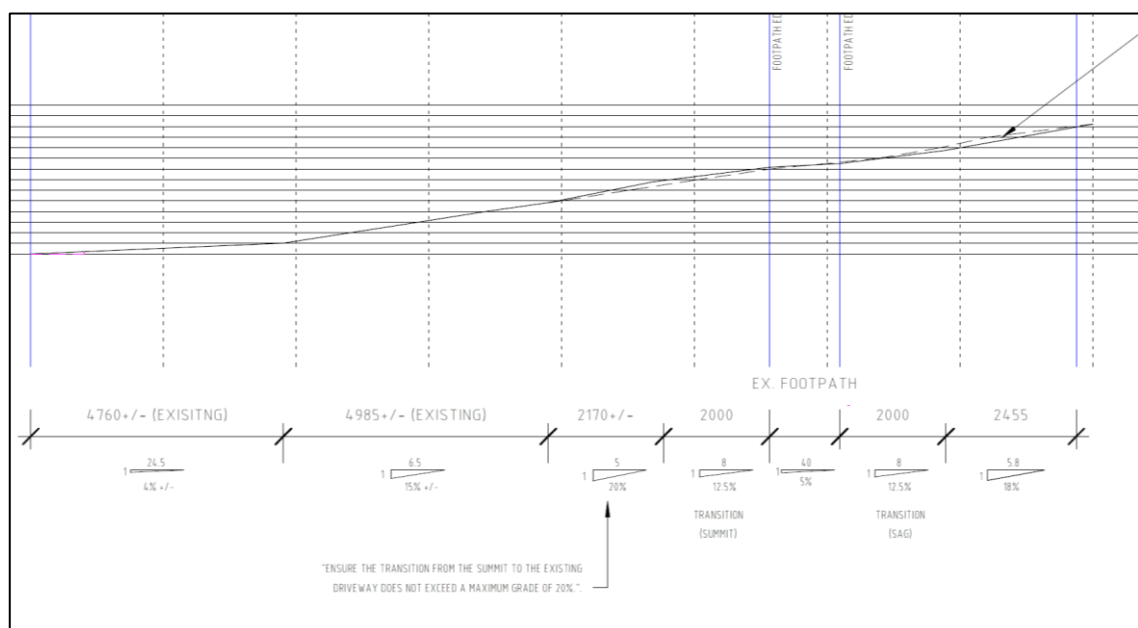
6.2. Internal gradients

Civil plans prepared by Design East include a longitudinal profile for the upgrade of the existing driveway. The vertical grade at the beginning of the driveway will remain unchanged, complying with LGAT standard drawing TSD-R04-v3 for a rural property driveway. The maximum vertical grade will reach 20 percent, which complies with the maximum gradient for a domestic property access, as specified in the Standard.

The design ensures that the changes in grade for a crest curve are less than 12.5 percent and 15 percent for the sag curve, complying with section 2.5.3 of the Standard. This means there will be adequate ground surface clearance for vehicles using the driveway.

Additionally, the design considers the footpath that crosses the driveway. The existing footpath crossfall of 5% will be retained, ensuring pedestrians and cyclists are not adversely impacted.

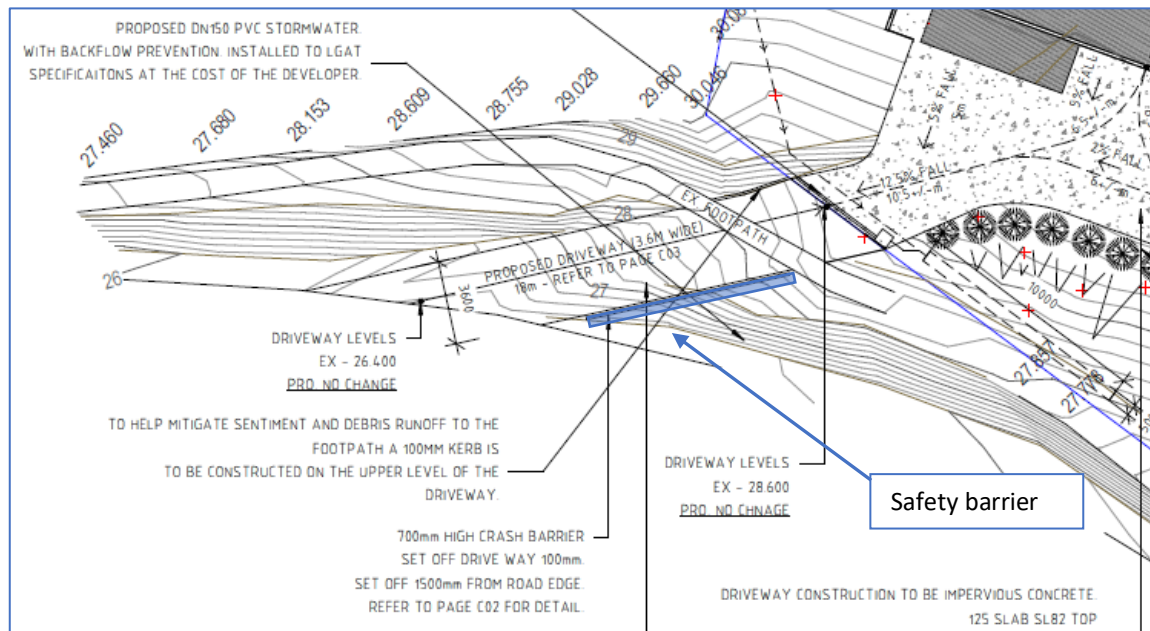
Diagram 6.2 – Longitudinal section of the driveway



6.3. Safety barriers

Any parking deck or driveway that is elevated above the natural ground surface by more than 600 millimetres will be provided with a suitable safety barrier. The diagram below illustrates the barrier will be provided between the footpath and roadway.


Diagram 6.3A – Locations of the safety barrier



Due to the short length of the installation, off-the-shelf products such as steel beam barriers are unsuitable, as these systems require a minimum length of approximately 40 metres. Consequently, a bespoke barrier has been designed using steel square sections. The barrier will be set back 1.5 metres from the edge of Carlton Beach Road to ensure it does not present a roadside hazard to through traffic.

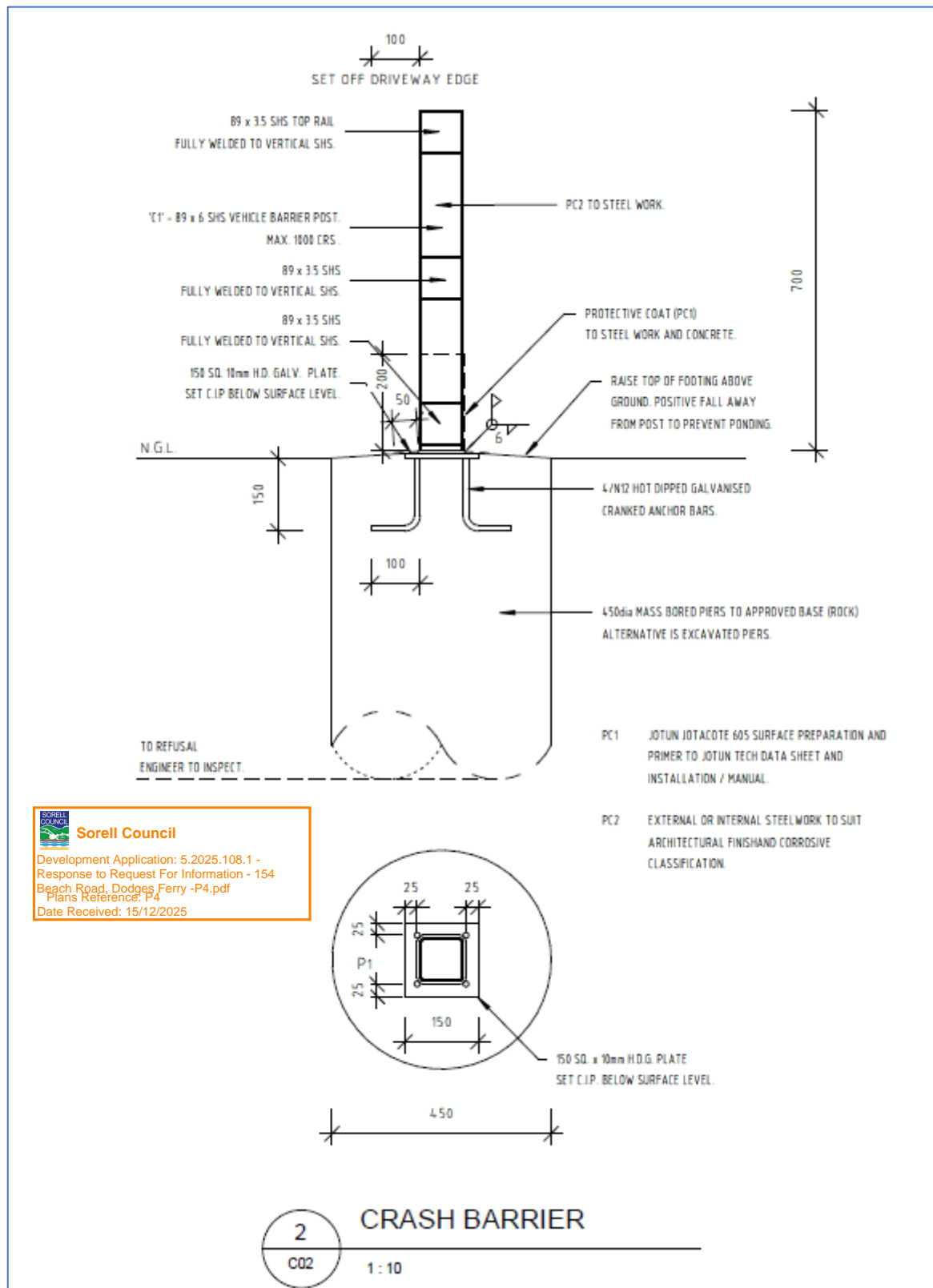
Given the low operating speeds of vehicles using the driveway, the expected impact forces are relatively minor, and the proposed design is considered sufficient to deflect and retain slow-moving vehicles. The barrier will be positioned 100 mm from the driveway edge, with a height of 700 mm above the driveway surface, consistent with the standard height for steel beam barriers.

Overall, the barrier system as detailed in diagram 6.3B below, is expected to provide appropriate functionality, preventing errant driveway vehicles from leaving the carriageway and ensuring safe operation in line with contemporary design standards.

**Sorell Council**

Development Application: 5.2025.108.1 -
Response to Request For Information - 154
Beach Road, Dodges Ferry -P4.pdf
Plans Reference: P4
Date Received: 15/12/2025

Diagram 6.3B – Proposed barrier system



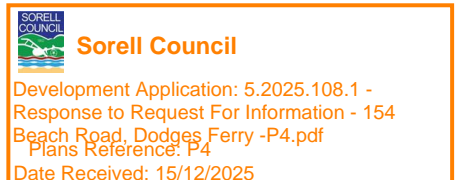
7. Conclusion

Vehicular accesses should ideally intersect the road network at an angle close to ninety degrees to optimise visibility and manoeuvrability. However, due to the natural topography of steep sites, this is not always achievable. In this instance, the existing vehicular access is considered suitable, given the natural topography of the development site, which will minimise the need for excessive driveway gradients to reach the property boundary.

Additionally, there is sufficient available sight distance, which complies with the requirements specified by LGAT, ensuring that vehicles can enter and leave in a safe and efficient manner. Vehicles will only undertake left-in manoeuvres to access the site and right-out manoeuvres when leaving.

The driveway will be retained and upgraded to a sealed bitumen surface, with the design ensuring the maximum grade and change in grades comply with the Standard for a residential property, ensuring adequate ground clearance for vehicles accessing the site.

Overall, this assessment found the existing access and driveway design is considered fit-for-purpose for a single domestic dwelling.

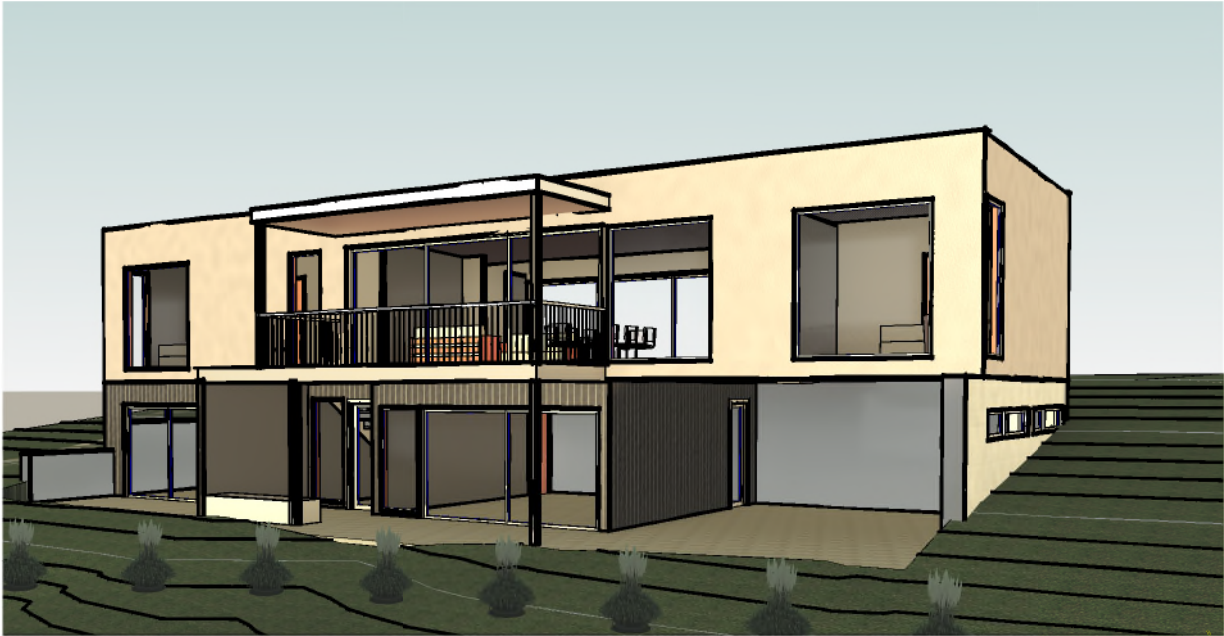


<div>PROPOSED DWELLING</div> <div>at 154 CARLTON BEACH ROAD, DODGES FERRY TAS 7173</div> <div>for T. BEAMAN</div>			
ISSUE: WORKING DRAWINGS 19.06.23			
DWG. No.	DRAWING NAME	DATE	REVISION
A01	COVER PAGE	21.05.25	A
A02	SITE PLAN	21.05.25	A
A03	LOWER GROUND FLOOR PLAN	21.05.25	A
A04	PROPOSED FIRST FLOOR PLAN	21.05.25	A
A05	EXISTING & PROPOSED ELES 01 OF 02	21.05.25	A
A06	EXISTING & PROPOSED ELES 02 OF 02	21.05.25	A
C01	CIVIL	21.05.25	A
C02	CIVIL DETAILS	21.05.25	A

GENERAL INFORMATION	
Accredited Building Designer: Accreditation Number:	Monty East CC 191 O
Land title reference number:	C.T. 6571/1
Site area:	728 + - m²
Wind classification:	N3 Site Classification to AS 4055-2012
Soil classssification:	ENGINEER ASSESSED Site Classification to AS 2870-2011
Climate zone:	7
Bushfire-prone area BAL rating:	N/A
Alpine area (900m above AHD):	N/A
Corrosion environment:	HIGH
Other known site hazards:	N/A

IMPORTANT

1. USE WRITTEN DIMENSIONS ONLY.
2. DO NOT SCALE DRAWINGS.
3. THE CONTRACTOR IS TO CHECK ALL LEVELS, DATUMS, AND DIMENSIONS IN RELATION TO THE DRAWINGS AND THE SITE BEFORE PROCEEDING WITH THE WORK OR SHOP DRAWINGS.
4. ENSURE THAT THIS DRAWING AND ANY ACCOMPANYING DETAILS AND/OR SPECIFICATIONS HAVE BEEN STAMPED AS 'APPROVED' BY THE RELEVANT LOCAL AUTHORITY.
5. THE PROPRIETOR IS TO ENSURE THAT ANY "CONDITIONS OF APPROVAL" ISSUED BY THE BUILDING SURVEYOR, RELEVANT COUNCIL AND OTHER STATUTORY AUTHORITIES ARE PASSED ONTO THE CONTRACTOR BEFORE CONSTRUCTION BEGINS.
6. MATERIALS AND WORKMANSHIP SHALL CONFORM WITH RELEVANT STANDARDS, BUILDING CODE OF AUSTRALIA AND PRODUCT MANUFACTURERS WRITTEN INSTRUCTIONS.
7. ANY ALTERATION TO THE CONSTRUCTION AND/OR MATERIALS INDICATED IN THESE DRAWINGS IS TO BE APPROVED BY DESIGN EAST, THE ENGINEER, THE BUILDING SURVEYOR, AND THE PROPRIETOR BEFORE PROCEEDING WITH THE WORK.
8. IF THERE ARE ANY QUERIES IN RELATION TO DIMENSIONS, LEVELS OR CONSTRUCTION DETAILS, CONTACT:





Sorell Council
Development Application: 5.2025.108.1 -
Response to Request For Information - 154
Carlton Beach Road, Dodges Ferry - P2 .pdf
Plans Reference: P2
Date Received: 21/05/2025

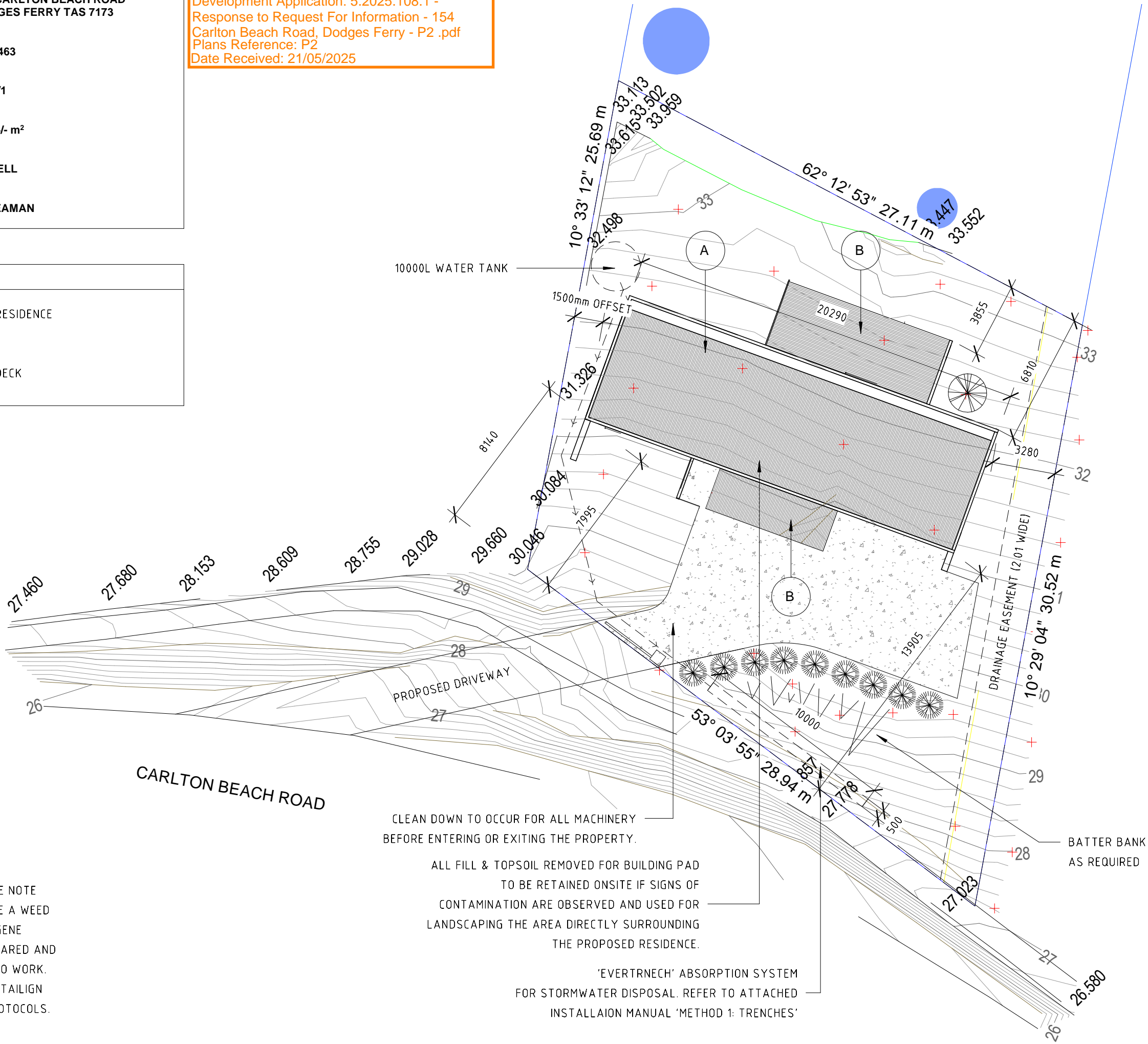
153a Davey Street Hobart
Tasmania 7000
Phone (03)6223 6740
Email design@designeast.com.au
Web www.designeast.com.au
Accreditation No. CC191O

SITE NOTES	
Property Address:	154 CARLTON BEACH ROAD DODGES FERRY TAS 7173
Property ID:	5912463
Title Reference:	6571/1
Site Area:	728 +/- m ²
Municipality:	SORELL
Owner:	T. BEAMAN

SITE KEY	
A	PROPOSED RESIDENCE
B	PROPOSED DECK



Sorell Council
Development Application: 5.2025.108.1 -
Response to Request For Information - 154
Carlton Beach Road, Dodges Ferry - P2 .pdf
Plans Reference: P2
Date Received: 21/05/2025






WEED MANAGEMENT HYGIENE NOTE
SITE FOREMAN TO DISIGNATE A WEED
HYGENE MANAGER. WEE HYGENE
MANAGER TO IDENTIFY DECLARED AND
SIGNIFICANT WEEDS PRIOR TO WORK.
LOG BOOK IS TO BE KEPT DETAILIGN
ADHERANCE TO HYGIENE PROTOCOLS.

Project:	PROPOSED DWELLING 154 CARLTON BEACH ROAD, DODGES FERRY TAS 7173 T. BEAMAN
Drawing:	SITE PLAN

SCALE:	DRG.NO:
1 : 200 @ A3	A02
DRAWN:	CHK BY:
JF	ME

153a Davey Street Hobart Tasmania 7000 Phone (03)6223 6740 Email design@designeast.com.au Web www.designeast.com.au Accreditation No. CC1910

ISSUE	DESCRIPTION	DATE	ISSUED BY
A	PLANNING (RF11)	21.05.25	JF

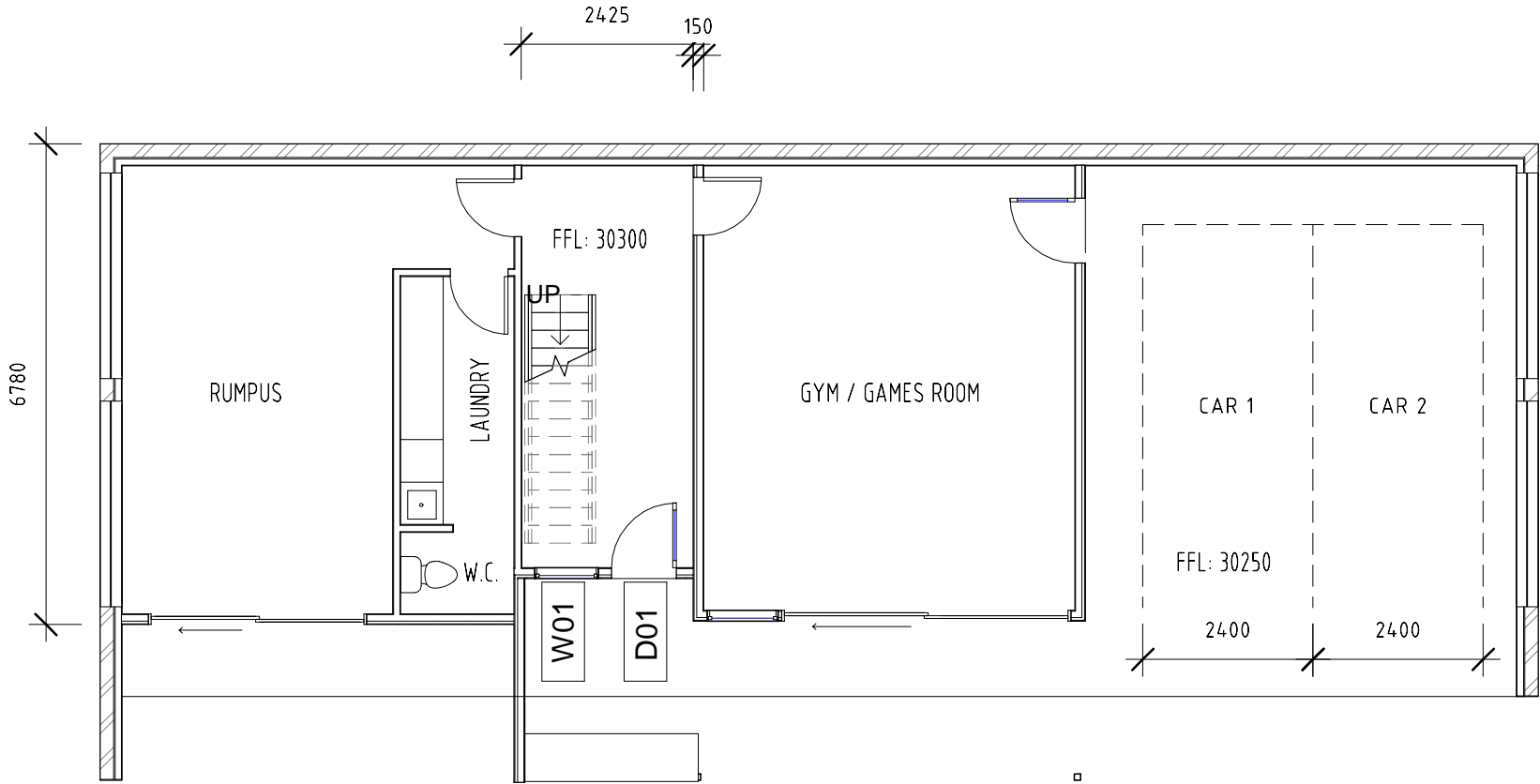
WALL LEGEND	
	90mm TIMBER STUD WALL
	150mm VERTICAL BOARD CLADDING.
	190mm COREFILLED BLOCKWORK & 90mm TIMBER STUDE WALL.

FLOOR AREAS	
PROPOSED GROUND FLOOR INCLDING GARAGE FLOOR AREA	= 130 +/- Sqm
PROPOSED UPPER FLOOR AREA	= 130 +/- Sqm



Sorell Council

Development Application: 5.2025.108.1 -
Response to Request For Information - 154
Carlton Beach Road, Dodges Ferry - P2 .pdf
Plans Reference: P2
Date Received: 21/05/2025






ISSUE	DESCRIPTION	DATE	ISSUED BY
A	PLANNING (RF1)	21.05.25	JF

Project:	PROPOSED DWELLING 154 CARLTON BEACH ROAD, DODGES FERRY TAS 7173 T. BEAMAN
Drawing:	LOWER GROUND FLOOR PLAN

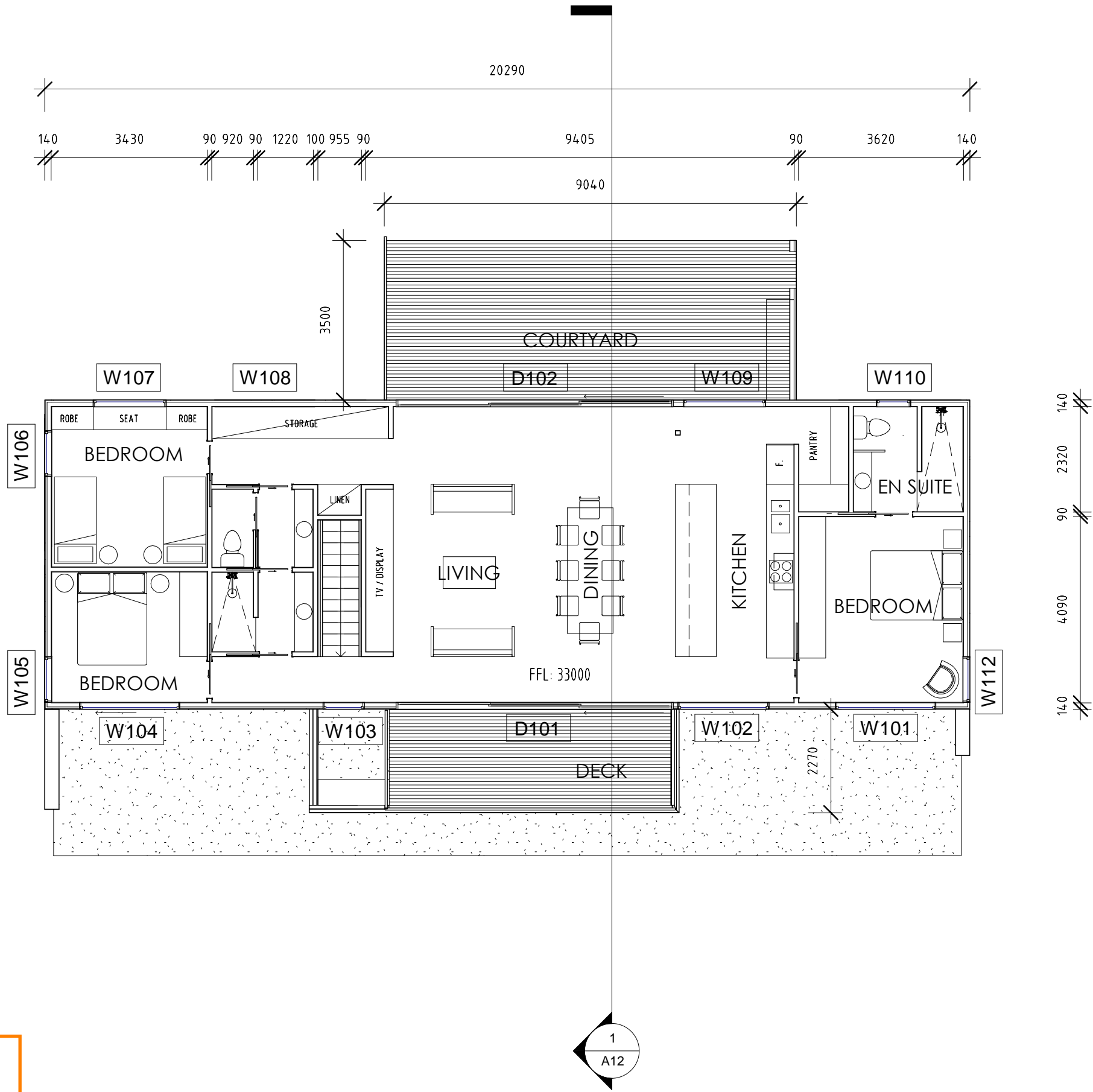
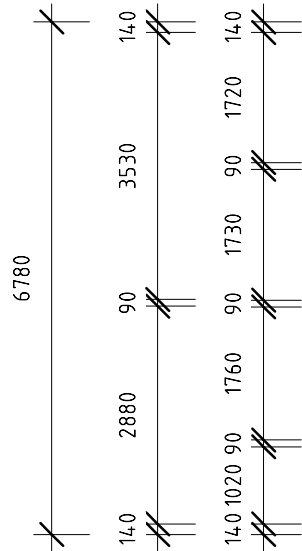
design:EAST registered trading name for design:EAST Pty. Ltd.

SCALE:	DRG.NO:
1 : 100 @ A3	A03
DRAWN:	CHK BY:
JF	ME

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WALL LEGEND	
	90mm TIMBER STUD WALL
	150mm VERTICAL BOARD CLADDING.
	190mm COREFILLED BLOCKWORK & 90mm TIMBER STUDE WALL.

FLOOR AREAS	
PROPOSED GROUND FLOOR INCLDING GARAGE FLOOR AREA	= 130 +/- Sqm
PROPOSED UPPER FLOOR AREA	= 130 +/- Sqm



Project:	PROPOSED DWELLING
	154 CARLTON BEACH ROAD, DODGES FERRY TAS 7173
	T. BEAMAN
Drawing:	PROPOSED FIRST FLOOR PLAN
design:EAST registered trading name for design:EAST Pty. Ltd.	

SCALE:	DRG. NO:
1 : 100 @ A3	A04
DRAWN:	CHK BY:
JF	ME

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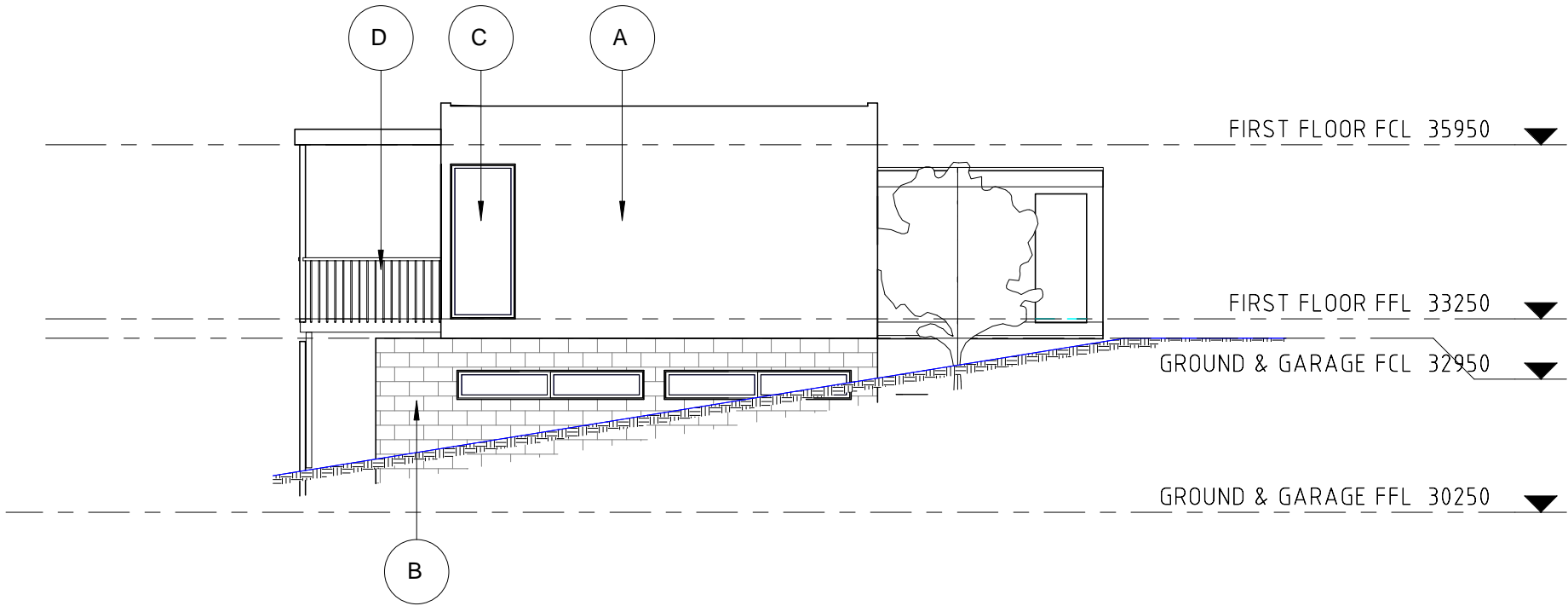
ISSUE	DESCRIPTION	DATE	ISSUED BY
A	PLANNING (RF11)	21.05.25	JF



Sorell Council

Development Application: 5.2025.108.1 -
Response to Request For Information - 154
Carlton Beach Road, Dodges Ferry - P2 .pdf
Plans Reference: P2
Date Received: 21/05/2025

EXTERNAL FINISHES	
A	CEMINTEL BARESTONE SHEET CLADDING. 6mm SHADOW GAP.
B	190mm BLOCK WORK WALL.
C	DOUBLE GLAZED ALUMINIUM WINDOWS AND DOORS.
D	STEEL VERTICAL BALUSTRADE - PAINT FINISH

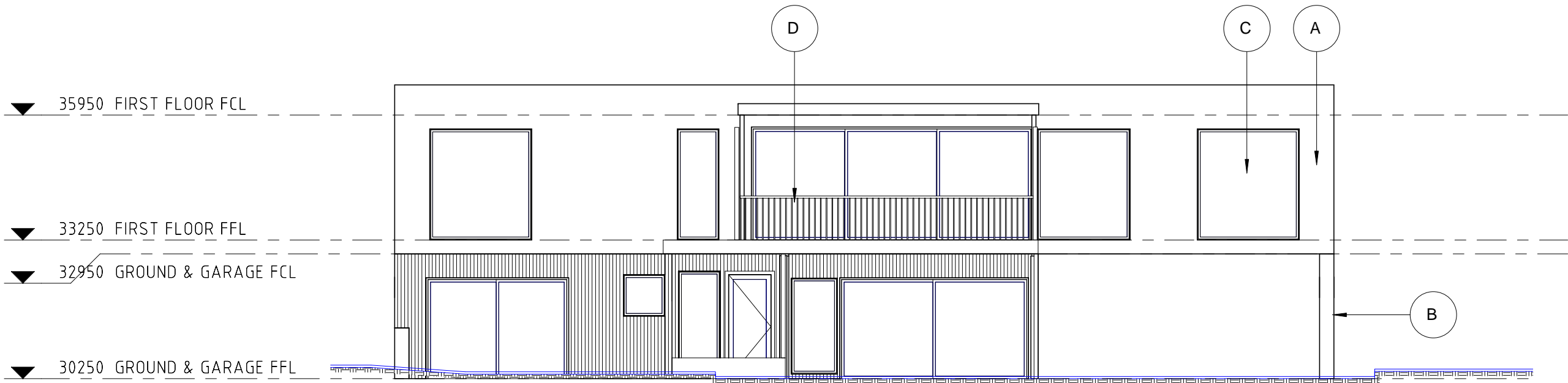


1

A05

PROPOSED EAST ELEVATION

1 : 100



2

A05

PROPOSED SOUTH ELEVATION

1 : 100



Sorell Council

Development Application: 5.2025.108.1 -
Response to Request For Information - 154
Carlton Beach Road, Dodges Ferry - P2 .pdf
Plans Reference: P2
Date Received: 21/05/2025

Job No. 5575

ISSUE	DESCRIPTION	DATE	ISSUED BY
A	PLANNING (RF11)	21.05.25	JF

Project:	PROPOSED DWELLING
	154 CARLTON BEACH ROAD, DODGES FERRY TAS 7173
	T. BEAMAN
Drawing:	EXISTING & PROPOSED ELES 01 OF 02
design:EAST registered trading name for design:EAST Pty. Ltd.	

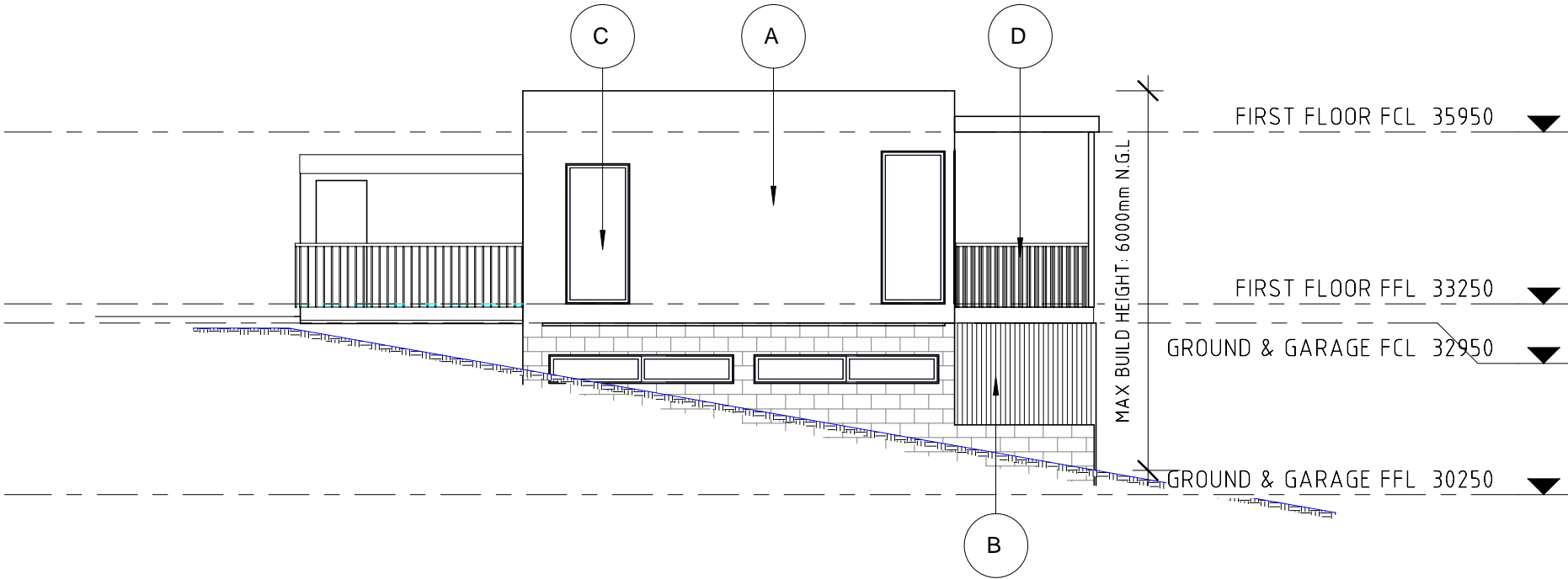
SCALE:	DRG.NO:	CHK BY:
1 : 100 @ A3	A05	ME
DRAWN:		
JF		

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EXTERNAL FINISHES	
<div>A</div>	CEMINTEL BARESTONE SHEET CLADDING. 6mm SHADOW GAP.
<div>B</div>	190mm BLOCK WORK WALL.
<div>C</div>	DOUBLE GLAZED ALUMINIUM WINDOWS AND DOORS.
<div>D</div>	STEEL VERTICAL BALUSTRADE - PAINT FINISH



Sorell Council
Development Application: 5.2025.108.1 -
Response to Request For Information - 154
Carlton Beach Road, Dodges Ferry - P2 .pdf
Plans Reference: P2
Date Received: 21/05/2025

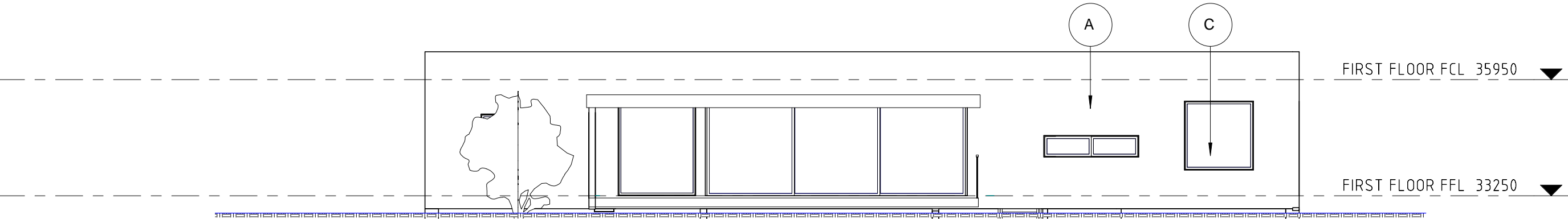


1

A06

1 : 100

PROPOSED WEST ELEVATION



2

A06

1 : 100

PROPOSED NORTH ELEVATION

ISSUE	DESCRIPTION	DATE	ISSUED BY
A	PLANNING (RF11)	21.05.25	JF

Project:

PROPOSED DWELLING
154 CARLTON BEACH ROAD, DODGES
FERRY TAS 7173
T. BEAMAN

Drawing:

EXISTING & PROPOSED ELES 02 OF 02

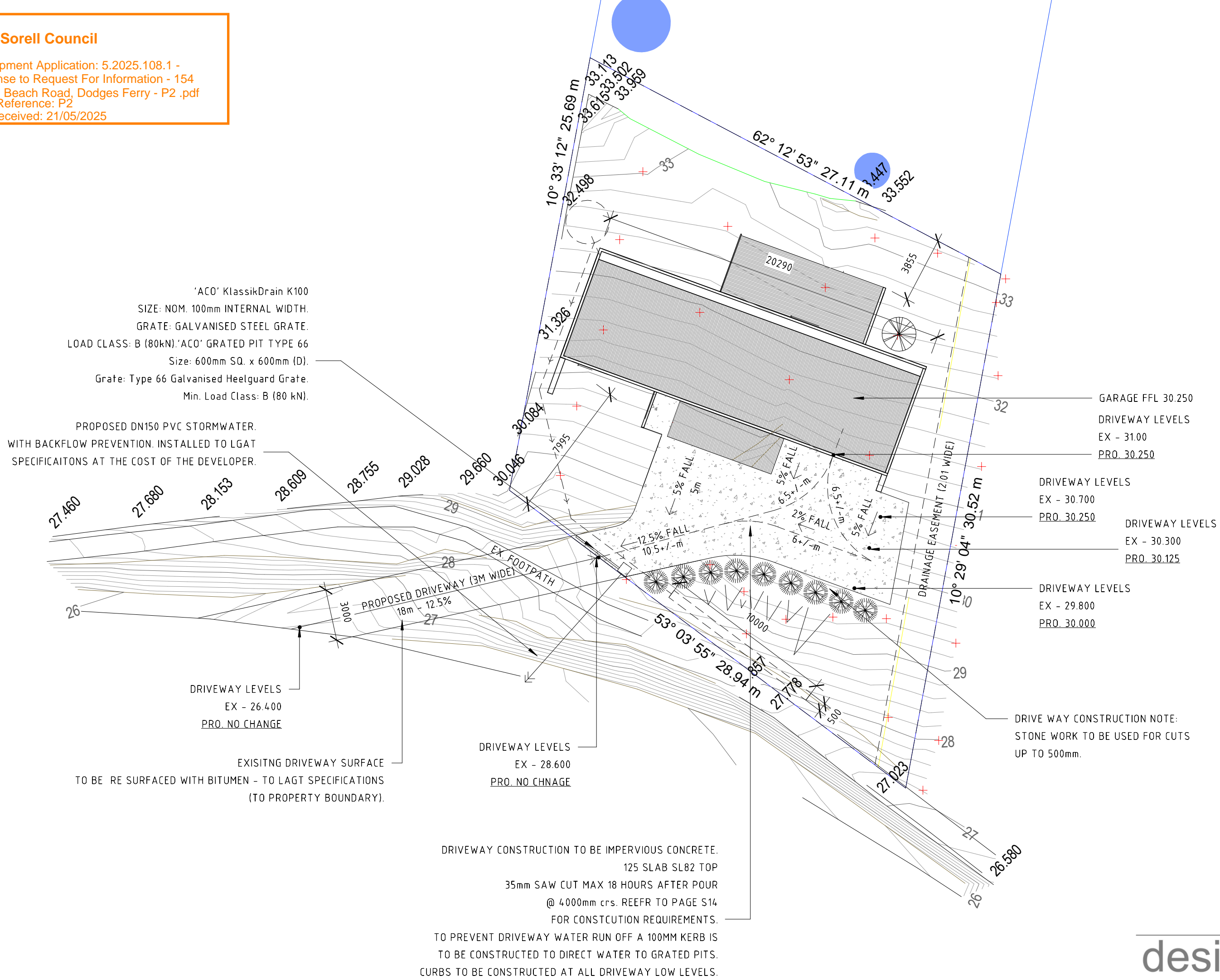
design:EAST registered trading name for design:EAST Pty. Ltd.

SCALE:	DRG.NO:	CHK BY:
1 : 100 @ A3	A06	ME
DRAWN:		
JF		

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Carlton Beach Road, Dodges Ferry - P2 .pdf
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Date Received: 21/05/2025



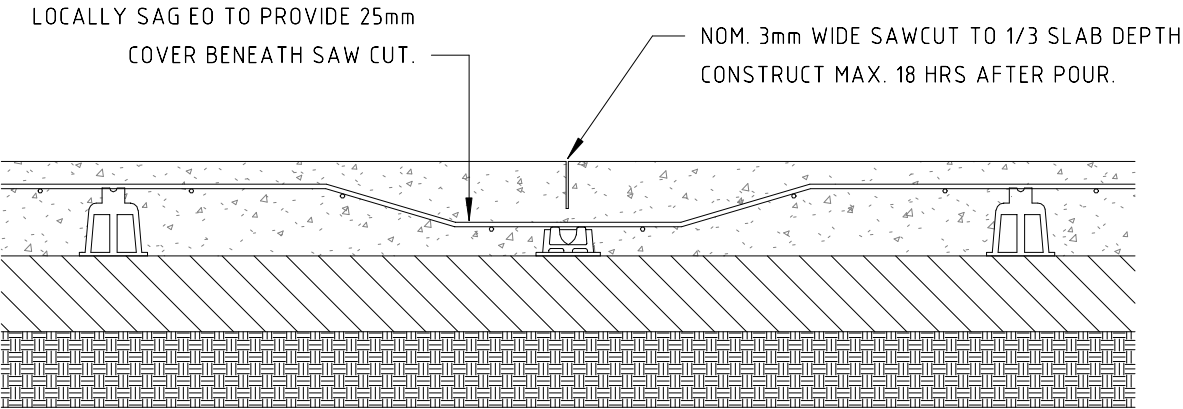
ISSUE	DESCRIPTION	DATE	ISSUED BY
A	PLANNING (RF1)	21.05.25	JF

Project: PROPOSED DWELLING 154 CARLTON BEACH ROAD, DODGES FERRY TAS 7173 T. BEAMAN	Drawing: CIVIL
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SCALE:	1 : 200 @ A3	DRG.NO:	C01
DRAWN:	JF	CHK BY:	ME

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Tasmania 7000
Phone (03)6223 6740
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Web www.designeast.com.au
Accreditation No. CC1910

JOINT SPECIFICATION			
JOINT TYPE	CRACK CONTROL	CONC. GRADE	N32
JOINT SEAL	NONE	DOWEL MATERIAL	N/A
MAX. LOADING	VEHICLES TO 3 TONNE	LENGTH	N/A
REINFORCEMENT	SL82	DOWEL DIA.	N/A
SLAB THICKNESS	125mm	DOWEL CENTRES	N/A



SC1A – SAWCUT JOINT – CONTINUOUS REINFORCEMENT
1:10

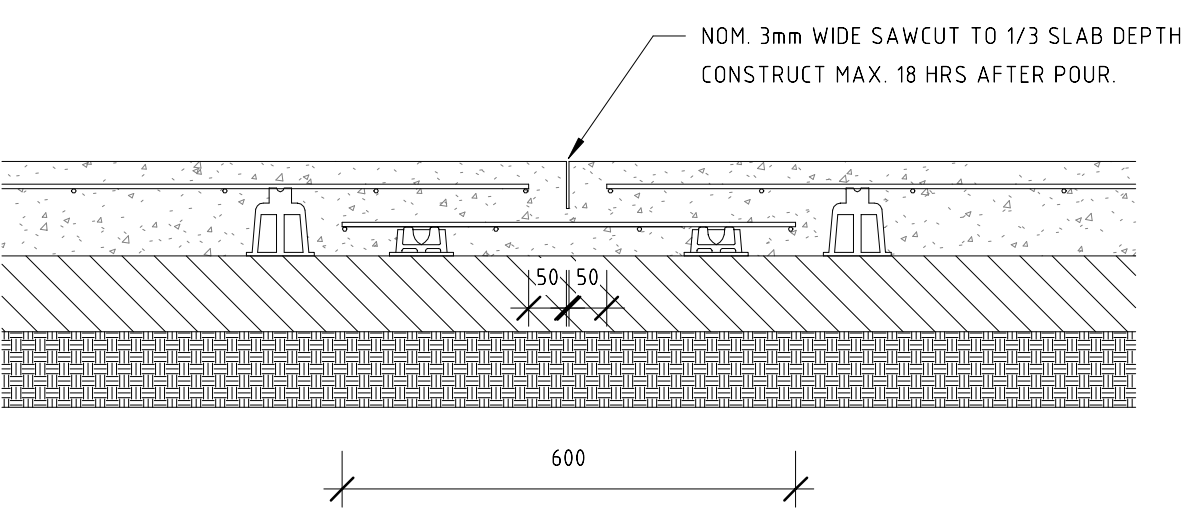
1

C02

DRIVE WAY SLAB

1 : 10

JOINT SPECIFICATION			
JOINT TYPE	CRACK CONTROL	CONC. GRADE	N32
JOINT SEAL	UNSEALED	DOWEL MATERIAL	N/A
MAX. LOADING	VEHICLES TO 3 TONNE	LENGTH	N/A
REINFORCEMENT	SL82	DOWEL DIA.	N/A
SLAB THICKNESS	125mm	DOWEL CENTRES	N/A



SC2A – SAWCUT JOINT – STEPPED REINFORCEMENT
1:10

ISSUE	DESCRIPTION	DATE	ISSUED BY
	A	PLANNING (RF11)	21.05.25
			JF

Project:

PROPOSED DWELLING
154 CARLTON BEACH ROAD, DODGES
FERRY TAS 7173
T. BEAMAN

Drawing:

CIVIL DETAILS

design:EAST registered trading name for design:EAST Pty. Ltd.

SCALE:	DRG NO:	CHK BY:
1 : 10 @ A3	C02	ME
DRAWN:		
JF		

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