

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE:

12 BOATHOUSE RISE, LEWISHAM

PROPOSED DEVELOPMENT:

ADDITIONS & ALTERATIONS (EXTENSION & NEW DECK)

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Monday 15th December 2025**.

Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the General Manager. Representations must be received no later than **Monday 15th December 2025**.

APPLICATION NO: 5.2025-320.1
DATE: 28 NOVEMBER 2025



Disclaimer

Any information extracted from this document (from the face of the document or by scale) should be verified on site. Council takes no responsibility for the accuracy of any information contained or presented in the document. While every care has been taken to ensure the accuracy of this information, Council makes no representations or warranties about the accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and liability.

50 m



Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	Use:
	Development:
	<i>Large or complex proposals should be described in a letter or planning report.</i>
Design and construction cost of proposal: \$	

Is all, or some the work already constructed:	No: <input type="checkbox"/> Yes: <input type="checkbox"/>
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Location of proposed works:	Street address:
	Suburb: Postcode:
	Certificate of Title(s) Volume: Folio:

Current Use of Site
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Current Owner/s:	Name(s).....
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Is the Property on the Tasmanian Heritage Register?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Council or Crown land section on page 3</i>


If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form
<https://www.sorell.tas.gov.au/services/engineering/>



Sorell Council

Development Application: 5.2025.320.1 -
 Development Application - 12 Boathouse Rise,
 Lewisham P1.pdf
 Plans Reference: P1
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Declarations and acknowledgements	
<ul style="list-style-type: none"> I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land. I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council's representatives to enter the land at any time during normal business hours. I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies. I/we declare that, in accordance with s52(1) of the <i>Land Use Planning and Approvals Act 1993</i>, that I have notified the owner(s) of the intention to make this application. I/we declare that the information in this application is true and correct. <p><i>Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council's Privacy Policy available on the Council website.</i></p>	
<ul style="list-style-type: none"> I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only. 	
<ul style="list-style-type: none"> Where the General Manager's consent is also required under s.14 of the <i>Urban Drainage Act 2013</i>, by making this application I/we also apply for that consent. 	
Applicant Signature:	Signature:  Date: 20 November 2025

Crown or General Manager Land Owner Consent	
<p>If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the <i>Land Use Planning and Approvals Act 1993</i>).</p> <p>Please note:</p> <ul style="list-style-type: none"> If General Manager consent is required, please first complete the General Manager consent application form available on our website www.sorell.tas.gov.au If the application involves Crown land you will also need a letter of consent. Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development. 	
<p>I _____ being responsible for the administration of land at _____</p> <p>declare that I have given permission for the making of this application for _____</p>	
<div style="float: right; border: 1px solid orange; padding: 5px; text-align: center;">  Sorell Council <small>Development Application: 5.2025.320.1 - Development Application - 12 Boathouse Rise, Lewisham P1.pdf Plans Reference: P1 Date Received: 20/11/2025</small> </div>	
Signature of General Manager, Minister or Delegate:	Signature: _____ Date: _____

SEARCH OF TORRENS TITLE

VOLUME 174099	FOLIO 2
EDITION 6	DATE OF ISSUE 07-Sep-2024

SEARCH DATE : 19-Nov-2025

SEARCH TIME : 04.42 PM

DESCRIPTION OF LAND

Town of DODGES FERRY

Lot 2 on Sealed Plan 174099

Derivation : Part of 98A-0R-23P Gtd to Arthur Perry

Prior CT 171924/2

SCHEDULE 1

N155645 TRANSFER to MICHELLE THERESE WHITE and MARTIN ANTHONY
WHITE Registered 06-Oct-2023 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP174099 FENCING COVENANT in Schedule of Easements

SP171924 FENCING COVENANT in Schedule of Easements

E394416 MORTGAGE to ING Bank (Australia) Limited Registered
07-Sep-2024 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

**Sorell Council**

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COUNCIL APPROVAL

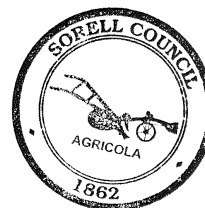
{Insert any qualification to the permit under section 83(5), section 109 or section 111
of the Local Government (Building & Miscellaneous Provisions) Act 1993 }

The subdivision shown in this plan is approved

Registered Number

SP 174099

In witness whereof the common seal of SORELL COUNCIL
has been affixed, pursuant to a resolution of the Council of the said municipality
passed the 17 day of OCT 2017, in the presence of us



Member

Member


General Manager [Signature]

Council Reference 7.2015.22.1

NOMINATIONS

For the purpose of section 88 of the Local Government (Building & Miscellaneous Provisions) Act 1993
the owner has nominated

..... SHIELDS HERITAGE Solicitor to act for the owner
..... J. B. MEDBURY P/L Surveyor to act for the owner



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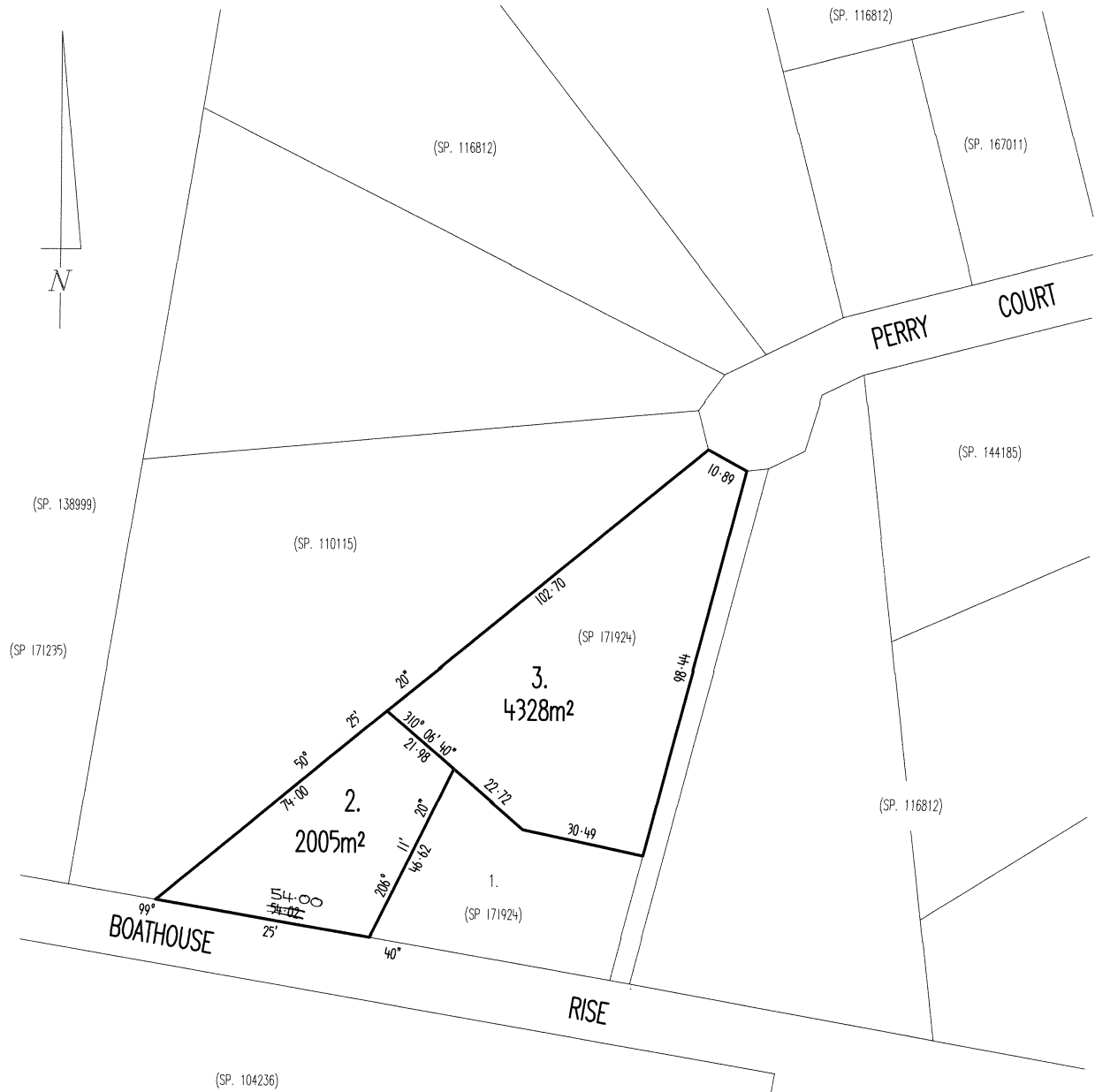
OFFICE EXAMINATION:


Indexed

Computed

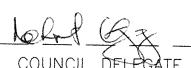
Examined DH 8/12/17

OWNER: K.M. & G.K. GANELL FOLIO REFERENCE: 171924-2 GRANTEE PART OF 98-0-23 GTD. TO ARTHUR PERRY		PLAN OF SURVEY BY SURVEYOR J.B.MEDBURY J.B.MEDBURY P/L SURVEYORS OF 159 CILWEN ROAD, CAMBRIDGE LOCATION TOWN OF DODGES FERRY SCALE 1: 1000 LENGTHS IN METRES		REGISTERED NUMBER SP174099 APPROVED EFFECTIVE FROM - 8 DEC 2017 <i>Alice Kawa</i> Recorder of Titles			
MAPSHEET MUNICIPAL CODE No. 124 (5425)		LAST UPI No.		LAST PLAN No. SP.171924		ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	




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LOT 3. COMPILED FROM F.R. 171924-2 AND THIS SURVEY


 COUNCIL DELEGATE

17.10.17
 DATE

PROPERTY ID: 3554789

MUNICIPALITY: SORELL

PROPERTY ADDRESS: 12 BOATHOUSE RISE
LEWISHAM TAS 7173

PROPERTY NAME:

TITLE OWNER: 174099/2 : MICHELLE THERESE WHITE, MARTIN ANTHONY WHITE

INTERESTED PARTIES: MARTIN ANTHONY WHITE, MICHELLE THERESE WHITE

POSTAL ADDRESS:
(Interested Parties)

MAIN IMPROVEMENTS SUMMARY

Improvements:	DWELLING	
Improvement Sizes	Improvement:	Area:
(Top 3 by Size):	DWELLING	135.0 square metres
	SHED	126.0 square metres
	DECK	32.0 square metres

Number of Bedrooms: 3

Construction Year of Main Building: 2019

Roof Material: Colorbond

Wall Material: Brick Veneer

Land Area: 0.2005 hectares

LAST SALES

Contract Date	Settlement Date	Sale Price
05/07/2023	15/09/2023	\$810,000
26/06/2019	06/09/2019	\$550,000

LAST VALUATIONS

Date Inspected	Levels At	Land	Capital	A.A.V.	Reason
12/12/2024	01/07/2024	\$305,000	\$790,000	\$31,600	FRESH VALUATION
14/09/2023	01/07/2016	\$150,000	\$410,000	\$16,640	BA 2020 / 21 SHED CONSTRUCTED



Sorell Council

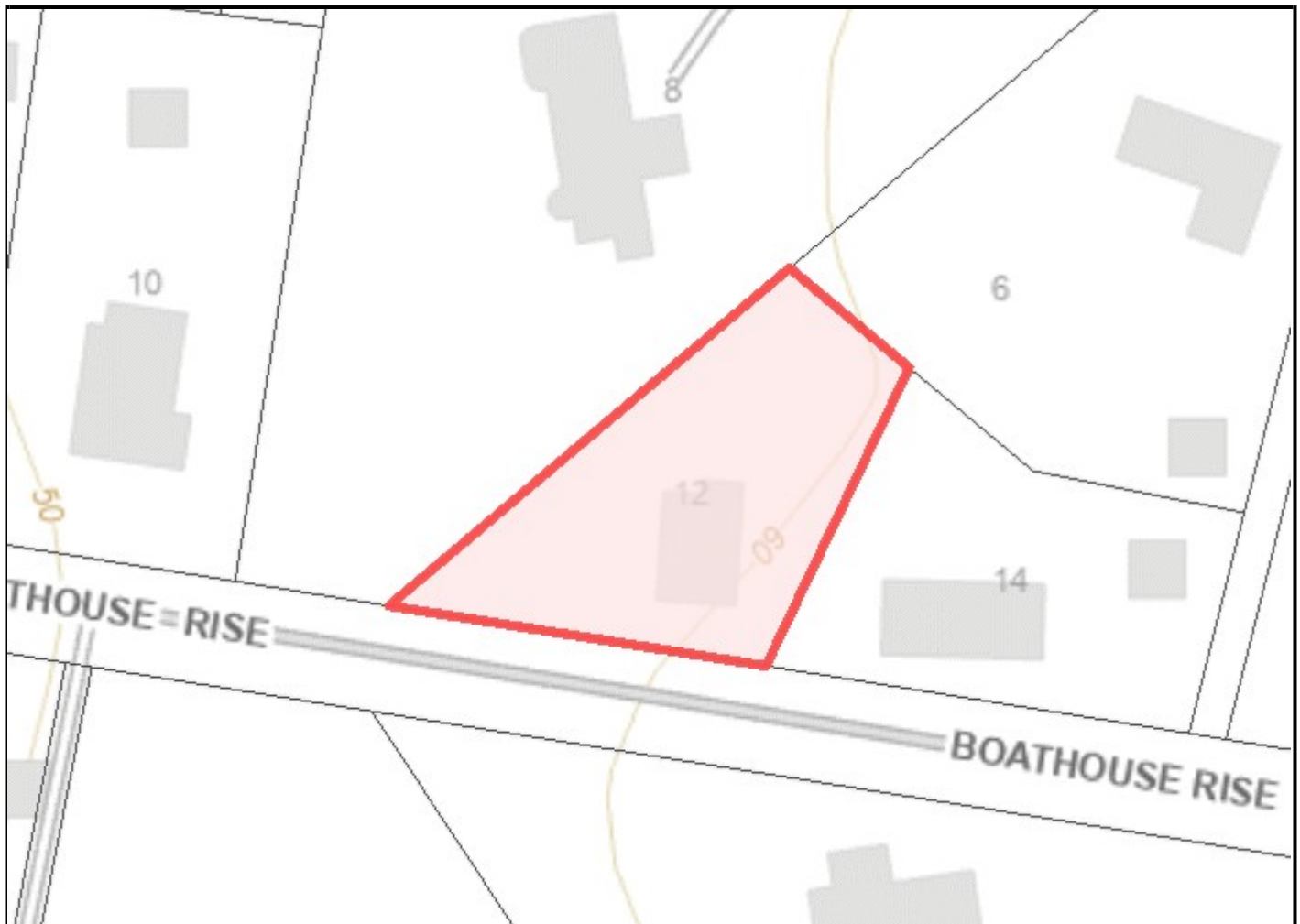
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No information obtained from the LIST may be used for direct marketing purposes.

Much of this data is derived from the Valuation Rolls maintained by the Valuer-General under the provisions of the Valuation of Land Act 2001. The values shown on this report are as at the Levels At date.

While all reasonable care has been taken in collecting and recording the information shown above, this Department assumes no liability resulting from any errors or omissions in this information or from its use in any way.

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Explanation of Terms

Property ID - A unique number used for Valuation purposes.

Date Inspected - The date the property was inspected for the valuation.

Levels At - Levels At - or Levels of Valuation Date means the date at which values of properties are determined for all valuations in a Municipal Area.

Land Value - Land Value is the value of the property including drainage, excavation, filling, reclamation, clearing and any other invisible improvements made to the land. It excludes all visible improvements such as buildings, structures, fixtures, roads, standings, dams, channels, artificially established trees and pastures and other like improvements.

Capital Value - Capital Value is the total value of the property (including the land value), excluding plant and machinery.

AAV - Assessed Annual Value. AAV is the gross annual rental value of the property excluding GST, municipal rates, land tax and fixed water and sewerage, but cannot be less than 4% of the capital value.

Interested Parties - This is a list of persons who have been recorded by the Valuer-General as having interest in the property (ie owner or Government agency).

Postal Address - This is the last advised postal address for the interested parties.

Multiple Tenancies - Properties that have multiple tenants are assessed for separate AAV's. e.g. a house and flat.



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<p>SCHEDULE OF EASEMENTS</p> <p>NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.</p>	<p>Registered Number</p> <p>SP 174099</p>
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PAGE 1 OF 1 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

FENCING COVENANT

The owner of each lot on the plan covenants with Gregory Keith Gangell and Kim Maree Gangell (the "Vendors") that the Vendors shall not be required to fence.

SIGNED by **GREGORY KEITH GANGELL** as registered)
Proprietor of the Land in Folio of the Register
Volume 171924 Folio 2 the presence of: -

G.K. Gangell

signature *A. Popelowski*
print name **ANDREW PAPIEROWSKI**
address **1 SAINT GEORGES COURT
CARRARA
QLD 4211**

SIGNED by **KIM MAREE GANGELL** as registered)
Proprietor of the Land in Folio of the Register
Volume 171924 Folio 2 the presence of: -

K. Gangell

signature *A. Popelowski*
print name **ANDREW PAPIEROWSKI**
address **1 SAINT GEORGES COURT
CARRARA
QLD 4211**

(USE ANNEXURE PAGES FOR CONTINUATION)


<p>SUBDIVIDER: Gregory Keith Gangell & Kim Maree Gangell</p> <p>FOLIO REF: 171924/2</p> <p>SOLICITOR & REFERENCE: Shields Heritage – Mark Sansom</p>	<p>PLAN SEALED BY: Sorell Council</p> <p>DATE: 17.10.17</p> <p>7.2015.221</p> <p>REF NO.</p> <p><i>John [Signature]</i> Council Delegate</p>
<p>NOTE: The Council Delegate must sign the Certificate for the purposes of identification.</p>	



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<p>SURVEY NOTES</p> <p>SHEET 1 OF SHEETS</p>	<p>Registered Number</p> <p style="font-size: 2em;">SP 174099</p>	<p style="text-align: center;">SURVEY CERTIFICATE</p> <p>I, John Brian Medbury of Cambridge in Tasmania a registered land surveyor HEREBY CERTIFY that:</p> <p>(a) this survey is based upon the best evidence that the nature of the case admits</p> <p>(b) the survey notes have been truly compiled from surveys made by me or made under my supervision; and</p> <p>(c) this survey and accompanying survey notes comply with the relevant legislation affecting surveys and are correct for the purpose required.</p> <p style="text-align: right;">Date /...../.....</p> <p>..... Signature Surveyors Reference: 15019A/02082</p>
<p><small>CROSS REFERENCE PLAN NUMBERS USED AS PART OF THIS SURVEY</small></p>	<p><small>DESCRIBE BY REPORT THE EVIDENCE USED TO DETERMINE BOUNDARIES</small></p>	<p>(SP.171924)</p> <p>SEE SP, 17924 FOR SURVEY NOTES</p>



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Soil Test

By: GEO Environmental Solutions
Date: 6 June 2017

BAL Assessment

Rate: BAL-Low
By: GEO Environmental Solutions
Date: 16 June 2017

Land Survey

By: Taken from existing plans
Date:

Thermal Assessment

By: Paul Hutchens Energy Rating
Date:

Corrosion Environment

Class: NCC 2022: Table 6.3.9a and - Specifications 3

Alpine Area

Class:

Climate Zone - 7

Soil Classification

Class: M & P

Wind Speed

N3 Vh,u = 50m/s

Land Title

Folio No: 2
Volume: 174099

Site Coverage

Land	-	2,005.00m²
Existing House	-	138.77m²
Existing Deck	-	29.55m²
Existing Shed	-	72.75m²
Existing Carport	-	54.36m²
TOTAL (for site coverage)-		295.43m²
Site Coverage	-	14.735%
Existing House	-	138.77m²
Existing Shed	-	72.75m²
Existing Carport	-	54.36m²
Proposed Extensions	-	28.84m²
Proposed Deck	-	33.20m²
TOTAL (for site coverage)-		327.92m²
Site Coverage	-	16.355%



ABN: 18 220 805 074
Compliance No: CC 1159 Q
m: 0409 432 670
e: clint.draftone@bigpond.com

Client

Michelle & Martin White

Job

Residential Extension

Job address

12 Boathouse Rise,
Lewisham

Drawing

Scale: A3
DWG: 1 of 10
Date: 20 November 20258
Job No: 2025-34

Cover

Amendments	
Date	By
Builders,Tradesmen,Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.	

Layout Index		
ID	Layout Name	Rev
1	Cover	
2	Site Plan	
3	Existing Floor Plan	
4	Existing Elevations	
5	Existing Roof Plan	
6	New Floor Plan	
7	New Elevations	
8	New Elevations	
9	New Roof Plan	
10	Window & Door Schedule	



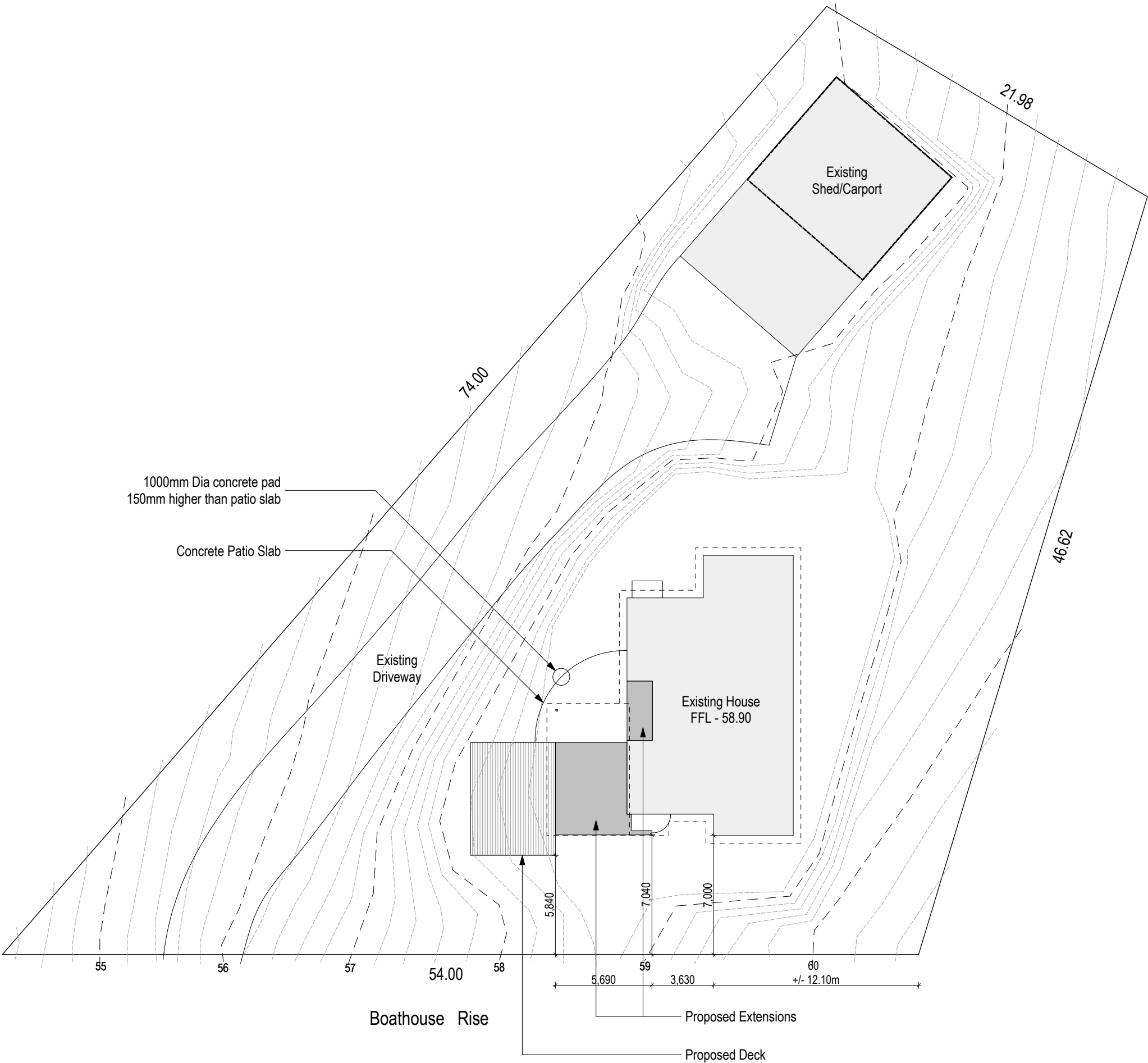
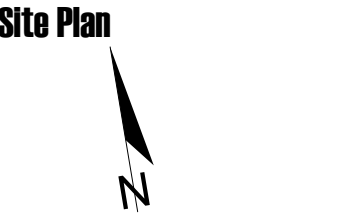
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e: clint.draftone@bigpond.com

Client
Michelle & Martin White
Job
Residential Extension
Job address
12 Boathouse Rise,
Lewisham
Drawing
Scale: A3 - 1:250
DWG: 2 of 10
Date: 20 November 20258
Job No: 2025-34



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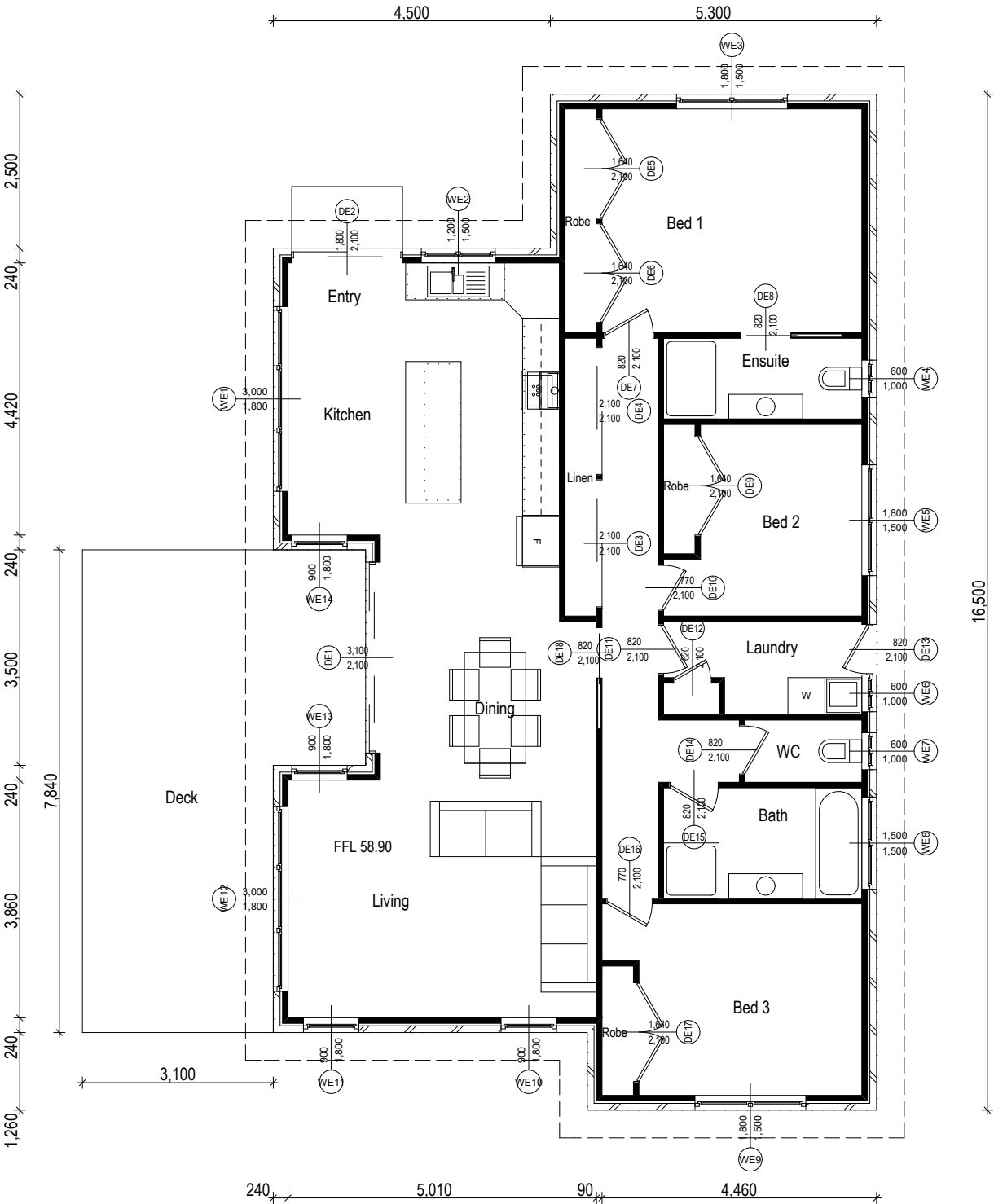
Client
Michelle & Martin White

Job
Residential Extension

Job address
12 Boathouse Rise,
Lewisham

Drawing
Scale: A3 - 1:100
DWG: 3 of 10
Date: 20 November 20258
Job No: 2025-34

Existing Floor Plan



Walls

- Existing Walls
- New Walls
- Walls to be removed

Windows

Width 1,210 Height 900

W05 Window number

Amendments	
Date	By

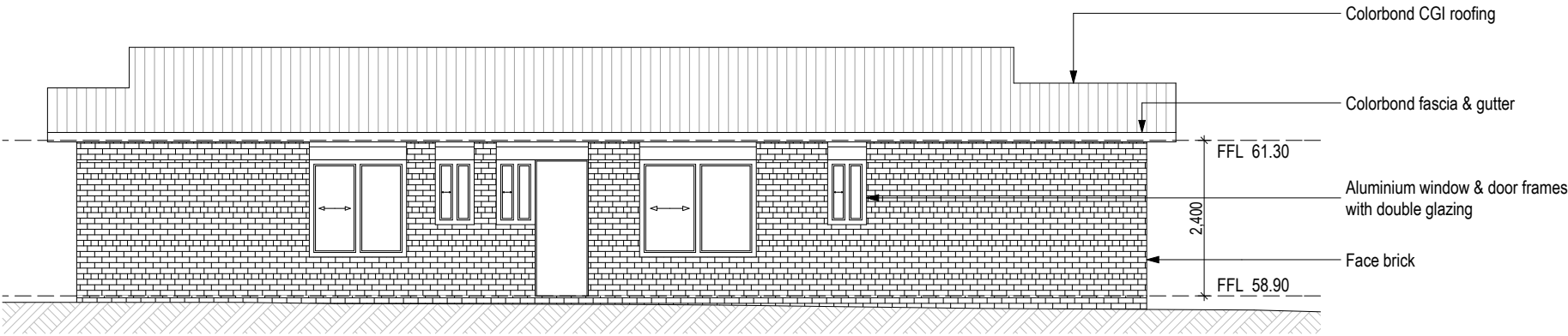
Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.



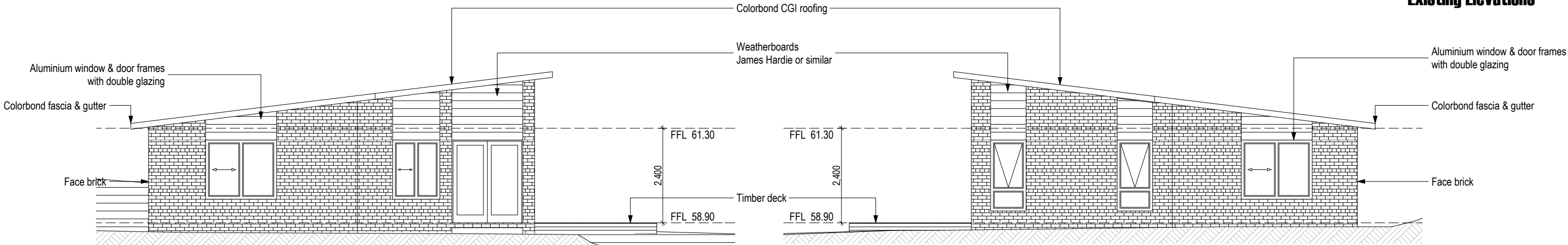
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Existing Elevations



East



North

South



West

Material & Colour Schedule

Element	Material	Colour
Weatherboards	James Hardie or similar	White
Masonry	Face brick	Existing dark colour
Downpipes	uPVC	To match wall
Roof	CGI Colorbond	CB Surf Mist
Gutter	Colorbond	CB Surf Mist
Fascia	Colorbond	CB Ironstone or similar
Windows & Doors	Aluminium	White
Deck	Timber	Stained

The colours indicated for non pre-finished elements (eg timber posts, weatherboard claddings) in the schedule are to be verified on site by the client. If there are any changes made to paint colours, the owner shall obtain approval from the certifying authority before putting work in hand

Amendments

Date	By

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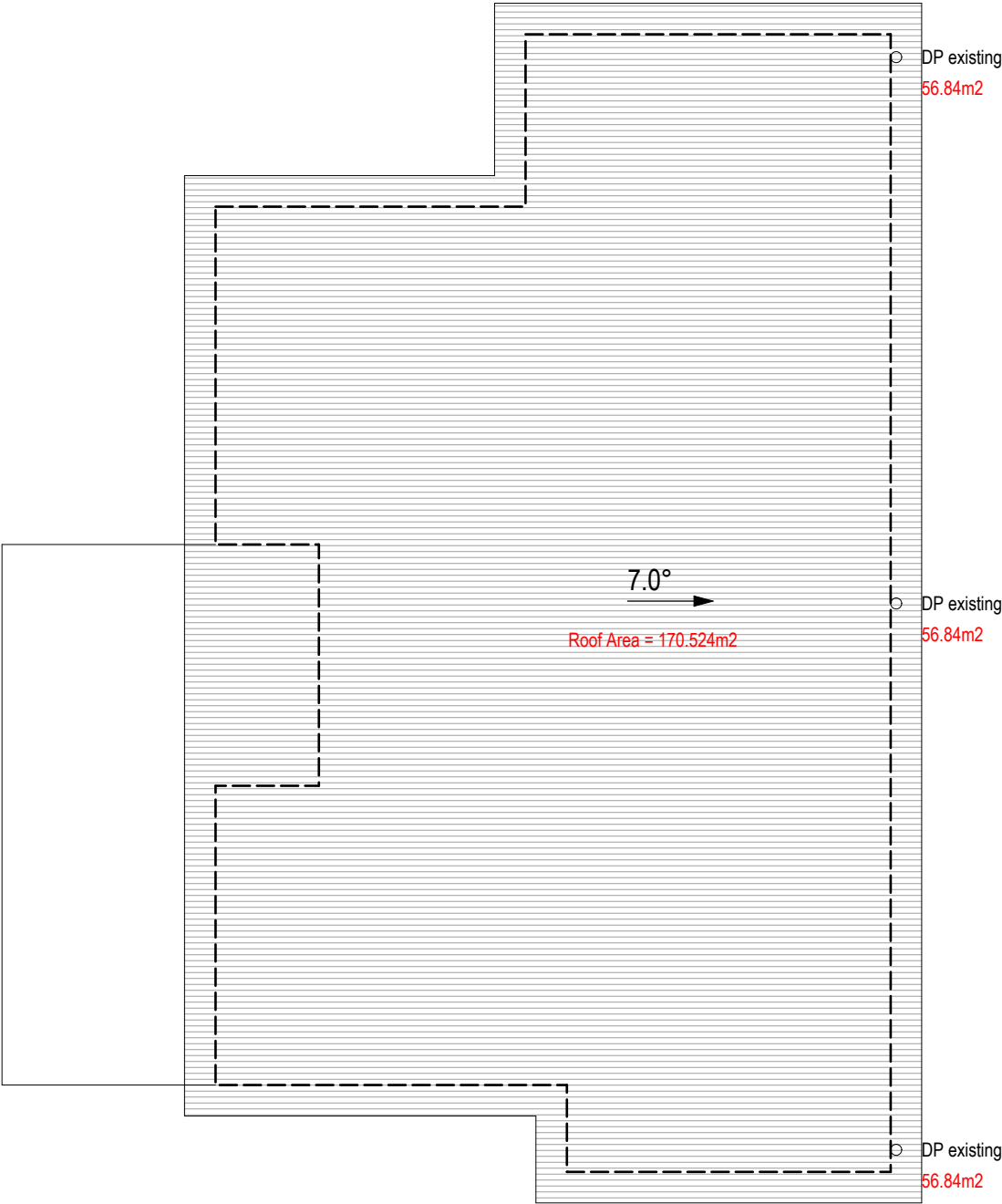
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Residential Extension

Job address
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Lewisham

Drawing
Scale: A3 - 1:100
DWG: 5 of 10
Date: 20 November 20258
Job No: 2025-34

Existing Roof Plan



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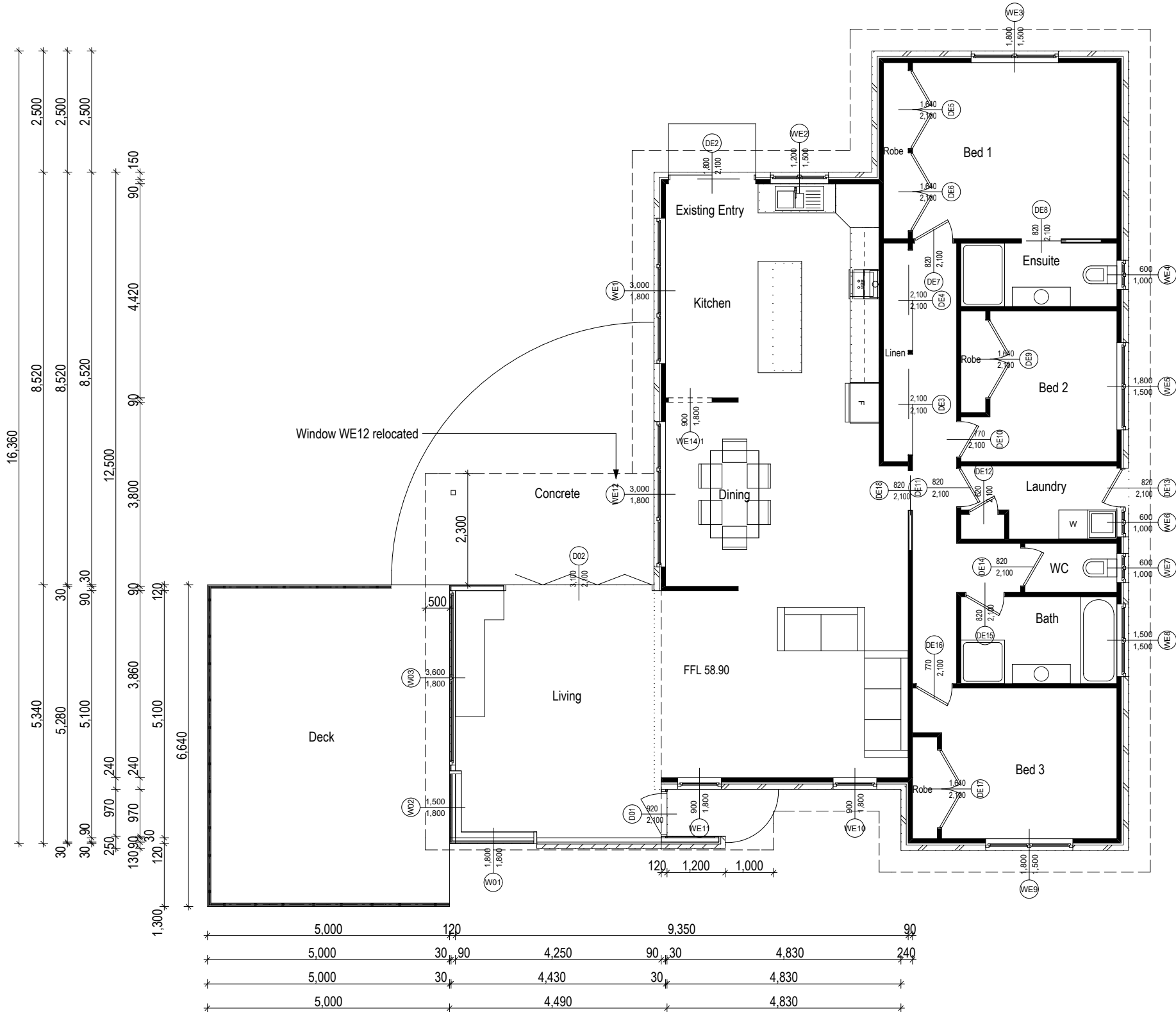
Client
Michelle & Martin White

Job
Residential Extension

Job address
12 Boathouse Rise,
Lewisham

Drawing
Scale: A3 - 1:100
DWG: 6 of 10
Date: 20 November 20258
Job No: 2025-34

New Floor Plan



Walls

- Existing Walls
- New Walls
- Walls to be removed

Windows

Width 1,210 Height 900

W05 Window number

Amendments

Date	By

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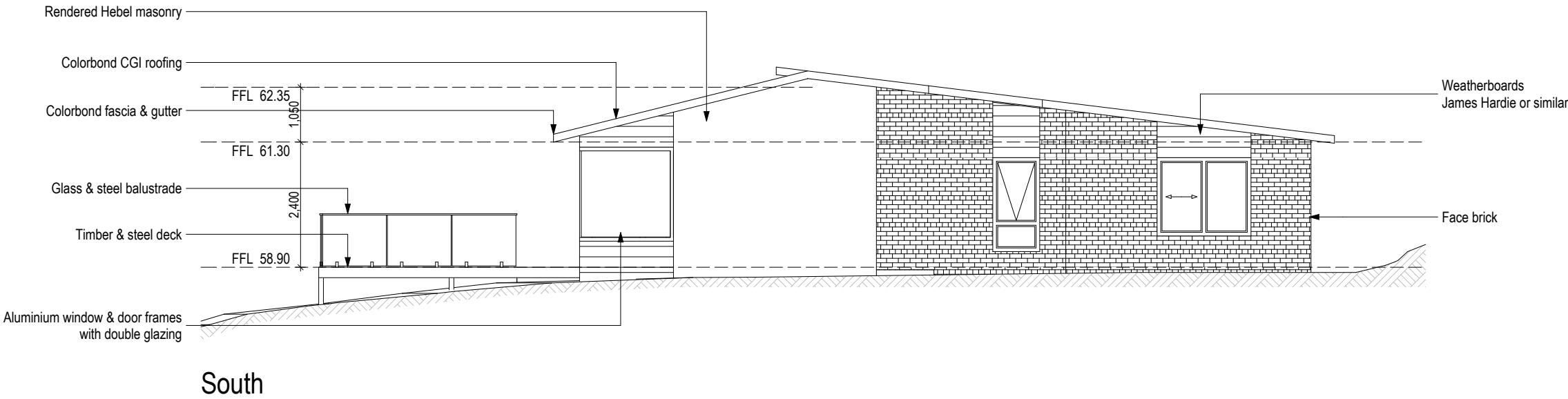
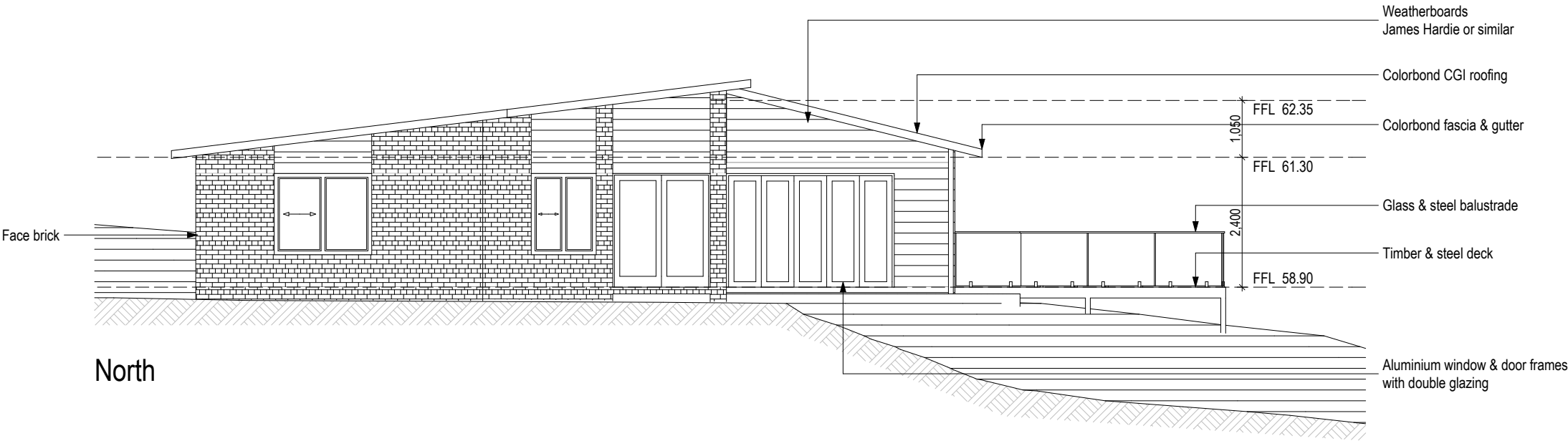
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New Elevations



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Material & Colour Schedule

Element	Material	Colour
Weatherboards	James Hardie or similar	White to match existing
Masonry	Face brick	Existing dark colour
Downpipes	uPVC	To match existing
Roof	CGI Colorbond	CB Surf Mist to match existing
Gutter	Colorbond	To match existing
Fascia	Colorbond	CB To match existing
Windows & Doors	Aluminium	White
Deck	Timber	TBA
Balustrade	Steel & Glass	TBA

The colours indicated for non pre-finished elements (eg timber posts, weatherboard claddings) in the schedule are to be verified on site by the client. If there are any changes made to paint colours, the owner shall obtain approval from the certifying authority before putting work in hand

Amendments

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ABN: 18 220 805 074
Compliance No: CC 1159 Q
m: 0409 432 670
e: clint.draftone@bigpond.com

Client
Michelle & Martin White

Job
Residential Extension

Job address
12 Boathouse Rise,
Lewisham

Drawing
Scale: A3 - 1:100
DWG: 8 of 10
Date: 20 November 20258
Job No: 2025-34

New Elevations



East



West



Sorell Council

Development Application: 5.2025.320.1 -
Development Application - 12 Boathouse Rise,
Lewisham P1.pdf
Plans Reference:P1
Date Received:20/11/2025

Material & Colour Schedule

Element	Material	Colour
Weatherboards	James Hardie or similar	White to match existing
Masonry	Face brick	Existing dark colour
Downpipes	uPVC	To match existing
Roof	CGI Colorbond	CB Surf Mist to match existing
Gutter	Colorbond	To match existing
Fascia	Colorbond	CB To match existing
Windows & Doors	Aluminium	White
Deck	Timber	TBA
Balustrade	Steel & Glass	TBA

The colours indicated for non pre-finished elements (eg timber posts, weatherboard claddings) in the schedule are to be verified on site by the client. If there are any changes made to paint colours, the owner shall obtain approval from the certifying authority before putting work in hand

Amendments

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Part 7.4 Gutters and downpipes

7.4.1 Application

[New for 2022]

Table 7.4.3a: Size of gutter required to drain roof catchment area into one (1) downpipe for various rainfall intensities and roof catchment areas (A, B, C, D, E and F defined in Table 7.4.3b)

Design rainfall intensity (mm/h) (as per Table 7.4.3d)	Roof catchment area per downpipe — 30 m ²	Roof catchment area per downpipe — 40 m ²	Roof catchment area per downpipe — 50 m ²	Roof catchment area per downpipe — 60 m ²	Roof catchment area per downpipe — 70 m ²
120 mm/h	A or C	A or C	A or C	A or C	A or D
140 mm/h	A or C	A or C	A or C	A or D	B or E

Table 7.4.3b: Gutter sizes for various rainfall intensities

Gutter type	Gutter description	Minimum cross-sectional area (mm ²)
A	Medium rectangular gutter	6500
B	Large rectangular gutter	7900
C	115 mm D gutter	5200

Table 7.4.3c: Downpipe selection for gutter types (A, B, C, D, E and F defined in Table 7.4.3b)

Downpipe section	Gutter type A	Gutter type B	Gutter type C	Gutter type D	Gutter type E
75 mm dia.	Yes	Yes	Yes	No	
100 mm x 50 mm	Yes	Yes	Yes	Yes	Yes

Table 7.4.3d: 5 minute duration rainfall intensities

State	Locality	Annual exceedance probability, 5% (mm/h)	Annual exceedance probability, 1% (mm/h)
TAS	Hobart	86	120

Table 7.4.4a: Overflow volume for continuous measure (L/s/m)

Design 5 minute duration rainfall intensity (mm/h) (from Table 7.4.3d)	Ridge to gutter length — 2 m	Ridge to gutter length — 4 m	Ridge to gutter length — 6 m	Ridge to gutter length — 8 m	Ridge to gutter length — 10 m	Ridge to gutter length — 12 m	Ridge to gutter length — 14 m	Ridge to gutter length — 16 m
150 mm/h	0.08 L/s/m	0.17 L/s/m	0.25 L/s/m	0.33 L/s/m	0.42 L/s/m	0.50 L/s/m	0.58 L/s/m	0.67 L/s/m
175 mm/h	0.10 L/s/m	0.19 L/s/m	0.29 L/s/m	0.39 L/s/m	0.49 L/s/m	0.58 L/s/m	0.68 L/s/m	0.78 L/s/m
200 mm/h	0.11 L/s/m	0.22 L/s/m	0.33 L/s/m	0.44 L/s/m	0.56 L/s/m	0.67 L/s/m	0.78 L/s/m	0.89 L/s/m
225 mm/h	0.13 L/s/m	0.25 L/s/m	0.38 L/s/m	0.50 L/s/m	0.63 L/s/m	0.75 L/s/m	0.88 L/s/m	1.0 L/s/m
250 mm/h	0.14 L/s/m	0.28 L/s/m	0.42 L/s/m	0.56 L/s/m	0.69 L/s/m	0.83 L/s/m	0.97 L/s/m	1.1 L/s/m

7.4.7 Acceptable dedicated overflow measure per downpipe

[2019: Table 3.5.3.4b]

- For an end-stop weir with—
 - a minimum clear width of 100 mm; and
 - the weir edge installed a minimum 25 mm below the top of the fascia,the acceptable overflow is 0.5 L/s constructed in accordance with Figure 7.4.7a.
- An end-stop weir is not suitable where the end-stop abuts a wall.
- For an inverted nozzle installed within 500 mm of a gutter high point with—
 - a minimum nozzle size of 100 mm × 50 mm positioned lengthways in the gutter; and
 - the top of the nozzle installed a minimum of 25 mm below the top of the fascia,the acceptable overflow is 1.2 L/s constructed in accordance with Figure 7.4.7b.
- For a front face weir with—
 - a minimum clear width of 200 mm; and
 - a minimum clear height of 20 mm; and
 - the weir edge installed a minimum of 25 mm below the top of the fascia,the acceptable overflow capacity is 1.0 L/s constructed in accordance with Figure 7.4.7c.
- For a rainhead with—
 - a 75 mm diameter hole in the outward face of the rainhead; and
 - the centreline of the hole positioned 100 mm below the top of the fascia,

7.4.6 Acceptable continuous overflow measure

[2019: Table 3.5.3.4a]

- For a front face slotted gutter with—
 - a minimum slot opening area of 1200 mm² per metre of gutter; and
 - the lower edge of the slots installed a minimum of 25 mm below the top of the fascia,the acceptable overflow capacity must be 0.5 L/s/m, constructed in accordance with Figure 7.4.6a.
- For a controlled back gap with—
 - a permanent minimum 10 mm spacer installed between the gutter back and the fascia; and
 - one spacer per bracket, with the spacer not more than 50 mm wide; and
 - the back of the gutter installed a minimum of 10 mm below the top of the fascia,the acceptable overflow capacity must be 1.5 L/s/m, constructed in accordance with Figure 7.4.6b.
- For the controlled back gap option, the spacer can be a proprietary clip or bracket that provides the *required* offset of the gutter from the fascia.
- For controlled front bead height with the front bead of the gutter installed a minimum of 10 mm below the top of the fascia, the acceptable overflow capacity is 1.5 L/s/m constructed in accordance with Figure 7.4.6c.

Figure 7.4.6a: Construction of front face slotted gutter

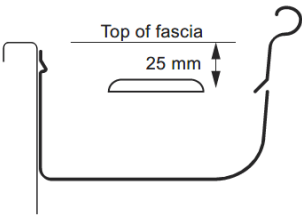


Figure 7.4.6b: Construction of controlled back gap

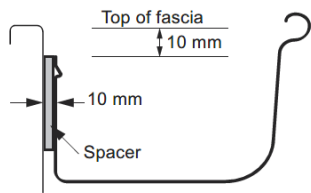


Figure 7.4.6c: Construction of controlled front bead height

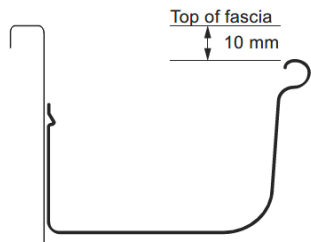
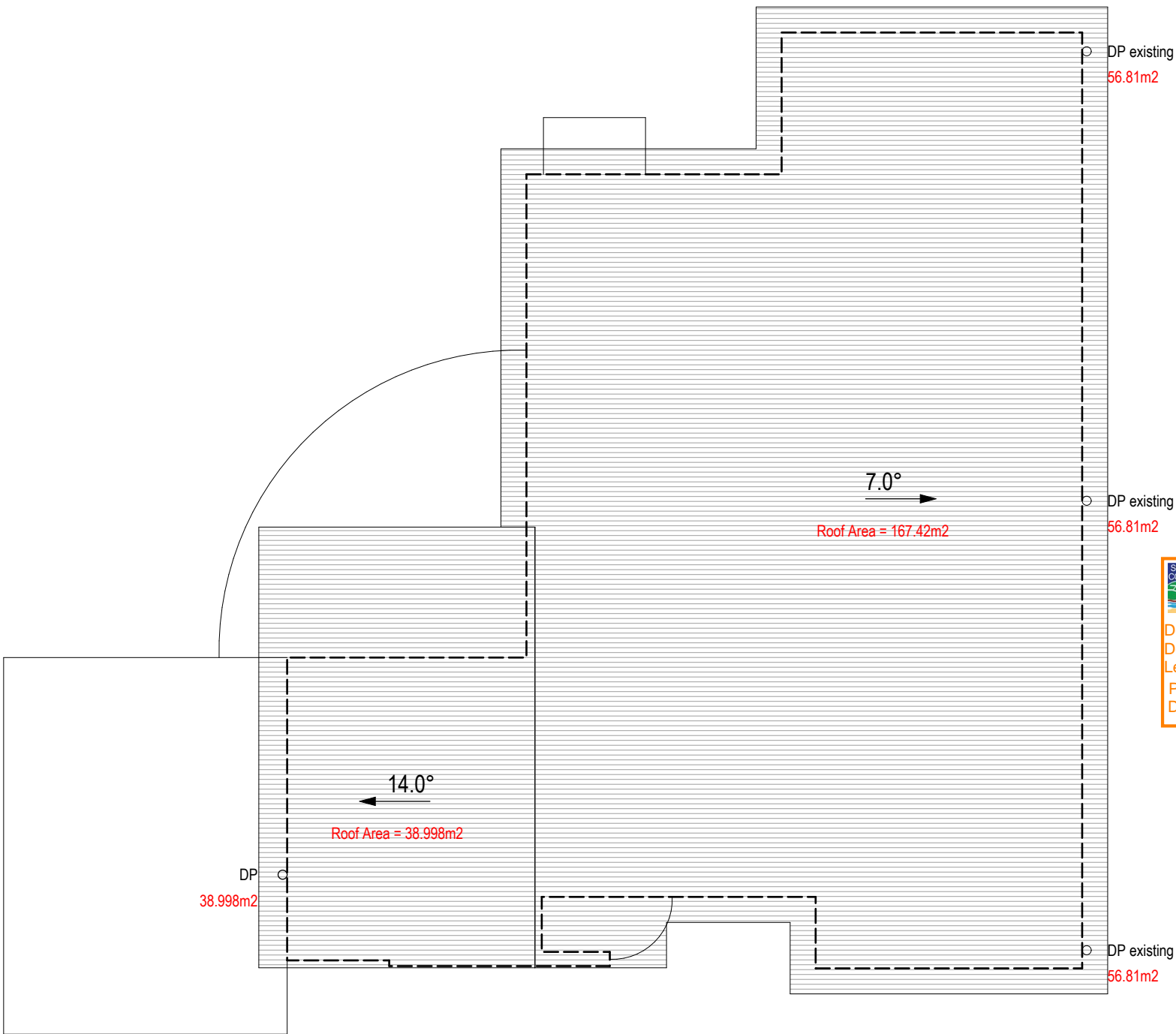


Figure Notes

Front bead of gutter to be a minimum of 10 mm below the top of the fascia.



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New Roof Plan


















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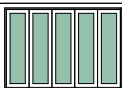
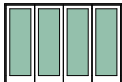

















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Window List								
ID	3D Front View	Height	Width	Head Height	Type	Frame	Glazing	Notes
W01		1,800	1,800	2,300	Fixed	Aluminium	Clear Double	
W02		1,800	1,500	2,300	Fixed	Aluminium	Clear Double	
W03		1,800	3,600	2,300	Fixed	Aluminium	Clear Double	
WE1		1,800	3,000	2,100	Fixed	Aluminium	Clear Double	
WE2		1,500	1,200	2,100	Sliding	Aluminium	Clear Double	
WE3		1,500	1,800	2,100	Sliding	Aluminium	Clear Double	
WE4		1,000	600	2,100	Sliding	Aluminium	Obscure Double	
WE5		1,500	1,800	2,100	Sliding	Aluminium	Clear Double	
WE6		1,000	600	2,100	Sliding	Aluminium	Clear Double	
WE7		1,000	600	2,100	Sliding	Aluminium	Obscure Double	
WE8		1,500	1,500	2,100	Sliding	Aluminium	Obscure Double	
WE9		1,500	1,800	2,100	Sliding	Aluminium	Clear Double	
WE10		1,800	900	2,100	Top Hung	Aluminium	Clear Double	
WE11		1,800	900	2,100	Top Hung	Aluminium	Clear Double	
WE12		1,800	3,000	2,100	Fixed	Aluminium	Clear Double	
WE13		1,800	900	2,100	Top Hung	Aluminium	Clear Double	
WE14		1,800	900	2,100	Top Hung	Aluminium	Clear Double	
WE14.1		1,800	900	2,100	Open	Plaster		

Door List							
ID	3D Front View	Height	Width	Head Height	Type	Frame	Glazing
D01		2,100	920	2,100	Hinged	Aluminium	Obscure Double
D02		2,100	3,100	2,100	Bi-Fold	Aluminium	Clear Double
DE1		2,100	3,100	2,100	Sliding	Aluminium	Clear Double
DE2		2,100	1,800	2,100	Sliding	Aluminium	Clear Double
DE3		2,100	2,100	2,100	Sliding	Timber	
DE4		2,100	2,100	2,100	Sliding	Timber	
DE5		2,100	1,640	2,100	Sliding	Timber	
DE6		2,100	1,640	2,100	Sliding	Timber	
DE7		2,100	820	2,100	Hinged	Timber	
DE8		2,100	820	2,100	Hinged	Timber	
DE9		2,100	1,640	2,100	Hinged	Timber	
DE10		2,100	770	2,100	Hinged	Timber	
DE11		2,100	820	2,100	Hinged	Timber	
DE12		2,100	620	2,100	Hinged	Timber	
DE13		2,100	820	2,100	Hinged	Timber	
DE14		2,100	820	2,100	Hinged	Timber	
DE15		2,100	820	2,100	Hinged	Timber	
DE16		2,100	770	2,100	Hinged	Timber	
DE17		2,100	1,640	2,100	Hinged	Timber	
DE18		2,100	820	2,100	Sliding	Timber	



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Window & Door Schedule



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