

# NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

**SITE:****14 PARKSIDE PLACE, SORELL****PROPOSED DEVELOPMENT:****DWELLING**

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at [www.sorell.tas.gov.au](http://www.sorell.tas.gov.au) until **Monday 15<sup>th</sup> December 2025**.

Any person may make representation in relation to the proposal by letter or electronic mail ([sorell.council@sorell.tas.gov.au](mailto:sorell.council@sorell.tas.gov.au)) addressed to the General Manager. Representations must be received no later than **Monday 15<sup>th</sup> December 2025**.

**APPLICATION NO: 5.2025-319.1**  
**DATE: 28 NOVEMBER 2025**





- Annotations**
- Polygon4
  - Polygon3
  - Polygon2
  - Polvaon1
- Roads**
- DSG Roads
  - Council Roads
- Property**
- property
  - Titles



**Disclaimer**

Any information extracted from this document (from the face of the document or by scale) should be verified on site. Council takes no responsibility for the accuracy of any information contained or presented in the document. While every care has been taken to ensure the accuracy of this information, Council makes no representations or warranties about the accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and liability.

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**Part B: Please note that Part B of this form is publicly exhibited.**

|  |   |
|--|---|
| Full description of Proposal:                      | Use:  |
|  | Development:  |
|  | <i>Large or complex proposals should be described in a letter or planning report.</i> |
| Design and construction cost of proposal: \$ ..... |   |

|   |  |
|---|--|
| Is all, or some the work already constructed: | No: <input type="checkbox"/> Yes: <input type="checkbox"/> |
|---|--|


|                             |  |
|-----------------------------|--|
| Location of proposed works: | Street address: .....                              |
|                             | Suburb: ..... Postcode: .....                      |
|                             | Certificate of Title(s) Volume: ..... Folio: ..... |

|                     |       |
|---------------------|-------|
| Current Use of Site | ..... |
|---------------------|-------|

|                  |              |
|------------------|--------------|
| Current Owner/s: | Name(s)..... |
|------------------|--------------|

|  |  |   |
|--|--|---|
| Is the Property on the Tasmanian Heritage Register?                                  | No: <input type="checkbox"/> Yes: <input type="checkbox"/> | <i>If yes, please provide written advice from Heritage Tasmania</i>               |
| Is the proposal to be carried out in more than one stage?                            | No: <input type="checkbox"/> Yes: <input type="checkbox"/> | <i>If yes, please clearly describe in plans</i>                                   |
| Have any potentially contaminating uses been undertaken on the site?                 | No: <input type="checkbox"/> Yes: <input type="checkbox"/> | <i>If yes, please complete the Additional Information for Non-Residential Use</i> |
| Is any vegetation proposed to be removed?  | No: <input type="checkbox"/> Yes: <input type="checkbox"/> | <i>If yes, please ensure plans clearly show area to be impacted</i>               |
| Does the proposal involve land administered or owned by either the Crown or Council? | No: <input type="checkbox"/> Yes: <input type="checkbox"/> | <i>If yes, please complete the Council or Crown land section on page 3</i>        |


**If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form**  
<https://www.sorell.tas.gov.au/services/engineering/>



**Sorell Council**

Development Application: 5.2025.319.1 -  
 Development Application - 14 Parkside Place  
 Sorell - P1.pdf  
 Plans Reference: P1  
 Date Received: 19/11/2025

| Declarations and acknowledgements  |                              |
|--|------------------------------|
| <ul style="list-style-type: none"> <li>I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land.</li> <li>I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council's representatives to enter the land at any time during normal business hours.</li> <li>I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies.</li> <li>I/we declare that, in accordance with s52(1) of the <i>Land Use Planning and Approvals Act 1993</i>, that I have notified the owner(s) of the intention to make this application.</li> <li>I/we declare that the information in this application is true and correct.</li> </ul> <p><i>Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council's Privacy Policy available on the Council website.</i></p> |                              |
| <ul style="list-style-type: none"> <li>I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.</li> </ul>  |                              |
| <ul style="list-style-type: none"> <li>Where the General Manager's consent is also required under s.14 of the <i>Urban Drainage Act 2013</i>, by making this application I/we also apply for that consent.</li> </ul>  |                              |
| <b>Applicant Signature:</b>  | Signature: ..... Date: ..... |

| Crown or General Manager Land Owner Consent   |                              |
|---|------------------------------|
| <p>If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the <i>Land Use Planning and Approvals Act 1993</i>).</p> <p>Please note:</p> <ul style="list-style-type: none"> <li>If General Manager consent is required, please first complete the General Manager consent application form available on our website <a href="http://www.sorell.tas.gov.au">www.sorell.tas.gov.au</a></li> <li>If the application involves Crown land you will also need a letter of consent.</li> <li>Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.</li> </ul> |                              |
| <p>I _____ being responsible for the<br/>administration of land at _____<br/>declare that I have given permission for the making of this application for<br/>_____</p>  |                              |
| <div style="text-align: right;">  <div style="display: inline-block; vertical-align: middle;"> <b>Sorell Council</b><br/> <small>Development Application: 5.2025.319.1 -<br/>                     Development Application - 14 Parkside Place<br/>                     Sorell - P1.pdf<br/>                     Plans Reference: P1<br/>                     Date Received: 19/11/2025</small> </div> </div>   |                              |
| <b>Signature of General Manager,<br/>Minister or Delegate:</b>  | Signature: ..... Date: ..... |



## SEARCH OF TORRENS TITLE

|                  |                              |
|------------------|------------------------------|
| VOLUME<br>182322 | FOLIO<br>11                  |
| EDITION<br>2     | DATE OF ISSUE<br>29-Jul-2022 |

SEARCH DATE : 02-Oct-2025

SEARCH TIME : 11.43 AM

DESCRIPTION OF LAND

Parish of SORELL Land District of PEMBROKE  
Lot 11 on Sealed Plan 182322  
Derivation : Part of 570 Acres Gtd. to Thomas Augustus  
Wolstenholme, Earl of Macclesfield and Henry Goodford  
Prior CT 109062/30

SCHEDULE 1

M851834 TRANSFER to JAC ESTATES PTY LTD Registered  
02-Nov-2020 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
SP182322 COVENANTS in Schedule of Easements  
SP182322 FENCING PROVISION in Schedule of Easements  
SP109062 COVENANTS in Schedule of Easements  
SP109062 FENCING COVENANT in Schedule of Easements  
SP109062 SEWERAGE AND/OR DRAINAGE RESTRICTION

UNREGISTERED DEALINGS AND NOTATIONS

NOTICE: This folio is affected as to amended covenants  
pursuant to Request to Amend No. E311342 made under  
Section 103 of the Local Government (Building and  
Miscellaneous Provisions) Act 1993. Search Sealed  
Plan No. 109062 Lodged by BUTLER MCINTYRE & B on  
25-Jul-2022 BP: E311342  
E376962 INSTRUMENT Creating Restrictive Covenants Lodged by  
BUTLER MCINTYRE & B on 08-May-2025 BP: E376962

**Sorell Council**

Development Application: 5.2025.319.1 -  
Development Application - 14 Parkside Place  
Sorell - P1.pdf  
Plans Reference:P1  
Date Received:19/11/2025



(Scan with Folio Plan of the Plan below)

## **NOTICE TO SEARCHERS**

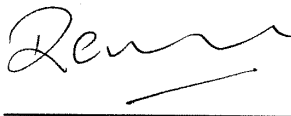
### **AMENDMENT No. E311342**

**AFFECTING**

**SEALED PLAN No:- 109062**

**THE ABOVE AMENDMENT HAS BEEN LODGED  
WITH THE RECORDER OF TITLES**

**25 July 2022**

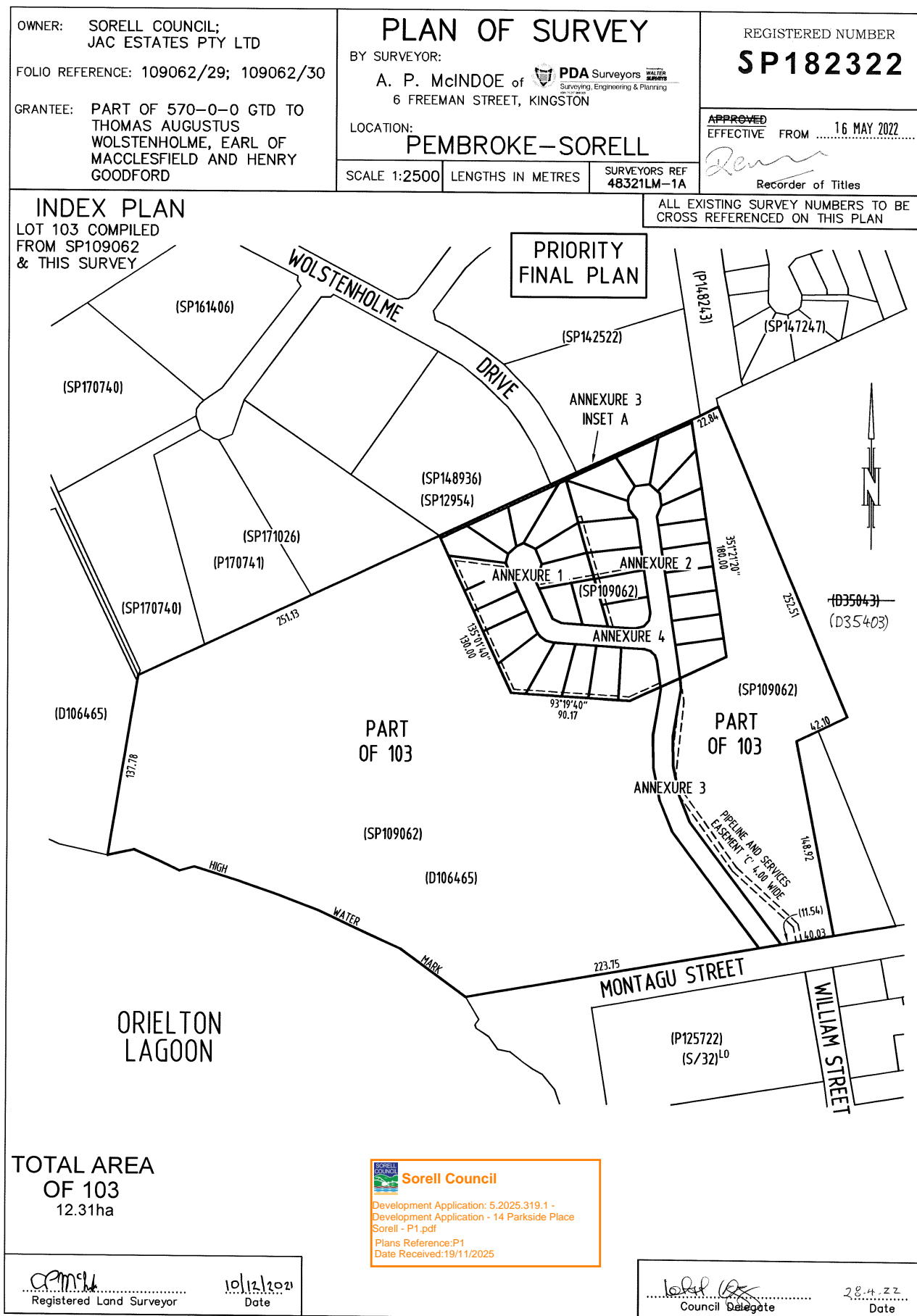


**Robert Manning  
Recorder of Titles**

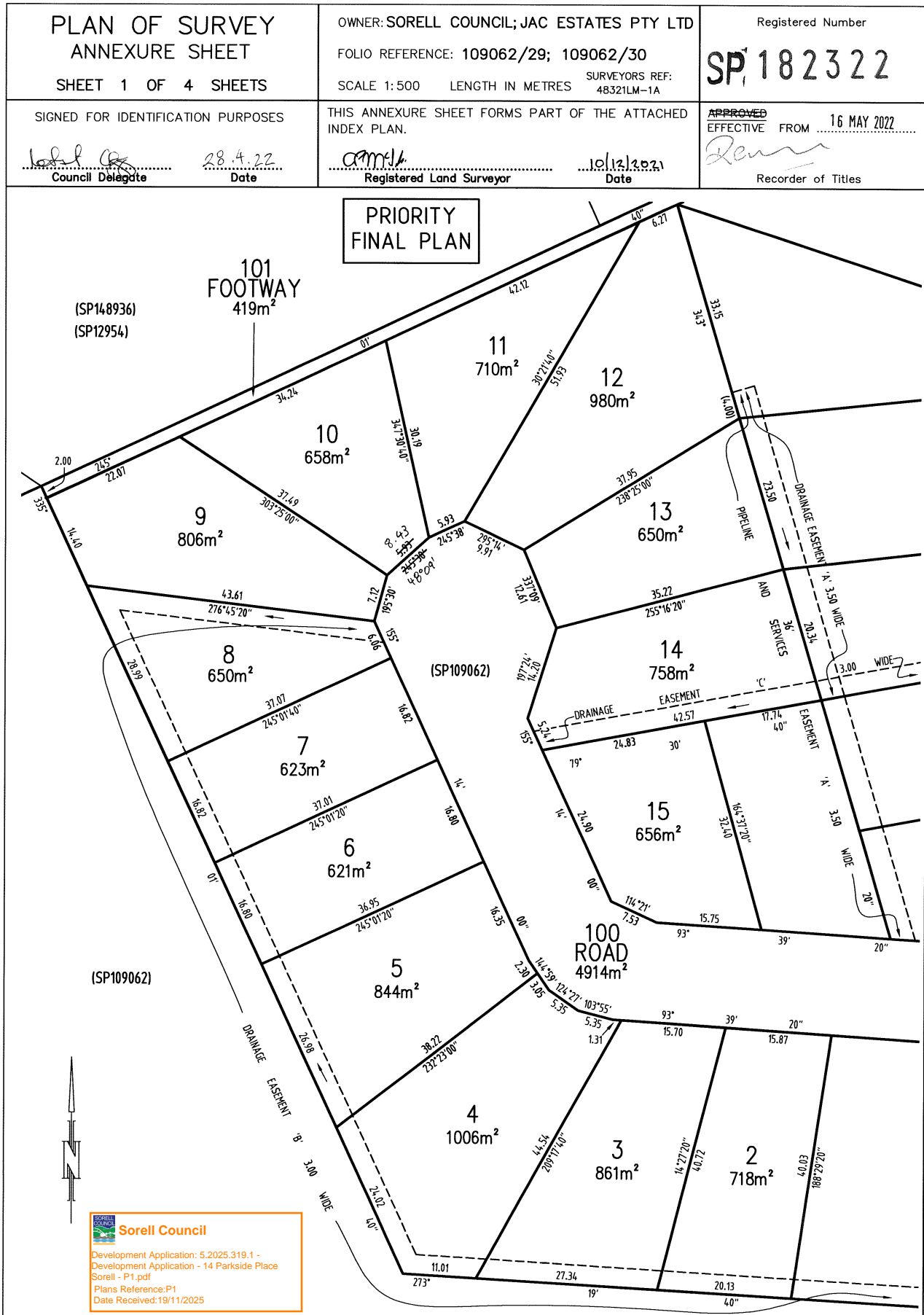


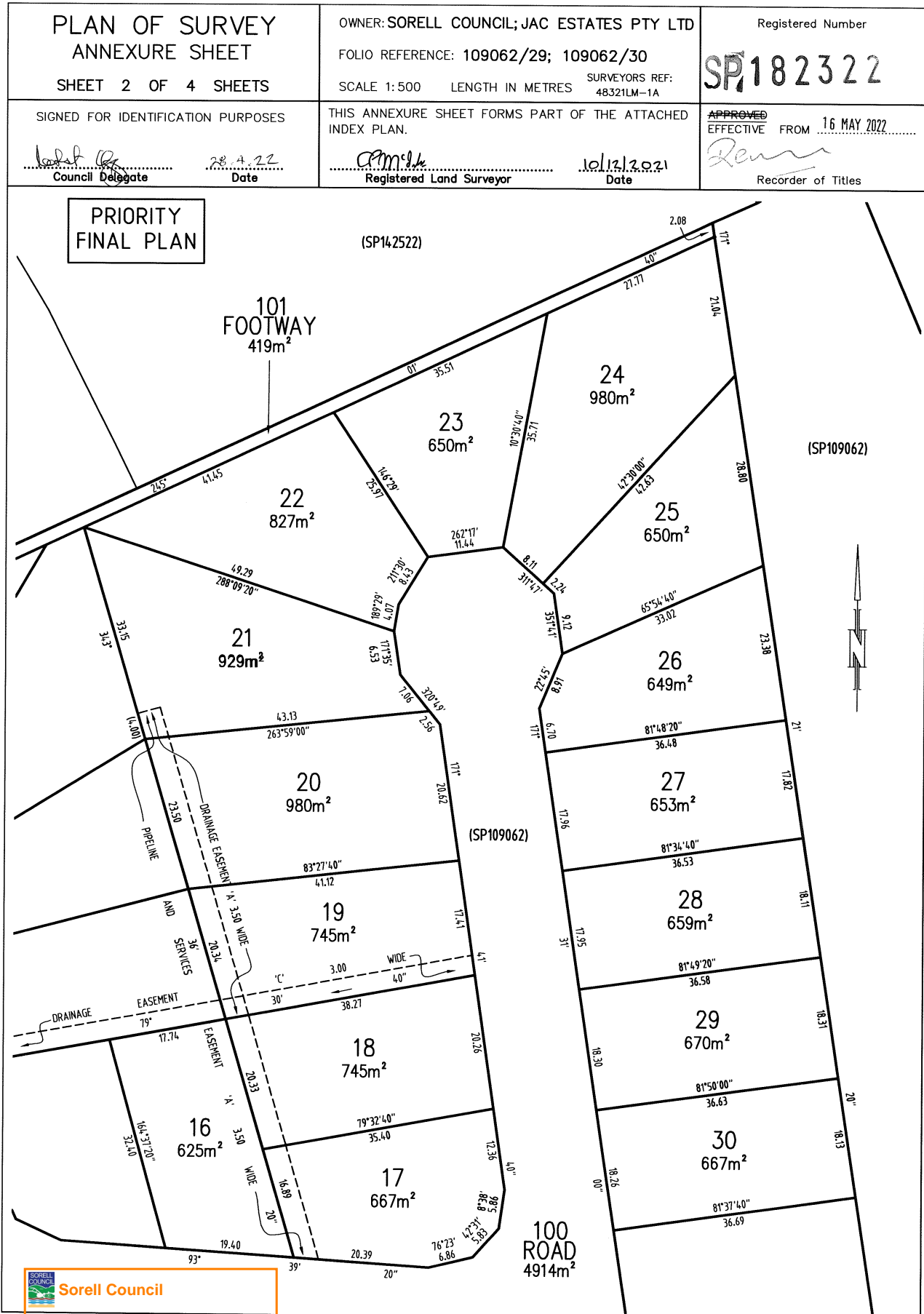
NOTE: This notice should be removed once the amendment has been registered and the amended sheet/s have been scanned with the plan



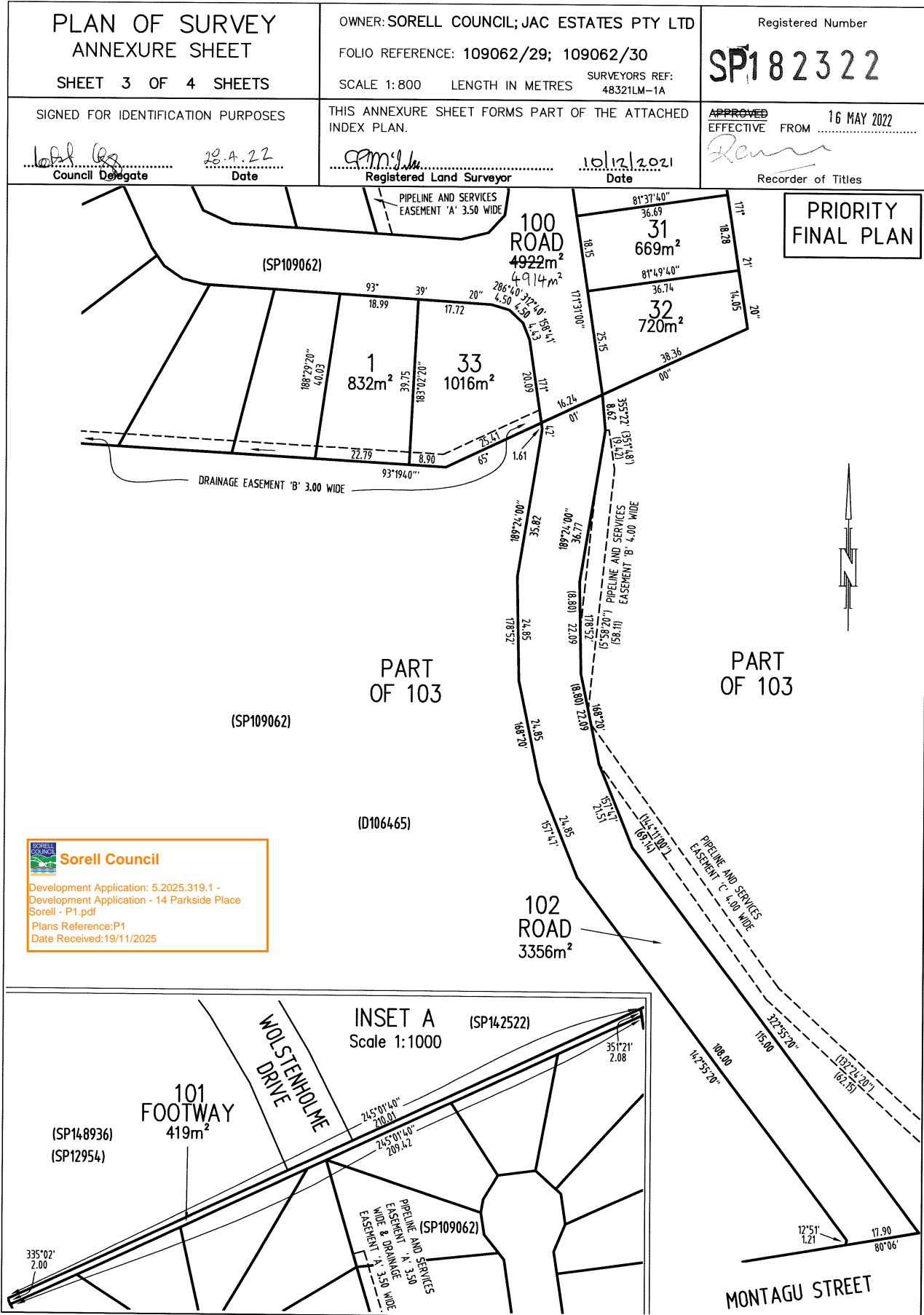


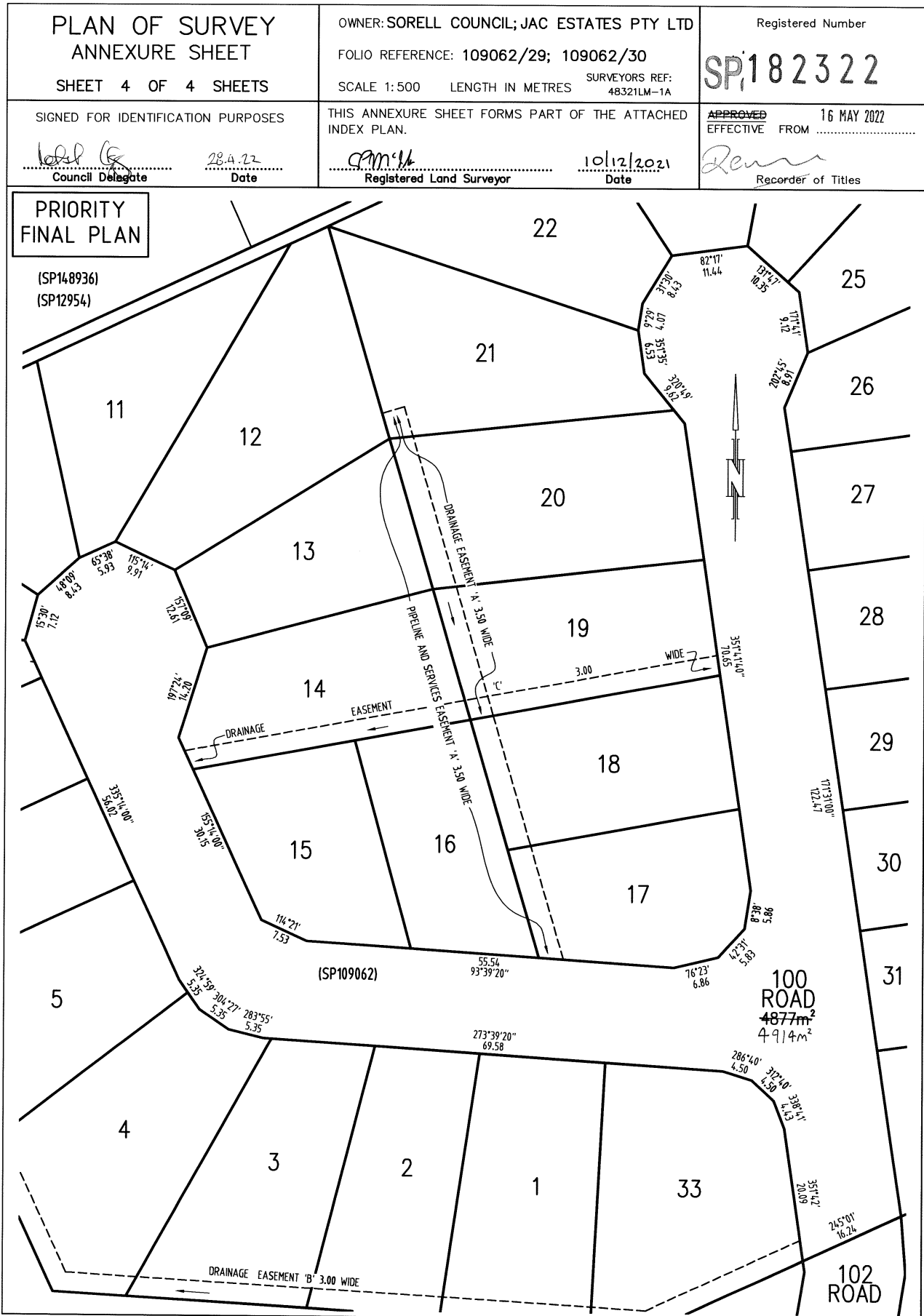














# **FLOOD PRONE AREAS HAZARD ASSESSMENT**

## **Proposed Dwelling 14 PARKSIDE PLACE - SORELL**



|                              |                                    |
|------------------------------|------------------------------------|
| <b>Client:</b>               | <b>Prime Design</b>                |
| <b>Certificate of Title:</b> | <b>182322/11</b>                   |
| <b>Investigation Date:</b>   | <b>17/10/2025 &amp; 21/10/2025</b> |

**Refer to this Report As**

Enviro-Tech Consultants Pty. Ltd. 2025. Flood Hazard Assessment Report for a Proposed Dwelling, 14 Parkside Place - Sorell. Unpublished report for Prime Design by Enviro-Tech Consultants Pty. Ltd., 21/10/2025.

**Report Distribution:**

This report has been prepared by Enviro-Tech Consultants Pty. Ltd. for the use by parties involved in the proposed residential development of the property named above. It is to be used only to assist in managing any existing or potential inundation hazards relating to the Site and its development.

Permission is hereby given by Enviro-Tech Consultants Pty. Ltd., and the client, for this report to be copied and distributed to interested parties, but only if it is reproduced in colour, and only distributed in full. No responsibility is otherwise taken for the contents.

**Limitations of this report**

The data displayed within this document has been prepared using open-source scientific documents and data. Envirotech have used this local and regional data to estimate present and future hazards at the Site. The data is by its nature approximate and may contain errors introduced by the data provider(s).

The inundation modelling conducted in this assessment assumes specific Site conditions detailed within this assessment report as per design plans. Modifications to the landscape, not indicated in this report, including construction of retaining walls, soil cut or fill, and water flow obstructions including but not limited to vegetation, fencing, and non-fixed items may result in varied inundation levels and varied water flow movement across the property which are not modelled in this assessment are outside of the scope of this investigation.



## Executive Summary

Enviro-Tech Consultants Pty. Ltd. (Envirotech) were engaged by Prime Design to complete a flood-prone areas hazard assessment for a proposed dwelling located at 14 Parkside Place, Sorell. This assessment has been prepared to address the relevant requirements of the Tasmanian Planning Scheme – Sorell, including the C12.0 Flood-Prone Areas Hazard Code, and to evaluate inundation risk associated with the proposed development.

The objectives of this investigation were to:

- utilise available Geographic Information System (GIS) datasets together with a recent site survey to interpret present-day site hydrology;
- assess the potential impact of the proposed development on local inundation behaviour and determine whether the building and works influence the entry or exit of floodwaters across the land;
- complete a risk assessment in accordance with AS/NZS ISO 31000:2009 to determine whether a tolerable level of flood risk can be achieved for the intended life of the development; and
- provide recommendations for managing any identified inundation risk.

The proposed development comprises a three-bedroom dwelling and a garage, with finished floor levels to be established in response to the findings of this assessment.

Significant filling was undertaken during the Miena Park Estate subdivision phase, with site investigations confirming approximately 1.1–1.3 m of fill across the lot. The October 2025 site survey supplied by Survey Plus was used to produce a revised digital elevation model (DEM), which formed the basis for updated 1% Annual Exceedance Probability (AEP) flood modelling.

The majority of 1% AEP floodwaters pass through a 9 m wide open drainage channel located immediately north of the site, directing flows towards Orielson Lagoon. Pre-subdivision modelling indicated overtopping of this channel; however, following the subdivision earthworks, the adjusted topography now directs floodwaters more effectively into the drainage channel, reducing the likelihood of inundation across the lot.

Updated hydraulic modelling identifies a 1% AEP peak inundation level of 6.4 m AHD within the drainage channel. The surveyed ground level within the proposed building envelope is approximately 7.5 m AHD, providing 1.1 m of freeboard above the defined flood level—exceeding the 300 mm minimum freeboard required under the Tasmanian Building Regulations 2016.

Based on the elevated finished floor levels, the adjusted site topography, and the results of hydraulic modelling, the development will not cause or contribute to flooding on adjacent land or public infrastructure. The proposal can achieve and maintain a tolerable level of flood risk for its intended life without the need for flood protection measures.

Accordingly, the proposed dwelling satisfies the performance criteria of C12.6.1 P1.1 and C12.6.1 P1.2 of the Flood-Prone Areas Hazard Code.

# 1 Introduction

## 1.1 Background

Enviro-Tech Consultants Pty. Ltd. (Envirotech) were contracted by Prime Design to prepare a flood prone areas hazard assessment for a proposed Dwelling located at 14 Parkside Place, Sorell. This report has been written to address planning scheme overlay codes in general accordance with the state-wide planning provisions for Sorell City Council.

This inundation modelling report has been overseen by an environmental and engineering geologist with hydrogeology and hydrology training and experience. Areas of competence include catchment and streamflow models for assessing waterway erosion and inundation.

The proposed development has triggered the following overlay codes which are addressed within this report:

- C 12.0 Flood Prone Areas Code

## 1.2 Objectives

The objective of the Site investigation is to:

- Use available geographic information system (GIS) integrated with a recent Site survey to make interpretations about present Site hydrology, and how the proposed development will be impacted by inundation and where relevant, assessing the development influence on floodwaters entering and existing the land.
- Conduct a risk assessment for the proposed development ensuring relevant performance criteria, building regulations and directors determination are addressed.
- Assess if the proposed development can achieve and maintain a tolerable risk for the intended life of the use or development without requiring any flood protection measures.
- Determine if the building and works will cause or contribute to flood or inundation on the Site, on adjacent land or public infrastructure
- Provide recommendations for managing inundation risk.

## 1.3 Cadastral Title

The land studied in this report is defined by the title 182322/11

## 1.4 Site Setting

The Site watershed influence and floodwater overlays are presented in Map 1. The Site location plans are presented in Map 5.



## 2 Assessment

### 2.1 Proposed Development

Table 1 summarises the provided design documents from which this assessment is based (Attachment 2). The proposed development comprises a three bedroom dwelling and a garage.

The proposed dwelling FFL are to be determined based on the findings of this assessment.

**Table 1 Project Design Drawings**

| Drafted By   | Project Number | Date Generated | Drawings |
|--------------|----------------|----------------|----------|
| PRIME DESIGN | PDH25090       | 03/10/2025     | 01       |

### 2.2 Planning

Planning code overlay mapping is presented in Attachment 1 and planning and building regulations are addressed in Attachment 3.

The Site is located within the Sorell Council mapped 1% Annual Exceedance Probability (AEP) inland flooding hazard area (Map 1). The mapping has triggered Flood Prone Areas Hazard Code, meaning that a more detailed investigation is required to further assess inundation risk associated with the proposed development. The defined floodwater level for the land is to be assessed based on Site inundation hazards.

### 2.3 Building

According to the Tasmanian Building Regulations 2016, the floor level of each habitable room<sup>1</sup> of the building, being erected, re-erected, or added as part of the work, is to be constructed at least 300 millimetres above the defined flood level for the land.

### 2.4 Topography

The Site ranges in elevation from approximately 7.1 m AHD to 7.7 m AHD. The proposed building footprint area is near level (Map 5).

### 2.5 Stormflow Analysis

Details of the stormflow analysis assessment are presented in Attachment 4. The following are modelled:

- Miena Park Estate subdivision includes over 1.0m of fill (Map 4). This fill is placed where previous 1% AEP floods were modelled and incorporated into the TPS flood-prone areas overlay.
- The majority of the 1% AEP floodwaters flow through a 9 m wide open drainage channel on the Site's northern side, directing water to Orielson Lagoon. Peak flow rates are 9.1 m<sup>3</sup>/s with an average velocity of 1.4 m/s (Figure 1 – Existing floodwaters).
- The survey conducted by Survey Plus in October 2025 has been transformed into a digital elevation model to analyse the impact of the fill on 1% AEP floodwater movement, as well as the resultant inundation levels and velocities at the Site.
- The highest inundation level on the open drainage channel is calculated at 6.4 m AHD (Figure 1 – Inferred floodwaters).

<sup>1</sup> habitable room - means any room of a habitable building other than a room used, or intended to be used, for a bathroom, laundry, toilet, pantry, walk-in wardrobe, corridor, stair, hallway, lobby, clothes drying room, service or utility room, or other space of a specialised nature occupied neither frequently nor for extended periods.

### 3 Risk Assessment

Qualitative risk evaluation criteria have been created to determine fundamental risks that may occur due to development in areas that are vulnerable to inundation hazards.

This qualitative risk assessment technique is based on AS/NZS ISO 31000:2009 and relies on descriptive or comparative characterisation of consequence, likelihood, and the level of risk comparative (rather than using absolute numerical measures).

A risk consequence/likelihood matrix has been selected which is consistent with AS/NZS ISO 31000:2009 guidelines.

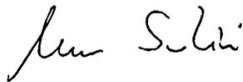
Consequence/likelihood criteria have assisted in determining if any risk management measures are required at the Site to mitigate any potential hazards. Adopted consequence/likelihood criteria are presented in Attachment 5. Performance criteria are presented in Attachment 6.

As habitable rooms are raised 300 mm above the defined flood level for the Site, risks associated with the proposed works are considered low.

### 4 Site Building and Works

The following are modelled:

- Due to the Miena Park Estate development and adjusted site elevations, 1% AEP floodwaters are unlikely to overflow from the drainage easement into the site (Map 3 and Figure 1).
- There are no impediments to finished floor levels at the Site.
- Finished floor levels at 7.5 m AHD are 1.1 m above Site 1% AEP inundation levels, meeting the Tasmanian Building Regulations' required 300mm freeboard.



Marco Scalisi BSc Msc | Environmental & Engineering Geologist

Project manager

Enviro-Tech Consultants Pty. Ltd.

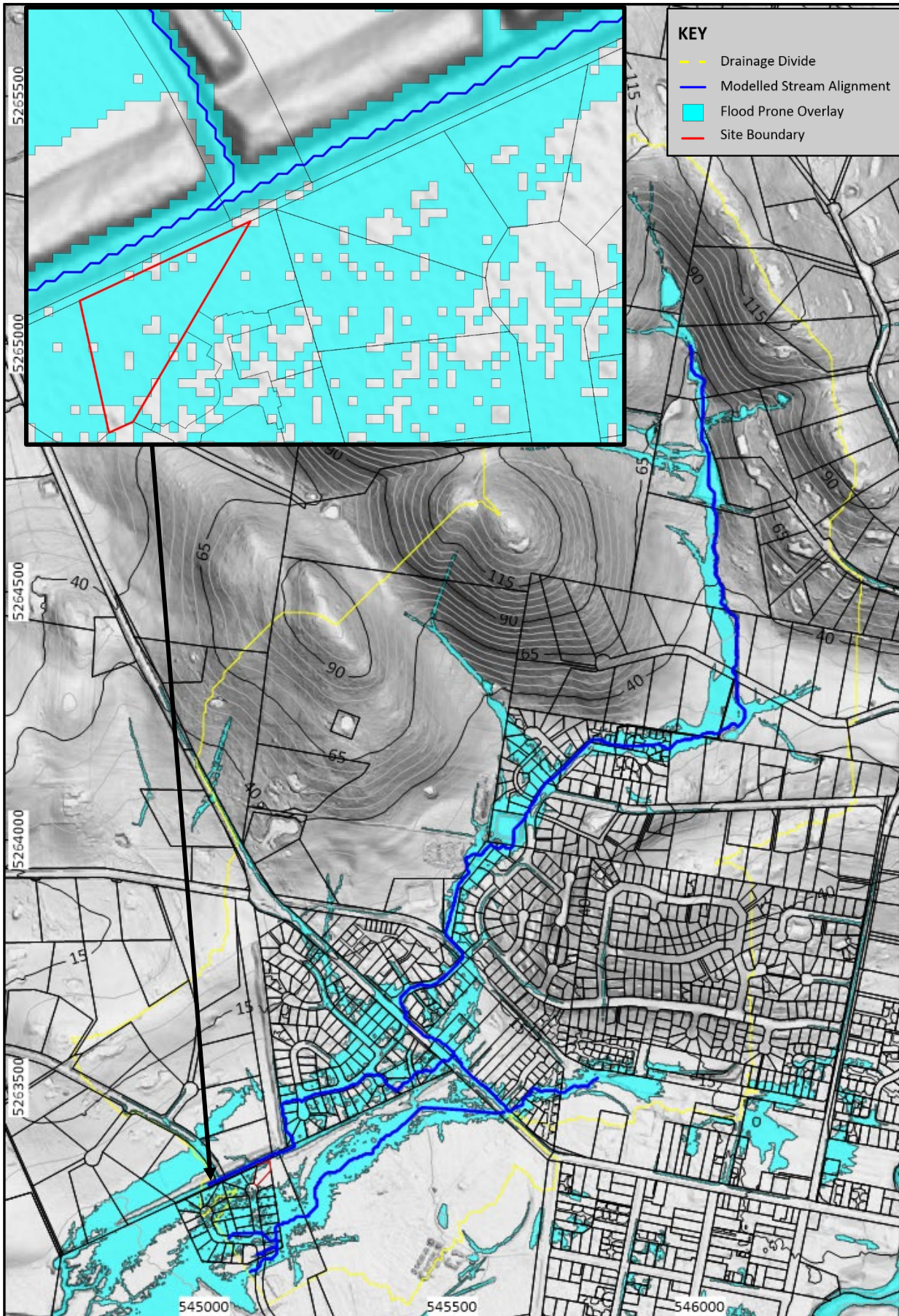
## 5 References

- Ball, J. et al., 2019. Australian Rainfall and Runoff (AR&R): A guide to Flood Estimation. [Online] Available at: <http://book.arr.org.au.s3-website-ap-southeast-2.amazonaws.com/> [Accessed 12 07 2022].
- Ball J, Babister M, Nathan R, Weeks W, Weinmann E, Retallick M, Testoni I, (Editors) Australian Rainfall and Runoff: A Guide to Flood Estimation, © Commonwealth of Australia (Geoscience Australia), 2019.
- CBOS 2021a. Director's Determination - Riverine Inundation Hazard Areas. Director of Building Control Consumer, Building and Occupational Services, Department of Justice. 8 April 2021
- Chow, VT (1959) Open channel hydraulics, McGraw-Hill, New York
- Coombes, P., and Roso, S. (Editors), 2019 Runoff in Urban Areas, Book 9 in Australian Rainfall and Runoff - A Guide to Flood Estimation, Commonwealth of Australia, © Commonwealth of Australia (Geoscience Australia), 2019.
- N. Maidment, D.R. 1993. Handbook of hydrology. McGraw-Hill. New York, NY.
- Water and Rivers Commission 2000, Stream Channel Analysis Water and Rivers Commission River Restoration Report No. RR 9.



## Attachment 1 Mapping

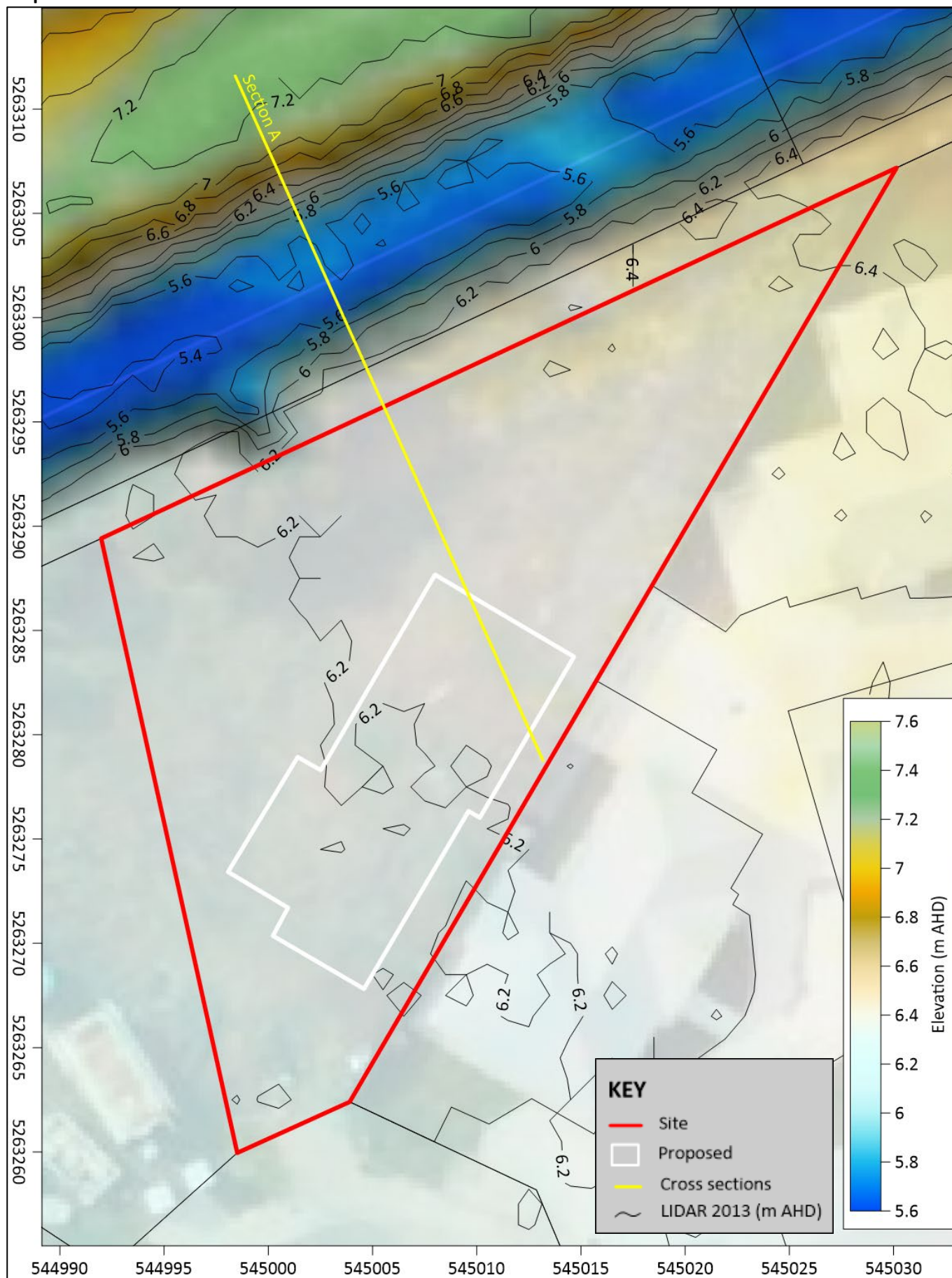
Map 1



Map 1 Site regional Hillshade setting with Local Surfer Watershed Model

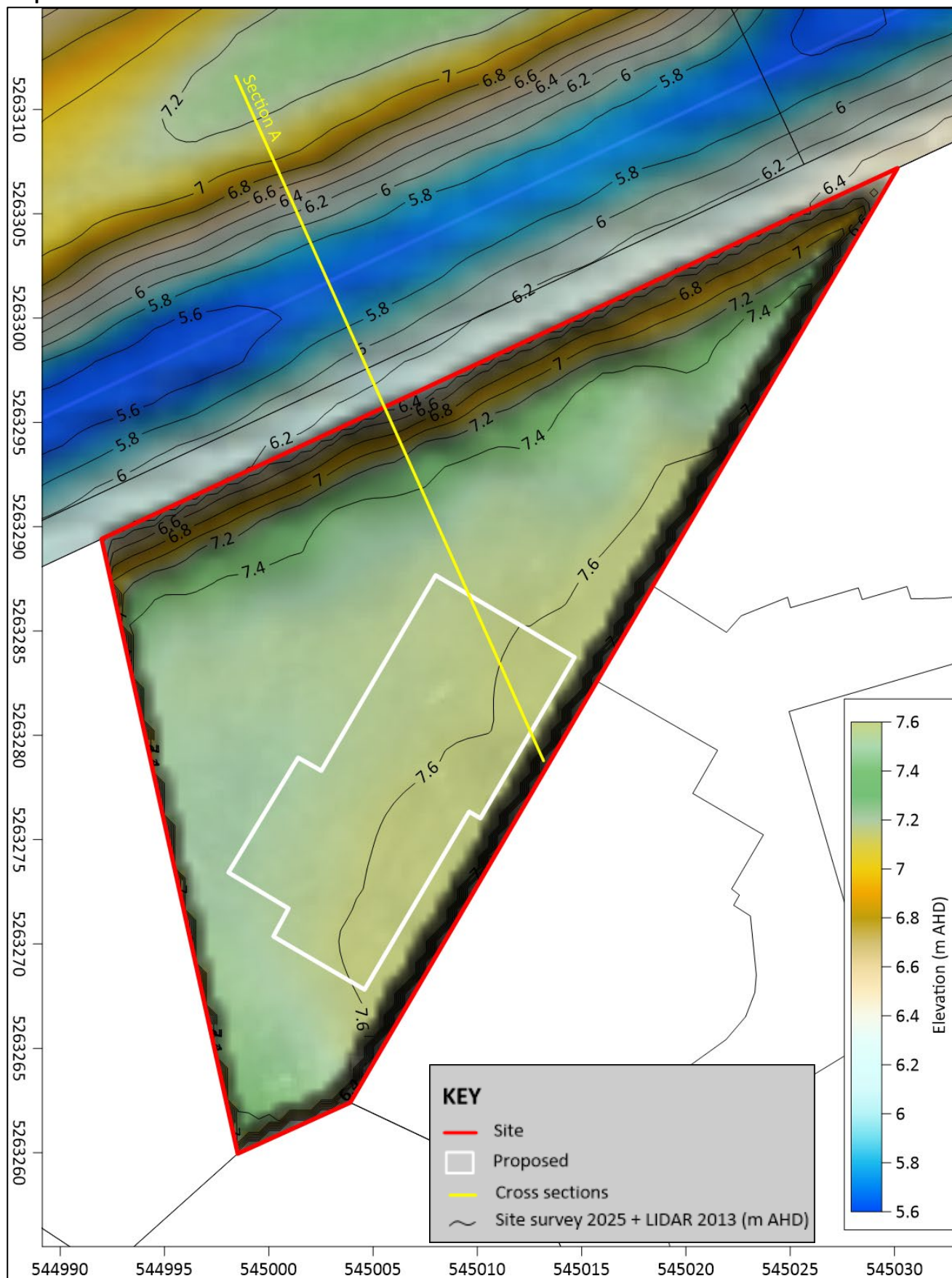


**Map 2**



**Map 2 Local 2013 digital elevation model detailing and cross section location**

**Map 3**



**Map 3 Revised digital elevation model based on Site survey 2025 and cross section location**



**Map 4**



**Map 4 Local aerial image (Bing) showing the fill layered as part of the Miena Park Estate development (2021)**



Map 5

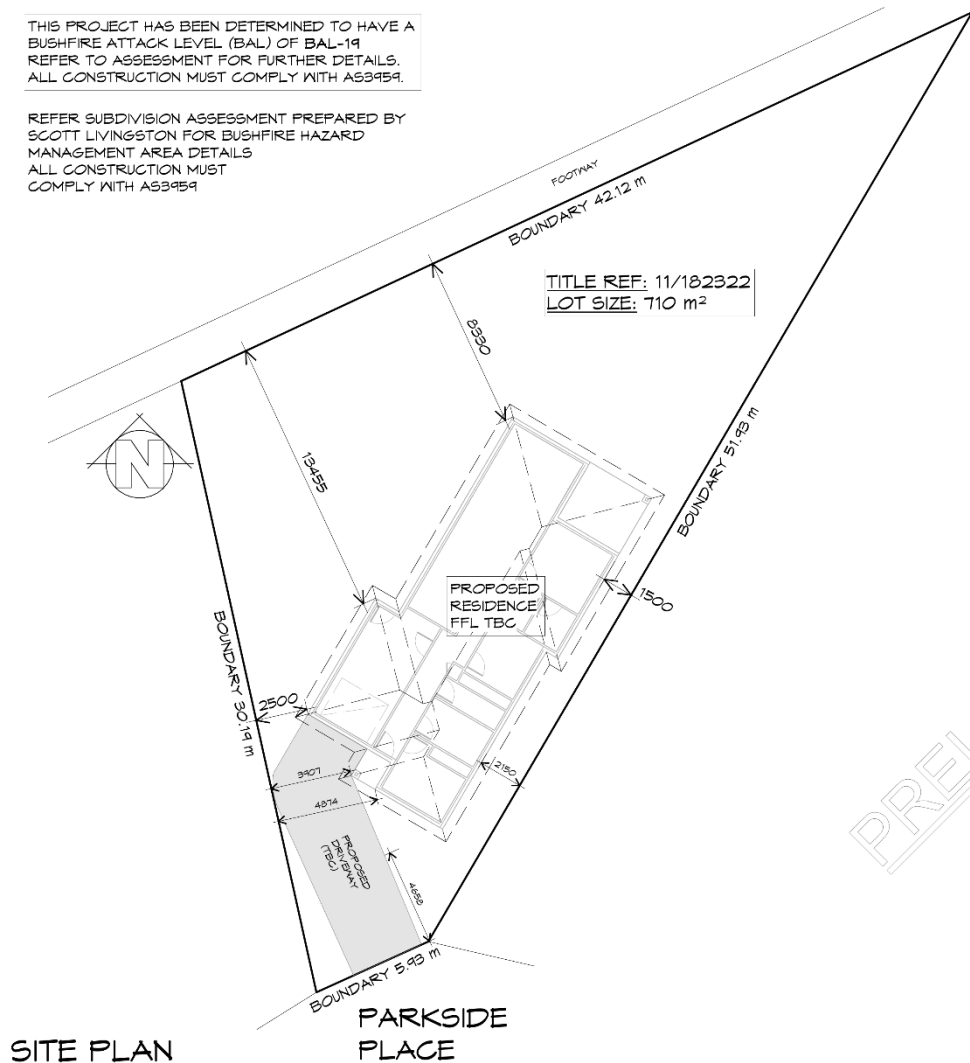


Map 5 Site plan and soil testing location

## Attachment 2 Preliminary Design Concept Plans

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF BAL-19. REFER TO ASSESSMENT FOR FURTHER DETAILS. ALL CONSTRUCTION MUST COMPLY WITH AS3959.

REFER SUBDIVISION ASSESSMENT PREPARED BY SCOTT LIVINGSTON FOR BUSHFIRE HAZARD MANAGEMENT AREA DETAILS. ALL CONSTRUCTION MUST COMPLY WITH AS3959.



### GENERAL NOTES

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A., CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.

WAITING ON DETAIL SURVEY FOR ACCURATE LEVELS. POSITION OF THE PROPOSED BUILDING ON SITE PLAN AND PERSPECTIVE AN IMPRESSION ONLY

### SITE PLAN

1 : 200



NOT FOR CONSTRUCTION

REV. DATE DESCRIPTION

Client name:  
STROUD HOMES

**CONCEPT**  
NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
PROPOSED NEW RESIDENCE  
14 PARKSIDE PLACE,  
SORELL

Drawing:  
SITE PLAN

**Prime Design**

1/18 Grosvenor Court, Invermay, 7250 • ph 03 6332 5790  
1/18 Shop 9, 105 111 Main Road, Moorabool, 3600 • ph 03 6228 1575  
info@primedesign.com.au primedesign.com.au

**bdoo**  
BUILDING DESIGN  
ORGANISATION

Date:  
03.10.2025

Drafted by:  
Author

Approved by:  
Approver

Project/Drawing no:  
PDH25090 - 01

Scale:  
1 : 200

Revision:  
00

Accredited building practitioner: Frank Gieskus - 46 CC246A  
COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Pty Ltd



## Attachment 3 Planning and Building Regulations

### C12.0 Flood-Prone Area Hazard Code

#### Code Overlay – The LIST Mapping

The Site is located within the Sorell Council mapped 1% Annual Exceedance Probability (AEP) inland flooding hazard area (Map 1). The mapping has triggered Flood Prone Areas Hazard Code, meaning that a more detailed investigation is required to further assess risk associated with the proposed development.

### C12.6 Development Standards for Buildings and Works

#### C12.6.1 Buildings and works within a flood-prone hazard area

##### C12.6.1 Objective

That:

- (a) building and works within a flood-prone hazard area can achieve and maintain a tolerable risk from flood; and
- (b) buildings and works do not increase the risk from flood to adjacent land and public infrastructure.

##### C12.6.1 A1 Acceptable Solutions

As there are no acceptable solutions to C12.6.1 (A1), the proposed development is to be assessed against performance criteria.

##### C12.6.1 P1 Performance Criteria

The proposed development needs to be assessed against the following performance criteria:

- C12.6.1 P1.1 and
- C12.6.1 P1.2.

## Attachment 4 Site Overland Flow Analysis

### Flooding Constraints

The following are inferred:

- A Manning coefficient of 0.035 is estimated (open channel)
- Assumption there is a conservation of channel flow rates before and after development.

### Flood Modelling

Models are used to estimate floodwater flow inundation levels based on a surface roughness of 0.035.

#### Pre-Subdivision

The modelling has been conducted based on 2013 Greater Hobart LIDAR which was before the subdivision infilling which occurred between 2019 and 2022. An existing 9 m wide drainage channel is located on the northern side of the Site, which has been designed/constructed to allow floodwaters to flow direct towards Orielson Lagoon. Based on the 2013 LIDAR, 1% AEP floodwaters are projected to overtop the channel and flood parts of the Site from the northern boundary.

Peak 1% AEP floodwater flow rates are calculated at 9.1 m<sup>3</sup>/s with an estimated average flow velocity of 1.4 m/s (Figure 1 – Existing floodwaters).

#### Post Subdivision Floodwaters

A significant amount of fill was placed at the site during the Miena Park Estate subdivision and development phase (Map 4). The site survey, conducted by Survey Plus in October 2025, has been transformed into a digital elevation model to assess fill depths and evaluate the impact of the fill on 1% AEP floodwater movement, inundation levels, and velocities.

Site field investigation has confirmed the presence of 1.1 m of fill near BH01 and 1.3 m near BH02 (Map 5). This alteration in local topography directly affects the 1% AEP floodwater at the Site.

#### Defined Inundation Levels

The following findings are from the 1% AEP stormwater flow modelling Table 2:

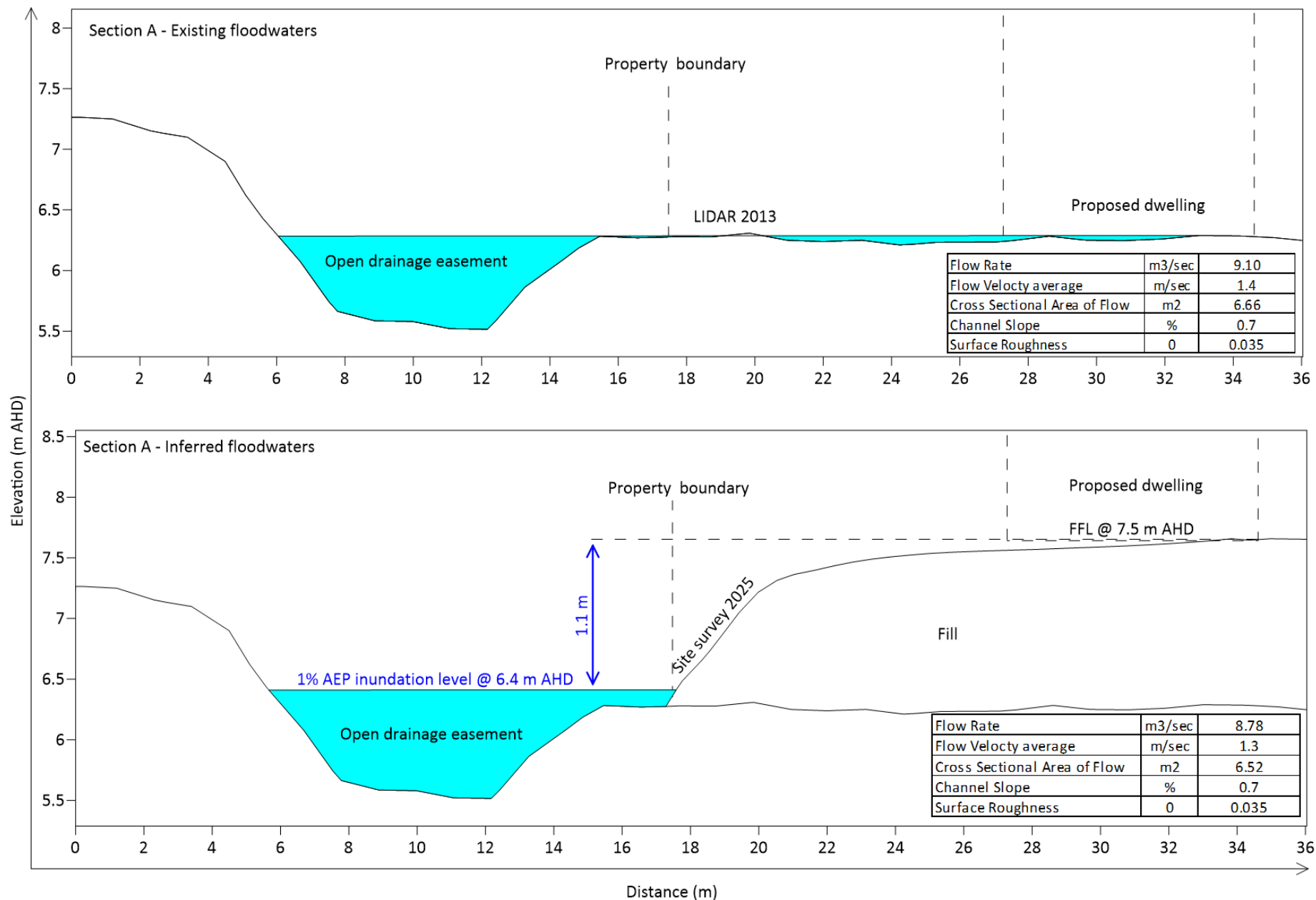
- With the infilling of the Site, flood waters are now directed into the drainage channel, preventing overtopping of the Site.
- The highest inundation level within the open drainage easement is calculated at 6.4 m AHD (Figure 1 – Inferred floodwaters)

#### Finished Floor Levels

Based on the site survey, with the Site elevations measured at 7.5 meters AHD near the building envelope, there is a minimal risk of inundation in the event of a 1% AEP flood occurrence. With the building envelope positioned at 7.5 meters AHD and the modelled 1% AEP inundation level at 6.4 meters AHD, the 1.1-meter freeboard provides an adequate buffer against potential Site flooding (refer to Table 2).

**Table 2 Relative finished floor levels**

| Parameter       | Level Relative to the Primary Slab Finished Floor Level (m AHD) |
|-----------------|---|
| Dwelling        | 7.5   |
| Channel Surface | 6.4   |



**Figure 1 AEP Site Stormwater Flow Analysis – Cross Section C Within the Building Envelope - Drawings Are to Scale and For Conceptual Modelling Purposes Only**



## Attachment 5 Qualitative Terminology

|                |  |
|----------------|--|
| almost certain | Is expected to occur in most circumstances; and/or there is a high level of recorded incidents; and/or strong anecdotal evidence; and/or a strong likelihood the event will recur; and/ or great opportunity, reason, or means to occur; may occur once every year or more                   |
| Likely         | Will probably occur in most circumstances; and/or regular recorded incidents and strong anecdotal evidence; and/or considerable opportunity, reason or means to occur; may occur once every five years   |
| Possible       | May occur at some time; and/or few, infrequent or randomly recorded incidents or little anecdotal evidence; and/or very few incidents in associated or comparable organisations, facilities or communities; and/or some opportunity, reason or means to occur; may occur once every 20 years |
| Unlikely       | Is not expected to occur; and/or no recorded incidents or anecdotal evidence; and/or no recent incidents in associated organisations, facilities or communities; and/or little opportunity, reason or means to occur; may occur once every 100 years   |
| Rare           | May occur only in exceptional circumstances; may occur once every 500 or more years  |

Source: Commonwealth of Australia, 2004: Emergency Management Australia – Emergency Risk Management Applications Guide Manual 5

| Consequence Rating | Public Safety   | Local growth and economy  | Community and Lifestyle  | Environment & sustainability   | Public administration  |
|--------------------|---|---|--|--|--|
| Catastrophic       | Large numbers of serious injuries or loss of lives      | Local decline leading to business failure, loss of employment, local hardship                                       | Local area seen as very unattractive, significant decline, and unable to support community | Major widespread loss of environmental amenity and progressive irrecoverable environmental damage    | Public Administration would fail and cease to be effective   |
| Major              | Isolated instances of serious injuries or loss of lives | Local stagnation such that businesses unable to thrive and imbalance between employment and local population growth | Severe and widespread decline in services and quality of life within community             | Severe loss of environmental amenity and a danger of continuing environmental damage                 | Public administration would struggle to remain effective and would be perceived as being in danger of failing completely |
| Moderate           | Small number of injuries                                | Significant general reduction in economic performance relative to current forecasts                                 | General appreciable decline in services  | Isolated significant instances of environmental damage that might be reversed with intensive efforts | Public administration would be under significant pressure on numerous fronts   |
| Minor              | Serious near misses or minor injuries                   | Individually significant but isolated areas of reduction in economic performance relative to current forecasts      | Isolated but noticeable examples of decline in services                                    | Minor instances of environmental damage that could be reversed                                       | Isolated instances of Public administration being under significant pressure   |
| Insignificant      | Appearance of threat by no actual harm                  | Minor shortfall relative to current forecasts   | There would be minor areas in which the region was unable to maintain is current services  | No environmental damage  | There would be some minor instances of public administration being under more than usual stress but it could be managed  |

| Likelihood (L) | Consequences (C) |        |          |         |              |
|----------------|------------------|--------|----------|---------|--------------|
|                | Insignificant    | Minor  | Moderate | Major   | Catastrophic |
| Almost certain | MEDIUM           | medium | high     | extreme | extreme      |
| Likely         | low              | medium | high     | high    | extreme      |
| Possible       | low              | medium | medium   | high    | high         |
| Unlikely       | low              | low    | medium   | medium  | medium       |
| Rare           | low              | low    | low      | low     | medium       |

Adapted from DCC 2006, 40.

## Attachment 6 Tasmanian Planning Scheme – Flood Prone Hazard Areas – Building and Works

### Objective:

That:

- (a) building and works within a flood-prone hazard area can achieve and maintain a tolerable risk from flood; and
- (b) buildings and works do not increase the risk from flood to adjacent land and public infrastructure.

### C12.6.1 P1.1 Buildings and works within a flood-prone hazard area – risk assessment

| Performance Criteria C12.6.1 P1.1   | Relevance  | Management Options | Likelihood | Consequence | Risk | Further Assessment Required |
|---|--|--------------------|------------|-------------|------|-----------------------------|
| Buildings and works within a flood-prone hazard area must achieve and maintain a tolerable risk from a flood, having regard to: |  |                    |            |             |      |                             |
| (a) the type, form, scale and intended duration of the development;   | The type, form, and scale of the development have been appropriately adjusted to the floodwater hazard, ensuring it is considered a tolerable risk.          |                    | Unlikely   | Minor       | Low  | No                          |
| (b) whether any increase in the level of risk from flood requires any specific hazard reduction or protection measures;         | No hazard reduction measures are recommended, as the finished floor levels are adequately elevated with modelling based on adaptation rather than reduction. |                    | Unlikely   | Minor       | Low  | No                          |
| (c) any advice from a State authority, regulated entity or a council; and   |  |                    |            |             |      |                             |
| (d) the advice contained in a flood hazard report.  |  |                    |            |             |      |                             |

### C12.6.1 P1.2 Buildings and works within a flood-prone hazard area - flood hazard reporting

| Performance Criteria C12.6.1 P1.2   | Relevance   | Management Options | Likelihood | Consequence | Risk | Further Assessment Required |
|---|---|--------------------|------------|-------------|------|-----------------------------|
| A flood hazard report also demonstrates that the building and works:  |   |                    |            |             |      |                             |
| (a) do not cause or contribute to flood on the Site, on adjacent land or public infrastructure; and   | The building and works will cause minor, non-adverse changes to storm flow.   |                    | Unlikely   | Minor       | Low  | No                          |
| (b) can achieve and maintain a tolerable risk from a 1% annual exceedance probability flood event for the intended life of the use without requiring any flood protection measures. | With the ground elevation at 7.5 m AHD, the proposed dwelling can achieve a tolerable risk from a 1% annual exceedance probability flood event for its intended lifespan without needing any flood protection measures. |                    | Unlikely   | Minor       | Low  | No                          |

# CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

To: Prime Design  
Shop 9, 105 - 111 Main Road  
Main Road 7009

Owner /Agent  
Address  
Suburb/postcode

Form **55**

## Qualified person details:

Qualified person: Kris Taylor  
Address: 445 Macquarie Street  
Hobart 7004  
Licence No: NA  
Phone No: 0476 595 889  
Fax No:  
Email address: office@envirotechtas.com.au

Qualifications and Insurance details: Bachelor of Science with Honours in Geology with PI Insurance to \$2,000,000 including hydrology and environmental coastal inundation hazard assessments  
(description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Speciality area of expertise: Engineering Geology  
(description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

## Details of work: Riverine Inundation Assessment

Address: 14 Parkside Place  
Sorell 7172  
Lot No: 11  
Certificate of title No: 182322/11

The assessable item related to this certificate: Riverine (flood prone areas) inundation hazard assessment  
(description of the assessable item being certified)  
Assessable item includes –  
- a material;  
- a design  
- a form of construction  
- a document  
- testing of a component, building system or plumbing system  
- an inspection, or assessment, performed

## Certificate details:

Certificate type: Geological  
(description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)

This certificate is in relation to the above assessable items, at any stage, as part of – (tick one)

☒ building work, plumbing work or plumbing installation or demolition work

OR

☐ a building, temporary structure or plumbing installation

In issuing this certificate the following matters are relevant –

Documents:

Enviro-Tech Consultants Pty. Ltd. 2025. Flood Hazard Assessment Report for a Proposed Dwelling, 14 Parkside Place - Sorell. Unpublished report for Prime Design by Enviro-Tech Consultants Pty. Ltd., 21/10/2025.

Relevant calculations:

References:

- Director's Determination - Riverine Inundation Hazard Areas
- Tasmanian Planning Scheme – State Planning Provisions - Flood-Prone Areas Hazard Code
- Part 5 (Work in Hazardous Areas) of the Building Regulations 2016; Division 2 – Riverine Inundation

*Substance of Certificate: (what it is that is being certified)*

- An assessment of:
- Defined Site floodwater levels or designated floodwater levels
- 1% AEP floodwater hazards based on building design or 2100 scenarios

*Scope and/or Limitations*

Impact from changes to Site levels, structures or water flow obstructions on the Site (beyond what is detailed within Site proposal documents) or on neighboring properties are outside of the scope of this assessment.

**I certify the matters described in this certificate.**

Qualified person:

*Signed:*



*Certificate No:*

*Date:*

21/10/2025



# Bushfire Hazard Management Report: Residential

**Report for:** JAC Estates Pty Ltd

**Property Location:** CT 109062/30, Wolstenholme Drive, Sorell

**Prepared by:** Scott Livingston

Livingston Natural Resource Services  
299 Relbia Road  
Relbia 7258

**Date:** 21<sup>st</sup> May 2021



**Sorell Council**

Development Application: 5.2025.319.1 -  
Development Application - 14 Parkside Place  
Sorell - P1.pdf  
Plans Reference: P1  
Date Received: 19/11/2025



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**Client:** JAC Estates Pty Ltd

CT 109062/30, Wolstenholme Drive, Sorell. PID 1469927

**Property identification:** Current zoning: General Residential Sorell Interim Planning Scheme 2015.

**Proposal:** Construction of habitable buildings on 33 lot approved subdivision.

**Assessment** A field inspection of the site was conducted to determine the Bushfire Risk and Bushfire Attack Level.

Assessment by: Scott Livingston



Master Environmental Management, Natural Resource Management Consultant.

Accredited Person under part 4A of the Fire Service Act 1979: Accreditation # BFP-105.

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## Contents

|  |           |
|--|-----------|
| DESCRIPTION .....  | 3         |
| BAL AND RISK ASSESSMENT .....                                  | 3         |
| PROPERTY ACCESS .....  | 8         |
| FIRE FIGHTING WATER SUPPLY .....                               | 8         |
| CONCLUSIONS .....  | 8         |
| REFERENCES .....   | 9         |
| APPENDIX 1 – MAPS .....  | 10        |
| APPENDIX 2 – PHOTOS .....                                      | 12        |
| Bushfire Hazard Management Plan .....                          | 14        |
| <b>CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM .....</b> | <b>16</b> |
| Figure 1: BAL Building Areas .....                             | 7         |
| Figure 2: Hazard Management Area .....                         | 8         |
| Figure 3: Location .....                                       | 10        |
| Figure 4: Aerial Image .....                                   | 10        |
| Figure 5: Subdivision Plan .....                               | 11        |
| Figure 6: road access from Montague Street .....               | 12        |
| Figure 7: road under construction .....                        | 12        |
| Figure 8: walkway adjacent to eastern boundary .....           | 13        |
| Figure 9: grassland north of boundary .....                    | 13        |
| Figure 10: Across western boundary of lots .....               | 13        |

## LIMITATIONS

This report only deals with potential bushfire risk and does not consider any other potential statutory or planning requirements. This report classifies type of vegetation at time of inspection and cannot be relied upon for future development or changes in vegetation of assessed area.

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## DESCRIPTION

Construction of habitable buildings is proposed on 33 lot approved subdivision at CT 109062/30, Wolstenholme Drive, Sorell. This report and attached BHMP cover construction of habitable buildings on all lots of the 33 lot residential estate. Infrastructure for the estate is currently under construction including road access from Montague Street and reticulated water supplies.

The estate is bordered on three sides by Miena Park, which is council owned and maintained. The park currently has some grassland adjacent to the estate; Sorell Council (email: GM Robert Higgins- Claire Gregg, 10/5/2021) has indicated that this will be maintained as low threat following development to the degree necessary to minimize bushfire threat. Land to the north is Rural Living zoned lots that are currently grasslands.

See Appendix 1 for maps and site plan. Appendix 2 for photos.

## BAL AND RISK ASSESSMENT

The land is mapped as Bushfire Prone Area in Planning Scheme Overlays.

### VEGETATION AND SLOPE

| Lot      |                                       | North   | East   | South                                       | West  |
|----------|---------------------------------------|---|--|---|---|
| All Lots | slope                                 | Upslope/Flat  | Upslope/Flat   | Downslope 0- 5°                             | Downslope 0- 5°   |
| 1~3      | Vegetation within 100m lot boundaries | 0-100m grassland (estate lots)                      | 0-78+m grassland (estate lots) 0-78+m -100 low threat (Miena Park) | 0- 100m grassland (Miena Park)              | 0-12+m grassland (Estate Lots), 12+m -100m grassland (Miena Park) |
|          | BAL rating existing vegetation        | BAL FZ  | BAL FZ   | BAL FZ                                      | BAL FZ  |
|          | BAL rating with setbacks/hma          | BAL Low   |  |   |   |
| 4~6      | Vegetation within 100m lot boundaries | 0-50+m grassland (estate lots) 50+ - 100m grassland | 0-100m grassland (estate lots)                                     | 0-100m grassland (estate lots & Miena Park) | 0- 100m grassland (Miena Park)                                    |
|          | BAL rating existing vegetation        | BAL FZ  | BAL FZ   | BAL FZ                                      | BAL FZ  |
|          | BAL rating with setbacks/hma          | BAL Low   |  |   |   |
| 7        | Vegetation within 100m lot boundaries | 0-43+m grassland (estate lots) 43+ - 100m grassland | 0-100m grassland (estate lots)                                     | 0-100m grassland (estate lots & Miena Park) | 0- 100m grassland (Miena Park)                                    |
|          | BAL rating existing vegetation        | BAL FZ  | BAL FZ   | BAL FZ                                      | BAL FZ  |



|       |                                       |   |   |   |  |
|-------|---------------------------------------|---|---|---|--|
|       | BAL rating with setbacks/hma          | BAL Low / BAL 12.5                                  |   |   |  |
|       | Vegetation within 100m lot boundaries | 0-16+m grassland (estate lots) 16+ - 100m grassland | 0-100m grassland (estate lots)                                    | 0-100m grassland (estate lots & Miena Park) | 0- 100m grassland (Miena Park)               |
|       | BAL rating existing vegetation        | BAL FZ  | BAL FZ  | BAL FZ                                      | BAL FZ                                       |
| 8     | BAL rating with setbacks/hma          | BAL 12.5  |   |   |  |
|       | Vegetation within 100m lot boundaries | 0- 2 m (walkway)2- 100m grassland                   | 0-100m grassland (estate lots)                                    | 0-100m grassland (estate lots & Miena Park) | 0- 100m grassland (Estate lots & Miena Park) |
|       | BAL rating existing vegetation        | BAL FZ  | BAL FZ  | BAL FZ                                      | BAL FZ                                       |
| 9~12  | BAL rating with setbacks/hma          | BAL 29, BAL 19, BAL 12.5                            |   |   |  |
|       | Vegetation within 100m lot boundaries | 0-37+m grassland (estate lots) 37+ - 100m grassland | 0-100m grassland (estate lots)                                    | 0-100m grassland (estate lots & Miena Park) | 0- 100m grassland (Estate lots & Miena Park) |
|       | BAL rating existing vegetation        | BAL FZ  | BAL FZ  | BAL FZ                                      | BAL FZ                                       |
| 13    | BAL rating with setbacks/hma          | BAL Low / BAL 12.5                                  |   |   |  |
|       | Vegetation within 100m lot boundaries | 0-50+m grassland ( estate lots & Miena Park)        |   |   |  |
|       | BAL rating existing vegetation        | BAL FZ  | BAL FZ  | BAL FZ                                      | BAL FZ                                       |
| 14~19 | BAL rating with setbacks/hma          | BAL Low   |   |   |  |
|       | Vegetation within 100m lot boundaries | 0-35+m grassland (estate lots) 35+ - 100m grassland | 0-500m grassland (estate lots)50- 100m low threat (Miena park)    | 0-100m grassland (estate lots)              | 0- 100m grassland (Estate lots)              |
|       | BAL rating existing vegetation        | BAL FZ  | BAL FZ  | BAL FZ                                      | BAL FZ                                       |
| 20    | BAL rating with setbacks/hma          | BAL Low / BAL 12.5                                  |   |   |  |
| 21~23 | Vegetation within 100m lot boundaries | 0- 2 m (walkway)2- 100m grassland                   | 0-38+m grassland (estate lots), 38+m-100m low threat (Miena Park) | 0-100m grassland (estate lots)              | 0- 100m grassland (Estate lots)              |

|       |                                       |  |   |   |                                   |
|-------|---------------------------------------|--|---|---|-----------------------------------|
|       | BAL rating existing vegetation        | BAL FZ   | BAL FZ  | BAL FZ                                      | BAL FZ                            |
|       | BAL rating with setbacks/hma          | BAL 29, BAL 19, BAL 12.5                             |   |   |                                   |
| 24    | Vegetation within 100m lot boundaries | 0- 2 m (walkway) 2- 100m grassland                   | 0-100m low threat (Miena Park)                                | 0-100m grassland (estate lots )             | 0- 100m grassland ( Estate lots ) |
|       | BAL rating existing vegetation        | BAL FZ   | BAL FZ  | BAL FZ                                      | BAL FZ                            |
|       | BAL rating with setbacks/hma          | BAL 29, BAL 19, BAL 12.5                             |   |   |                                   |
| 25    | Vegetation within 100m lot boundaries | 0-23+m grassland (estate lots) 23+m -100m grassland  | 0-100m low threat (Miena Park)                                | 0-100m grassland (estate lots)              | 0- 100m grassland (Estate lots )  |
|       | BAL rating existing vegetation        | BAL FZ   | BAL FZ  | BAL FZ                                      | BAL FZ                            |
|       | BAL rating with setbacks/hma          | BAL 12.5   |   |   |                                   |
| 26~32 | Vegetation within 100m lot boundaries | 0-50+m grassland (estate lots), 50+m -100m grassland | 0-100m low threat (Miena Park)                                | 0-100m grassland (estate lots & Miena Park) | 0-100m grassland (estate lots)    |
|       | BAL rating existing vegetation        | BAL FZ   | BAL FZ  | BAL FZ                                      | BAL FZ                            |
|       | BAL rating with setbacks/hma          | BAL Low  |   |   |                                   |
| 33    | Vegetation within 100m lot boundaries | 0-100+m grassland (estate lots)                      | 0-50m grassland (estate lots) 50-100m low threat (Miena Park) | 0-100m grassland (Miena Park)               | 0-100m grassland (estate lots)    |
|       | BAL rating existing vegetation        | BAL FZ   | BAL FZ  | BAL FZ                                      | BAL FZ                            |
|       | BAL rating with setbacks/hma          | BAL Low  |   |   |                                   |

### **BUILDING AREA BAL RATING**

Setback distances for BAL Ratings have been calculated based on the vegetation that will exist after development external to the subdivision lots and have also considered slope gradients.

Where no setback is required for fire protection other Planning Scheme setbacks may need to be applied, other constraints to building such as topography have not been considered.

The BAL ratings applied are in accordance with the Australian Standard AS3959-2009,

*Construction of Buildings in Bushfire Prone Areas*, and it is a requirement that any habitable building, or building within 6m of a habitable building be constructed to the BAL ratings specified in this document as a minimum.

| Bushfire Attack Level (BAL) | Predicted Bushfire Attack & Exposure Level   |
|-----------------------------|--|
| BAL-Low                     | Insufficient risk to warrant specific construction requirements  |
| BAL-12.5                    | Ember attack, radiant heat below 12.5kW/m <sup>2</sup>   |
| BAL-19                      | Increasing ember attack and burning debris ignited by windborne embers together with increasing heat flux between 12.5-19kW/m <sup>2</sup> |
| BAL-29                      | Increasing ember attack and burning debris ignited by windborne embers together with increasing heat flux between 19-29kW/m <sup>2</sup>   |
| BAL-40                      | Increasing ember attack and burning debris ignited by windborne embers together with increasing heat flux between 29-40kW/m <sup>2</sup>   |
| BAL-FZ                      | Direct exposure to flames radiant heat and embers from the fire front  |

### **PROPOSED LOT BAL RATING**

All lots have potential buildings areas at BAL 29, with smaller areas available at BAL 19 and 12.5 for northern lots. The majority of lots have a BAL Low rating provided hazard management within the subdivision and adjacent land meets requirements.

| Lot   | BAL Rating | Setback   |
|-------|------------|---|
| 1~6   | BAL Low    | none required   |
| 7     | BAL Low    | 6m from northern boundary   |
|       | BAL 12.5   | none required   |
| 8     | BAL 12.5   | none required   |
| 9~12  | BAL 12.5   | 12m from northern boundary  |
|       | BAL 19     | 8m from northern boundary   |
|       | BAL 29     | 4m from northern boundary   |
| 13    | BAL Low    | south of a line from SW corner to a point on the eastern boundary 15m south of NE corner of the lot |
|       | BAL 12.5   | none required   |
| 14~19 | BAL Low    | none required   |
| 20    | BAL Low    | south of a line from a point on the western boundary 15m south of NW corner to NE corner of the lot |
|       | BAL 12.5   | none required   |
| 21~25 | BAL 12.5   | 12m from northern boundary  |
|       | BAL 19     | 8m from northern boundary   |
|       | BAL 29     | 4m from northern boundary   |
| 26~33 | BAL Low    | none required   |

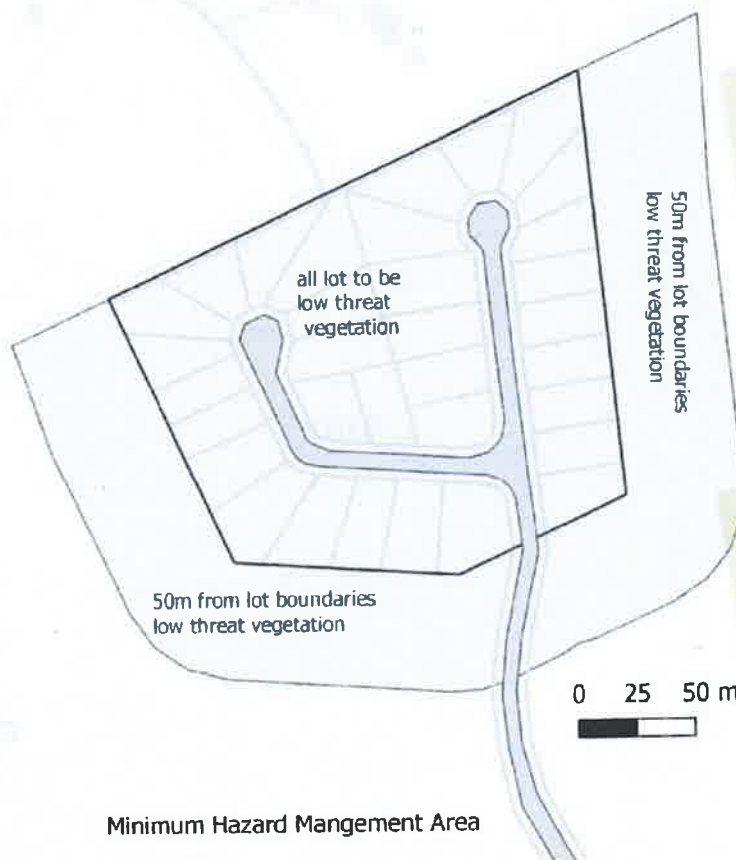




Figure 1: BAL Building Areas

### HAZARD MANAGEMENT Areas

All areas of lots 1- 33 and roads and walkway lots within the subdivision and all land on council owned lots within 50m of a lot within the estate must be managed as low threat vegetation from sealing of titles for any residential lot of the subdivision.



**Figure 2: Hazard Management Area**

## **PROPERTY ACCESS**

Access to all lots is likely to be less than 30m and no design or construction requirements apply.

## **FIRE FIGHTING WATER SUPPLY**

The subdivision will be serviced by hydrants on a reticulated water supply and no additional requirements apply.

## **CONCLUSIONS**

A 33 lot residential subdivision has been approved for CT 109062/30, Wolstenholme Drive, Sorell. The area is mapped as bushfire prone in planning scheme overlays.

All lots have building areas available at BAL 29 or lower. The majority of lots are rated BAL low with no setback requirements. Lots 7-13 & 20-25 have setback requirements and BAL ratings for

P. HB

construction of habitable buildings will depend on final locations. No access or water supply requirements apply to construction of habitable buildings on any lot.

## REFERENCES

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Standards Australia. (2009). *AS 3959-2009 Construction of Buildings in Bushfire Prone Areas.*

Building Regulations 2016

Director of Building Control, (2017) *Directors Determination- Categories of Building Control and Demolition Work*

Director of Building Control, (2017) *Directors Determination- Application of Requirements for Building in Bushfire Prone Areas.*

Director of Building Control, (2017) *Directors Determination- Requirements for Building in Bushfire Prone Areas.*

Director of Building Control (2021) *Director's Determination for Bushfire Hazard Areas v1.1 2021*

Sorell Council (2015) *Sorell Council Interim Planning Scheme.*

Planning Commission (2017), *Planning Directive No. 5.1 Bushfire-Prone Areas Code*

Tasmanian Planning Scheme: Bushfire-Prone Areas Code C13

(Pers Comm- email : Robert Higgins- Claire Gregg, 10/5/2021)

*P* *JP*

## APPENDIX 1 – MAPS



Figure 3: Location



Figure 4: Aerial Image

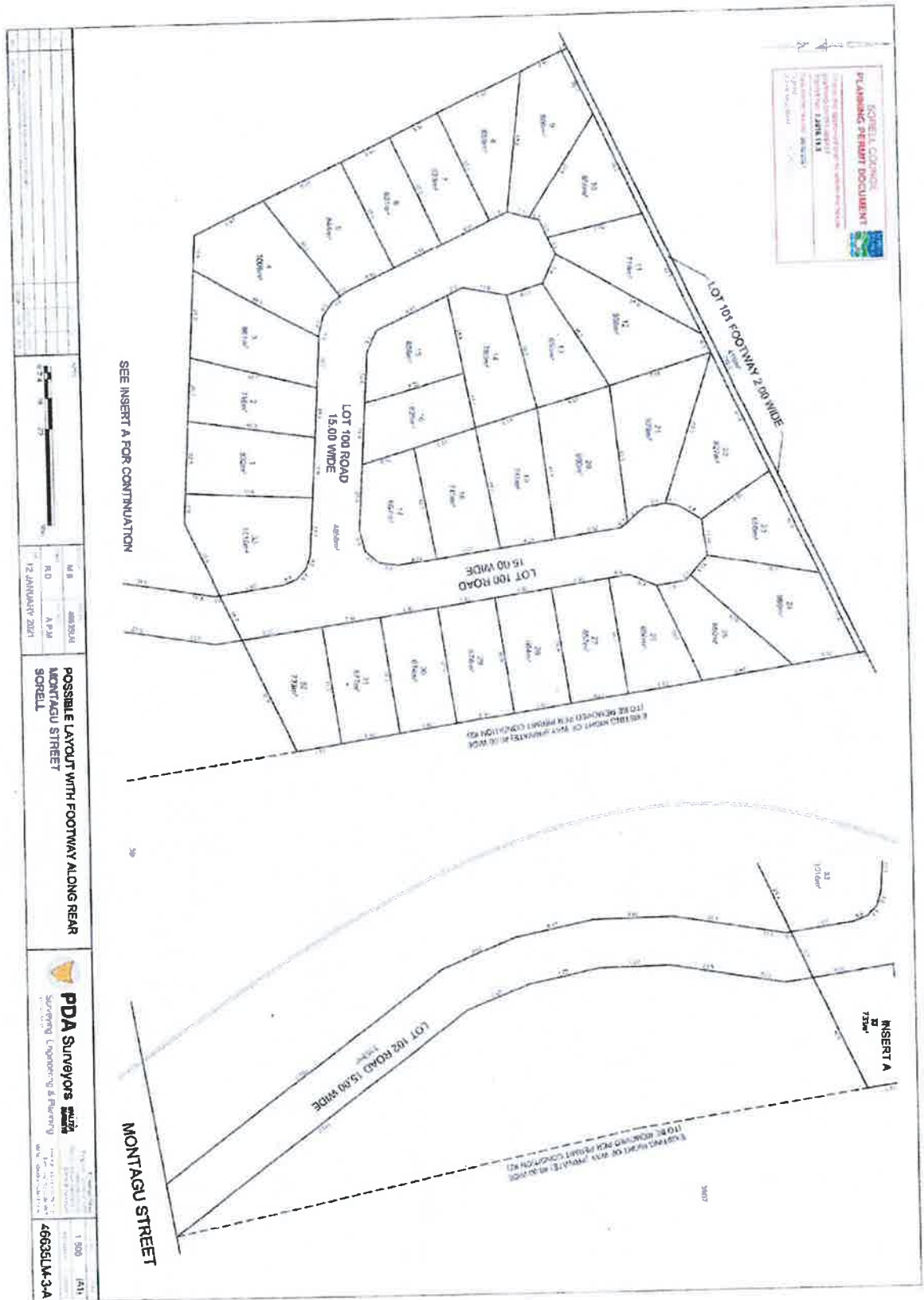


P 810





Figure 5: Subdivision Plan



## APPENDIX 2 – PHOTOS

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**Figure 6: road access from Montague Street**



**Figure 7: road under construction**



Figure 8: walkway adjacent to eastern boundary



Figure 9: grassland north of boundary



Figure 10: Across western boundary of lots

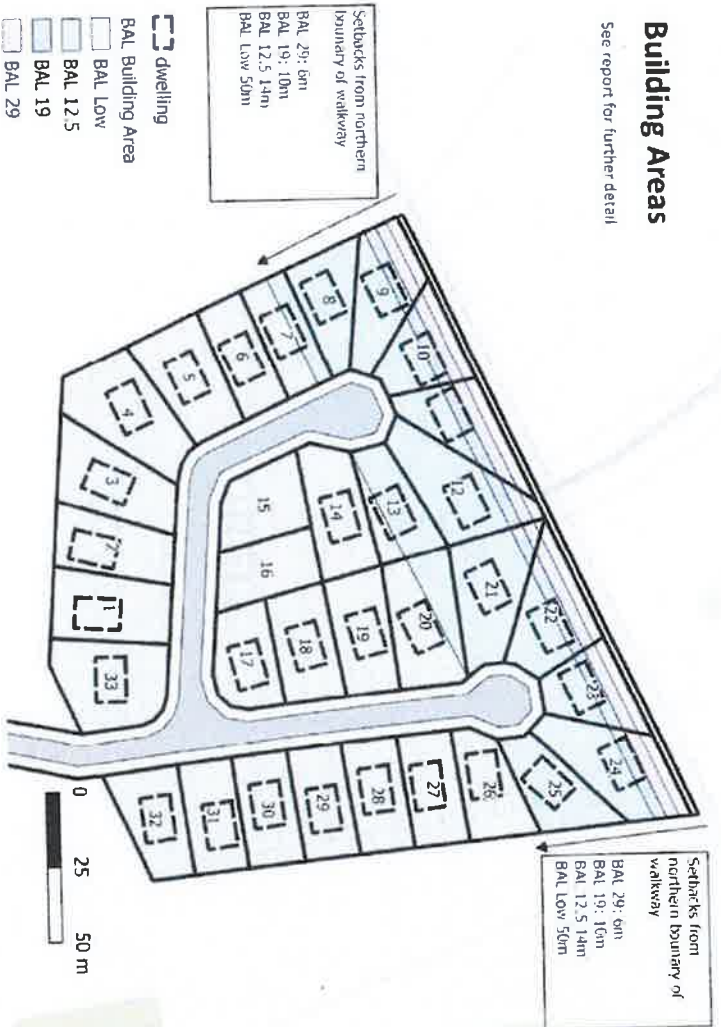
P. 107



# Bushfire Hazard Management Plan:

## Building Areas

See report for further detail



## Construction: BAL 29, BAL 19, BAL 12.5, BAL Low as shown

Buildings in Bushfire Prone Area to be built in accordance with the Building Code of Australia and Australian Standard AS3959.

This BHP has been prepared to satisfy the requirements of the Director's Determination Requirements for Building in Bushfire-Prone Areas (v2.1) and Director's Determination for Bushfire Hazard Areas v1.1 2021.

This plan should be read in conjunction with the report titled: Bushfire Hazard Management Report CT 109062/30, Woitstenholme Drive, Sorrell, Livingston Natural Resource Services

|                      |   |
|----------------------|---|
| Proposed Development | A 33 lot residential development. On approved subdivision |
| Property Owner       | IAC Estates Pty Ltd                                       |
| Address              | CT 109062/30, Woitstenholme Drive, Sorrell                |
| CT                   | CT 109062/30 (lots 1-33)                                  |
| PID                  | 1468927   |

The following must be installed/ compliant prior to sealing of titles and be maintained in perpetuity:

- Subdivision Roads
- Hazard Management Areas
- Water supply (hydrants)

The owner of a lot is responsible for management of vegetation and maintenance of infrastructure within a lot, including HMA's on council parkland.

| Lot   | BAL Rating | Setback  |
|-------|------------|--|
| 1-6   | BAL Low    | none required  |
| 7     | BAL Low    | 6m from northern boundary  |
| 8     | BAL 12.5   | none required  |
| 9-12  | BAL 12.5   | 12m from northern boundary   |
| 13    | BAL 19     | 8m from northern boundary  |
| 14-19 | BAL 29     | 4m from northern boundary  |
| 20    | BAL Low    | boundary 15m south of a point on the eastern boundary 15m south of the lot |
| 21-25 | BAL 12.5   | none required  |
| 26-33 | BAL 19     | 12m from northern boundary   |
|       | BAL 29     | 8m from northern boundary  |
|       | BAL Low    | 4m from northern boundary  |

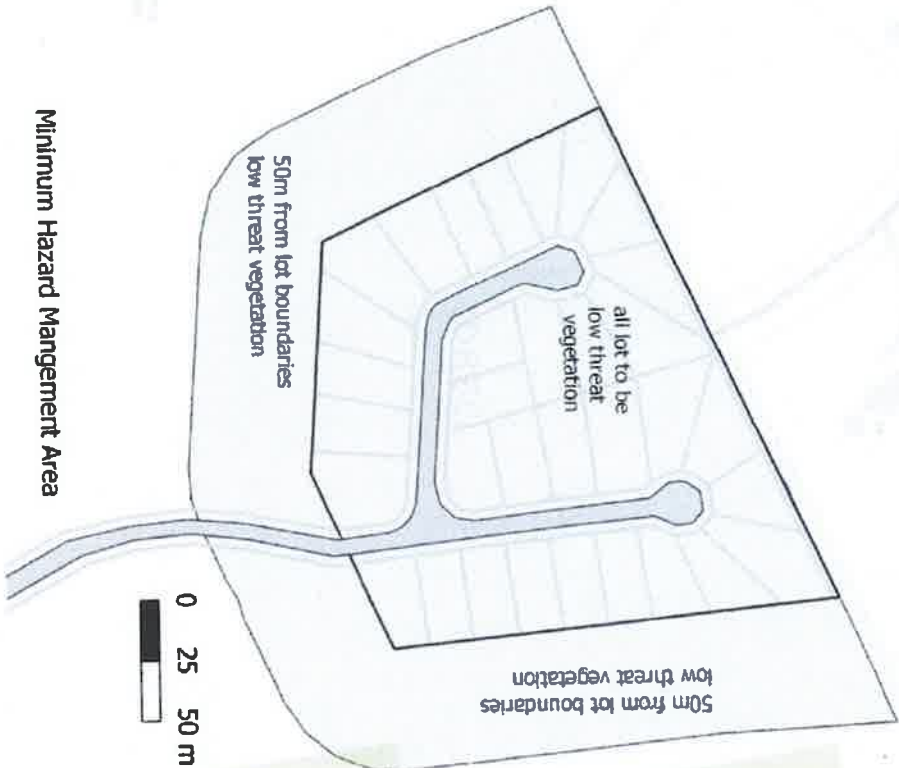
Scott Livingston  
Accreditation: BFP - 105-1, 7, 3A, 3B, 3C  
Date 21/5/2021

SRL 21/348

**Hazard Management Areas (HMA)**

Hazard management areas include the area to protect the buildings as well as the access and water supplies.  
Low threat vegetation, includes maintained lawns (<100mm in height) gardens and orchards.

All Hazard management areas must be maintained in perpetuity, with the owner of a lot responsible for management



Scott Livingston  
Accreditation: BFP - 105: 1, 2, 3A, 3B, 3C  
Date 21/5/2021  
SRL 21/34B

CD PD

# CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

Form **55**

To: JAC Estates Pty Ltd

Owner /Agent

PO Box 1513

Address

Launceston

7250

Suburb/postcode

## Qualified person details:

Qualified  
person:

Scott Livingston

Address:

299 Relbia Road

Phone No: 0438 951 021

Relbia

7258

Fax No:

Licence No:

BFP-105

Email address:

scottlivingston.lnrs@gmail.com

Qualifications  
and Insurance  
details:

Accredited Bushfire Assessor

BFP 105, 1,2,3A,3B, 3C

(description from Column 3 of the  
Director's Determination - Certificates  
by Qualified Persons for Assessable  
Items)

Speciality area  
of expertise:

Bushfire Assessment

(description from Column 4 of the  
Director's Determination - Certificates  
by Qualified Persons for Assessable  
Items)

## Details of work:

Address:

CT 109062/30, Wolstenholme Drive

Lot No: 1-33

Sorell

7172

Certificate of title No: 109062/30

The assessable item related to this certificate:

Bushfire Attack Level (BAL)

(description of the assessable item being certified)

Assessable item includes –

- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

Certificate details:

Certificate type:

Bushfire Hazard

(description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work: ☒

or

a building, temporary structure or plumbing installation: ☐

In issuing this certificate the following matters are relevant –

Documents:

Bushfire Attack Level Assessment Report and Bushfire Hazard Management Plan

Relevant

calculations:



Australian Standard 3959

Building Amendment Regulations 2016

Director of Building Control, Determinations

- Categories of Building Control and Demolition Work (July 2017)
- Requirements for Building in Bushfire Prone Areas. (July 2017)
- Application of Requirements for Building in Bushfire Prone Areas. (Feb 2017)

Director of Building Control (2021) Director's Determination for Bushfire Hazard Areas v1.1 2021

*Substance of Certificate: (what it is that is being certified)*

1. Assessment of the site Bushfire Attack Level (BAL) to Australian Standards 3959

The BAL rating has been assessed to BAL Low BAL 12.5 / BAL 19 / BAL 29.

2. Bushfire Hazard Management Plan

Proposal is compliant with DTS requirements Clauses 4.1, 4.2, 4.3, 4.4 and 4.5 of the *Director's Determination Requirements for Building in Bushfire-Prone Areas (v2.1)*.

and

Proposal is compliant with DTS requirements, tables 1, 2, 3A/3B & 4, Director's Determination for Bushfire Hazard Areas v1.1 2021.

*P. KB*

*Scope and/or Limitations*

**I certify the matters described in this certificate.**

|                   |   |                        |              |
|-------------------|---|------------------------|--------------|
|                   | <i>Signed:</i>  | <i>Certificate No:</i> | <i>Date:</i> |
| Qualified person: |  | SRL21/34B              | 21/5/2021    |

P. Lough

## COVENANTS

“C”

### Miena Park Estate

The owner of each lot on the Plan covenants with the vendor JAC Estates Pty Ltd and the owners for the time being of each and every lot shown on the Plan to the intent that the burden of these covenants shall run with and bind the covenantor's lot and every part thereof and the benefit thereof shall be annexed to and devolved with each and every part of every other lot shown on the Plan to observe the following stipulations :

1. Not to erect any building on the lot with outer walls of asbestos cement sheeting;
2. Not to erect any building on the lot other than of brick, stone, masonry block or similar material, rendered insulated concrete forms, timber construction, flat metal cladding or insulated boards that are rendered, painted or pre-coloured, with no more than 60% exposed brick on any side of the dwelling/building;
3. Not to erect on the lot a private house which (exclusive of appurtenant out-buildings thereto) has a floor area not less than 165m<sup>2</sup> (one hundred and sixty five square metres);
4. Not to erect a dwelling without at least a single garage or double garage under the roof of the dwelling.
5. Not to erect any dwelling house or residential building on the lot using any roofing material or with roofs other than tiles, slate, shingles or colourbond iron;
6. Not to erect any garage or outbuilding on the lot using any roofing material or with roofs other than tiles, slate, shingles or colourbond iron;
7. Not to erect or place or suffer to be or remain on the lot any temporary building structure or caravan except a shed or workshop used for the purpose of and in connection with and during and in the course of construction of a permanent building or buildings on the lot and not otherwise;
8. That no hoarding or other structure or station for the purpose of exhibiting any advertisement, bill, poster or sign shall be created or placed or suffered to be upon any part of the lot (except any notice or advertisement in the usual form for the sale or letting of the lot or any building erected thereon);
9. Not to affix or display on any structure, wall or fence upon the lot or any part thereof any posters, bills, hoardings or advertisements (except any notice or advertisement in the usual form for the sale or letting of the lot or any building erected thereon);
10. Not to keep on the lot any dog of a greyhound breed or greyhound cross breed (unless certified by Greyhound Adoption Program Tasmania or similar organisation) or any dog of a breed or cross breed which shall be declared or categorised by any Government Department, by any statutory or municipal authority or by any recognised Kennel Control Council or Kennel Club in Tasmania to be a dangerous breed;
11. Not to erect or use on the lot any shop building or erection whatsoever for the purpose of selling offering or exposing for sale therein any articles, services, wares or merchandise whatsoever;



P. H.

11. Not to erect install or amend any drainage pipes or drainage dissipaters on the lot or any part thereof which will cause or may cause any stormwater to enter or cause damage or erosion to the lot, to any adjoining lot or to any road shown on the plan or any area adjacent to such road or the balance;
12. Not to store, heap or permit to be excavated carried away or removed from the lot or any part thereof any trees, logs, earth, clay, stone, gravel or sand except such as may be necessary for the purposes of road or driveway construction or leveling or filling of the lot or for the formation of any buildings, swimming pool or barbecue area to be constructed thereon;
13. Not to erect on the lot (or any future lots created by subdivision of the lot) any buildings other than one private dwelling house and the usual out-buildings appurtenant thereto except that multiple dwellings are permitted on lots 4, 12, 13, 20, 24 and 33 and each dwelling shall have a floor area not less than 130m<sup>2</sup> (one hundred and thirty square metres);
14. That the main building erected on any portion of the lot shall not be used for any purpose other than a private residential house.
15. That no engine or machinery worked or driven by steam, gas, electricity, petrol or other type of power and used for any business or trade operations shall be erected, affixed or placed on any part of the lot and no trade manufacture or business whatsoever shall be carried on or be permitted or allowed to be carried on any part of the lot.
16. Not to erect any fence along the boundaries of the lot of a height greater than 1.83 metres and the fence must be of no other material than Colorbond Panel construction in monument color.
17. Not to erect any boundary fence or wall of any kind or description upon the boundary of any lot with the street onto which the same fronts and not to erect any sideline fence between the street frontage of such lot and the building line to such lots as determined by the appropriate municipal authority but nothing herein contained shall prohibit the erection of a retaining wall upon such street frontage boundary or for the purposes of maintaining the natural level of such lot, or for lots with two or more street frontages, nothing herein contained shall prohibit the erection of a see through fence or decorative fence up to 1.83m on the side boundary street frontage but not forward of the building line to such lots as determined by the appropriate municipal authority (provided the decorative fence has been approved by the said JAC Estates Pty Ltd).
18. Provided that they will not do or permit or suffer to be done in or upon any lot or any part thereof anything which will, may or shall be or become a nuisance, annoyance or disturbance to the said JAC Estates Pty Ltd) or its directors or successors in title or the owner or owners for the time being of the said lots.

CE PD

P B



19. The owner of each lot on the Plan covenants with the Vendor JAC Estates Pty Ltd that the Vendor will not be required to fence any lot on the plan.
20. Not to erect on lots 1, 2, 3, 4, 5, 6, 7, 8, 9 and 33 any building with a maximum height in excess of 4.5 metres above the natural ground level of each such lot.

**PROVIDED THAT** it is hereby declared that nothing herein obtained or implied shall prevent the said JAC Estates Pty Ltd or its directors from; -

- (i) Selling any lot free or exempt from any one or more of the restrictive covenants and stipulations contained in the covenants hereinbefore contained; and
- (ii) Modifying, waiving or releasing or allowing any departure from any of the said restrictive covenants in relation to any lot or portion of any lot.

 PD

*P. MS*

# PROPOSED NEW RESIDENCE

## 14 PARKSIDE PLACE,

### SORELL

J. E. PTY LTD

PDH25090

**BUILDING DRAWINGS**

| No | DRAWING            |
|----|--------------------|
| 01 | SITE PLAN          |
| 02 | SITE DRAINAGE PLAN |
| 03 | LOCALITY PLAN      |
| 04 | FLOOR PLAN         |
| 05 | ELEVATIONS         |
| 06 | ELEVATIONS         |
| 07 | ROOF PLAN          |
| 08 | PERSPECTIVES       |





**Sorell Council**  
Development Application: 5.2025.319.1 -  
Development Application - 14 Parkside Place  
Sorell - P1.pdf  
Plans Reference:P1  
Date Received:19/11/2025



**STROUD HOMES**  
Feels like home



|               |        |    |        |           |
|---------------|--------|----|--------|-----------|
| GARAGE AREA   | 23.45  | m2 | (2.52  | SQUARES ) |
| FLOOR AREA    | 108.19 | m2 | (11.65 | SQUARES ) |
| ALFRESCO AREA | 11.30  | m2 | (1.22  | SQUARES ) |
| PORCH AREA    | 2.33   | m2 | (0.25  | SQUARES ) |
| TOTAL AREA    | 145.27 |    | 15.64  |           |

**GENERAL PROJECT INFORMATION**  
TITLE REFERENCE: 11/182322  
SITE AREA: 710 m<sup>2</sup>  
DESIGN WIND SPEED: N2  
SOIL CLASSIFICATION: P  
CLIMATE ZONE: 7  
ALPINE AREA: NO  
CORROSIVE ENVIRONMENT: MEDIUM  
BAL RATING: BAL-19  
OTHER KNOWN HAZARDS: BUSHFIRE-PRONE AREAS, AIRPORT  
OBSTACLE LIMITATION AREA, FLOOD-PRONE  
AREAS, PRIORITY VEGETATION AREA, WATERWAY AND  
COASTAL PROTECTION AREA

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REV. DATE DESCRIPTION



**Prime Design**  
*your build, your way*

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H: Shop 9, 105-111 Main Road, Moonah, 7009  
p(h)+03 6228 4575  
info@primedesigntas.com.au  
Accredited Building Practitioner:

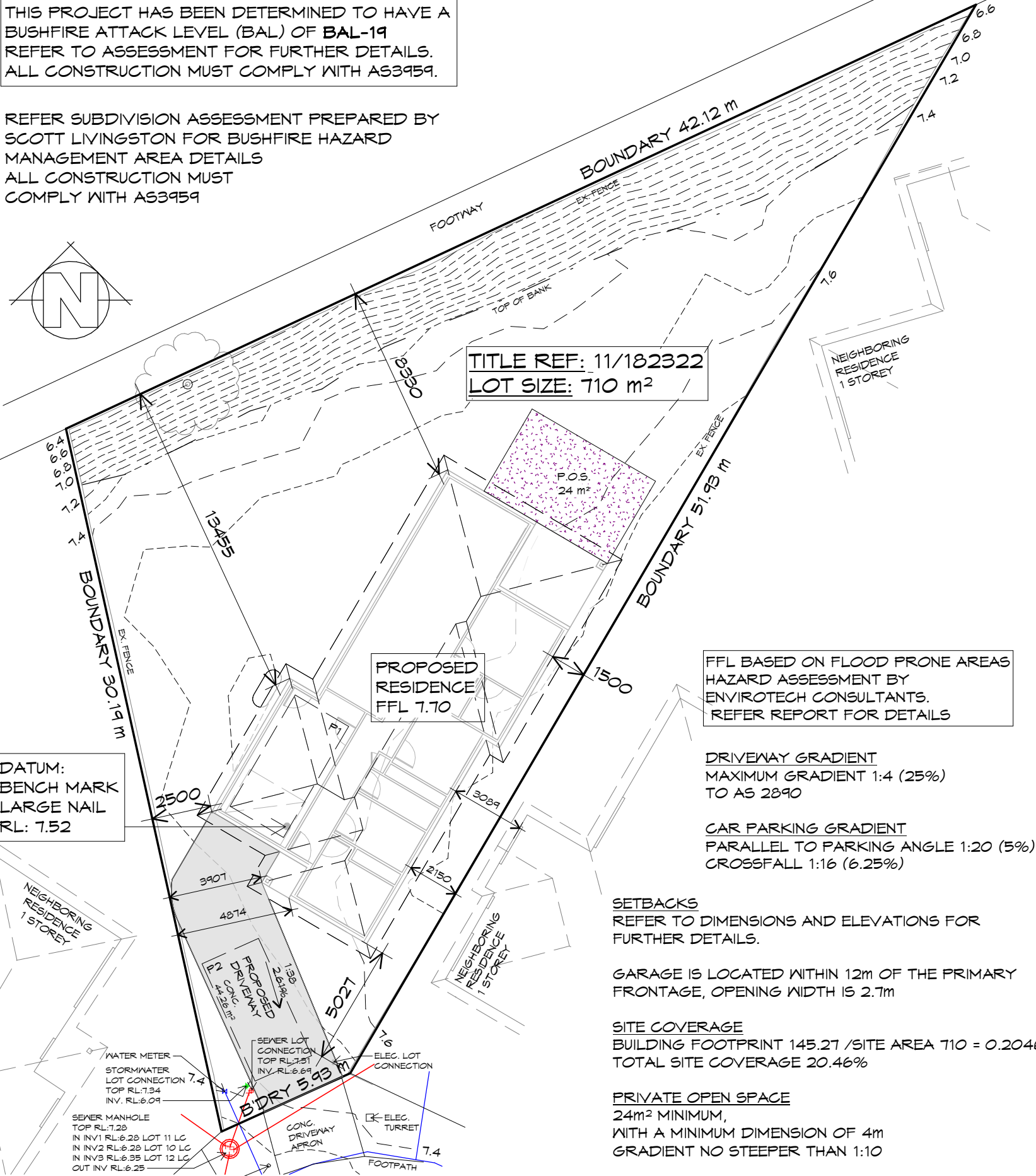
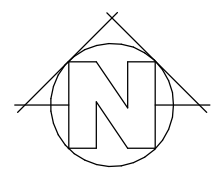
bdag  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

primedesigntas.com.au  
Frank Geskus -No CC246A

NOVEMBER 2025  
PLANNING

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF **BAL-19**  
REFER TO ASSESSMENT FOR FURTHER DETAILS.  
ALL CONSTRUCTION MUST COMPLY WITH A53959.

REFER SUBDIVISION ASSESSMENT PREPARED BY  
SCOTT LIVINGSTON FOR BUSHFIRE HAZARD  
MANAGEMENT AREA DETAILS  
ALL CONSTRUCTION MUST  
COMPLY WITH A53959



**SITE PLAN**  
**PARKSIDE PLACE**

1 : 200

**GENERAL NOTES**

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A.. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.

**SURVEYOR'S NOTES:**

- THIS PLAN HAS BEEN PREPARED BY SURVEY PLUS FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
- TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED BY SURVEY PLUS AT THE TIME OF THIS SURVEY.
- SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.
- SURVEY PLUS CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.
- THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF SURVEY PLUS.
- HORIZONTAL DATUM IS MGA (GDA94).
- VERTICAL DATUM IS AHD.
- CONTOUR INTERVAL IS 0.1 METRE, INDEX IS 0.2 METRE.
- SURVEY BY ROBOTIC TOTAL STATION AND RTK GPS.
- IMPORTED DATA SHOWN ON THIS PLAN WAS OBTAINED FOR PUBLIC AVAILABLE DATA FROM VARIOUS GOVERNMENT AUTHORITIES. THIS INFORMATION IS PROVIDED FOR GUIDANCE ONLY. THE ACCURACY OF ANY IMPORTED DATA IS PER THE
- ACCURACY QUOTED BY THE SOURCE AND IS IN NO WAY GUARANTEED BY SURVEY PLUS. USERS MUST NOT RELY ON THIS DATA FOR ON-GROUND LOCATION OF BOUNDARIES AND/OR SERVICES.
- LIST DATA IMPORT
  - TasWater-SewerLateralLine
  - TasWater-SewerMain
  - TasWater-SewerMaintenanceHole
  - TasWater-SewerPressurisedMain
  - TasWater-WaterHydrant
  - TasWater-WaterLateralLine
  - TasWater-WaterMain
- BOUNDARIES ARE COMPILED ONLY FROM SP182322 AND RELEVANT SURVEY INFORMATION OBTAINED FROM LAND TITLES OFFICE AND ARE APPROXIMATE AND SUBJECT TO SURVEY.
- ALL WINDOWS WERE NOT ABLE TO BE LOCATED DUE TO OBSTRUCTION OF LINE OF SIGHT FROM TOTAL STATION.
- WINDOW LOCATIONS ARE APPROXIMATE ONLY DUE TO BEING UNABLE TO BE PERPENDICULAR TO WINDOWS WHEN LOCATING WITH TOTAL STATION.
- 3D DATA TURNED OFF IN LAYER CONTROL.
  - 3D TIN
  - MAJOR CONTOUR 3D
  - MINOR CONTOUR 3D

**Sorell Council**  
Development Application: 5.2025.319.1 -  
Development Application - 14 Parkside Place  
Sorell - P1.pdf  
Plans Reference: P1  
Date Received: 19/11/2025



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H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au



| REV. | DATE | DESCRIPTION |
|------|------|-------------|
|------|------|-------------|

Client name:  
J. E. PTY LTD

Project:  
PROPOSED NEW RESIDENCE  
14 PARKSIDE PLACE,  
SORELL

Drawing:  
SITE PLAN

Date: 19.11.2025  
Drafted by: S.P.  
Approved by: Approver

Project/Drawing no: PDH25090 - 01  
Scale: 1 : 200  
Revision: 01

Accredited building practitioner: Frank Gekus - No CC246A  
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**PLANNING**  
NOTE: DO NOT SCALE OFF DRAWINGS



LEGEND

- 450X 450 SURFACE DRAINAGE PIT
- WET AREAS
- SEWER LINE
- STORMWATER LINE
- G.T. 150 mm GRATED TRENCH
- KB KERB
- WT PROPOSED 5000 LITRE WATER TANK WITH MIN. RETENTION STORAGE OF 2000L, WATER SUPPLY TO BE PLUMBED INTO TOILETS SO THAT RE-USE OCCURS WITH TOP-UP FROM RECTICULATED WATER SUPPLY

PLUMBING NOTES:  
ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.  
ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2021 & THE TASMANIAN PLUMBING CODE. AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

- PITS:

ALL GRATED PITS SIZED AND INSTALLED PER AS/NZS 3500.2021 PART 3
- ORGS:

OVERFLOW RELIEF GULLYS TO BE BRANCHED SEPERATE AND NOT PASS THROUGH. REFER AS/NZS 3500.2021 PART 2
- S/W:

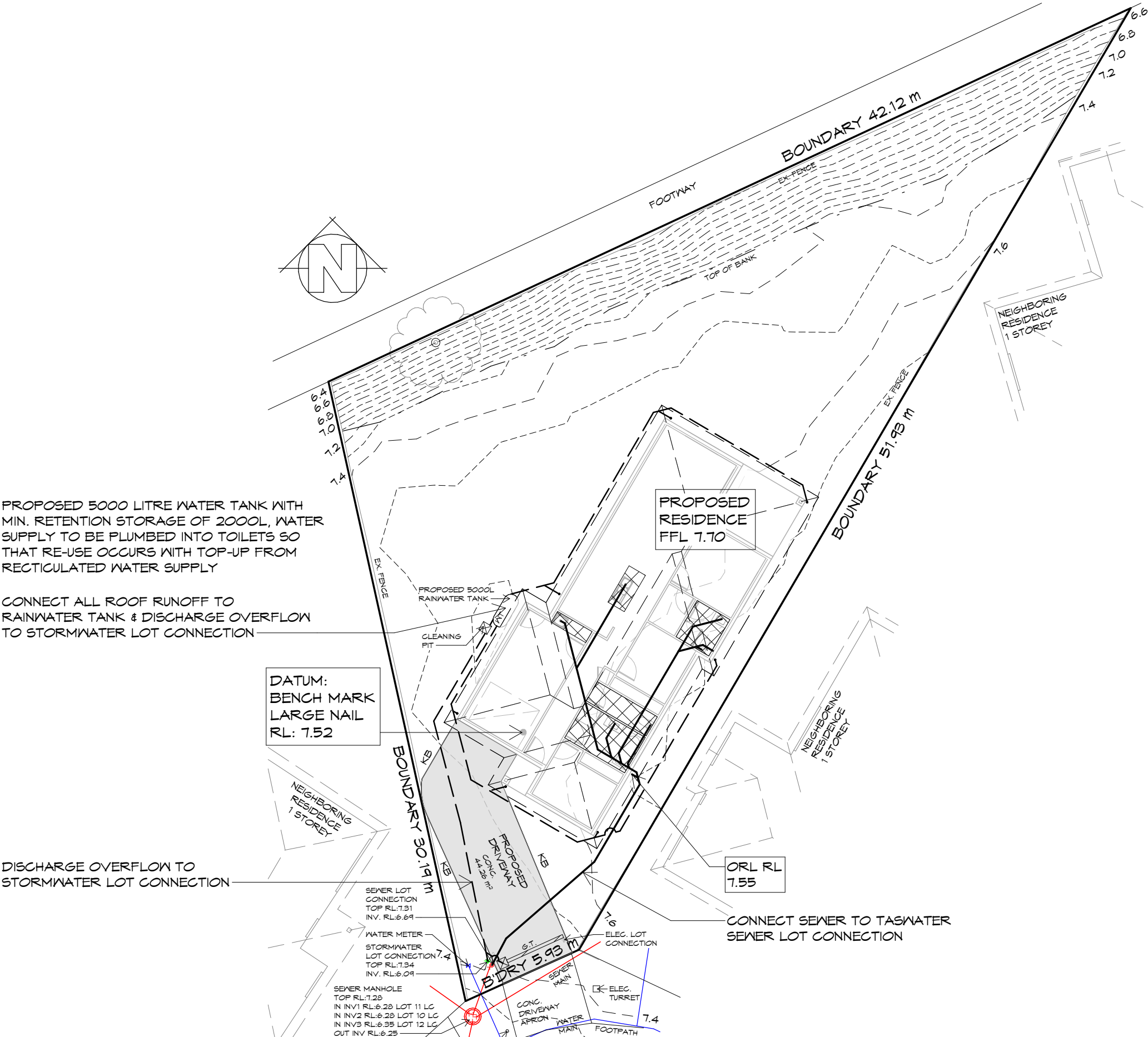
STORMWATER PIPES TO BE SIZED PER ASNZS 3500.2021 PART 3
- VENTS:

DRAINAGE VENTS TO BE LOCATED BEFORE LAST FITTING AT THE END OF THE LINE PER AS/NZS 3500.2021 PART 2

- SEWER AND WATER SERVICES

ALL WORKS IN ACCORDANCE WITH WATER SUPPLY CODE OF AUSTRALIA AND TASWATER SUPPLEMENTS

WORKS TO BE DONE BY TASWATER AT DEVELOPERS COST



SITE DRAINAGE PLAN

1 : 200



| REV. | DATE | DESCRIPTION |
|------|------|-------------|
|------|------|-------------|

Client name:  
J. E. PTY LTD

PLANNING  
NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
PROPOSED NEW RESIDENCE  
14 PARKSIDE PLACE,  
SORELL

Drawing:  
SITE DRAINAGE PLAN

Sorell Council

Development Application: 5.2025.319.1 -  
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bdoo  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

|                     |                     |                          |
|---------------------|---------------------|--------------------------|
| Date:<br>19.11.2025 | Drafted by:<br>S.P. | Approved by:<br>Approver |
|---------------------|---------------------|--------------------------|

|                                      |                        |                 |
|--------------------------------------|------------------------|-----------------|
| Project/Drawing no:<br>PDH25090 - 02 | Scale:<br>As indicated | Revision:<br>01 |
|--------------------------------------|------------------------|-----------------|

Accredited building practitioner: Frank Gekus -No CC246A  
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PROPOSED RESIDENCE  
14 PARKSIDE PLACE,  
SORELL

THIS PROJECT HAS BEEN DETERMINED TO HAVE A  
BUSHFIRE ATTACK LEVEL (BAL) OF **BAL-19**  
REFER TO ASSESSMENT FOR FURTHER DETAILS.  
ALL CONSTRUCTION MUST COMPLY WITH AS3959.

## LOCALITY PLAN

1 : 2000

THIS SITE IS ZONED **GENERAL RESIDENTIAL** AND **REQUIRES** A BUSHFIRE ASSESSMENT.  
RESIDENCE IS NOT OVER 100m FROM UNMANAGED BUSH/GRASSLANDS GREATER THAN 1 HECTARE.

**REFER TO BUSHFIRE ASSESSMENT REPORT FOR MANAGMENT PLAN**



**Sorell Council**

Development Application: 5.2025.319.1 -  
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Sorell - P1.pdf  
Plans Reference:P1  
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info@primedesigntas.com.au primedesigntas.com.au

**bdaa**  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

|            |             |              |
|------------|-------------|--------------|
| Date:      | Drafted by: | Approved by: |
| 19.11.2025 | S.P.        | Approver     |

|                     |          |           |
|---------------------|----------|-----------|
| Project/Drawing no: | Scale:   | Revision: |
| PDH25090 - 03       | 1 : 2000 | 01        |

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Client name:  
J. E. PTY LTD

Project:  
PROPOSED NEW RESIDENCE  
14 PARKSIDE PLACE,  
SORELL

Drawing:  
LOCALITY PLAN

**PLANNING**  
NOTE: DO NOT SCALE OFF DRAWINGS

| REV. | DATE | DESCRIPTION |
|------|------|-------------|
|------|------|-------------|

FLOOR PLAN

1 : 100

|               |        |    |        |           |
|---------------|--------|----|--------|-----------|
| GARAGE AREA   | 23.45  | m2 | (2.52  | SQUARES ) |
| FLOOR AREA    | 108.19 | m2 | (11.65 | SQUARES ) |
| ALFRESCO AREA | 11.30  | m2 | (1.22  | SQUARES ) |
| PORCH AREA    | 2.33   | m2 | (0.25  | SQUARES ) |
| TOTAL AREA    | 145.27 |    | 15.64  |           |

NOTE:  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED.  
DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.



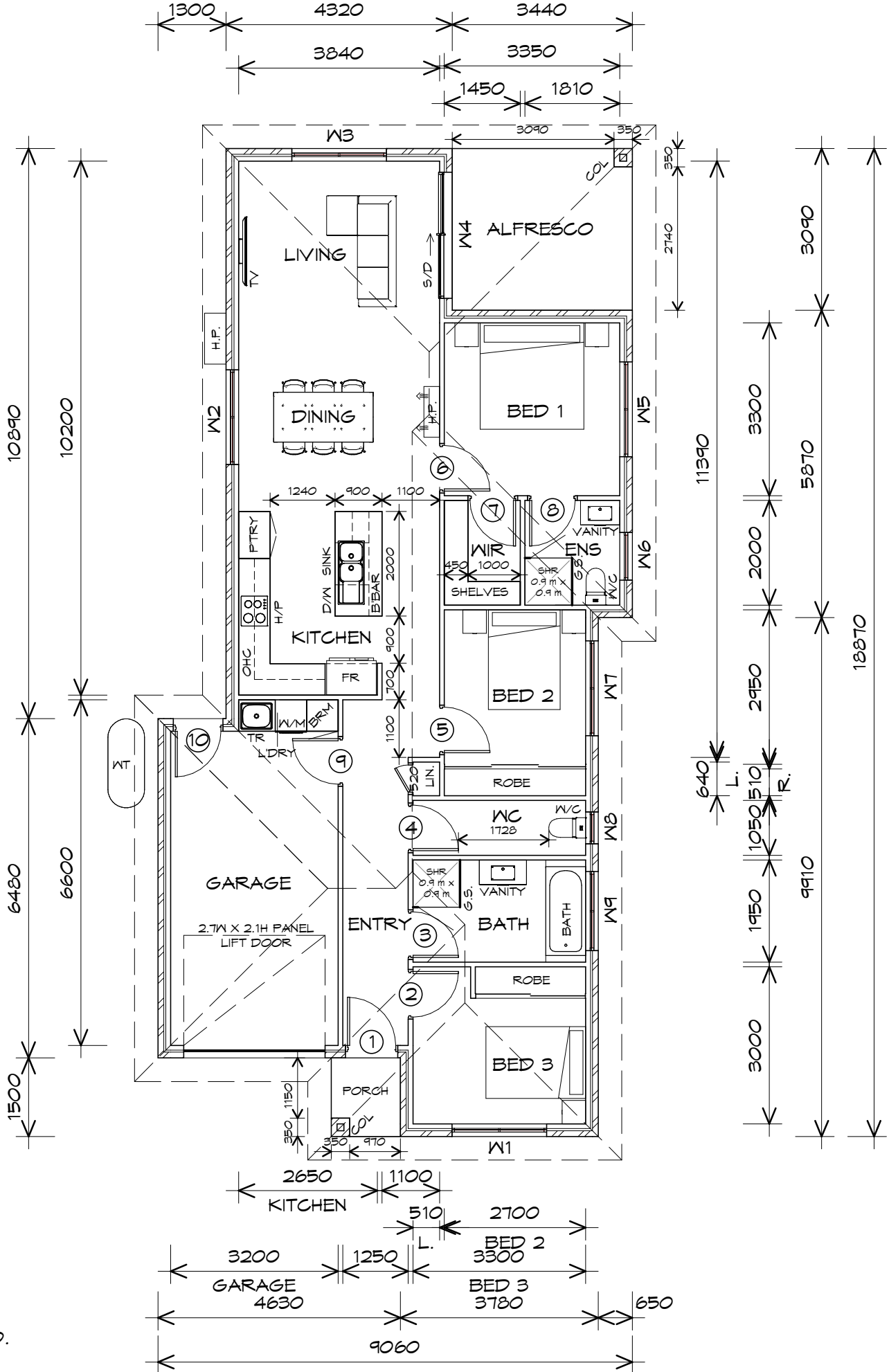
REV. DATE DESCRIPTION

Client name:  
J. E. PTY LTD

PLANNING  
NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
PROPOSED NEW RESIDENCE  
14 PARKSIDE PLACE,  
SORELL  
  
Drawing:  
FLOOR PLAN

Date:  
19.11.2025  
  
Drafted by:  
S.P.  
  
Approved by:  
Approver  
  
Project/Drawing no:  
PDH25090 - 04  
  
Scale:  
1 : 100  
  
Revision:  
01  
  
Accredited building practitioner:  
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Frank Geskus -No CC246A



LEGEND

- S/D SLIDING DOOR
- COL 350X350 BRICK COLUMN  
C/W SHS INSIDE
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER

| DOOR SCHEDULE |       |                      |         |
|---------------|-------|----------------------|---------|
| MARK          | WIDTH | TYPE                 | REMARKS |
| 1             | 920   | EXTERNAL SOLID DOOR  |         |
| 2             | 870   | INTERNAL TIMBER DOOR |         |
| 3             | 870   | INTERNAL TIMBER DOOR |         |
| 4             | 870   | INTERNAL TIMBER DOOR |         |
| 5             | 870   | INTERNAL TIMBER DOOR |         |
| 6             | 870   | INTERNAL TIMBER DOOR |         |
| 7             | 870   | INTERNAL TIMBER DOOR |         |
| 8             | 870   | INTERNAL TIMBER DOOR |         |
| 9             | 870   | INTERNAL TIMBER DOOR |         |
| 10            | 870   | GLAZED EXTERNAL DOOR |         |

| WINDOW SCHEDULE |        |       |               |         |
|-----------------|--------|-------|---------------|---------|
| MARK            | HEIGHT | WIDTH | TYPE          | REMARKS |
| W1              | 1800   | 1810  | AWNING WINDOW |         |
| W2              | 1800   | 1810  | AWNING WINDOW |         |
| W3              | 1800   | 1810  | AWNING WINDOW |         |
| W4              | 2100   | 2410  | SLIDING DOOR  |         |
| W5              | 1200   | 1810  | AWNING WINDOW |         |
| W6              | 900    | 910   | AWNING WINDOW | OPAQUE  |
| W7              | 1200   | 1810  | AWNING WINDOW |         |
| W8              | 900    | 610   | AWNING WINDOW | OPAQUE  |
| W9              | 1200   | 1510  | AWNING WINDOW | OPAQUE  |

ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE  
WITH FLY SCREENS TO SUIT BAL-19 RATING.  
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
PRIOR TO ORDERING

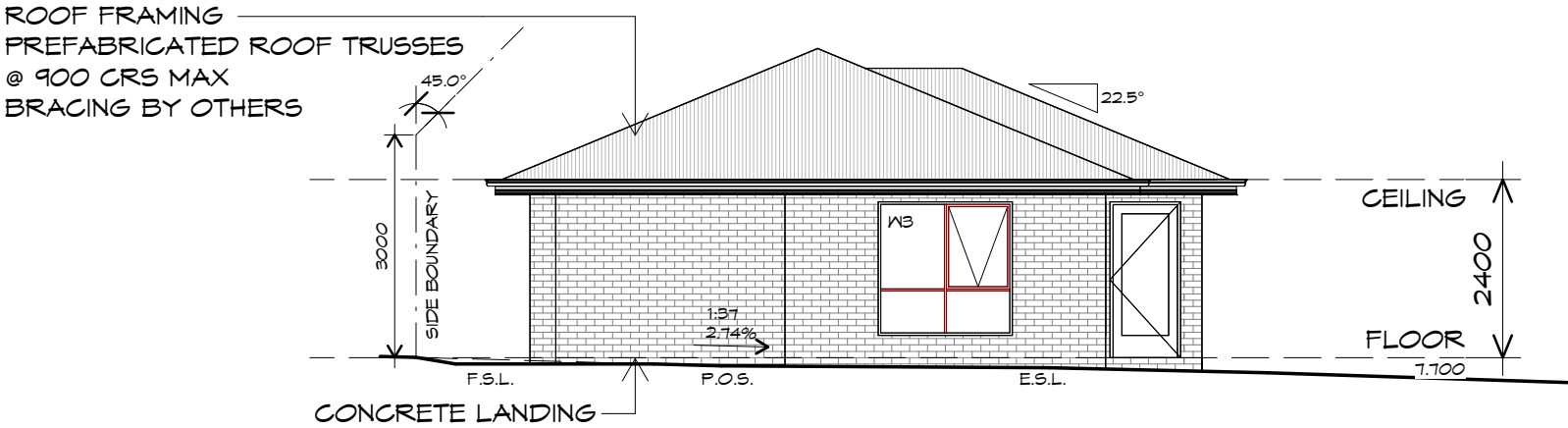
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Development Application - 14 Parkside Place  
Sorell - P1.pdf  
Plans Reference:P1  
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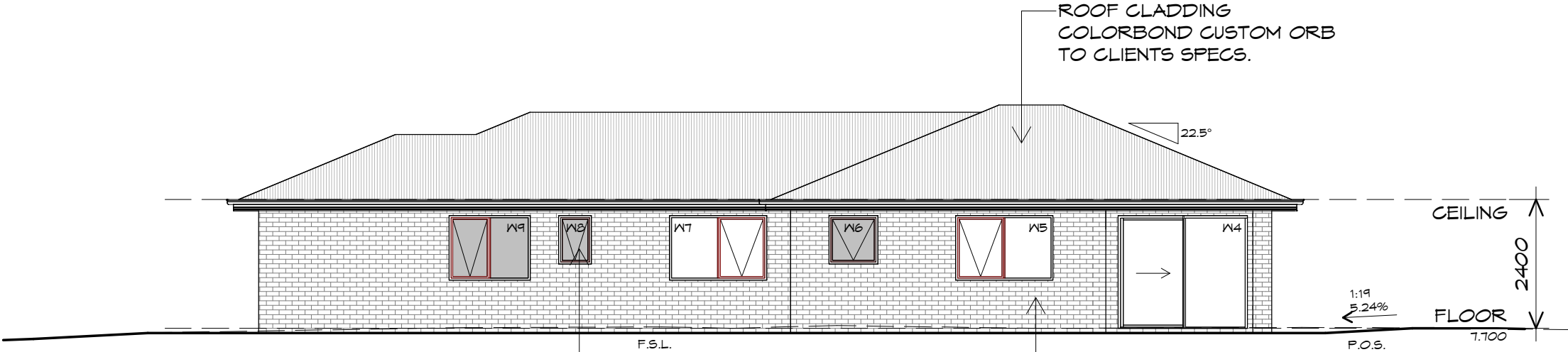
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NORTHERN ELEVATION

1 : 100



DOORS AND WINDOWS TO BE  
SEALED IN ACCORDANCE WITH  
ABCB HOUSING PROVISIONS PART 13.4

EASTERN ELEVATION

1 : 100

BRICKWORK  
SELECTED FIRED CLAY  
FACE BRICKS.  
RAKED JOINTS, STRETCHER BOND  
REFER ENGINEER FOR  
ARTICULATION JOINTS  
ALL MASONRY TO COMPLY  
WITH ABCB HOUSING PROVISIONS PART 5

 **Sorell Council**  
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 **STROUD HOMES**  
Feels like home

 **Love local.  
Love Stroud.**

| REV. | DATE | DESCRIPTION |
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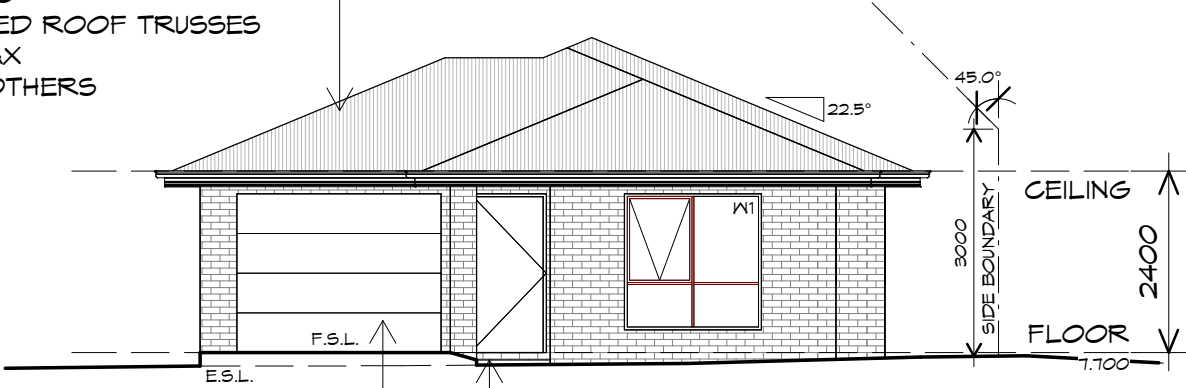
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**PLANNING**  
NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
PROPOSED NEW RESIDENCE  
14 PARKSIDE PLACE,  
SORELL

Drawing:  
ELEVATIONS

ROOF FRAMING  
PREFABRICATED ROOF TRUSSES  
@ 900 CRS MAX  
BRACING BY OTHERS



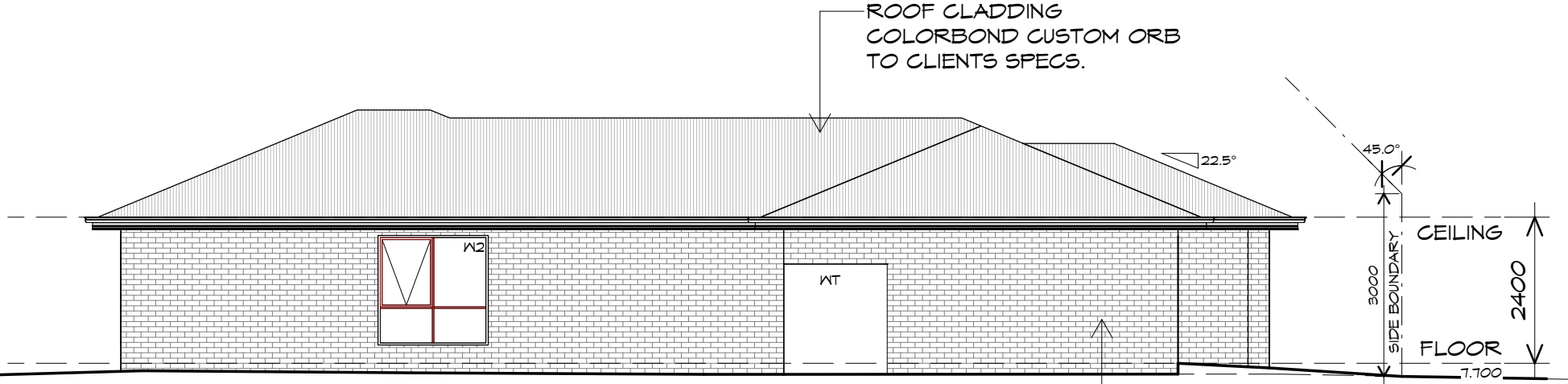
PANEL LIFT DOOR 2700 WIDE x 2100  
HIGH CLADDING PANELS TO CLIENTS  
SPEC FIXED IN ACCORDANCE WITH  
MANUFACTURERS SPEC

CONCRETE LANDING

## SOUTHERN ELEVATION

1 : 100

ROOF CLADDING  
COLORBOND CUSTOM ORB  
TO CLIENTS SPECS.



DOORS AND WINDOWS TO BE  
SEALED IN ACCORDANCE WITH  
ABCB HOUSING PROVISIONS PART 13.4

## WESTERN ELEVATION

1 : 100

BRICKWORK  
SELECTED FIRED CLAY  
FACE BRICKS.  
RAKED JOINTS, STRETCHER BOND  
REFER ENGINEER FOR  
ARTICULATION JOINTS  
ALL MASONRY TO COMPLY  
WITH ABCB HOUSING PROVISIONS PART 5

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Project/Drawing no: PDH25090 - 06 Scale: 1 : 100 Revision: 01

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Project:  
PROPOSED NEW RESIDENCE  
14 PARKSIDE PLACE,  
SORELL

Drawing:  
ELEVATIONS

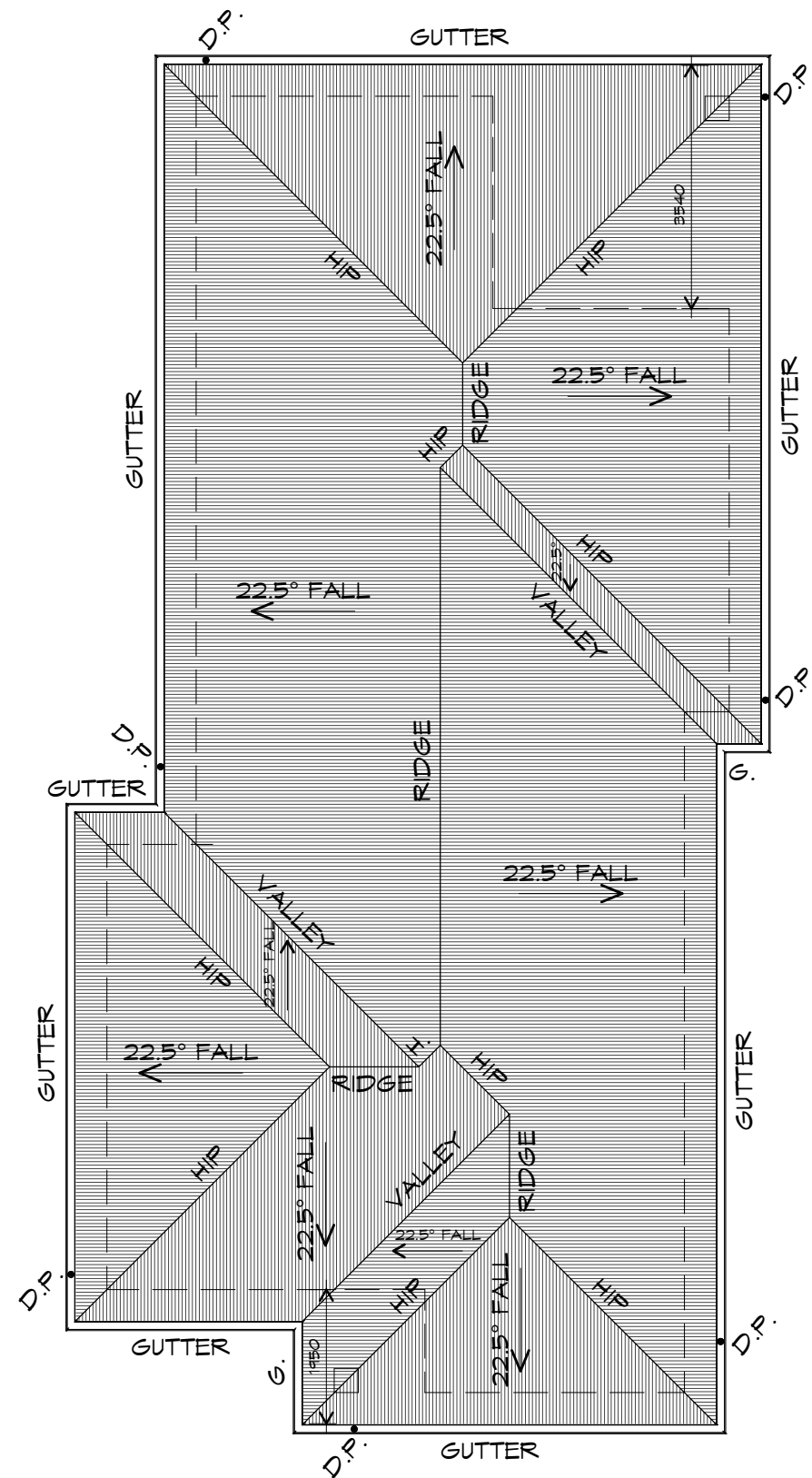
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REV. DATE DESCRIPTION

 **STROUD HOMES**  
Feels like home

Love local.  
Love Stroud.





## ROOF PLAN

1 : 100

### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

### ROOF PLUMBING NOTES:

#### GUTTER INSTALLATION

TO BE IN ACCORDANCE WITH  
ABCB HOUSING PROVISIONS PART 7.4.4  
WITH FALL NO LESS THAN  
1:500 FOR EAVES GUTTER  
BOX GUTTERS IN ACCORDANCE WITH  
AS33500.3:2021

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

#### VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.  
B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.

EXACT LOCATION & NUMBER OF D.P'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH ABCB HOUSING PROVISIONS PART 7.4.5  
REQUIREMENTS.

SPACING BETWEEN DOWNPIPES MUST NOT  
BE MORE THAN 12m & LOCATED AS CLOSE AS  
POSSIBLE TO VALLEY GUTTERS

#### METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH ABCB HOUSING PROVISIONS PART  
7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING,  
REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY  
OF CONTACT BETWEEN DIFFERENT ROOFING  
MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE,  
FASTENER FREQUENCY FOR TRANSVERSE FLASHINGS  
AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
DETAILS REFER TO ABCB HOUSING PROVISIONS PART  
7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.  
REFER TO TO ABCB HOUSING PROVISIONS PART  
7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN  
35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8



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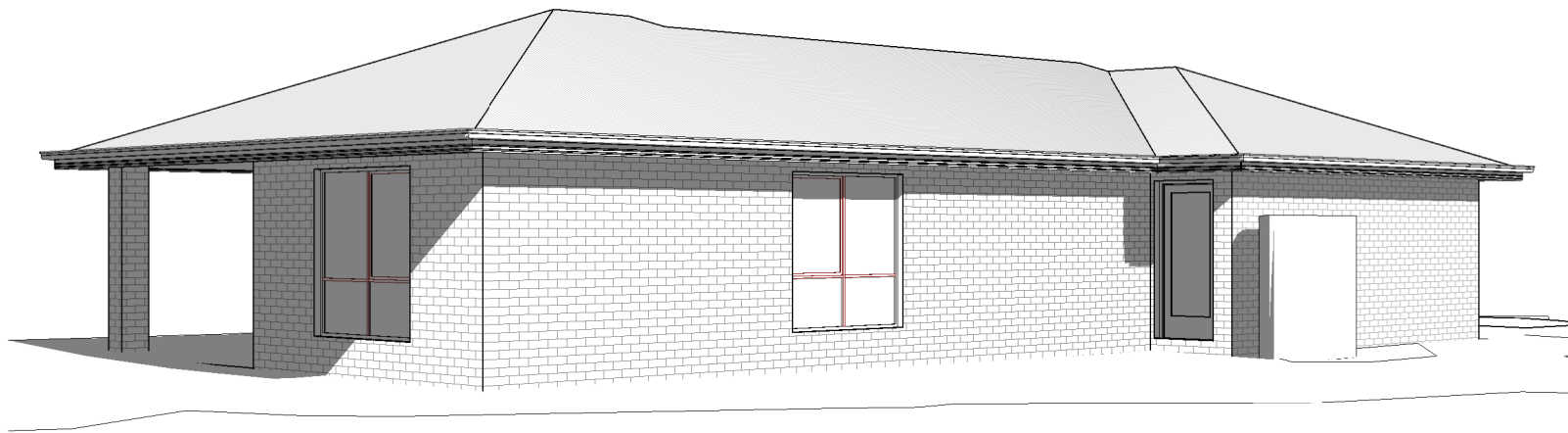
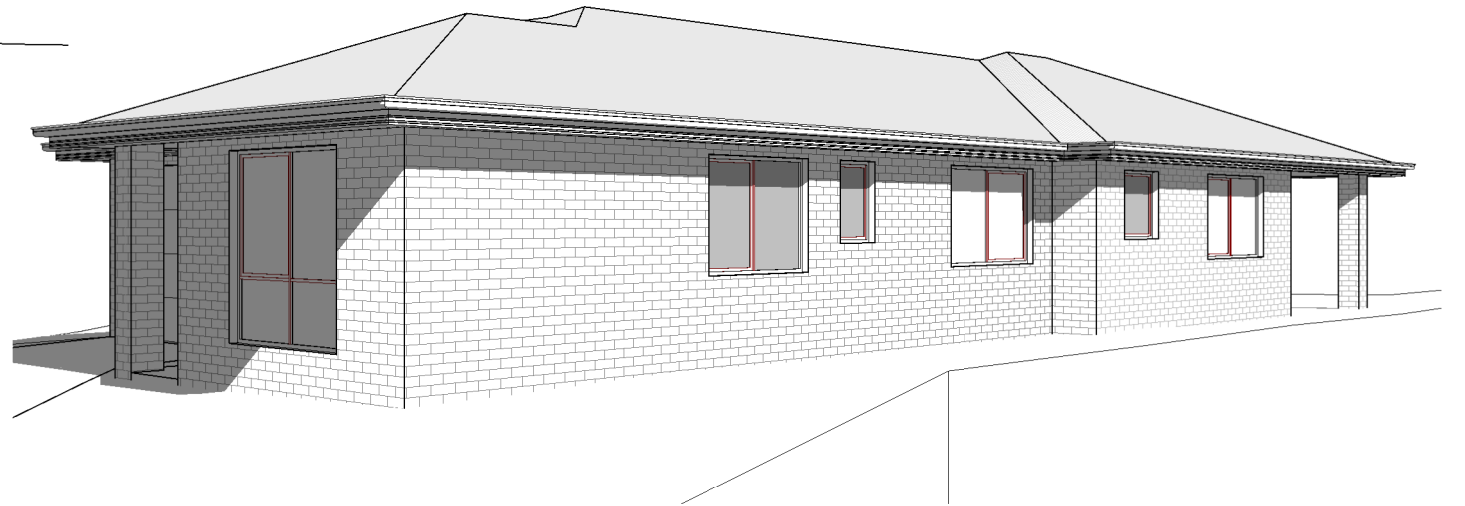
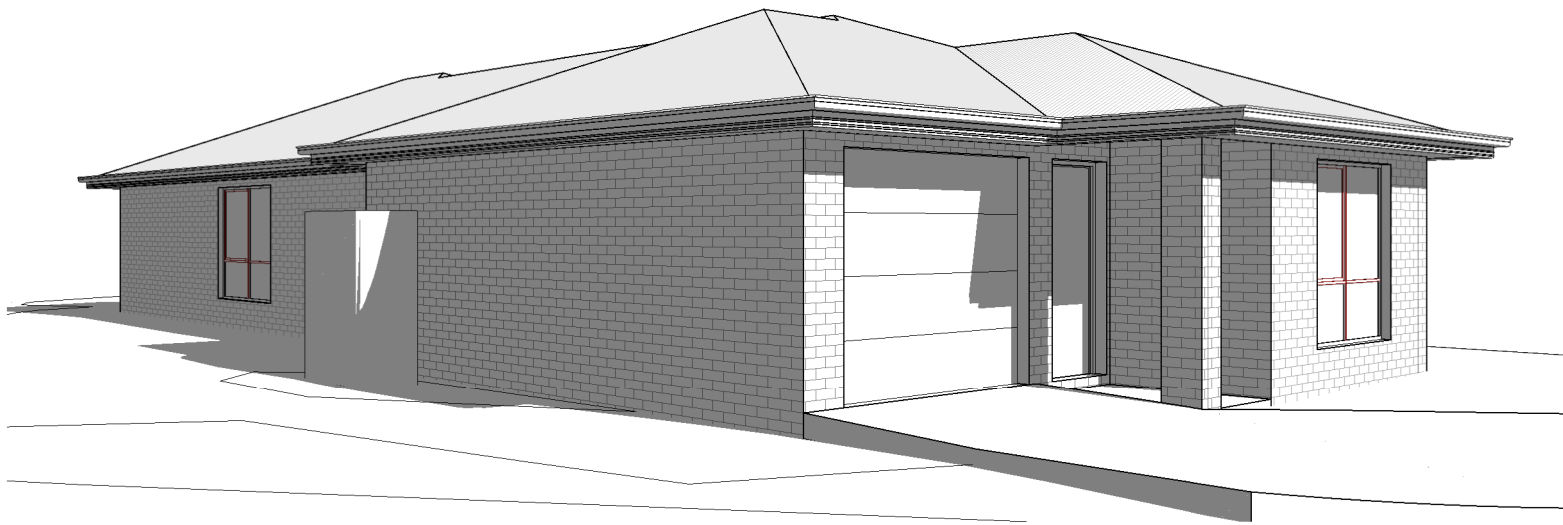
Project:  
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Drawing:  
ROOF PLAN

**PLANNING**

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Client name:  
J. E. PTY LTD

**PLANNING**  
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Project:  
PROPOSED NEW RESIDENCE  
14 PARKSIDE PLACE,  
SORELL

Drawing:  
PERSPECTIVES