

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE:

6 SANDY POINT AVENUE, DODGES FERRY

PROPOSED DEVELOPMENT:

OUTBUILDING

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Monday 1st December 2025**.

Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the General Manager. Representations must be received no later than **Monday 1st December 2025**.

APPLICATION NO: 5.2025-297.1
DATE: 13 NOVEMBER 2025

Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	Use:
	Development:
	<i>Large or complex proposals should be described in a letter or planning report.</i>
Design and construction cost of proposal: \$	

Is all, or some the work already constructed:	No: ☒ Yes: ☐
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Location of proposed works:	Street address:
	Suburb: Postcode:
	Certificate of Title(s) Volume: Folio:

Current Use of Site	
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Current Owner/s:	Name(s).....
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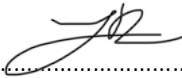
Is the Property on the Tasmanian Heritage Register?	No: ☒ Yes: ☐	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: ☐ Yes: ☒	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: ☒ Yes: ☐	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: ☒ Yes: ☐	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: ☒ Yes: ☐	<i>If yes, please complete the Council or Crown land section on page 3</i>

If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form
<https://www.sorell.tas.gov.au/services/engineering/>



Sorell Council

Development Application: 5.2025.297.1 -
 Development Application 6 Sandy Point Avenue,
 Dodges Ferry - P1.pdf
 Plans Reference:P1
 Date Received:3/11/2025

Declarations and acknowledgements	
- I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land. - I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council's representatives to enter the land at any time during normal business hours. - I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies. - I/we declare that, in accordance with s52(1) of the <i>Land Use Planning and Approvals Act 1993</i>, that I have notified the owner(s) of the intention to make this application. - I/we declare that the information in this application is true and correct. <i>Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council's Privacy Policy available on the Council website.</i>	
I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.	
Where the General Manager's consent is also required under s.14 of the <i>Urban Drainage Act 2013</i>, by making this application I/we also apply for that consent.	
Applicant Signature:	Signature:  Date:

Crown or General Manager Land Owner Consent	
If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the <i>Land Use Planning and Approvals Act 1993</i>). Please note: - If General Manager consent is required, please first complete the General Manager consent application form available on our website www.sorell.tas.gov.au - If the application involves Crown land you will also need a letter of consent. - Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.	
I _____ being responsible for the administration of land at _____ declare that I have given permission for the making of this application for _____	
 Sorell Council Development Application: 5.2025.297.1 - Development Application 6 Sandy Point Avenue, Dodges Ferry - P1.pdf Plans Reference: P1 Date Received: 3/11/2025	
Signature of General Manager, Minister or Delegate:	Signature: Date:

SEARCH OF TORRENS TITLE

VOLUME 104571	FOLIO 4
EDITION 5	DATE OF ISSUE 01-Feb-2025

SEARCH DATE : 06-Feb-2025

SEARCH TIME : 08.03 AM

DESCRIPTION OF LAND

Town of DODGES FERRY

Lot 4 on Sealed Plan 104571

Derivation : Part of Lot 29251 Gtd. to E.J.Okines

Prior CT 3955/64

SCHEDULE 1

N215042 TRANSFER to JAKE EITHAN RUSHER Registered
01-Feb-2025 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP104571 COVENANTS in Schedule of Easements
SP104571 FENCING PROVISION in Schedule of Easements
E402616 MORTGAGE to Commonwealth Bank of Australia
Registered 01-Feb-2025 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

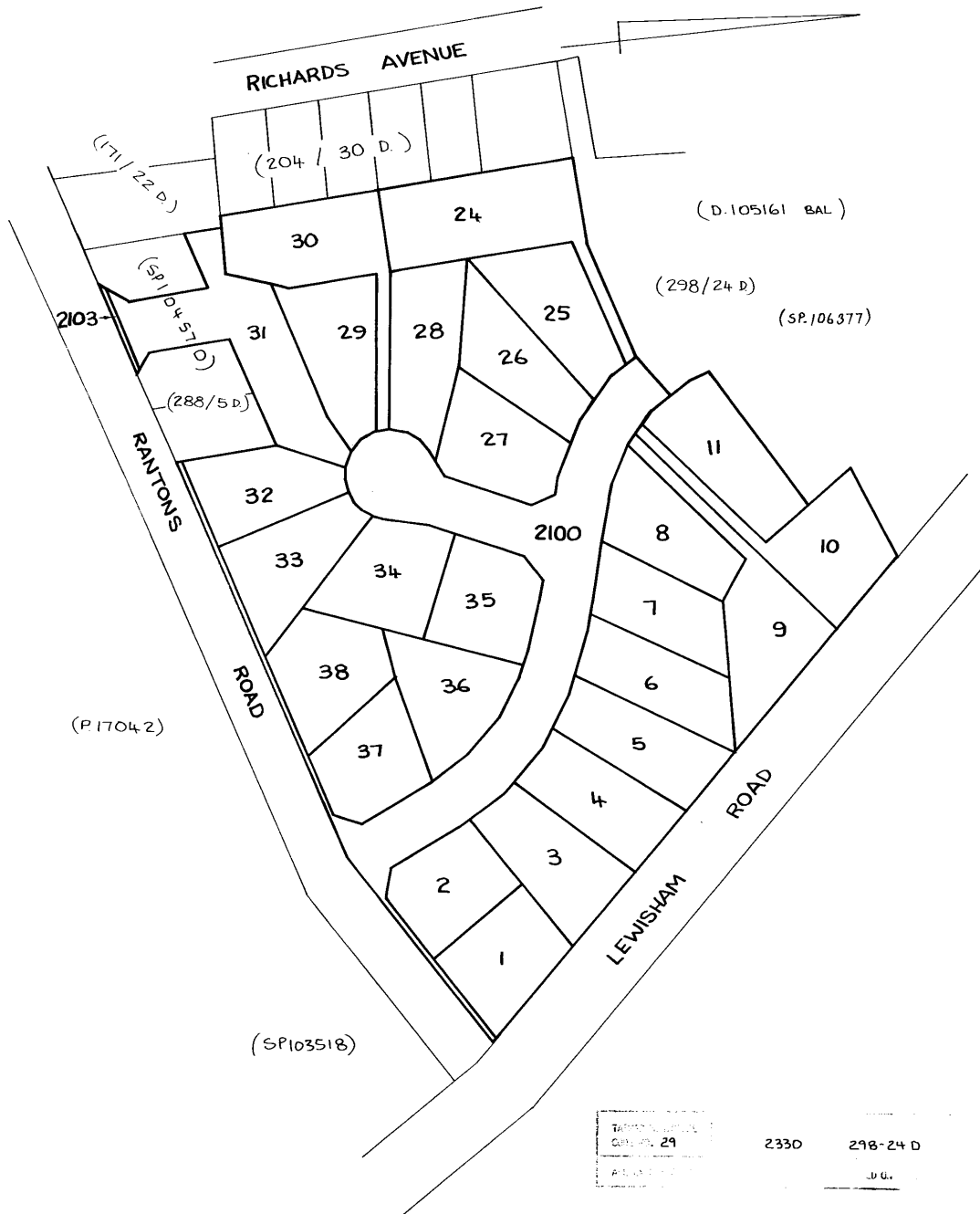
No unregistered dealings or other notations

**Sorell Council**

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OWNER MALWOOD PTY. LTD. & ELISE PTY. LTD.		PLAN OF SURVEY		REGISTERED NUMBER SP104571
FOLIO REFERENCE C.T. 3955-64		BY SURVEYOR TERENCE S. CROMER CROMER & CERUTTY PTY. LTD. 7 BAYFIELD STREET, ROSNY PARK		APPROVED EFFECTIVE FROM 30 APR 1993 <i>[Signature]</i> Recorder of Titles
GRANTEE PART OF LOT 29251 (468-1-29) GTD. TO E.J. OKINES		LOCATION TOWN OF DODGES FERRY LAND DISTRICT OF PEMBROKE PARISH OF FORCETT		
TASMAP SHEET No. 54-25		LAST UPI No. 2330		ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN
		LAST SURVEY PLAN No. 298/24 D		

INDEX PLAN

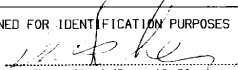


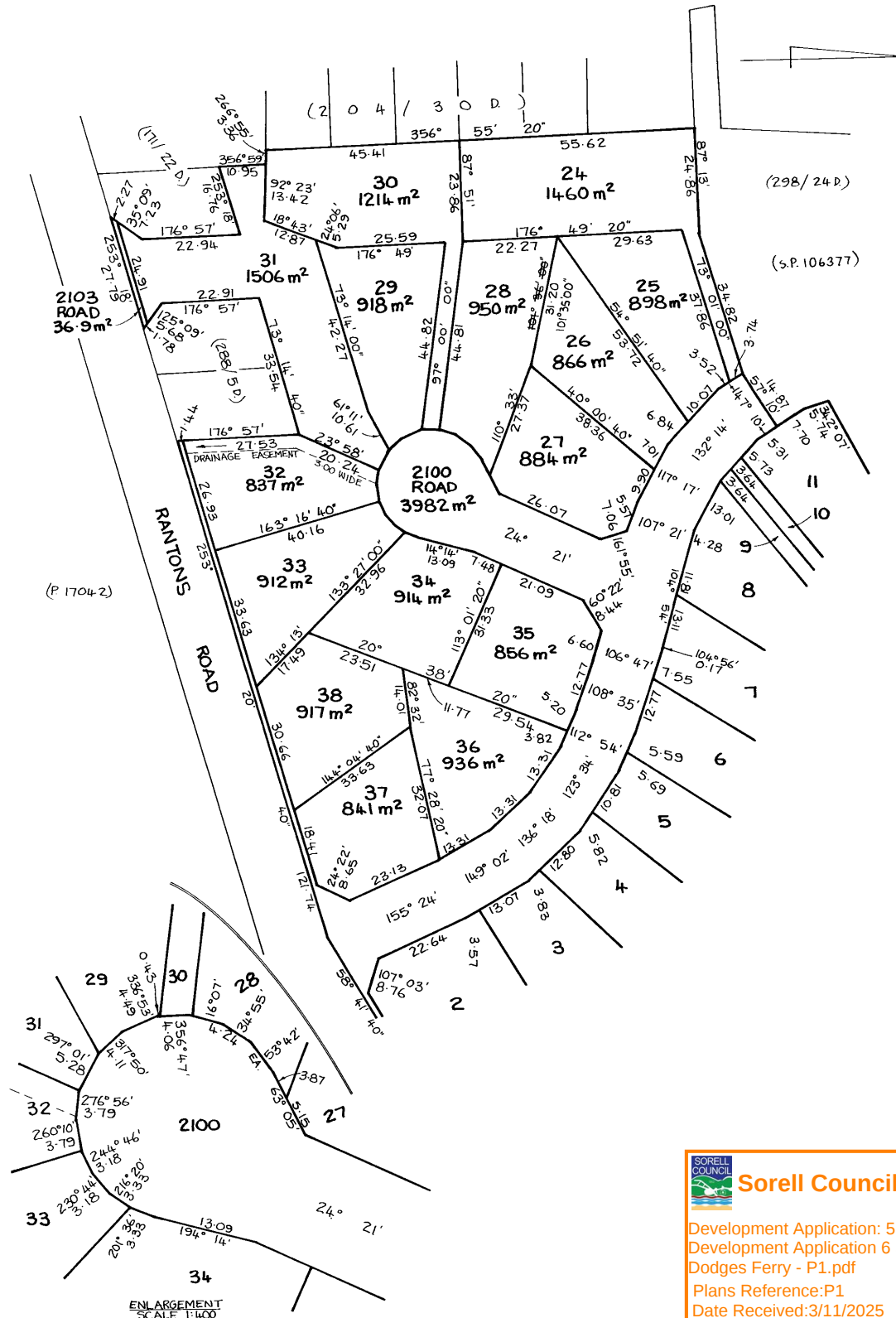
N.B. FOR SURVEY NOTES SEE
S.P. 104570



Sorell Council

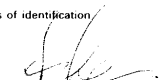
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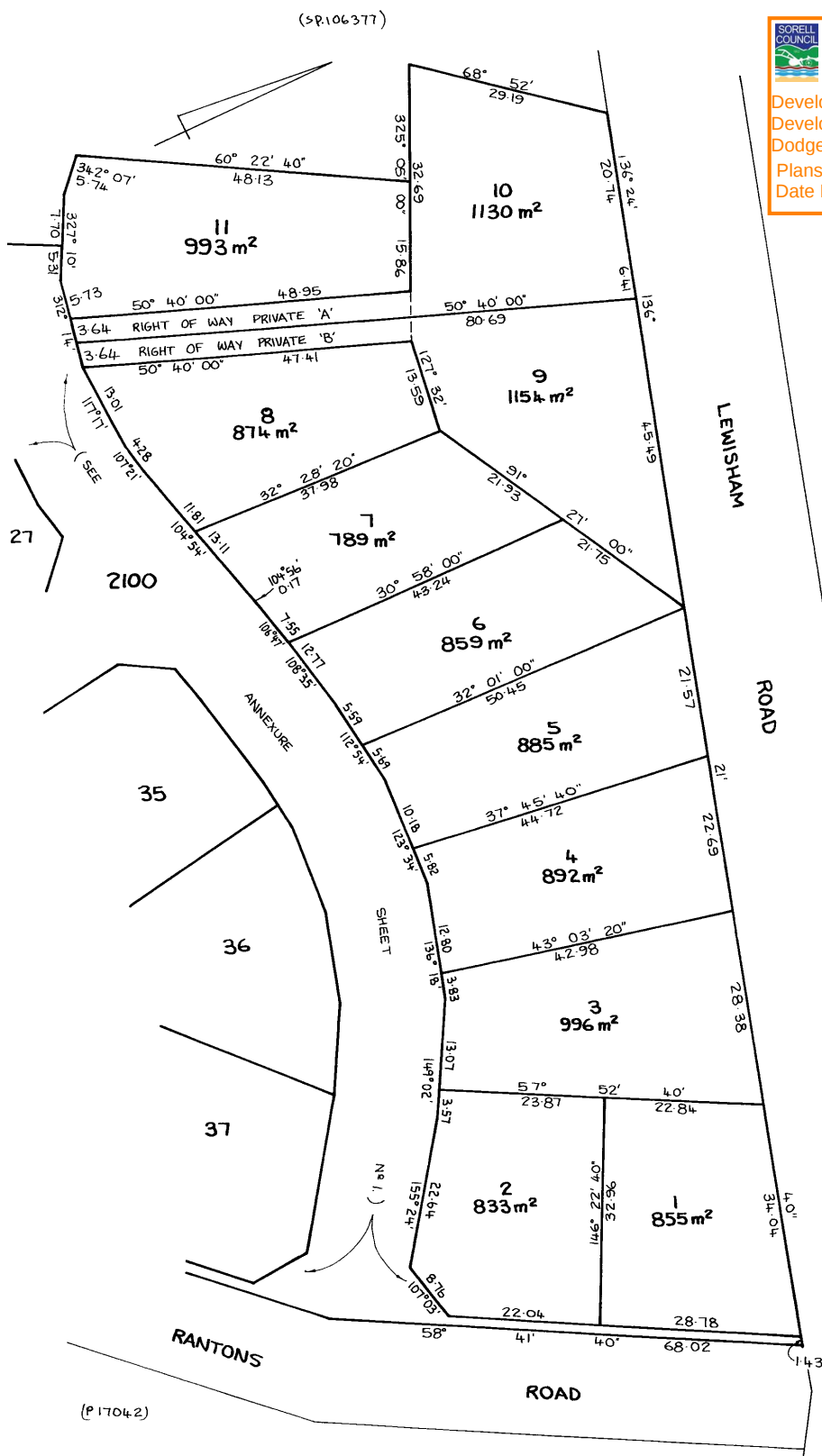
ANNEXURE SHEET No 1 OF 2 SHEETS	OWNER MALWOOD PTY. LTD. & ELISE PTY. LTD. FOLIO REFERENCE C.T. 3955/64 SCALE 1: 750 LENGTHS IN METRES	REGISTERED NUMBER SP104571
SIGNED FOR IDENTIFICATION PURPOSES  Town Clerk/Council Clerk	THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET. Registered Surveyor <u>T.S. Cramer</u> date <u>16-2-93</u>	



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ANNEXURE SHEET No. 2 (of 2 annexures) to plan by Surveyor	This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated _____ and that certificate extends to the detail shown on this sheet.	Registered Number: SP104571
Signed for the purposes of identification:  Council Clerk	Surveyor: TERENCE S. CROMER Owner: MALWOOD PTY LTD. & ELISE PTY LTD. Title Reference: C.T. 3955-64	Scale 1: 500 Measurements in Metres



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Development Application 6 Sandy Point Avenue,
Dodges Ferry - P/Ltd
Plans Reference: P/L
Date Received: 3/11/2025

8

12,000 Ltr
water tank -
Pump from house

tank overflow trench

11.9 m

8000

8000

1.00m

1.00m

1.00m

1.45 m

d/p

d/p

4.5m

8.5 m

sullage water absorption trench

septic tank absorption trench

6

S
AV

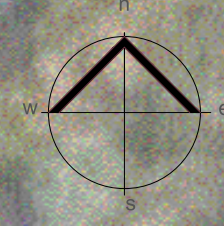
LT
WC

B

B

SH

SEPTIC
TANK



TR 7934884
PID 104571/4
Low Density Residential Zone

SITE COVER -
Lot area 872 m/2
Existing house & carport - 149 m/2
Garden shed - 10 m/2
Proposed Garage - 64 m/2
Total Site Cover = 223 m/2
= 25.5 %

4



CHRIS LUTTRELL CC 2675 C
chris.j.luttrell@bigpond.com.au 0417366820
PO Box 100 Dodges Ferry Tasmania 7173

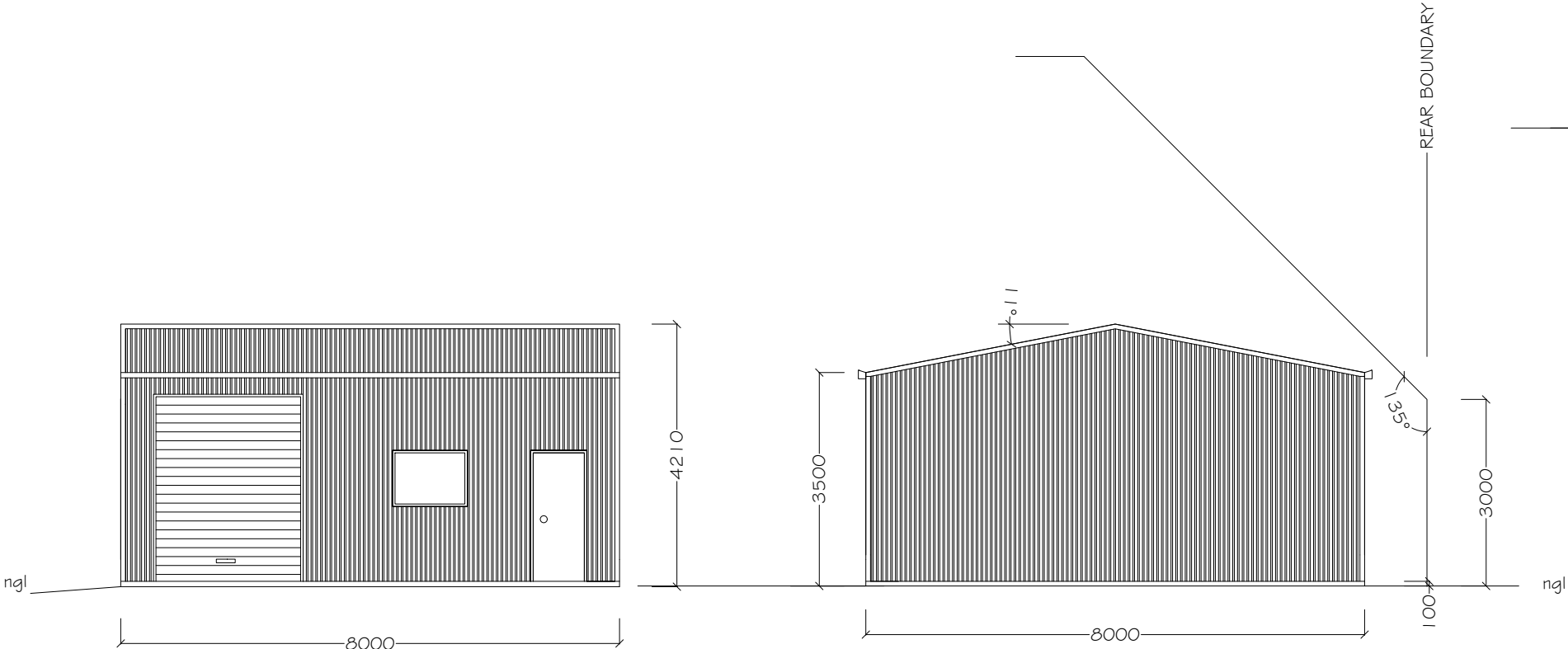
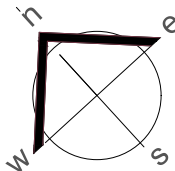
DO NOT SCALE FROM DRAWING - Builder to verify all levels, boundaries, set-outs
dimensions before construction. All the building specified in the plans must comply
all Council regulations, engineers specification building surveyors recommendations
& all Australian Standards referred to in the drawings and specifications. All work,
materials & procedures must comply with the Building Code of Australia

PROJECT NEW GARAGE & STORAGE SHED
CLIENT JAKE RUSHER
ADDRESS 6 SANDY POINT AVE, DODGES FERRY

DRAWING SITE PLAN
NOTES -
NOTES -

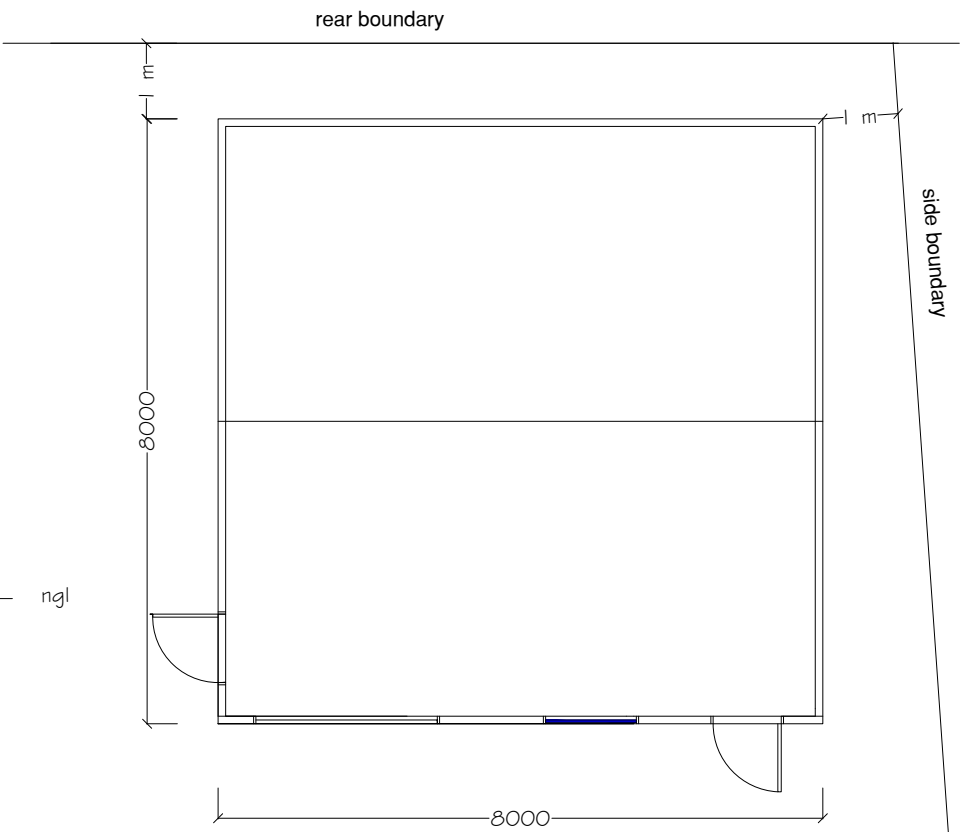
DRAWN BY CL
CHECKED BY
AMENDMENT NO.
SCALE 1:150
DATE 28/10/2025
DRAWING NO.

building envelope drawing

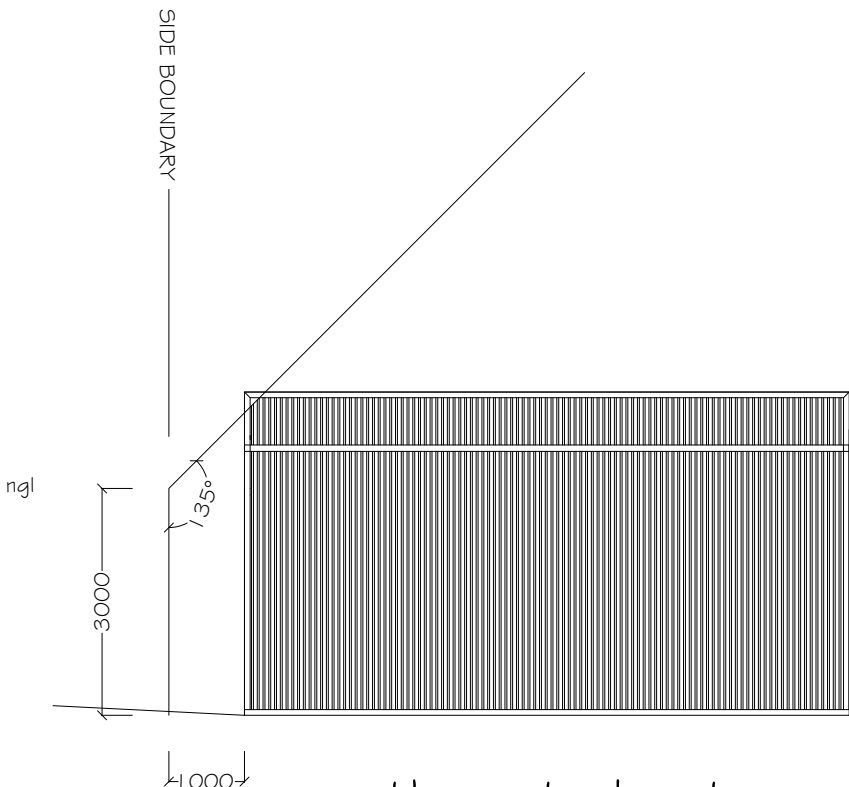


south west elevation

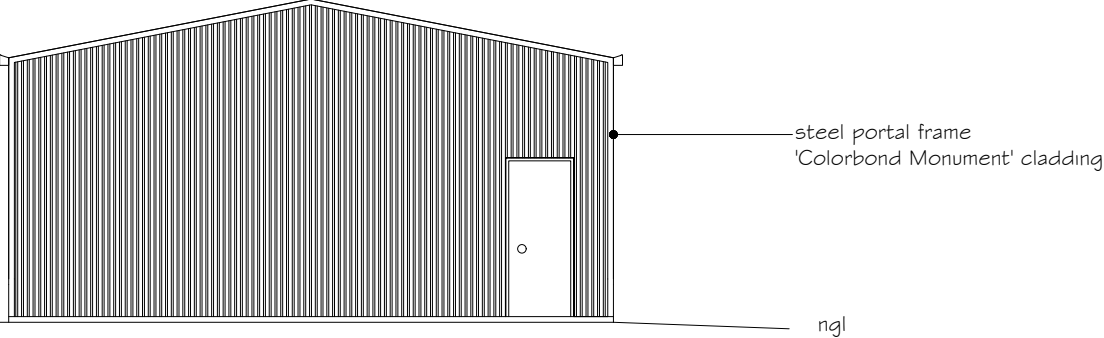
south east elevation



plan 1 : 100



north east elevation



north west elevation

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CHRIS LUTTRELL CC 2675 C
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PO Box 100 Dodges Ferry Tasmania 7173

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ADDRESS 6 SANDY POINT AVE, DODGES FERRY

DRAWING ELEVATIONS AND BUILDING ENVELOPE
NOTES -
NOTES -

DRAWN BY	CL	SCALE	1:100
CHECKED BY		DATE	28/10/2025
AMENDMENT NO.		DRAWING NO.	2