

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE:

85 ARTHUR HIGHWAY, DUNALLEY

PROPOSED DEVELOPMENT:

OUTBUILDING

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Monday 24th November 2025**.

Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the General Manager. Representations must be received no later than **Monday 24th November 2025**.

APPLICATION NO: 5.2025-283.1
DATE: 31 OCTOBER 2025



Disclaimer

Any information extracted from this document (from the face of the document or by scale) should be verified on site. Council takes no responsibility for the accuracy of any information contained or presented in the document. While every care has been taken to ensure the accuracy of this information, Council makes no representations or warranties about the accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and liability.

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6-Nov-2025

Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	Use: <u>RESIDENTIAL</u>
	Development: <u>NEW HOBBY SHED</u>
	Large or complex proposals should be described in a letter or planning report.
Design and construction cost of proposal:	\$ <u>50,700</u>

Is all, or some the work already constructed:	No: ☒ Yes: ☐
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Location of proposed works:	Street address: <u>85 ARTHUR HIGHWAY</u>
	Suburb: <u>DUNALLEY</u> Postcode: <u>7177</u>
	Certificate of Title(s) Volume: <u>219281</u> Folio: <u>03</u>

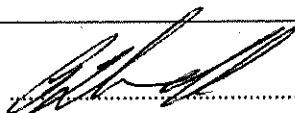
Current Use of Site	<u>RESIDENCE</u>
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Current Owner/s:	Name(s) <u>AS & SM Cannell</u>
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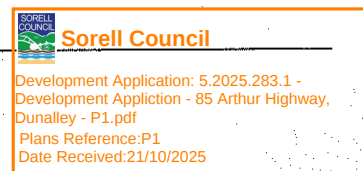
Is the Property on the Tasmanian Heritage Register?	No: ☒ Yes: ☐	If yes, please provide written advice from Heritage Tasmania
Is the proposal to be carried out in more than one stage?	No: ☒ Yes: ☐	If yes, please clearly describe in plans
Have any potentially contaminating uses been undertaken on the site?	No: ☒ Yes: ☐	If yes, please complete the Additional Information for Non-Residential Use
Is any vegetation proposed to be removed?	No: ☒ Yes: ☐	If yes, please ensure plans clearly show area to be impacted
Does the proposal involve land administered or owned by either the Crown or Council?	No: ☒ Yes: ☐	If yes, please complete the Council or Crown land section on page 3
If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form https://www.sorell.tas.gov.au/services/engineering/		

 Sorell Council
Development Application: 5.2025.283.1 - Development Application - 85 Arthur Highway, Dunalley - P1.pdf Plans Reference: P1 Date Received: 21/10/2025

Part B continued: Please note that Part B of this form is publicly exhibited

Declarations and acknowledgements	
- I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land. - I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council's representatives to enter the land at any time during normal business hours. - I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies. - I/we declare that, in accordance with s52(1) of the <i>Land Use Planning and Approvals Act 1993</i>, that I have notified the owner(s) of the intention to make this application. - I/we declare that the information in this application is true and correct. <i>Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council's Privacy Policy available on the Council website.</i>	
I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.	
Where the General Manager's consent is also required under s.14 of the <i>Urban Drainage Act 2013</i>, by making this application I/we also apply for that consent.	
Applicant Signature:	Signature:  Date: 6/10/2025

Crown or General Manager Land Owner Consent	
If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the <i>Land Use Planning and Approvals Act 1993</i>). Please note: - If General Manager consent is required, please first complete the General Manager consent application form available on our website www.sorell.tas.gov.au - If the application involves Crown land you will also need a letter of consent. - Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.	
I _____ being responsible for the administration of land at _____ declare that I have given permission for the making of this application for _____	
Signature of General Manager, Minister or Delegate:	Signature: _____ Date: _____



New Outbuilding

PROJECT SPECIFIC

Tony Cannell
85 Arthur Highway
Dunalley
Tasmanian Planning Scheme
Title Reference : Vol 219281 / Folio 03
NCC DEEMED TO SATISFY Mr Marcus Ralph CC1317F
Climate Zone 7

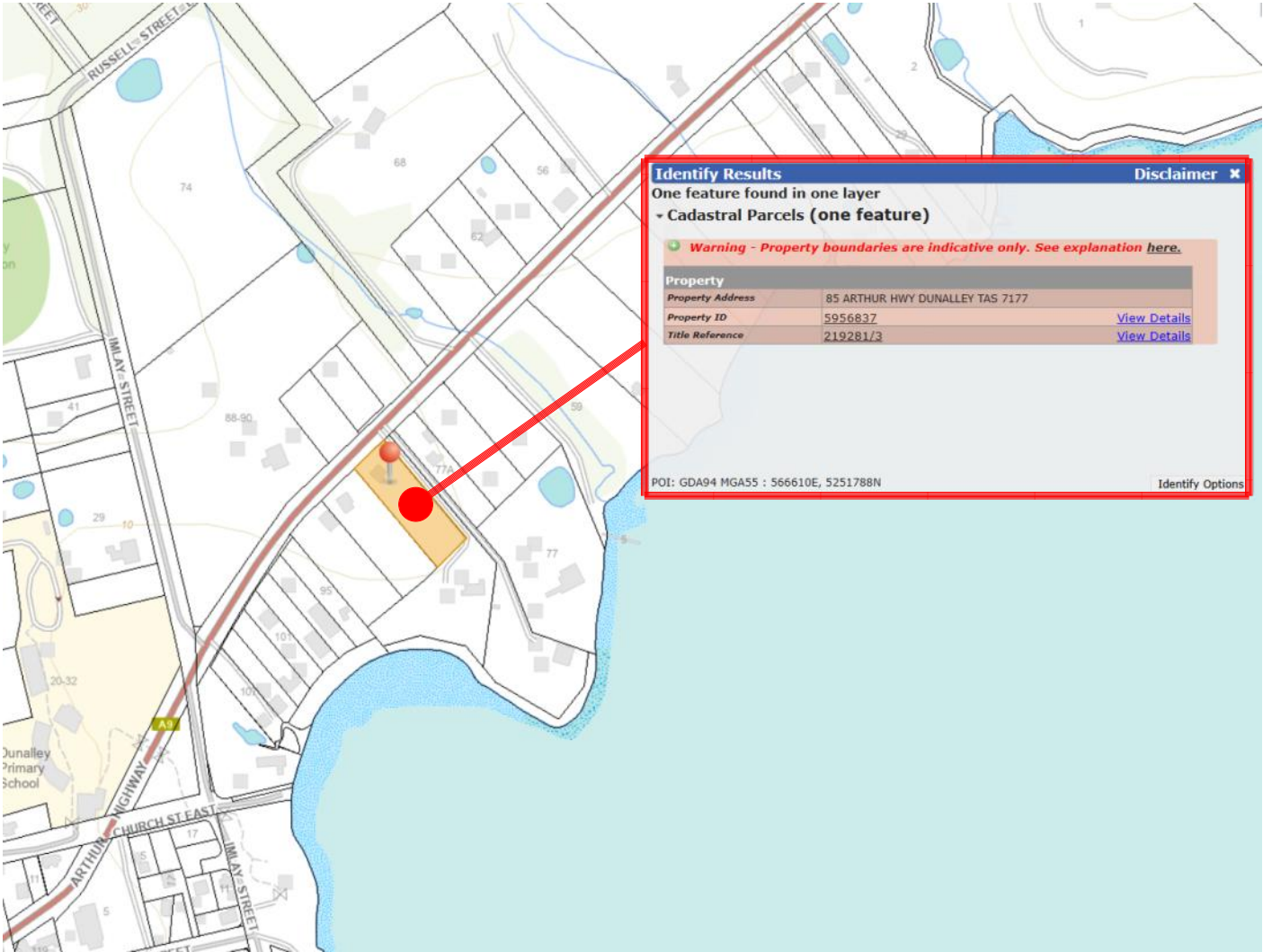
SITE INFORMATION

Lot: 01
Title: 219281 folio 03
Land Size: 4119.00 sqm

Council: Sorell Council
Zoning: 11.0 Rural Living
Overlays: TAS -C13.0 13.00 Bushfire Prone Area,
120BPA Biodiversity Protection Area
D.A APPROVAL: Planning approval required
BAL:NOT REQUIRED
WIND CLASSISIFCATION : Refer to Steeline certification
CLIMATE ZONE: 7
ENERGY RATING :Na
BUILDING CLASSISIFCATION: 10A



existing site access



PROPERTY IDENTIFICATION

Floor Plan

Proposed Garage	81.00 sqm
Skillion Roof	27.00 sqm
existing dwelling and garage	90.00 sqm site cover
Roofed deck	20.00 sqm
Total Site Cover	220.00 sqm
Site Area	4119.00 sqm
Site Coverage	5.20 % site coverage

Sorell Council
Development Application: 5.2025.283.1 -
Development Application - 85 Arthur Highway,
Dunalley - P1.pdf
Plans Reference:P1
Date Received:21/10/2025

LAYOUT	DRAWING		UPDATED DATE
	ID	NAME	
1089-00 location information	6.	DRAWING LIST (1)	20/10/2025 11:09 AM
1089-01 Location Plan	0.	Floor Plan (126)	20/10/2025 11:08 AM
1089-02 Site Plan	0.	Floor Plan (126)	20/10/2025 11:08 AM
1089-03 Floor Plan	0.	Floor Plan (121)	20/10/2025 11:09 AM
1089-04 Elevations	0.	Floor Plan (106)	20/10/2025 11:09 AM
1089-04 Elevations	0.	Floor Plan (121)	20/10/2025 11:09 AM
1089-04 Elevations	0.	Floor Plan (131)	20/10/2025 11:09 AM



Service over and above
MARCUSRALPH
Design -architectural animation
Building designer accreditation CC1317F
13 Franklin street
Richmond, Tasmania 7025
0409 975 825 mob
e: marcusralph@bigpond.com

New Outbuilding
Tony Cannell
85 Arthur Highway
Dunalley

location information
date 16/10/2025 issue revision A
designed and drawn M.Ralph revision-date
job no: 2025-1089 drawing no: 1089-00



Floor Plan	
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New Outbuilding

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Location Plan

date issue revision

16/10/2025 A

designed and drawn revision-date

M.Ralph Design Drawing

job no: drawing no:

2025-1089 **1089-01**

the engineered plans for this class 10a structure
come with structural certification for Class :M REACTIVE SOIL
The owner has elected to classify the soil classification during construction
and will advise the builder on future actions once the excavation has been completed
and the natural soil profile can be determined by a suitable qualified person

signed Property Owner date



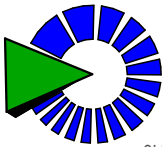
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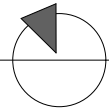
New Outbuilding

Tony Cannell
85 Arthur Highway
Dunalley

Site Plan



date	issue revesion
16/10/2025	A
designed and drawn	revision-date
M.Ralph	Design Drawing
job no:	drawing no:
2025-1089	1089-02



PLUMBING LAYOUT

SCALE 1:100

Sewer and Stormwater lines are to be run along the underside concrete floor within compacted FCR.
When under a concrete slab or timber floor installation will comply with AS3500.
Refer to roof plan for fixing requirements of down pipes.
Connection to council main or treatment plant will be inspected and approved by Local council inspectors.

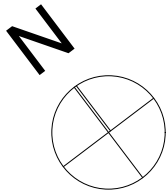
PIPE SIZES RECOMMENDED

PLUMBING LEGEND:

1. wc dn100
2. urinal dn40,50
3. sink dn50,
4. basin dn40,dn50
- 5 bath dn40, dn50
6. shower dn50, dn 65 recommended
7. trough dn40,dn50,dn65 or dn100

fwg floor waste gully primed by basin ,sink or trough
dn 50 or from which fixture size is priming.

soil classification requires the plumbing contractor to take necessary measures to prevent UPVC AND PVC pipework and all water connection to new rigid building structure to have flexible joint. refer to csiro advice and NCC for pipe connection details for reactive clay soils



FLOOR PLAN

Proposed Garage
Skillion Roof

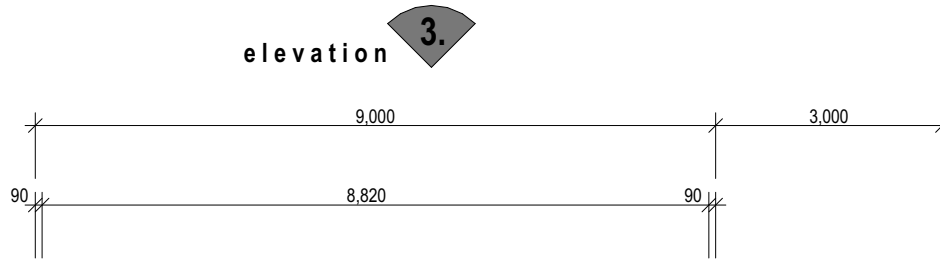
81.00 sqm
27.00 sqm

existing dwelling and garage
Roofed deck

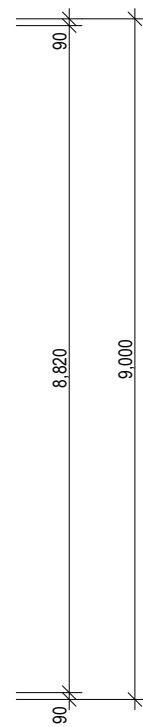
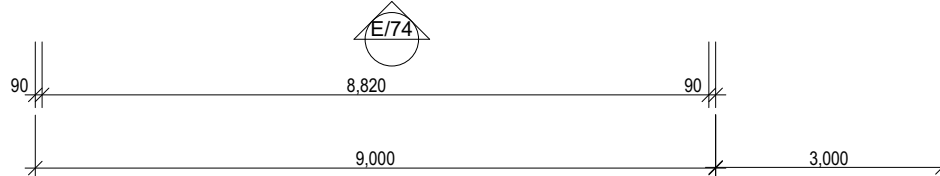
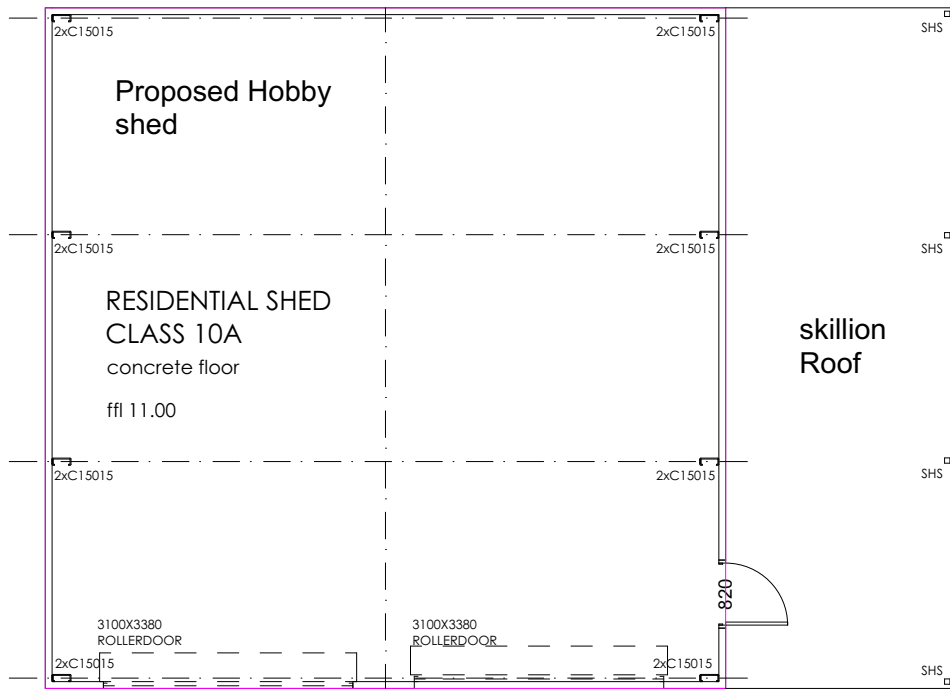
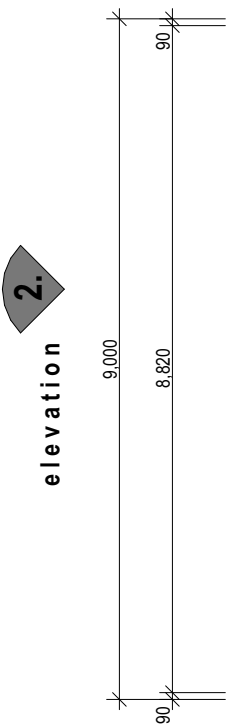
90.00 sqm site cover
20.00 sqm

Total Site Cover
Site Area
Site Coverage

220.00 sqm
4119.00 sqm
5.20 % site coverage



75 downpipe



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New Outbuilding

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Floor Plan

date issue revision

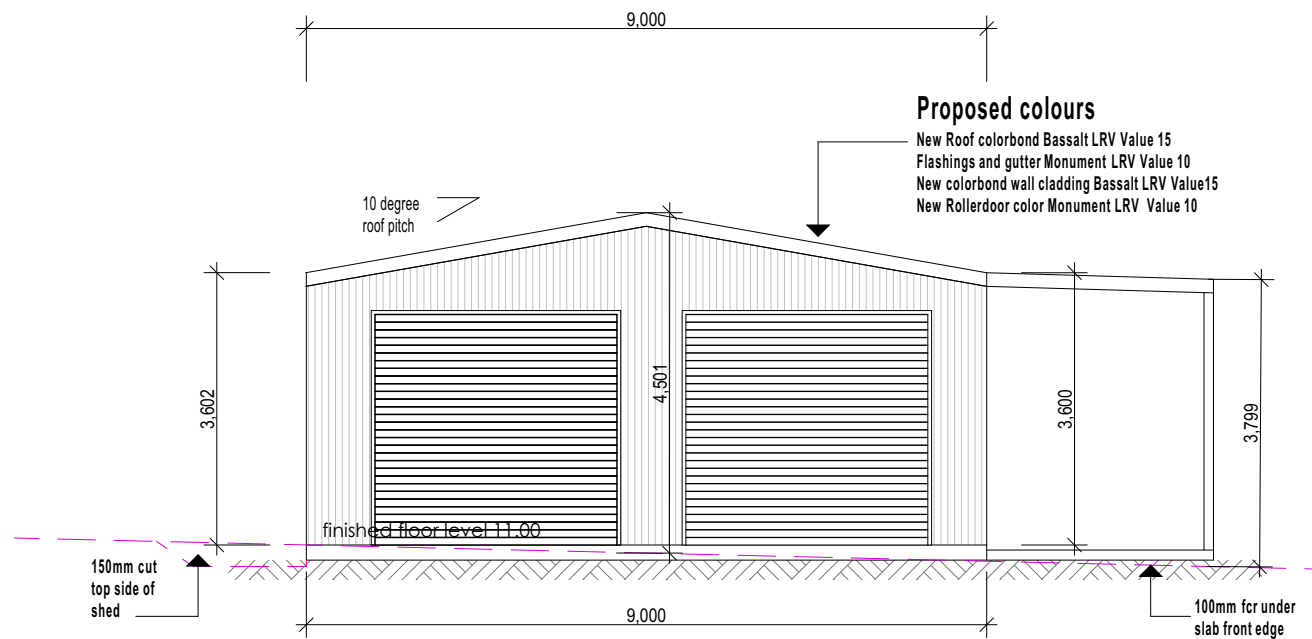
16/10/2025 A

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M.Ralph Design Drawing

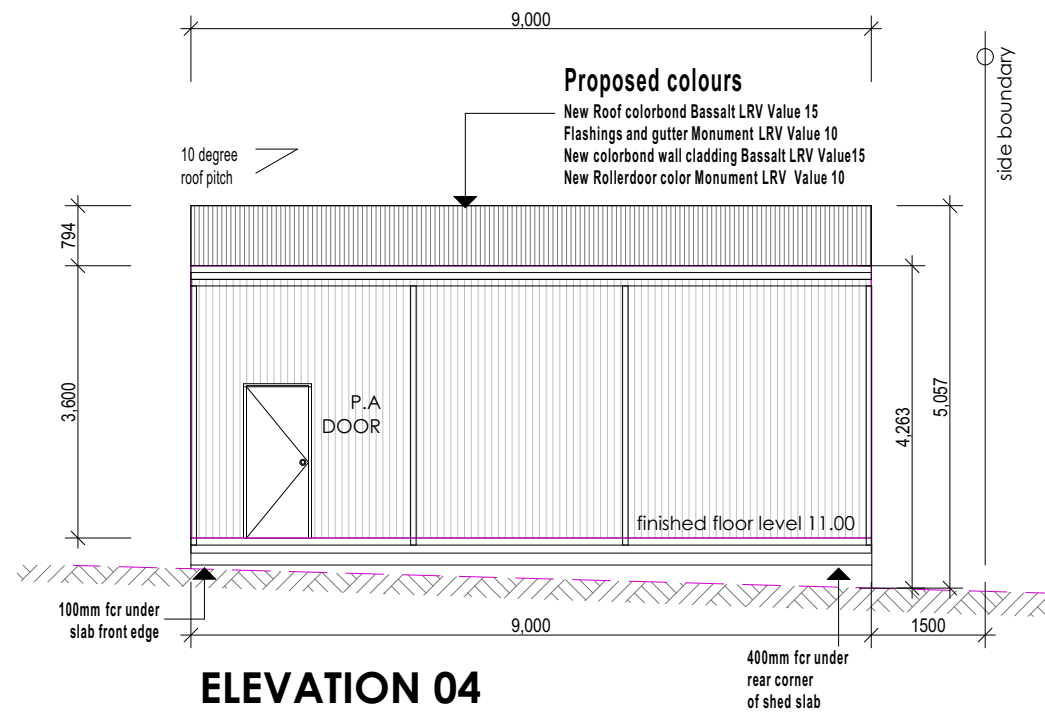
job no: drawing no:

2025-1089 **1089-03**



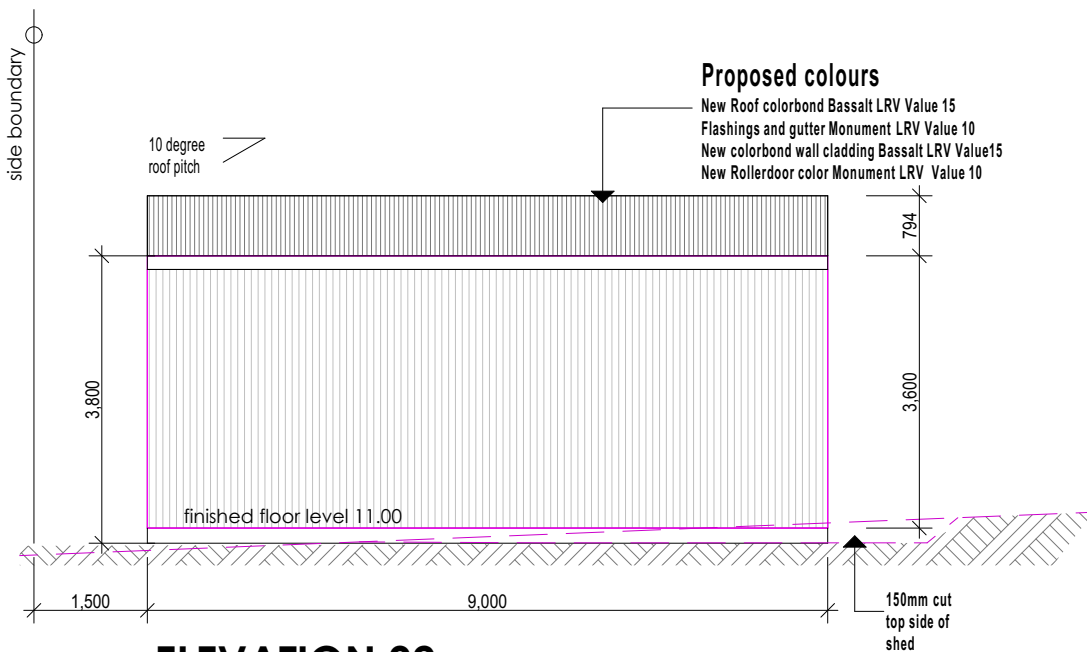
ELEVATION 01
SOUTH WEST ELEVATION

scale 1:100



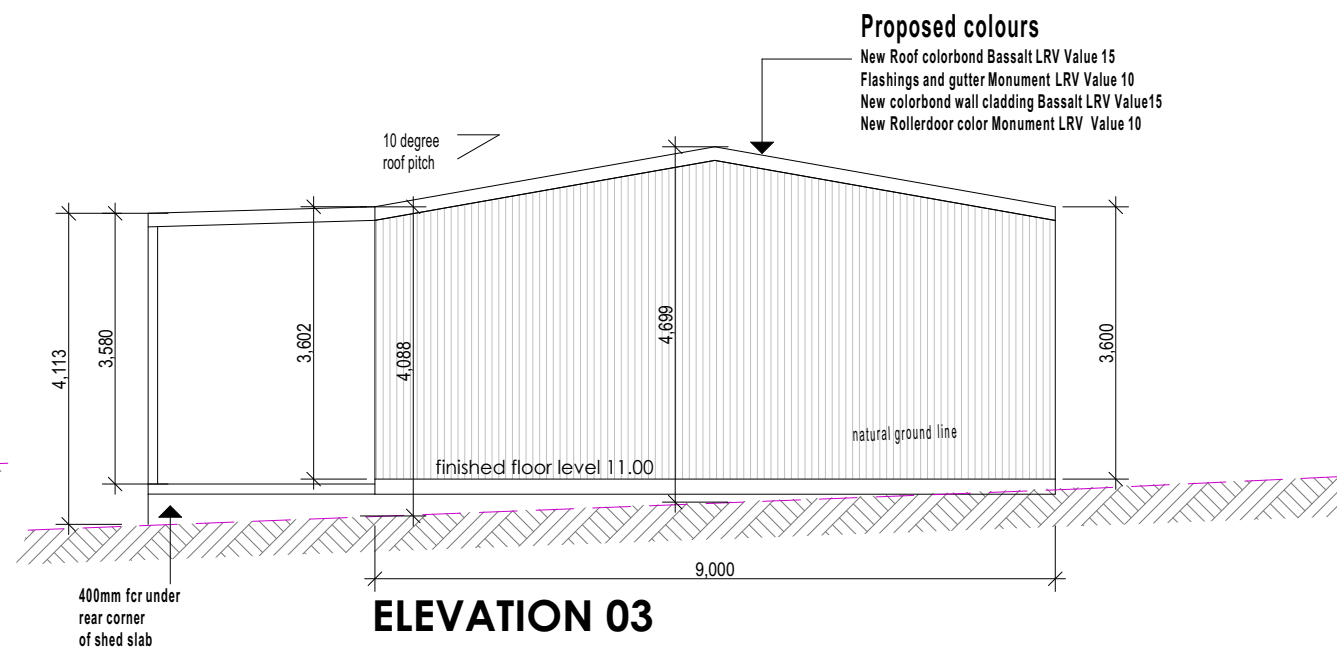
ELEVATION 04
SOUTH EAST ELEVATION

scale 1:100



ELEVATION 02
NORTH WEST ELEVATION

scale 1:100



ELEVATION 03
NORTH EAST ELEVATION

scale 1:100



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New Outbuilding

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Elevations

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16/10/2025 A

designed and drawn revision-date

M.Ralph Design Drawing

job no: drawing no:

2025-1089 1089-04