

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE:

**LOT 32 OAKMONT ROAD, MIDWAY POINT -
ADJOINING 7 OAKMONT ROAD, MIDWAY POINT**

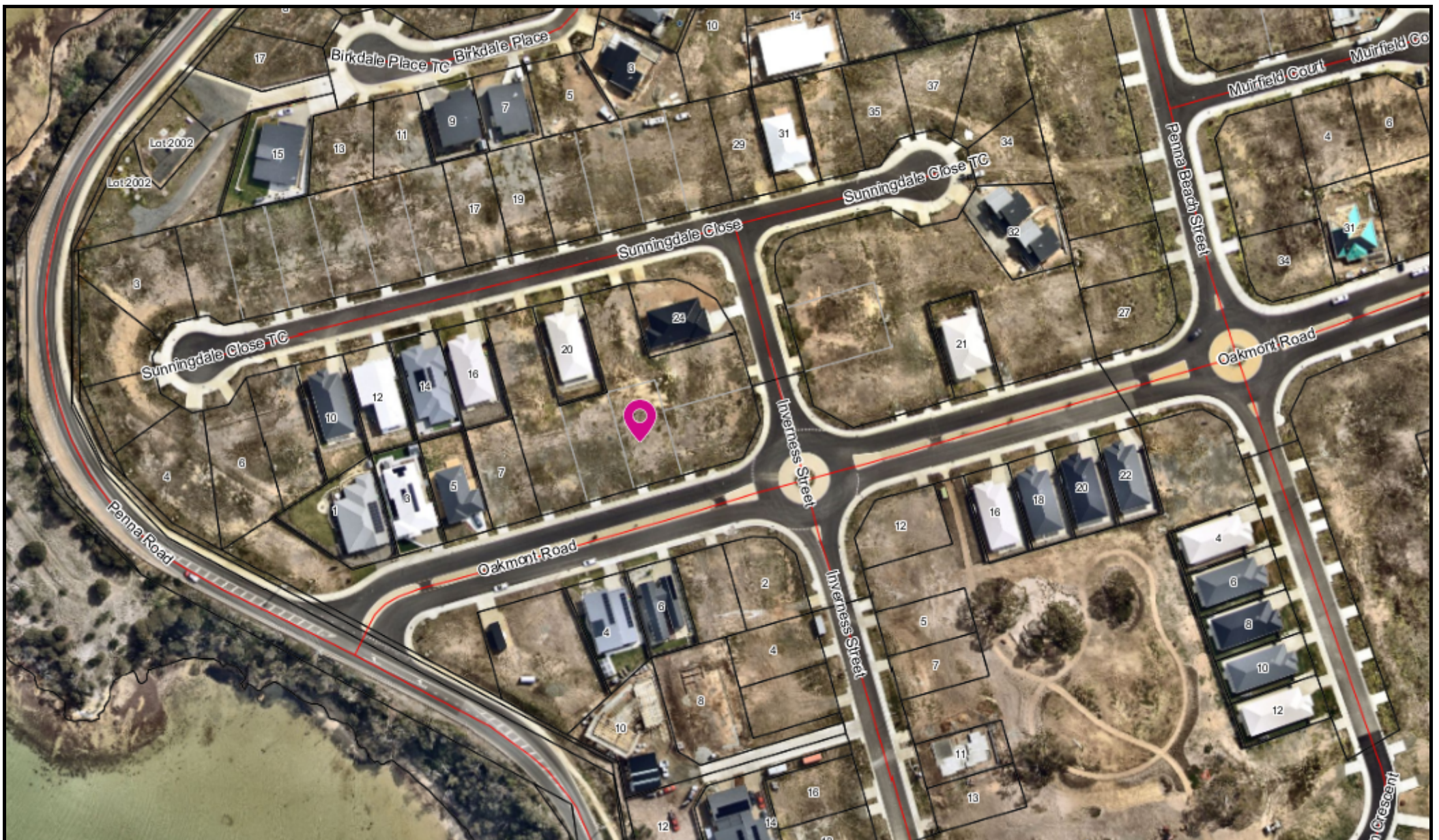
PROPOSED DEVELOPMENT:

DWELLING

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Monday 24th November 2025**.

Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the General Manager. Representations must be received no later than **Monday 24th November 2025**.

APPLICATION NO: 5.2025-278.1
DATE: 31 OCTOBER 2025



Disclaimer

Any information extracted from this document (from the face of the document or by scale) should be verified on site. Council takes no responsibility for the accuracy of any information contained or presented in the document. While every care has been taken to ensure the accuracy of this information, Council makes no representations or warranties about the accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and liability.

50 m

6-Nov-2025

Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	Use:
	Development:
	<i>Large or complex proposals should be described in a letter or planning report.</i>
Design and construction cost of proposal: \$	

Is all, or some the work already constructed:	No: ☐ Yes: ☐
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Location of proposed works:	Street address:
	Suburb: Postcode:
	Certificate of Title(s) Volume: Folio:

Current Use of Site	
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Current Owner/s:	Name(s).....
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Is the Property on the Tasmanian Heritage Register?	No: ☐ Yes: ☐	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: ☐ Yes: ☐	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: ☐ Yes: ☐	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: ☐ Yes: ☐	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: ☐ Yes: ☐	<i>If yes, please complete the Council or Crown land section on page 3</i>
If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form https://www.sorell.tas.gov.au/services/engineering/		



Declarations and acknowledgements	
- I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land. - I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council's representatives to enter the land at any time during normal business hours. - I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies. - I/we declare that, in accordance with s52(1) of the <i>Land Use Planning and Approvals Act 1993</i>, that I have notified the owner(s) of the intention to make this application. - I/we declare that the information in this application is true and correct. <i>Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council's Privacy Policy available on the Council website.</i>	
I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.	
Where the General Manager's consent is also required under s.14 of the <i>Urban Drainage Act 2013</i>, by making this application I/we also apply for that consent.	
Applicant Signature:	Signature: <u>Lutzia Brown</u> Date:

Crown or General Manager Land Owner Consent	
If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the <i>Land Use Planning and Approvals Act 1993</i>). Please note: - If General Manager consent is required, please first complete the General Manager consent application form available on our website www.sorell.tas.gov.au - If the application involves Crown land you will also need a letter of consent. - Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.	
I _____ being responsible for the administration of land at _____ declare that I have given permission for the making of this application for _____	
 Sorell Council Development Application: 5.2025.278.1 - Development Application - 32 Oakmont Road, Midway Point P1.pdf Plans Reference: P1 Date Received: 10/10/2025	
Signature of General Manager, Minister or Delegate:	Signature: Date:

DISPERSIVE SOIL ASSESSMENT

Lot 32 Oakmont Road

Midway Point

June 2025

Wilson Homes Reference: 714358



GEO-ENVIRONMENTAL

S O L U T I O N S



Disclaimer: The author does not warrant the information contained in this document is free from errors or omissions. The author shall not in any way be liable for any loss, damage or injury suffered by the User consequent upon, or incidental to, the existence of errors in the information.

Investigation Details

Client:	Wilson Homes
Site Address:	Lot 32 Oakmont Road, Midway Point
Date of Inspection:	23/06/2025
Proposed Works:	New house
Investigation Method:	Geoprobe 540UD - Direct Push
Inspected by:	C. Cooper

Site Details

Certificate of Title (CT):	TBA
Title Area:	Approx. 529 m ²
Applicable Planning Overlays:	Bushfire-prone areas, Airport obstacle limitation area
Slope & Aspect:	6° W facing slope
Vegetation:	Grass & Weeds

Background Information

Geology Map:	MRT
Geological Unit:	Triassic Sandstone
Climate:	Annual rainfall 400mm
Water Connection:	Mains
Sewer Connection:	Serviced-Mains
Testing and Classification:	AS2870:2011, AS1726:2017 & AS4055:2021

Investigation

A number of bore holes were completed to identify the distribution and variation of the soil materials at the site, bore hole locations are indicated on the site plan. See soil profile conditions presented below. Tests were conducted across the site to obtain bearing capacities of the material at the time of this investigation.

Soil Profile Summary

BH 1 Depth (m)	BH 2 Depth (m)	USCS	Description
0.00-0.10	0.00-0.10	SP	Silty SAND: grey, brown, dry, loose
0.10-0.40	0.10-0.60	CI	Sandy CLAY: medium plasticity, brown, yellow mottled grey, slightly moist, stiff,
0.40-1.10	0.60-0.80	CL	Sandy CLAY: medium plasticity, brown mottled pale grey, slightly moist, stiff,
1.10-1.30	0.80-0.90	SC	Clayey SAND: with gravels, pale yellow, pale grey, slightly moist dense, refusal on sandstone

Site Notes

The soil on site has formed from Triassic sandstone. The subsoil was tested for dispersion using the Emerson Test and was found to be slightly dispersive Class 2(2) -obvious milkiness, <50% of the aggregate affected.

Dispersive Soil Assessment

The dispersive soil assessment of the property considers the proposed construction area.

Potential for dispersive soils

The site has been identified as an area subject to tunnel erosion hazard according to 'Dispersive Soils and Their Management: Technical Reference Manual'. This is due to the soils present on site that developed from Triassic Sandstone that contain considerable fine sand/silt content and medium plastic clays. Triassic Sandstone in the local area is known to produce soils with an excess of sodium on the soil exchange complex, which can cause soil dispersion. Under some circumstances the presence of dispersive soils can also lead to significant erosion, and in particular tunnel erosion. Based upon field survey of the property, no visible tunnel or gully erosion was identified. However, a soil sampling program was undertaken to identify the presence of dispersive soils in the proposed development areas.

Soil sampling and testing

Samples were taken at the site for assessment of dispersion. An Emerson (1968) Dispersion test was conducted to determine if these samples were dispersive.

The soil samples taken from site were found to be Slightly dispersive Class 2(2) -obvious milkiness, <50% of the aggregate affected.

Management Recommendations

A number of site and soil management measures are recommended for development on the site.

The proposed site cut/fill and driveway areas must be managed by:

- Applying a geo-fabric, jute mesh or similar material to the exposed batters of any cutting on site and revegetating the slope
- Applying a surface layer of at least 50mm of suitable crushed rock/gravel to the driveway surface (and any proposed house pad), with adequate compaction to ensure a relatively impervious surface to maintain site surface stability
- Vegetation on any fill batters must be established and maintained, if any bare area of soil on the batter develops then it must be top-dressed with suitable topsoil and additional vegetation planted

The risk of erosion and tunnel erosion associated with construction must be minimized by:

- Any new water, power, or other service trenches within the property must ensure recommendations for dispersive soils are followed:
 - o Where possible trenches to be placed shallow in topsoil and mounded over to achieve the required cover depth
 - o If buried the trench must be backfilled in layers of no more than 200mm with clay with 5% by weight gypsum added (the clay must be sufficiently moist to allow good compaction).
 - o The trench must be finished with at least 150mm depth of non-dispersive suitable topsoil and finished to a level at least 75mm above natural ground to allow for possible settlement
- Vegetation cover must be maintained wherever possible on the property
- Foundations may be placed into the natural soil; however, care must be taken to ensure all exposed soil in the foundation area is compacted and 1Kg/m² of gypsum is applied. Excavated fill from the construction area is not recommended for reuse on site in landscaping unless it is appropriately treated with gypsum, compacted, and capped with topsoil with natural soil and gypsum
- All stormwater runoff from the dwelling to be directed to mains connection (all the drains are to be adequately treated with gypsum)
- Drainage of any site cut must not employ conventional rock drain construction; it must adhere to recommendations for dispersive soils (unless founded entirely in rock)

- All excavation works on site should be monitored for signs of soil dispersion and remedial action taken as required – any excavated fill from the construction area is not recommended for reuse on site in landscaping unless it is appropriately treated with gypsum, compacted, and capped with topsoil

Conclusions

There is a low to moderate risk associated with dispersive soils and potential erosion on the site provided the recommendations in this report are adhered to. Efforts should be made to cover all exposed soils on cut/fill batters with topsoil and seeded with well suited pasture species to avoid rainwater, runoff, surface water flows from intercepting exposed subsoils.

A number of site management recommendations have been made in this report and further information can also be found in the publication “Dispersive soils and their management – Technical manual” (DPIWE Tas 2009)

It is recommended that during construction that GES be notified of any variation to the soil conditions as outlined in this report.



Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD
Environmental and Engineering Soil Scientist

Appendix 1– Soil test results

Laboratory Test Results

Sample Submitted By: C Cooper

Date Submitted: 23/06/2025

Sample Identification: 2 samples – Lot 32 Oakmont Road, Midway Point

Soil to be tested: Emerson soil dispersion test

Result:

Sample	Texture	Emerson class	Description
Sample 1	clay	Class 2 (2)	Some dispersion <50% affected
Sample 2	clay	Class 2 (2)	Some dispersion <50% affected

Notes: Some dispersion with obvious milkiness affecting <50% of the aggregate.

Sample Tested by: C Cooper
24/06/2025

Disclaimer

This Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the Client. To the best of GES's knowledge, the information presented herein represents the client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that discussed in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organizations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

The scope of this study does not allow for the review of every possible geotechnical parameter or the soil conditions over the whole area of the site. Soil and rock samples collected from the investigation area are assumed to be representative of the areas from where they were collected and not indicative of the entire site. The conclusions discussed within this report are based on observations and/or testing at these investigation points.

This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required.

No responsibility is accepted for the use of any part of this report in any other context or for any other purpose by a third party.

DA
TASMANIAN PLANNING SCHEME

SHEET INDEX

1	COVER SHEET
2	SITE PLAN
3	SOIL & WATER MANAGEMENT PLAN
4	GROUND FLOOR PLAN
5	ELEVATIONS / SECTION
6	ELEVATIONS
7	WINDOW & DOOR SCHEDULES
8	ROOF DRAINAGE PLAN
9	FLOOR COVERINGS
10	KITCHEN DETAILS
11	BATHROOM DETAILS
12	ENSUITE DETAILS
13	LAUNDRY DETAILS
14	SHADOW PLAN

HIGHLY REACTIVE /
PROBLEMATIC SOIL TYPE.
REFER TO HYDRAULICS PLANS
AND DETAILS PREPARED BY
GANDY AND ROBERTS

TOTAL FLOOR AREAS

MAIN DWELLING, GROUND FLOOR	
ALFRESCO	13.05
GARAGE	38.96
LIVING	149.39
PORCH	2.75
VERANDAH	7.44
	211.59 m²

PRELIMINARY PLAN SET

4	PRELIMINARY PLAN SET - PLANNING RFI (27/10/2025)	ALL	2025.10.25	HMI	-
3	PRELIMINARY PLAN SET - SHADOW DIAGRAMS & TITLE UPDATE	ALL	2025.09.25	HMI	-
2	PRELIMINARY PLAN SET - INITIAL ISSUE	ALL	2025.07.24	HMI	-
No.	AMENDMENT	SHEET	DATE	DRAWN	CHECK

AS & NCC COMPLIANCE

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC 2022 AND APPLICABLE AUSTRALIAN STANDARDS AT TIME OF APPROVAL.
- SLAB IN ACCORDANCE WITH AS 2870. REFER TO ENGINEERS DETAILS FOR ALL SLAB DETAILS.
 - BRICK CONTROL JOINTS PROVIDED IN ACCORDANCE WITH NCC 2022.
 - ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-2020 OR AS/NZS 4600-2018.
 - INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 AND ALL APPLICABLE AUSTRALIAN STANDARDS.
 - TERMITE PROTECTION IN ACCORDANCE WITH AS 3660 AND NCC 2022.
 - GLAZING IN ACCORDANCE WITH AS 1288 AND NCC 2022.
 - SMOKE ALARMS IN ACCORDANCE WITH AS 3786 AND NCC 2022.
 - INTERNAL WATERPROOFING IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.2.
 - EXTERNAL WATERPROOFING IN ACCORDANCE WITH AS 3740 AND AS 4654.
 - WET AREA FLOORS TO FALL TO FLOOR WASTES AT MIN. 1:80 AND MAX. 1:50 GRADE (IF APPLICABLE).
 - CONDENSATION MANAGEMENT IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.8.
 - BUILDING SEALING IN ACCORDANCE WITH NCC 2022.
 - SERVICES IN ACCORDANCE WITH NCC 2022.
 - EARTHWORKS IN ACCORDANCE WITH AS 3798-2007.
 - EXTERNAL WALL WRAP (SARKING) IN ACCORDANCE WITH NCC 2022 (IF APPLICABLE).
 - EXHAUST FANS DUCTED TO OUTSIDE AIR (IF APPLICABLE).

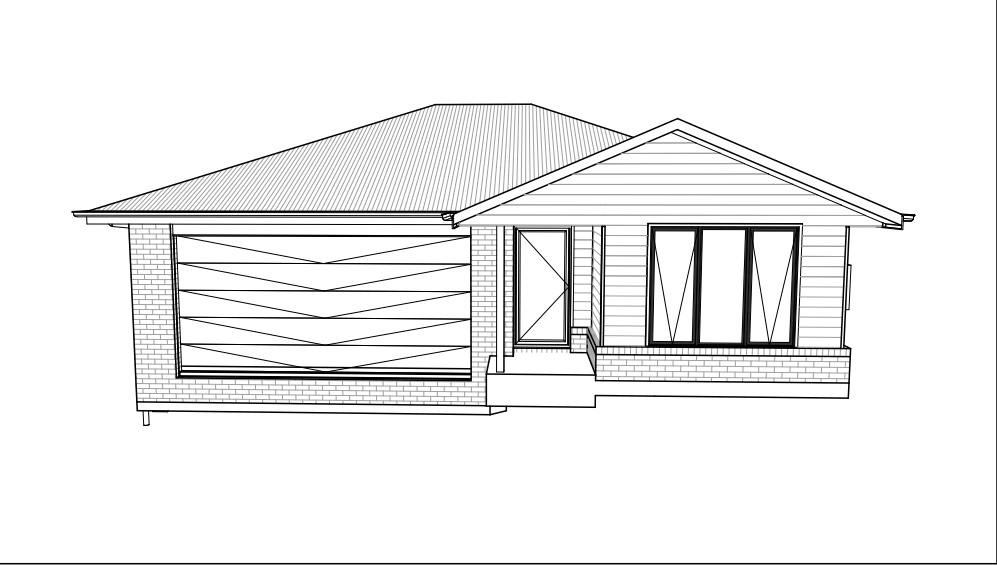
SITE SPECIFIC CONTROLS

CONTROL	DETAILS
ACID SULPHATE SOIL	NO
BIODIVERSITY	NO
BUILDING ENVELOPE	YES
BUSHFIRE	TBC
CLIMATE ZONE (NCC)	ZONE 7 - COOL TEMPERATE
DESIGN WIND CLASSIFICATION	N3 (EXPOSED TBC)
ESTATE/DEVELOPER GUIDELINES	NO
FLOOD OVERLAY	NO
HERITAGE	NO
LANDSLIP HAZARD	NO
MINIMUM FLOOR LEVEL	TBC
NATURAL ASSET CODE	NO
NOISE ATTENUATION	NO
SALINE SOIL	NO
SHIELDING FACTOR	PS - PARTIAL SHIELDING
SITE CLASSIFICATION	P
SPECIFIC AREA PLAN OVERLAY	YES
SORELL LOCAL PROVISIONS SCHEDULE	
TERRAIN CATEGORY	TC2
TOPOGRAPHIC CLASSIFICATION	T3
WATERWAY & COASTAL OVERLAY	NO
WIND REGION	A - NORMAL
WITHIN 1km CALM SALT WATER	NO
WITHIN 50km BREAKING SURF	6.50km
ZONING	GENERAL RESIDENTIAL
AIRPORT OBSTACLE LIMITATION AREA	
PRIORITY VEGETATION AREA	

BUILDING CONTROLS & COMPLIANCE

CONTROL	REQUIRED	PROPOSED
SETBACKS		
FRONT	MIN. 4,500mm	5,009mm
SIDE A	MIN. 1,500mm	3,082mm
SIDE B	MIN. 1,500mm	1,500mm
REAR	MIN. 1,500mm	6,855mm
BULK & SCALE		
SITE AREA	529m²	
SITE COVERAGE	MAX. 50%	40%
LANDSCAPE		
NO APPLICABLE CONTROLS		
EARTHWORKS		
CUT DEPTH	MAX. 2,000mm	515mm
FILL DEPTH	MAX. 1,000mm	0mm
ACCESS & AMENITY		
PARKING SPACES	MIN. 2 SPACES	2 SPACES

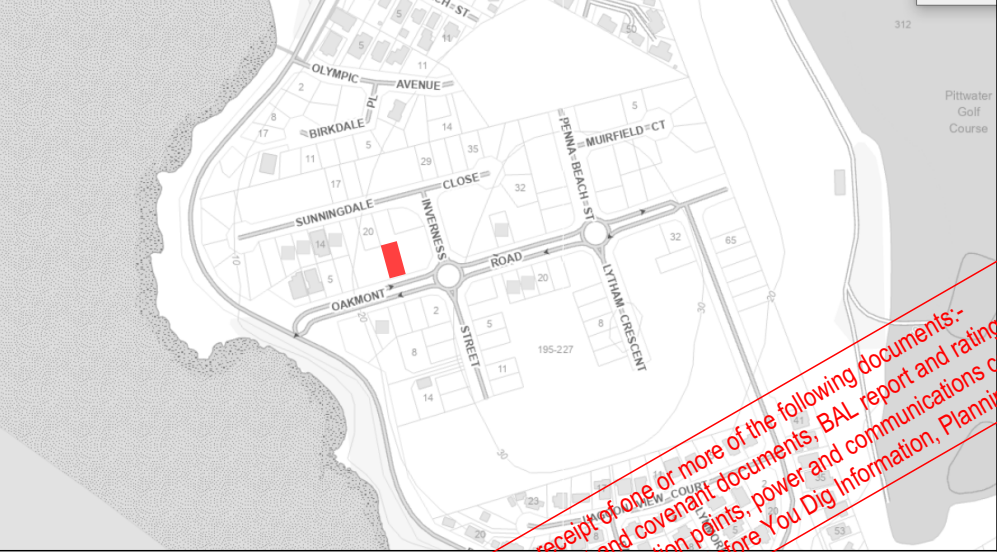
3D PERSPECTIVE



NOTE TO OWNER

THESE PLANS MAY FEATURE WORKS THAT ARE EXCLUDED FROM THE SCOPE OF WORKS WITH THE BUILDER, BUT THEY HAVE BEEN INCLUDED IN THESE DRAWINGS TO ASSIST IN THE OVERALL PLANNING AND ASSESSMENT OF THE BUILDING PROJECT. EXAMPLES OF SOME REGULARLY EXCLUDED WORKS INCLUDE DRIVEWAYS, RETAINING WALLS, SOLAR PANEL SPACING AND SITE DRAINAGE. PLEASE REFER TO YOUR SCOPE OF WORKS AND COLOUR SELECTIONS DOCUMENTATION FOR DETAILS OF INCLUDED WORKS. SOME DETAILS ARE INDICATIVE ONLY FOR EXAMPLE FLOORING, TILING, BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

LOCATION MAP



This Plan has been prepared prior to the receipt of one or more of the following documents:-
Certificate of Title inclusive of lot specific zoning, easement and covenant documents, BAL report and rating, approved subdivision plans providing crossover locations and service connection points, power and communications connection point information, Geotechnical Site Investigation, Contour Survey. Dial Before You Dig information, Planning Approval.

BUILDING INFORMATION

GROUND FLOOR TOP OF WALL HEIGHT(S) 2445mm	
NOTE: CEILING HEIGHT 45mm LOWER THAN TOP OF WALL	
ROOF PITCH (U.N.O.)	23.0°
ELECTRICITY SUPPLY	SINGLE PHASE
GAS SUPPLY	NONE
ROOF MATERIAL	SHEET METAL
ROOF COLOUR	N/A
WALL MATERIAL	BRICK VENEER CLADDING
SLAB CLASSIFICATION	TBC

INSULATION

ROOF	SARKING UNDER ROOFING
CEILING	R4.1 BATTS (EXCL. GARAGE, ALFRESCO & PATIO)
EXT. WALLS	R2.0 BATTS (EXCL. GARAGE) WALL WRAP TO ENTIRE HOUSE
INT. WALLS	R2.0 BATTS ADJACENT TO GARAGE AND AS PER PLAN
FLOOR	BIAX SLAB R0.60 OR AIRCELL FOR B&J

NCC 2022 LIVABLE HOUSING COMPLIANCE

ACCESSIBLE SANITARY COMPARTMENT: TBA
ACCESSIBLE SHOWER LOCATION: TBA

GENERAL NOTES:

- THRESHOLD OF ACCESSIBLE SHOWER ENTRY TO BE MAX. 5MM
- 1 EXTERIOR DOOR NOMINATED AS 870 OR GREATER TO ACHIEVE MIN 820MM CLEAR OPENING
- REFER TO APPLICABLE WET AREA PLANS AND INTERIOR ELEVATIONS OR LOCATIONS OF REQUIRED WALL REINFORCEMENT FOR FUTURE GRAB RAIL INSTALLATION.

THE OWNERS ACKNOWLEDGE THAT THESE CONTRACT PLANS MAY NOT REFLECT ALL THE SELECTIONS THAT HAVE BEEN MADE OR CHANGES REQUESTED. THE OWNERS AGREE THAT FOLLOWING THE COLOUR SELECTIONS VARIATION OR UPDATING OF PLANS, THEY WILL BE PROVIDED WITH CONSTRUCTION PLANS FOR SIGNATURE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SIGNATURE:

DATE:

SUBJECT TO NCC 2022

(1 MAY 2023)

WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

SIGNATURE:

DATE:

SIGNATURE:

DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

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	1	CONCEPT	CAL	17/05/2025	WILSON HOMES		PEMBROKE 20				
	2	PRELIM PLANS - INITIAL ISSUE	HMI	25/07/2025	ADDRESS:		FACADE DESIGN:		FACADE CODE:		
	3	PRELIM PLAN - SHADOW DIAGRAM UPDATE	HMI	27/09/2025	LOT 32 OAKMONT ROAD, MIDWAY POINT TAS 7171		RIVERSIDE				
	4	PRELIM PLAN - PLANNING RFI (27/10/2025)	HMI	27/10/2025	LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:		
© 2025					32 / - / 189367	SORELL	COVER SHEET	1 / 14	1:100	714358	

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

APPROX. CUT/FILL

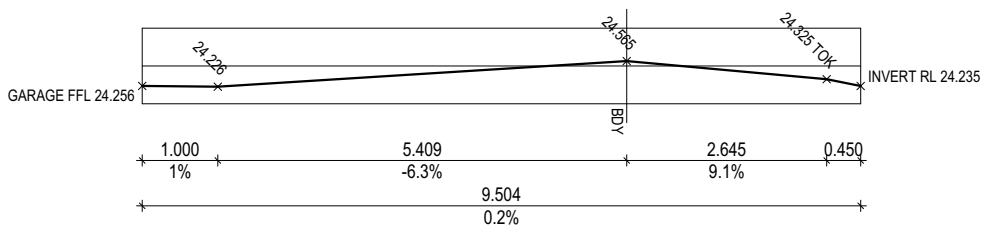
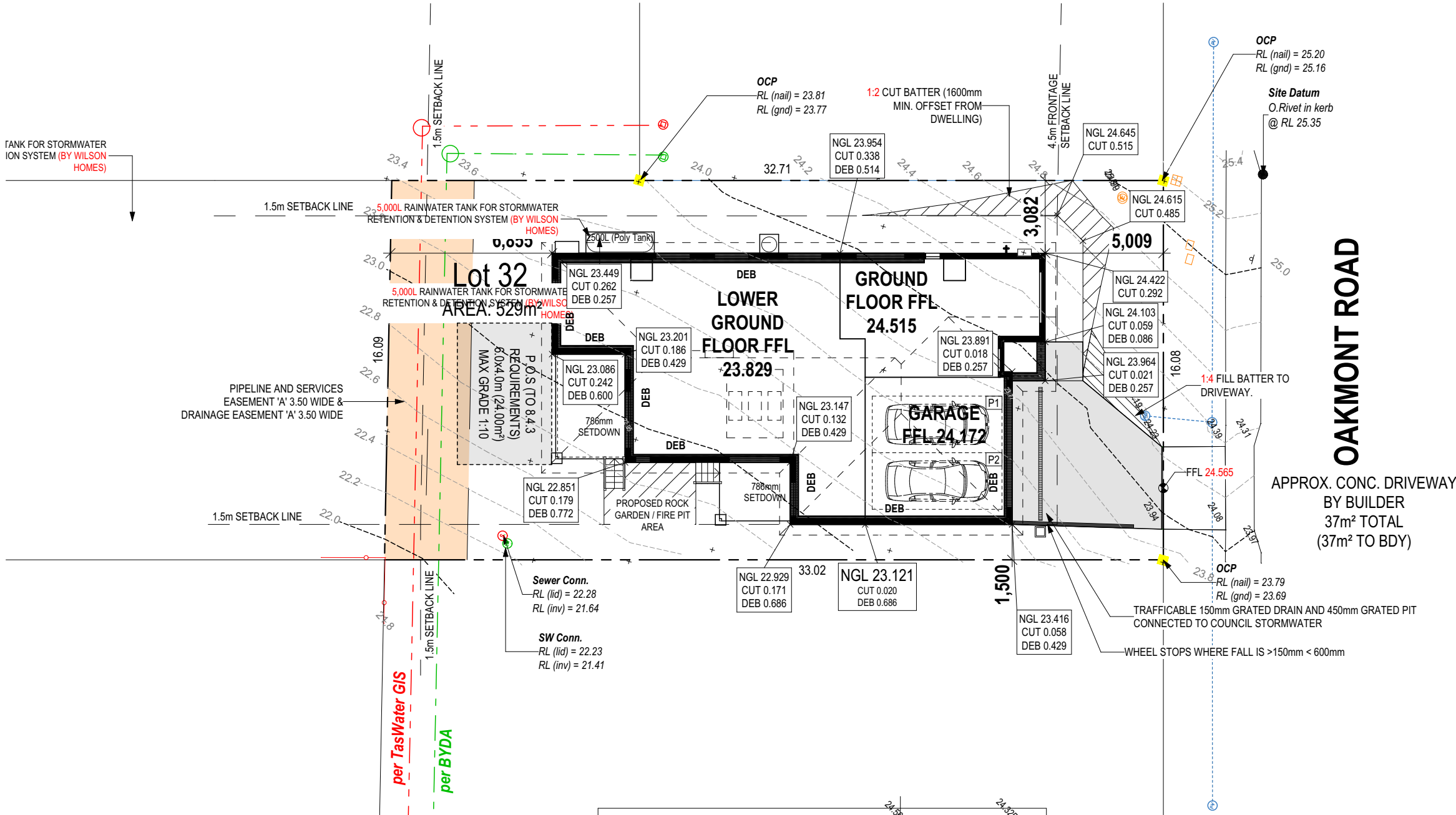
CUT	6.77m³	15.23t
FILL	0.00m³	0.00t
DIFFERENCE	6.77m³	15.23t

15 TONNES OF EXPORT FILL

LOT SIZE: 529m²
HOUSE (COVERED AREA): 211.59m²
SITE COVERAGE: 39.99%

DEB AREA

DROPPED EDGE BEAMS	
HEIGHT (mm)	SURFACE AREA (m²)
86	0.71
172	0.47
257	1.37
429	5.95
514	1.84
600	3.40
686	6.19
772	7.08
	27.01 m²



AUSTRALIAN STANDARD DRIVEWAY PROFILE

DRIVEWAY DETAILS

SCALE: 1:100

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED
AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

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	1	CONCEPT		CAL	17/05/2025	WILSON HOMES		PEMBROKE 20					
	COPYRIGHT:		2	PRELIM PLANS - INITIAL ISSUE		HMI	25/07/2025	ADDRESS:		FACADE DESIGN:			FACADE CODE:
	© 2025		3	PRELIM PLAN - SHADOW DIAGRAM UPDATE		HMI	27/09/2025	LOT 32 OAKMONT ROAD, MIDWAY POINT TAS 7171		RIVERSIDE			
	4	PRELIM PLAN - PLANNING RFI (27/10/2025)		HMI	27/10/2025	LOT / SECTION / CT: 32 / - / 189367		COUNCIL: SORELL		SHEET TITLE: SITE PLAN			

OWNER TO STABILISE THE SITE ON COMPLETION OF THE BUILD WITH TURF LAWNS, GRASS SEEDS, NATIVE GROUND COVERS AND/ OR MULCH SPREAD TO A DEPTH OF 75-100mm

THE FOLLOWING IS A STANDARD APPROACH. SEDIMENT AND EROSION CONTROL MEASURES WILL BE REVIEWED PRIOR TO COMMENCING WORK AND INSTALLED BASED ON THE OUTCOME OF THAT REVIEW.

NOTES:
1. ALL EROSION AND SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY AND MAINTAINED IN GOOD WORKING ORDER.

2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING THE BUILDING PHASE.

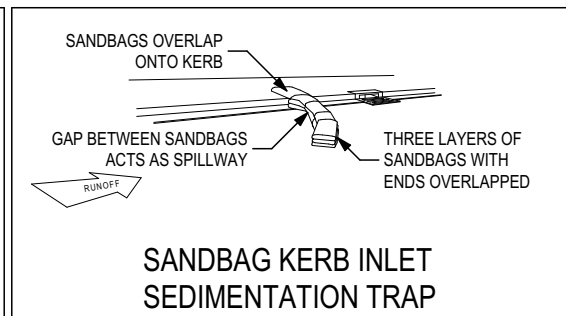
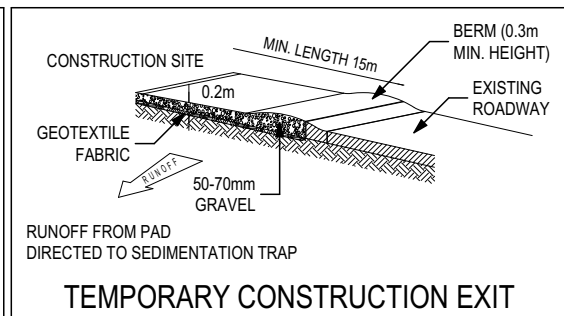
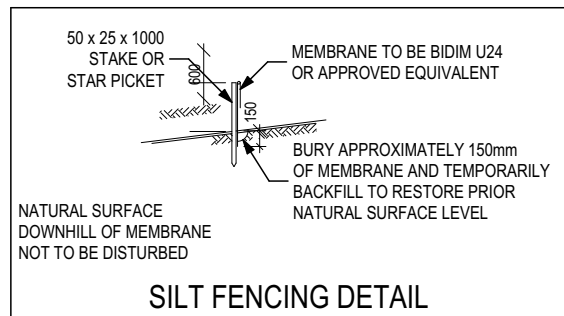
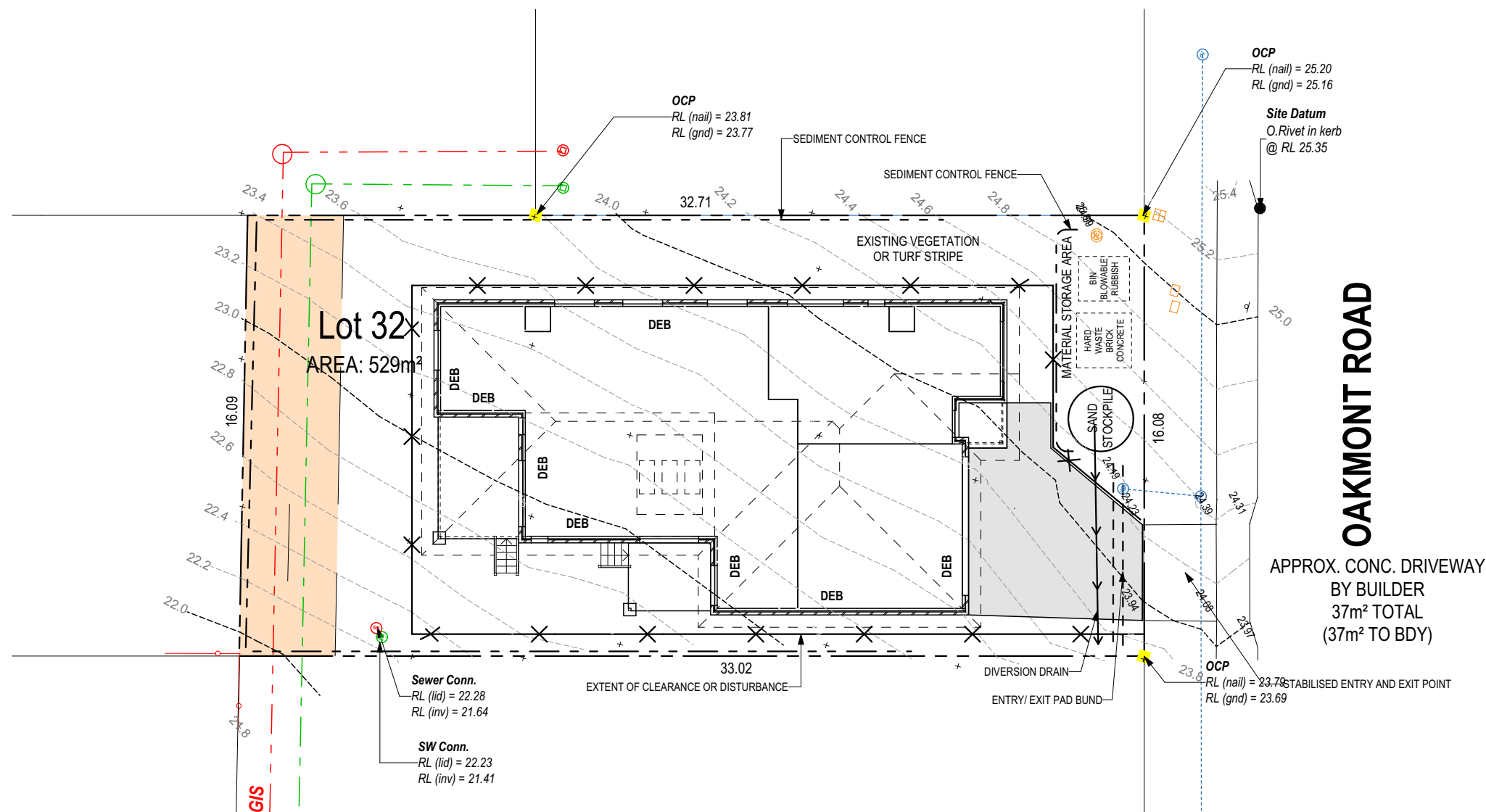
3. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.

4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET

5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE PERMANENT UNDERGROUND STORMWATER DRAINAGE SYSTEM AS SOON AS PRACTICAL AFTER THE ROOF IS LAID.

6. DIVERSION DRAINS ARE TO BE CONNECTED TO A LEAGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM, WATERCOURSE OR ROAD DRAIN)

7. SEDIMENT RETENTION TRAPS
INSTALLED AROUND THE INLETS TO THE
STORMWATER SYSTEM TO PREVENT
SEDIMENT & OTHER DEBRIS BLOCKING
THE DRAINS.



ALL RUNOFF AND SEDIMENT
CONTROL STRUCTURES WILL BE
INSPECTED EACH WORKING DAY
AND MAINTAINED IN A FUNCTIONAL
CONDITION.

ALL VEGETATION OUTSIDE THE
BUILDING ZONE WILL BE
MAINTAINED.

**SUBJECT TO NCC 2022
(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER	
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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

ALL MECHANICAL VENTILATION TO BE DISCHARGED TO OUTDOOR AIR AS PER NCC 2022 REQUIREMENTS

FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

REFER TO WINDOW AND DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS. PLEASE NOTE WINDOW AND DOOR SIZES ARE BASED ON MANUFACTURERS SPECIFICATIONS AT DEPOSIT STAGE AND MAY DIFFER SLIGHTLY TO THE SIZES NOMINATED IN THE SCOPE OF WORKS DUE TO MANUFACTURING CHANGES AT THE TIME OF CONSTRUCTION.

FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

ALL STAIR TREADS TO PROVIDE A MINIMUM SLIP RESISTANCE TO MEET NCC 2022 REQUIREMENTS

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:

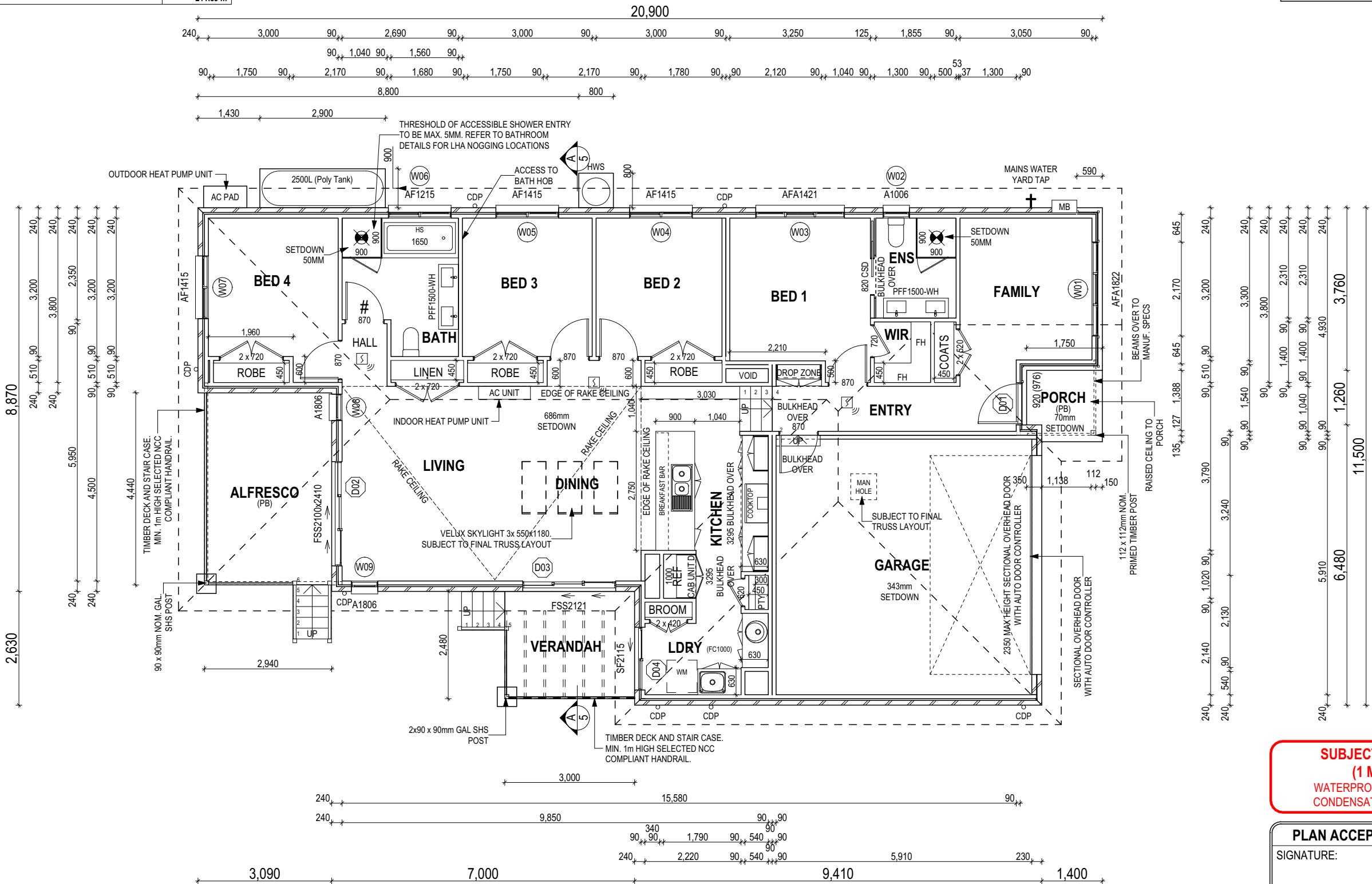


LEGEND

HS / WS	HOB SPOUT / WALL SPOUT
	FACE BRICK / COMMON BRICK
	RENDER
	SOUND INSULATION
AJ	BRICK ARTICULATION JOINT
SDP	STANDARD DOWNSPIPE
CDP	CHARGED DOWNSPIPE
3D	DENOTES DRAWER SIDE
	MECHANICAL VENTILATION
L.B.W	LOAD BEARING WALL
PB	PLASTERBOARD
FC	FIBRE CEMENT
	THIS DOOR OPENS FIRST
	SMOKE ALARM
#	LIFT OFF HINGE
+	WATER POINT
FW	FLOOR WASTE
GAS	GAS BAYONET

MAIN DWELLING, GROUND FLOOR

ALFRESCO	13.05
GARAGE	38.96
LIVING	149.39
PORCH	2.75
VERANDAH	7.44
	211.59 m²



ALL DIMENSIONS ARE FRAME DIMENSIONS

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PROVIDE AND INSTALL SINGLE PHASE SPLIT SYSTEM AIR CONDITIONER. EXACT LOCATION TO BE DETERMINED IN CONJUNCTION WITH CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS.

ANY PART OF THE FASCIA, GUTTERING OR DOWNSPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH NCC 2022

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.

SUBJECT TO NCC 2022

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WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

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1 CONCEPT

2 PRELIM PLANS - INITIAL ISSUE

3 PRELIM PLAN - SHADOW DIAGRAM UPDATE

4 PRELIM PLAN - PLANNING RFI (27/10/2025)

DRAWN

CAL 17/05/2025

HMI 25/07/2025

HMI 27/09/2025

HMI 27/10/2025

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WILSON HOMES

ADDRESS:

LOT 32 OAKMONT ROAD, MIDWAY POINT TAS 7171

LOT / SECTION / CT:

32 / - / 189367

COUNCIL:

SORELL

HOUSE DESIGN:

PEMBROKE 20

FACADE DESIGN:

RIVERSIDE

SHEET TITLE:

GROUND FLOOR PLAN

SHEET No.:

4 / 14

HOUSE CODE:

PEMBROKE 20

FACADE CODE:

RIVERSIDE

SCALES:

1:100

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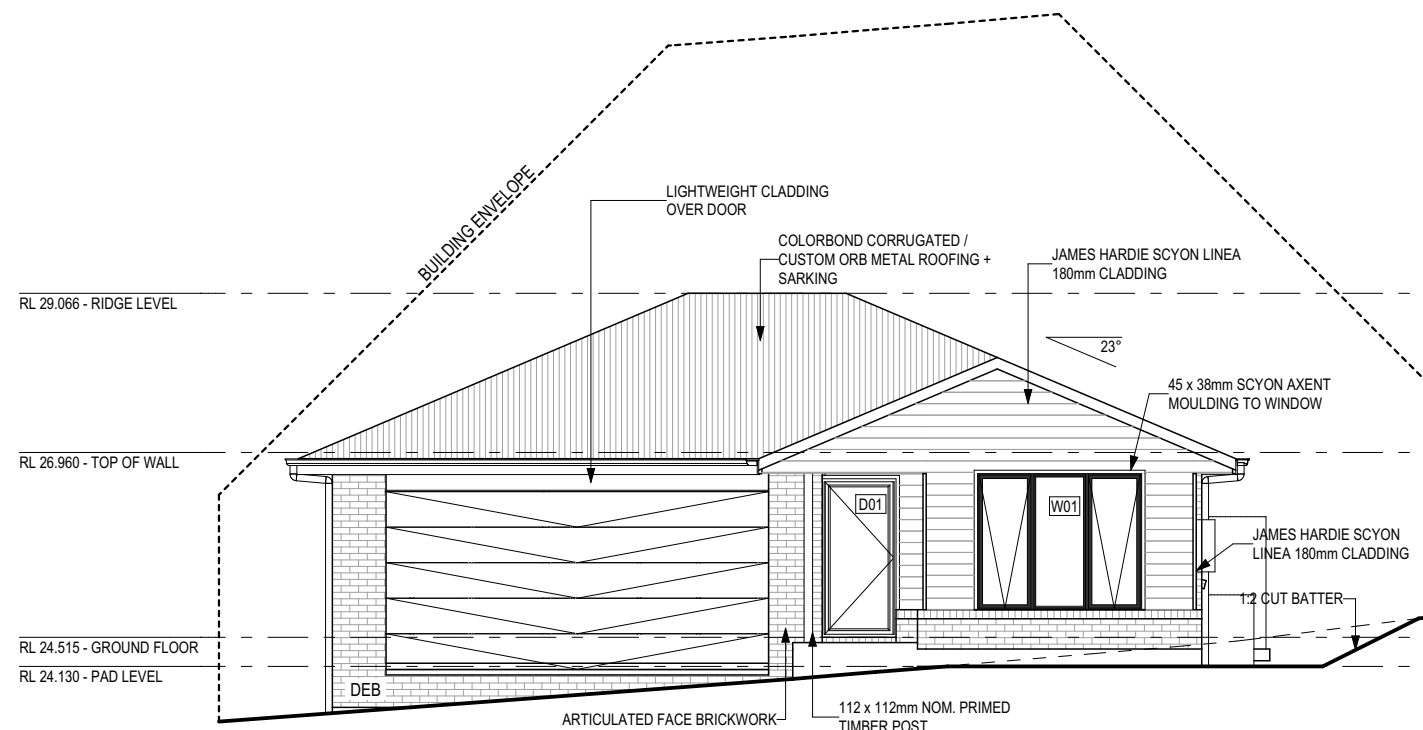
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SH = SNAP HEADER SILL

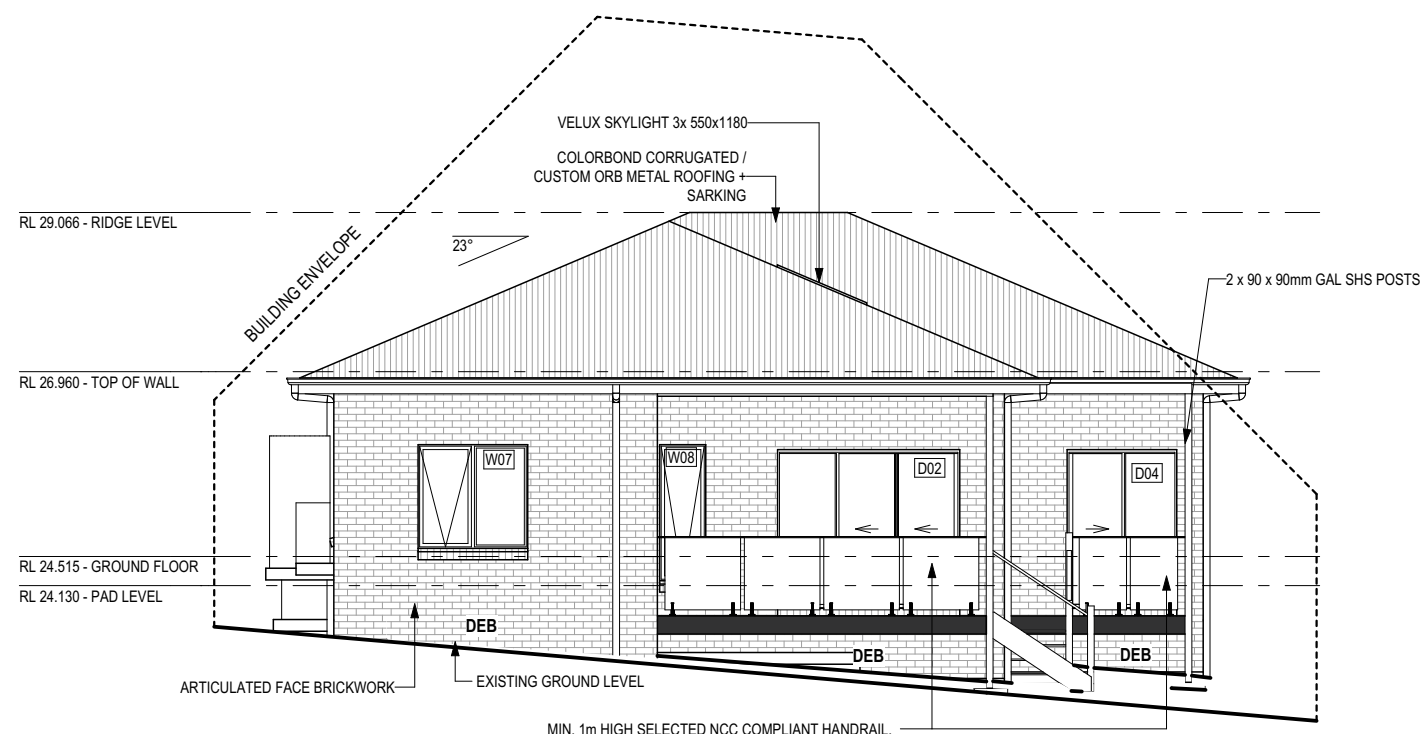
BEDROOM WINDOW OPENINGS
ABOVE 2m OFF THE SURFACE
BENEATH TO BE RESTRICTED AS
REQUIRED BY NCC 11.3.7 (VOLUME
TWO)

ROOMS OTHER THAN BEDROOM
WINDOW OPENINGS ABOVE 4m OFF
THE SURFACE BENEATH TO BE
RESTRICTED AS REQUIRED BY NCC
11.3.7 (VOLUME TWO)

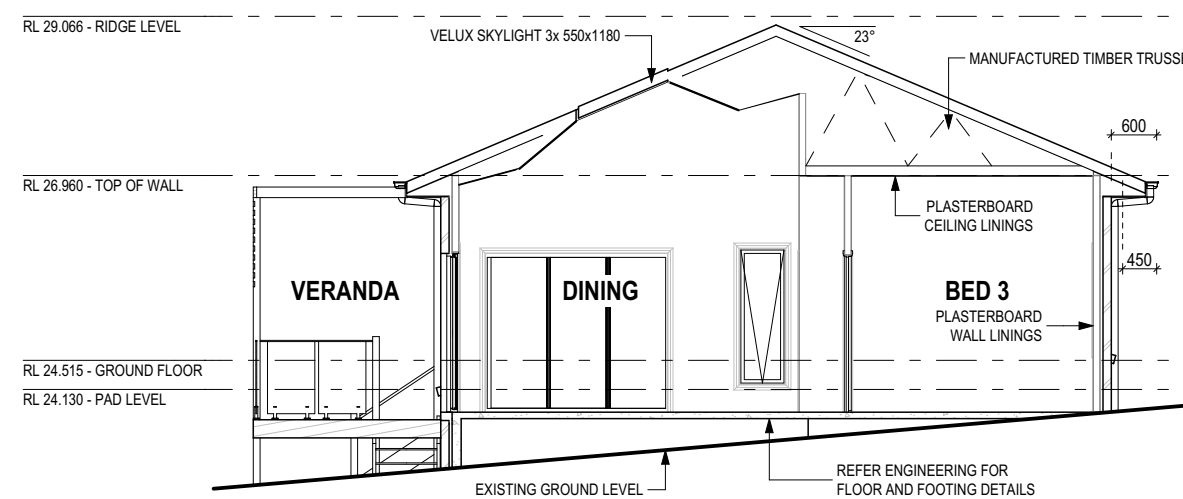
REFER TO THE FOLLOWING DETAILS:
BRICK COURSING **W-BRIC-001**



SOUTH ELEVATION
SCALE: 1:100



NORTH ELEVATION
SCALE: 1:100



SECTION A-A
SCALE: 1:100

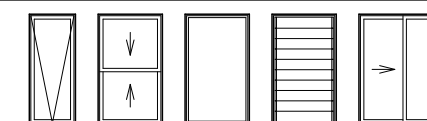
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(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

GLASS TYPE LEGEND



CLEAR OBSCURE

WINDOW TYPE LEGEND



AWNING	DOUBLE HUNG	FIXED	LOUVRE	SLIDING
--------	----------------	-------	--------	---------

PLAN ACCEPTANCE BY OWNER

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4	PRELIM PLAN - PLANNING RFI (27/10/2025)	HMI 27/10/2022

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WILSON HOMES

ADDRESS:
LOT 32 OAKMONT ROAD, MIDWAY POINT TAS 7171

LOT / SECTION / CT:
32 / - / 189367

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SORELL

HOUSE DESIGN:
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FACADE DESIGN:
RIVERSIDE

SHEET TITLE:
ELEVATIONS / SECTION

SHEET N
5 / 14

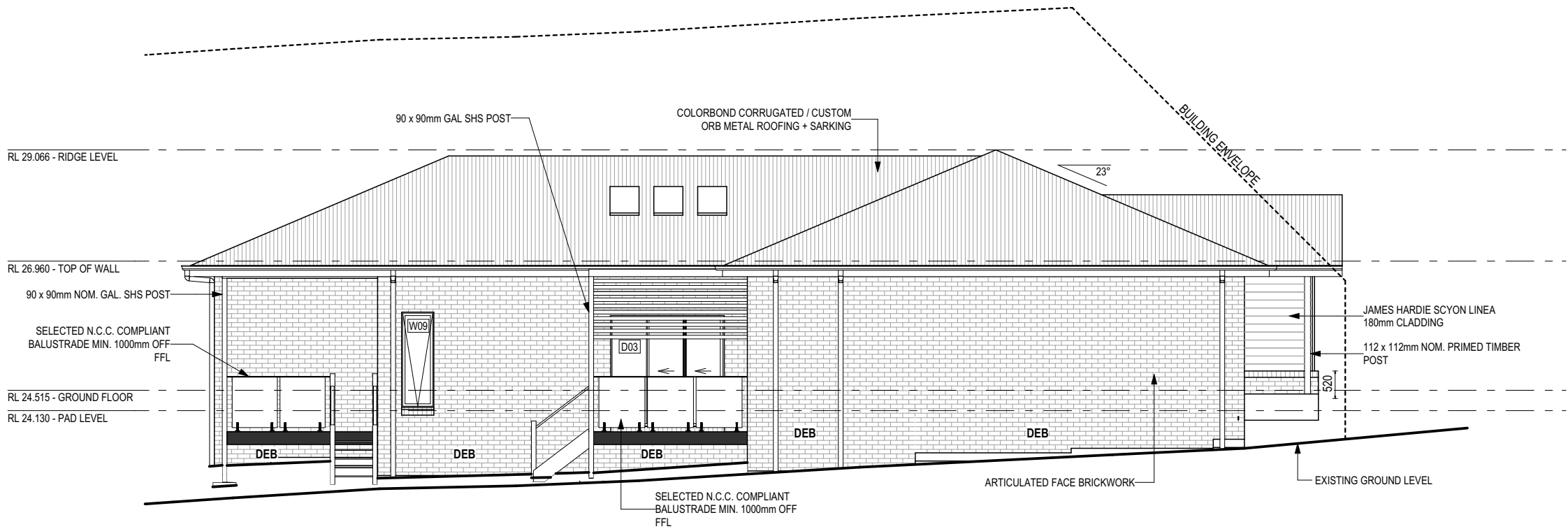
HOUSE CODE:

FACADE CODE

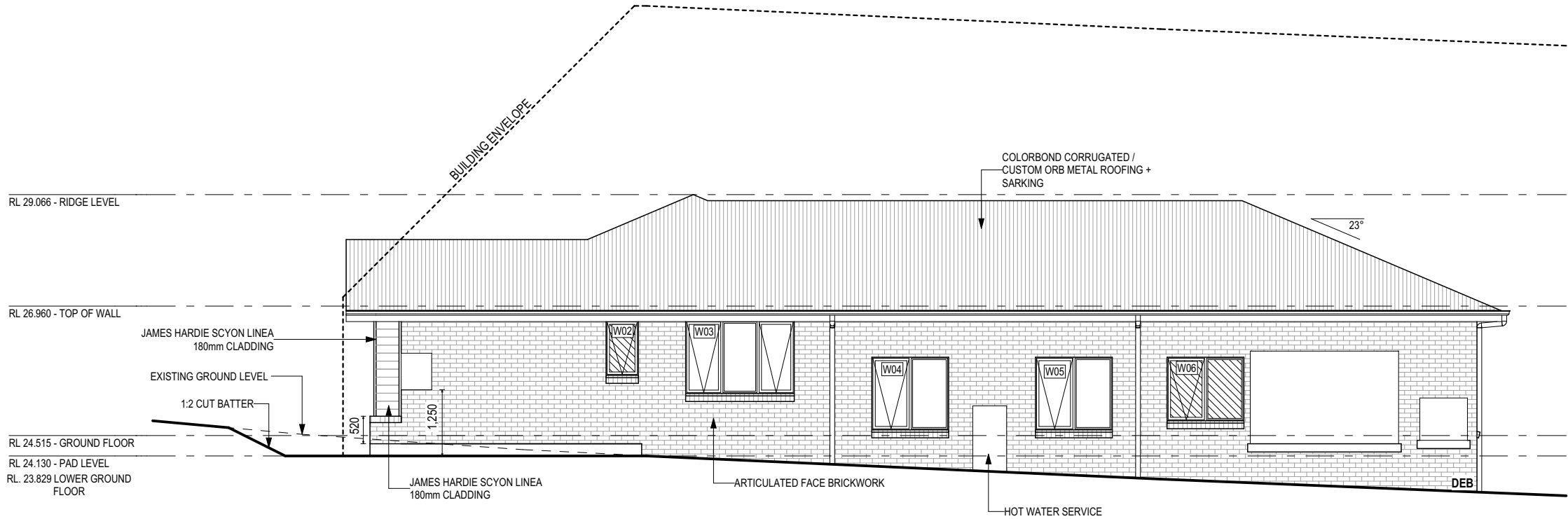
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WEST ELEVATION
SCALE: 1:100



EAST ELEVATION
SCALE: 1:100

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
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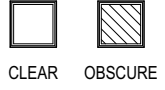
REFER TO THE FOLLOWING DETAILS:
BRICK COURSING W-BRIC-001

**SUBJECT TO NCC 2022
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CONDENSATION MANAGEMENT

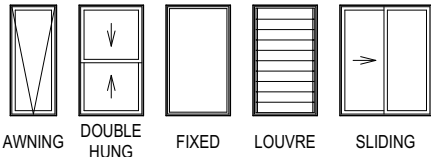
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GLASS TYPE LEGEND



WINDOW TYPE LEGEND



PLAN ACCEPTANCE BY OWNER

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COPYRIGHT: © 2025	1 CONCEPT	CAL 17/05/2025	ADDRESS: LOT 32 OAKMONT ROAD, MIDWAY POINT TAS 7171	FACADE DESIGN: RIVERSIDE	FACADE CODE:	
	2 PRELIM PLANS - INITIAL ISSUE	HMI 25/07/2025	LOT / SECTION / CT: 32 / - / 189367	SHEET TITLE: ELEVATIONS	SHEET No.: 6 / 14	
	3 PRELIM PLAN - SHADOW DIAGRAM UPDATE	HMI 27/09/2025	COUNCIL: SORELL		SCALES: 1:100	
	4 PRELIM PLAN - PLANNING RFI (27/10/2025)	HMI 27/10/2025				714358

EXTERIOR WINDOW & DOOR SCHEDULE ^{1,2} ASSUME LOOKING FROM OUTSIDE

STOREY	ID	CODE¹	TYPE	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m²)	GLAZING TYPE (SINGLE GLAZING U.N.O.)	ADDITIONAL INFORMATION²
WINDOW															
GROUND FLOOR	W01	AFA1822	AWNING	FAMILY	1,800	2,170	7,940	3.91	ALUMINIUM	BAL-LOW	NONE	S	3.12	CLEAR, DOUBLE GLAZED	MP 723-723
GROUND FLOOR	W02	A1006	AWNING	ENS	1,029	610	3,278	0.63	ALUMINIUM	BAL-LOW	ANGLED	E	0.44	OBSCURE, DOUBLE GLAZED, TOUGHENED	
GROUND FLOOR	W03	AFA1421	AWNING	BED 1	1,372	2,050	6,844	2.81	ALUMINIUM	BAL-LOW	ANGLED	E	2.18	CLEAR, DOUBLE GLAZED	MP 683-683
GROUND FLOOR	W04	AF1415	AWNING	BED 2	1,372	1,450	5,644	1.99	ALUMINIUM	BAL-LOW	ANGLED	E	1.59	CLEAR, DOUBLE GLAZED	MP 725
GROUND FLOOR	W05	AF1415	AWNING	BED 3	1,372	1,450	5,644	1.99	ALUMINIUM	BAL-LOW	ANGLED	E	1.59	CLEAR, DOUBLE GLAZED	MP 725
GROUND FLOOR	W06	AF1215	AWNING	BATH	1,200	1,450	5,300	1.74	ALUMINIUM	BAL-LOW	ANGLED	E	1.38	OBSCURE, DOUBLE GLAZED, TOUGHENED	MP 725
GROUND FLOOR	W07	AF1415	AWNING	BED 4	1,372	1,450	5,644	1.99	ALUMINIUM	BAL-LOW	ANGLED	N	1.59	CLEAR, DOUBLE GLAZED	MP 725
GROUND FLOOR	W08	A1806	AWNING	LIVING	1,800	610	4,820	1.10	ALUMINIUM	BAL-LOW	ANGLED	N	0.81	CLEAR, DOUBLE GLAZED	
GROUND FLOOR	W09	A1806	AWNING	LIVING	1,800	610	4,820	1.10	ALUMINIUM	BAL-LOW	ANGLED	W	0.81	CLEAR, DOUBLE GLAZED	
								17.26					13.51		
DOOR															
GROUND FLOOR	D01	920	SWINGING	ENTRY	2,097	976	6,146	2.05	ALUMINIUM	BAL-LOW	SNAP HEADER	S	1.41	CLEAR	
GROUND FLOOR	D02	FSS2100x2410	STACKER	LIVING	2,100	2,410	9,020	5.06	ALUMINIUM	BAL-LOW	SNAP HEADER	N	4.40	CLEAR, TOUGHENED	
GROUND FLOOR	D03	FSS2121	STACKER	DINING	2,100	2,148	8,496	4.51	ALUMINIUM	BAL-LOW	SNAP HEADER	W	3.88	CLEAR, TOUGHENED	
GROUND FLOOR	D04	SF2115	SLIDING	LDRY	2,100	1,450	7,100	3.05	ALUMINIUM	BAL-LOW	SNAP HEADER	N	2.59	CLEAR, TOUGHENED	
								14.67					12.28		
								31.93					25.79		

Manufacturer - Clark Windows			
Window Type	Glazing	U-Value	SHGC
Awning	Single	6.5	0.67
	Double	4.1	0.57
Fixed	Single	5.9	0.75
	Double	3.2	0.67
Sliding	Single	6.4	0.76
	Double	4.2	0.59
Fixed Pane	Single	5.9	0.75
	Double	3.2	0.67
Fixed Glass Panel Hinged Door	Single	6.0	0.62
	Double	4.3	0.55
Sliding Door	Single	6.1	0.74
	Double	3.6	0.66
Stacking Door	Single	6.3	0.74
	Double	3.8	0.66
135 deg. Awning Bay Window	Single	6.5	0.67
	Double	4.1	0.57
135 deg. Sliding Bay Window	Single	6.5	0.76
	Double	4.2	0.59
90 deg. Awning Bay Window	Single	6.5	0.67
	Double	4.1	0.57
90 deg. Sliding Bay Window	Single	6.5	0.76
	Double	4.2	0.59
Bifold Doors	Single	6.1	0.61
	Double	4.4	0.53

NOTE:
Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Restricted windows to have their openability restricted as per N.C.C 11.3.6.

INTERIOR WINDOW & DOOR SCHEDULE

STOREY	QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING TYPE	ADDITIONAL INFORMATION
DOOR							
GROUND FLOOR	1	2 x 420	SWINGING	2,040	840	N/A	
GROUND FLOOR	1	2 x 520	SWINGING	2,040	1,040	N/A	
GROUND FLOOR	4	2 x 720	SWINGING	2,040	1,440	N/A	
GROUND FLOOR	1	620	SWINGING	2,040	620	N/A	
GROUND FLOOR	1	720	SWINGING	2,040	720	N/A	
GROUND FLOOR	1	820 CSD	CAVITY SLIDING	2,040	820	N/A	
GROUND FLOOR	5	870	SWINGING	2,040	870	N/A	
GROUND FLOOR	1	870	SWINGING	2,040	870	N/A	LIFT-OFF HINGES

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NOTE: INTERNAL DOORS TO WET AREAS WITH MECHANICAL VENTILATION TO BE UNDERCUT 20mm

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PICTURE, TV RECESS AND SS WINDOW OPENINGS

QTY	TYPE	HEIGHT	WIDTH	AREA (m²)
-----	------	--------	-------	-----------

SUBJECT TO NCC 2022

(1 MAY 2023)

WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

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32 / - / 189367

COUNCIL:

SORELL

HOUSE DESIGN:

PEMBROKE 20

FACADE DESIGN:

RIVERSIDE

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WINDOW & DOOR SCHEDULES

SHEET No.:

7 / 14

HOUSE CODE:

FACADE CODE:

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WHERE DOWNPIPES ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO N.C.C. 7.3.5(2)

POSITION AND QUALITY OF DOWNPIPES ARE NOT TO BE ALTERED WITHOUT CONSULTATION WITH DESIGNER.

AREA'S SHOWN ARE SURFACE AREAS/ CATCHMENT AREAS, NOT PLAN AREAS

Roofing Data		
	246.23	Flat Roof Area (excluding gutter and slope factor) (m ²)
	32.19	Roof Surface Area (includes slope factor, excludes gutter) (m ²)
Downpipe roof calculations (as per AS/NZA3500.3:2021)		
Ah	246.24	Area of roof catchment (including 115mm Slotted Quad Gutter) (m ²)
Ac	297.95	Ah x Catchment Area Multiplier for slope (Table 3.4.3.2 from AS/NZS 3500.3:2021) (1.21 for 23° pitch) (m ²)
Ae	6300	Cross sectional area of 57 x 115 Slotted Quad Gutter (mm ²)
DRI	86	Design Rainfall Intensity (determined from Table E1 from AS/NZS 3500.3:2021)
Acdp	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2021) (m ²)
Required Downpipes	4.65	Ac / Acdp
Downpipes Provided	7	

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FACADE DESIGN:	RIVERSIDE
SHEET TITLE:	ROOF DRAINAGE PLAN

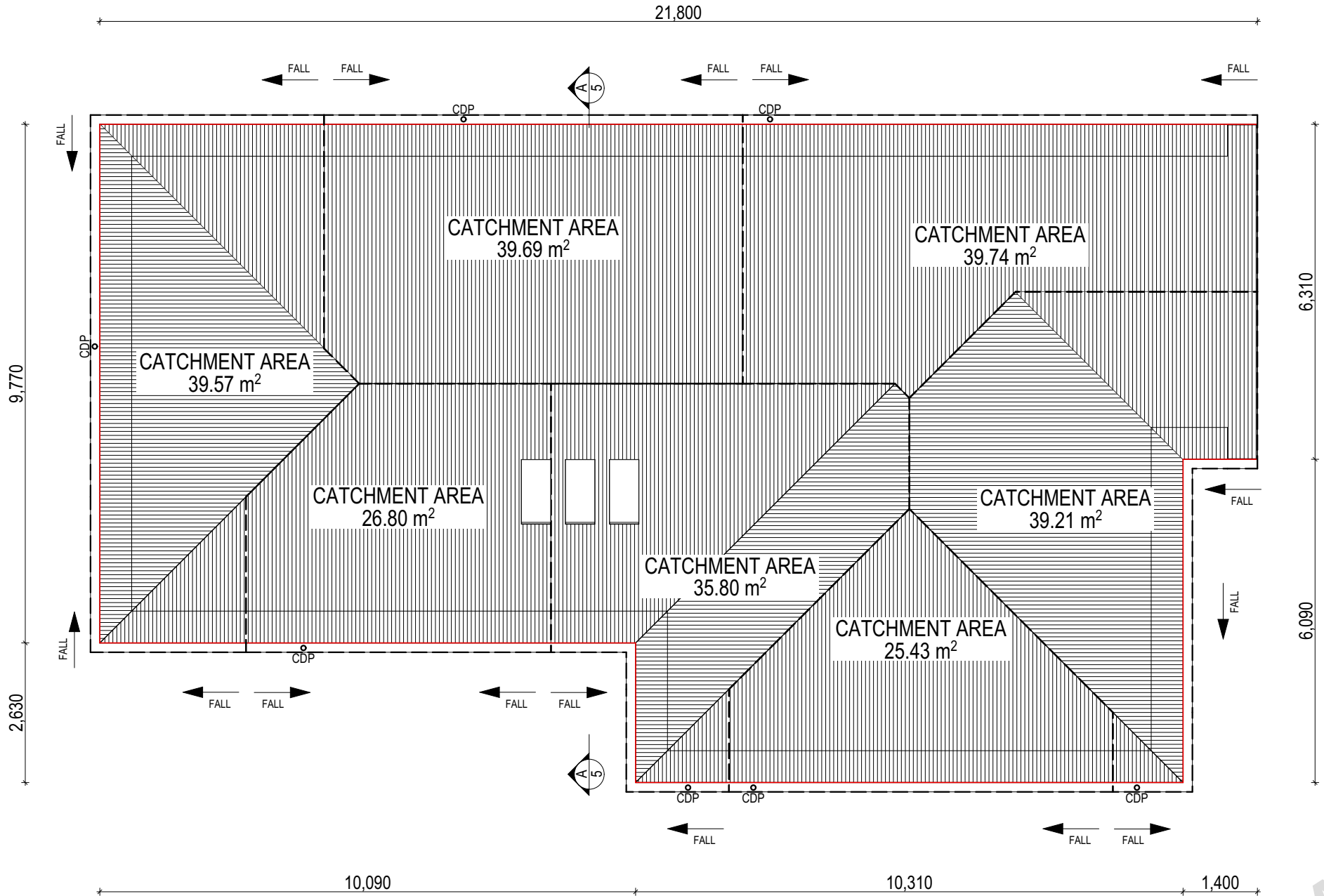
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FACADE CODE:	
SHEET No.:	8 / 14
SCALES:	1:100

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714358



Sorell Council

Development Application: 5.2025.278.1 - Response to Request For Information - Lot 32 Oakmont Road, Midway Point P2.pdf
Plans Reference: P2
Date Received: 28/10/2025



SUBJECT TO NCC 2022 (1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER	
SIGNATURE:	DATE:
SIGNATURE:	DATE:
PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED	

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.
TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

NO COVERING

COVER GRADE CONCRETE

CARPET

LAMINATE

TILE (STANDARD WET AREAS)

TILE (UPGRADED AREAS)

DECKING



Sorell Council

Development Application: 5.2025.278.1 -
Response to Request For Information - Lot 32
Oakmont Road, Midway Point P2.pdf
Plans Reference: P2
Date Received: 28/10/2025

**SUBJECT TO NCC 2022
(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

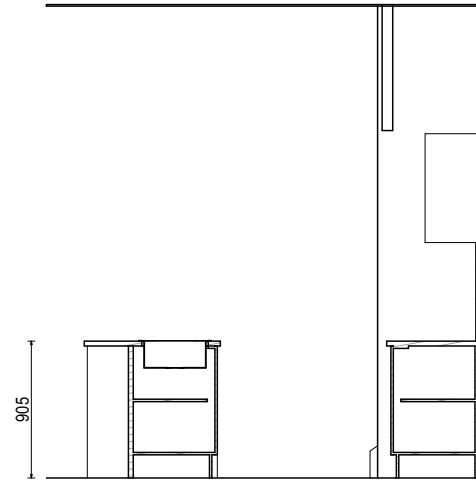
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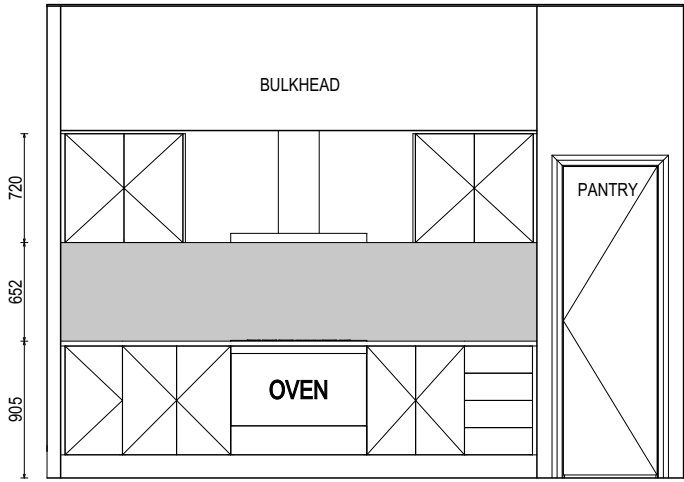
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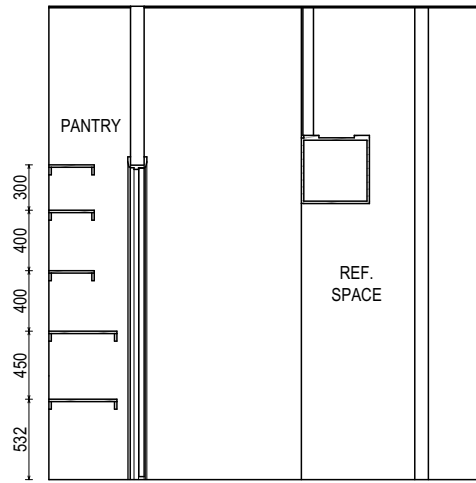
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	NOW BY WILSON HOMES	1	CONCEPT	CAL	17/05/2025	WILSON HOMES	PEMBROKE 20			
	COPYRIGHT:	2	PRELIM PLANS - INITIAL ISSUE	HMI	25/07/2025	ADDRESS:	FACADE DESIGN:		FACADE CODE:	
	© 2025	3	PRELIM PLAN - SHADOW DIAGRAM UPDATE	HMI	27/09/2025	LOT 32 OAKMONT ROAD, MIDWAY POINT TAS 7171	RIVERSIDE			
		4	PRELIM PLAN - PLANNING RFI (27/10/2025)	HMI	27/10/2025	LOT / SECTION / CT:	SHEET TITLE:	SHEET No.:	SCALES:	
						32 / - / 189367	FLOOR COVERINGS	9 / 14	1:100	
						COUNCIL:				
						SORELL				



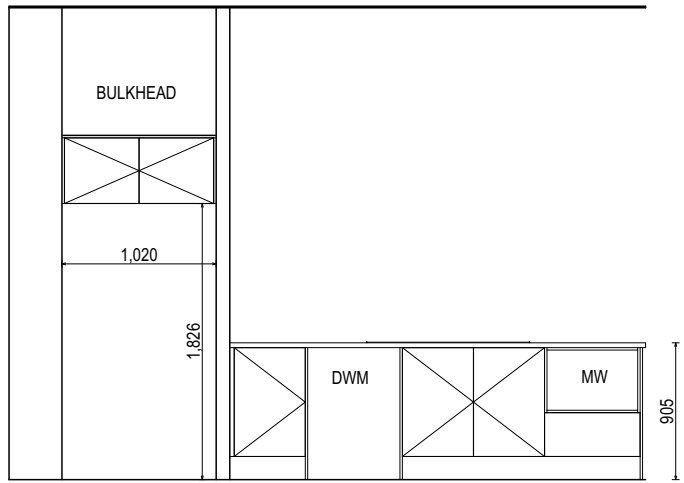
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SCALE: 1:50



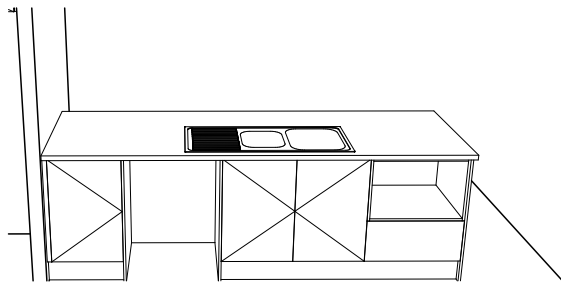
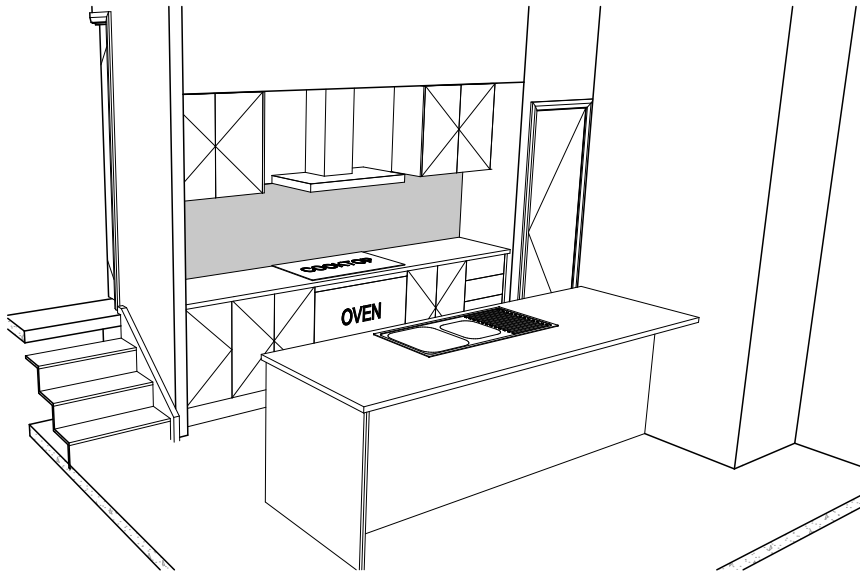
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ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

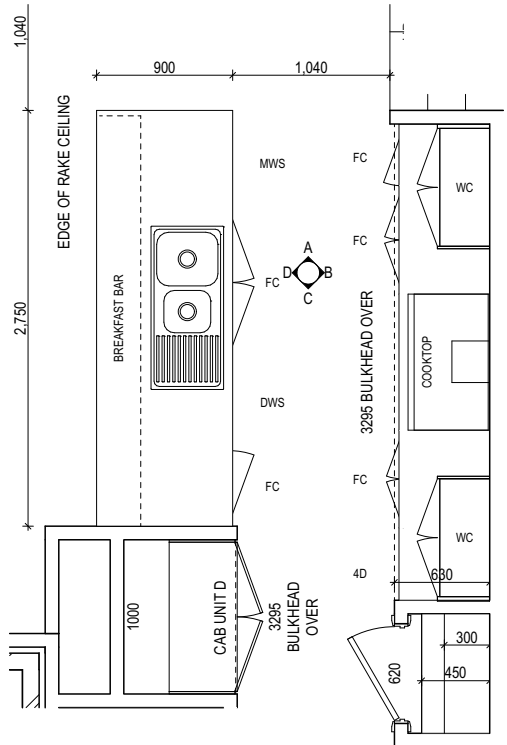




Sorell Council
Development Application: 5.2025.278.1 -
Response to Request For Information - Lot 32
Oakmont Road, Midway Point P2.pdf
Plans Reference: P2
Date Received: 28/10/2025

REFER TO SHEET 1 (COVER SHEET) FOR
ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

DETAILS DEPICTED ON THIS SHEET ARE A
REPRESENTATION ONLY. JOINER MAY
ADJUST CABINETRY AS REQUIRED.



KITCHEN PLAN
SCALE: 1:50

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	COPYRIGHT: © 2025	1	CONCEPT	CAL	17/05/2025	WILSON HOMES		PEMBROKE 20				
		2	PRELIM PLANS - INITIAL ISSUE	HMI	25/07/2025	ADDRESS:		FACADE DESIGN:		FACADE CODE:		
		3	PRELIM PLAN - SHADOW DIAGRAM UPDATE	HMI	27/09/2025	LOT 32 OAKMONT ROAD, MIDWAY POINT TAS 7171		RIVERSIDE				
		4	PRELIM PLAN - PLANNING RFI (27/10/2025)	HMI	27/10/2025	LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:		
						32 / - / 189367	SORELL	KITCHEN DETAILS	10 / 14	1:50	714358	

Template Version: 24/03/20

REFER TO THE FOLLOWING DETAILS:
 VANITY DETAILS **G-VANI-001**
 WINDOW OVER BATH HOB **D-WIND-ALU001**
 STANDARD BATH HOB **D-WETA-BATH003**
 WET AREA TILING LAYOUTS **D-WETA-TILE002**
 SQUARE SET WINDOWS **G-WIND-SSET02**
 FULL HEIGHT TILING **D-LINI-WETA**

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

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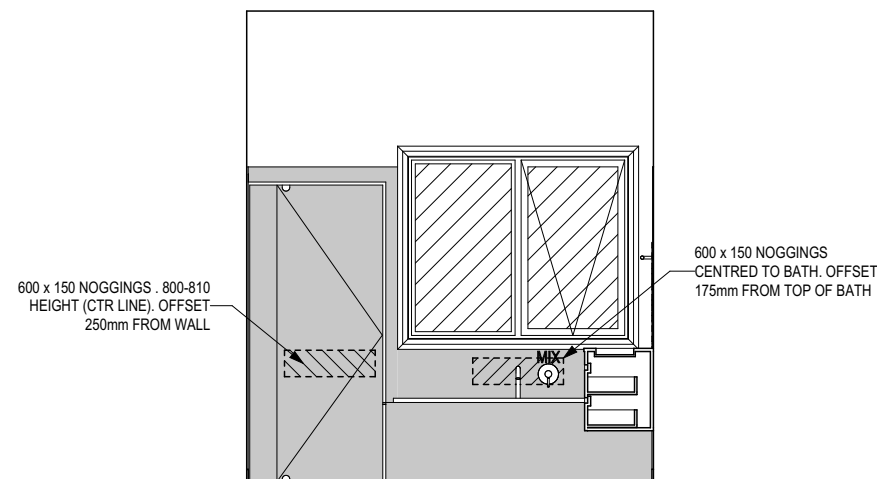


Sorell Council

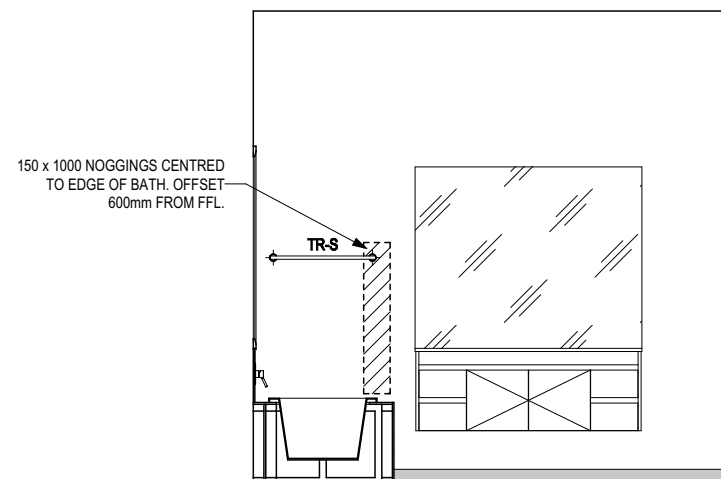
Development Application: 5.2025.278.1 -
Response to Request For Information - Lot 32
Oakmont Road, Midway Point P2.pdf
Plans Reference: P2
Date Received: 28/10/2025

LEGEND

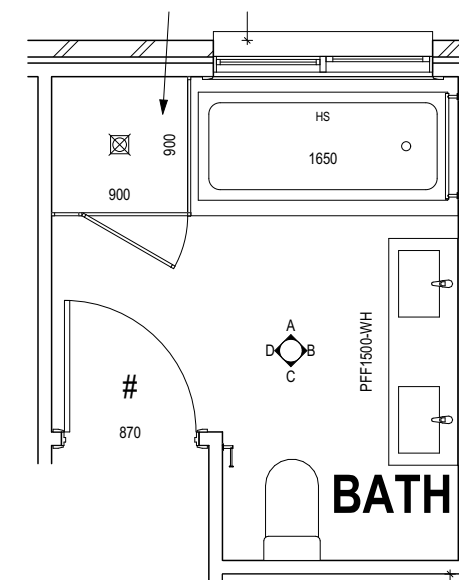
RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER



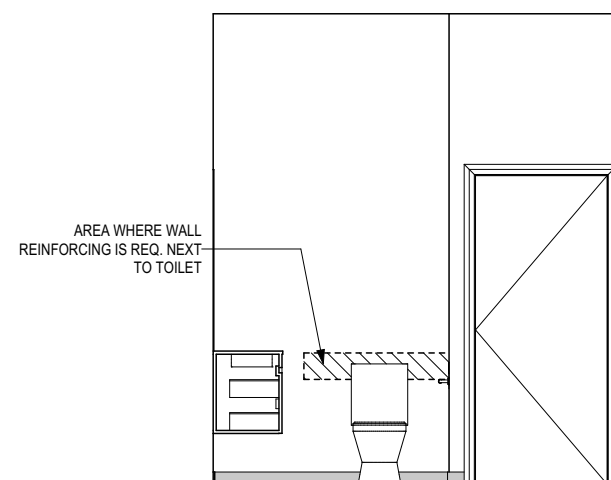
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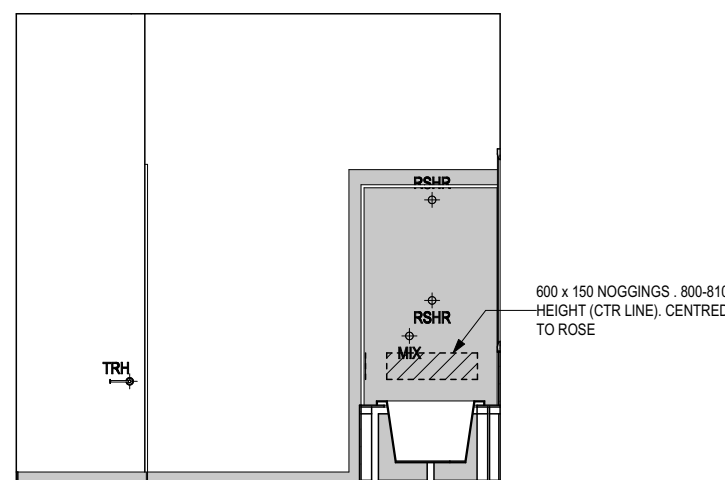
ELEVATION B
SCALE: 1:50



BATHROOM PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

SHAMPOO RECESS SIZE		STRUCTURAL DIMENSION	
		WIDTH	HEIGHT
"SMALL"	470 x 380mm	548mm	446mm
"MEDIUM"	800 x 380mm	878mm	446mm
"LARGE"	1500 x 380mm	1578mm	446mm

REFER WILSON HOMES' DETAIL G-WETA-TILE01 FOR FURTHER DETAIL PRIOR TO INSTALLATION.

**SUBJECT TO NCC 2022
(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

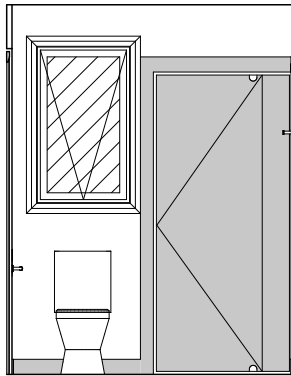
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AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

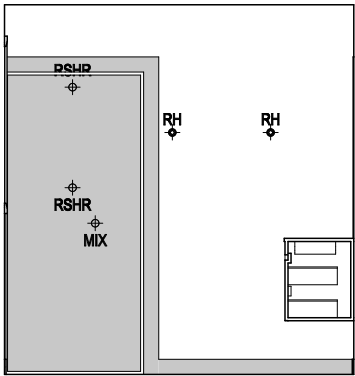
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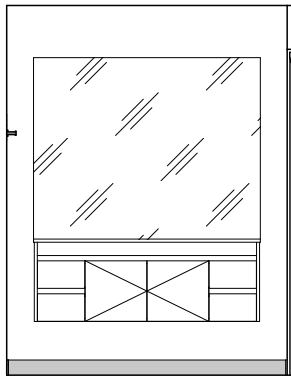
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	NOW BY WILSON HOMES		1	CONCEPT	CAL	17/05/2025	WILSON HOMES		PEMBROKE 20				
	COPYRIGHT:		2	PRELIM PLANS - INITIAL ISSUE	HMI	25/07/2025	ADDRESS:		FACADE DESIGN:		FACADE CODE:		
	© 2025		3	PRELIM PLAN - SHADOW DIAGRAM UPDATE	HMI	27/09/2025	LOT 32 OAKMONT ROAD, MIDWAY POINT TAS 7171		RIVERSIDE				
		4	PRELIM PLAN - PLANNING RFI (27/10/2025)	HMI	27/10/2025	LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:		SHEET No.:	SCALES:		
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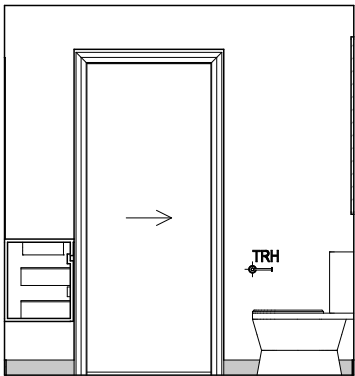
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SCALE: 1:50



ELEVATION B
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

REFER TO THE FOLLOWING DETAILS:
VANITY DETAILS G-VANI-001
WINDOW OVER BATH HOB D-WIND-ALU001
STANDARD BATH HOB D-WETA-BATH003
WET AREA TILING LAYOUTS D-WETA-TILE002
SQUARE SET WINDOWS G-WIND-SSET02
FULL HEIGHT TILING D-LINI-WETA

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
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- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

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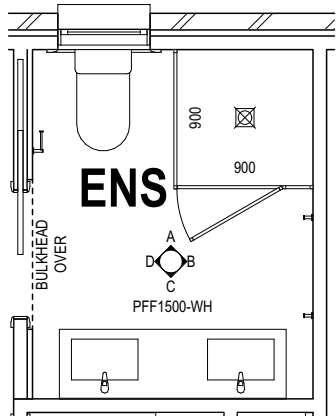


Sorell Council

Development Application: 5.2025.278.1 -
Response to Request For Information - Lot 32
Oakmont Road, Midway Point P2.pdf
Plans Reference: P2
Date Received: 28/10/2025

LEGEND

RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
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TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER



ENSUITE PLAN
SCALE: 1:50

SHAMPOO RECESS SIZE		STRUCTURAL DIMENSIONS	
"SMALL"	470 x 380mm	WIDTH 548mm	HEIGHT 446mm
"MEDIUM"	800 x 380mm	878mm	446mm
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(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

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SPECIFICATION: NOW BY WILSON HOMES COPYRIGHT: © 2025	REVISION		DRAWN		CLIENT: WILSON HOMES ADDRESS: LOT 32 OAKMONT ROAD, MIDWAY POINT TAS 7171 LOT / SECTION / CT: 32 / - / 189367 COUNCIL: SORELL	HOUSE DESIGN: PEMBROKE 20 FACADE DESIGN: RIVERSIDE SHEET TITLE: ENSUITE DETAILS	HOUSE CODE: FACADE CODE: SHEET No.: 12 / 14	SCALES: 1:50	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 714358
	1	CONCEPT	CAL	17/05/2025					
	2	PRELIM PLANS - INITIAL ISSUE	HMI	25/07/2025					
	3	PRELIM PLAN - SHADOW DIAGRAM UPDATE	HMI	27/09/2025					
	4	PRELIM PLAN - PLANNING RFI (27/10/2025)	HMI	27/10/2025					

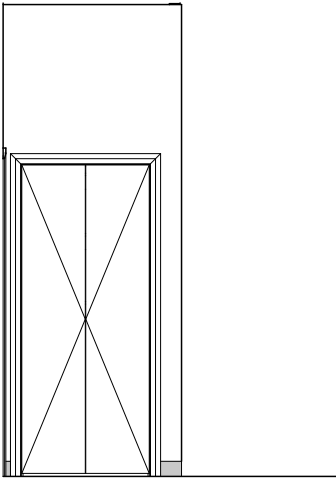
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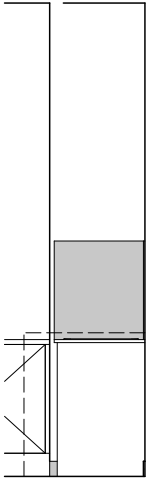
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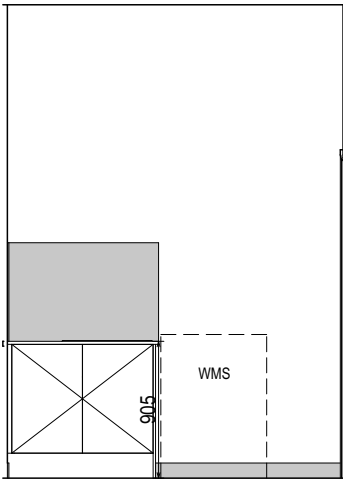
Sorell Council
Development Application: 5.2025.278.1 -
Response to Request For Information - Lot 32
Oakmont Road, Midway Point P2.pdf
Plans Reference: P2
Date Received: 28/10/2025



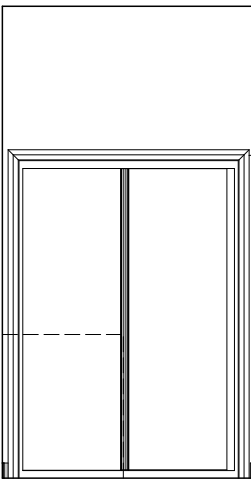
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SCALE: 1:50



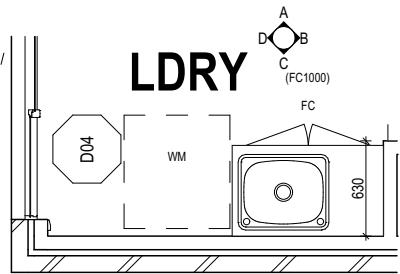
ELEVATION B
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



LAUNDRY PLAN
SCALE: 1:50

**SUBJECT TO NCC 2022
(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

SIGNATURE:DATE:

SIGNATURE:DATE:

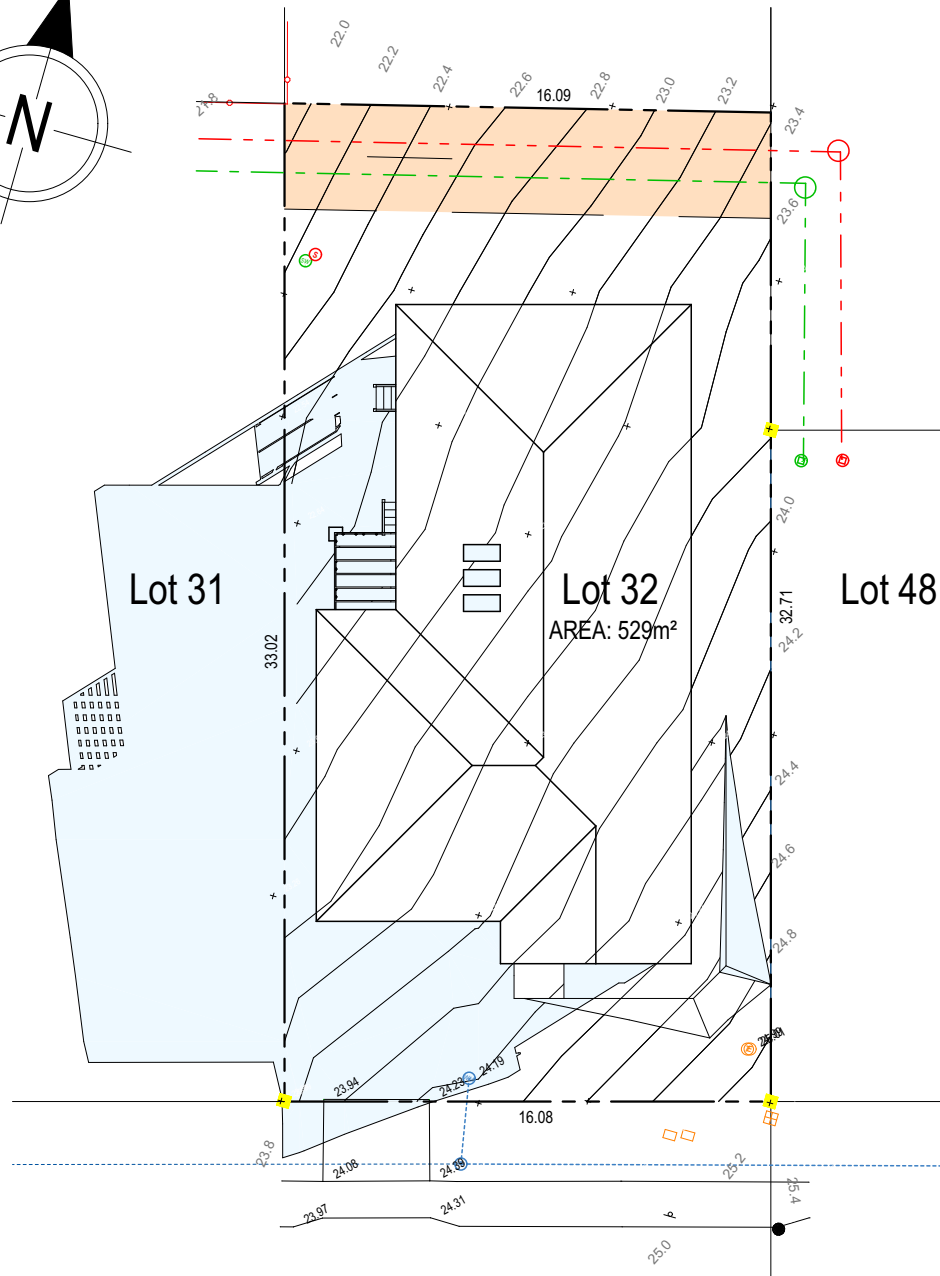
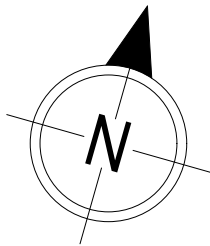
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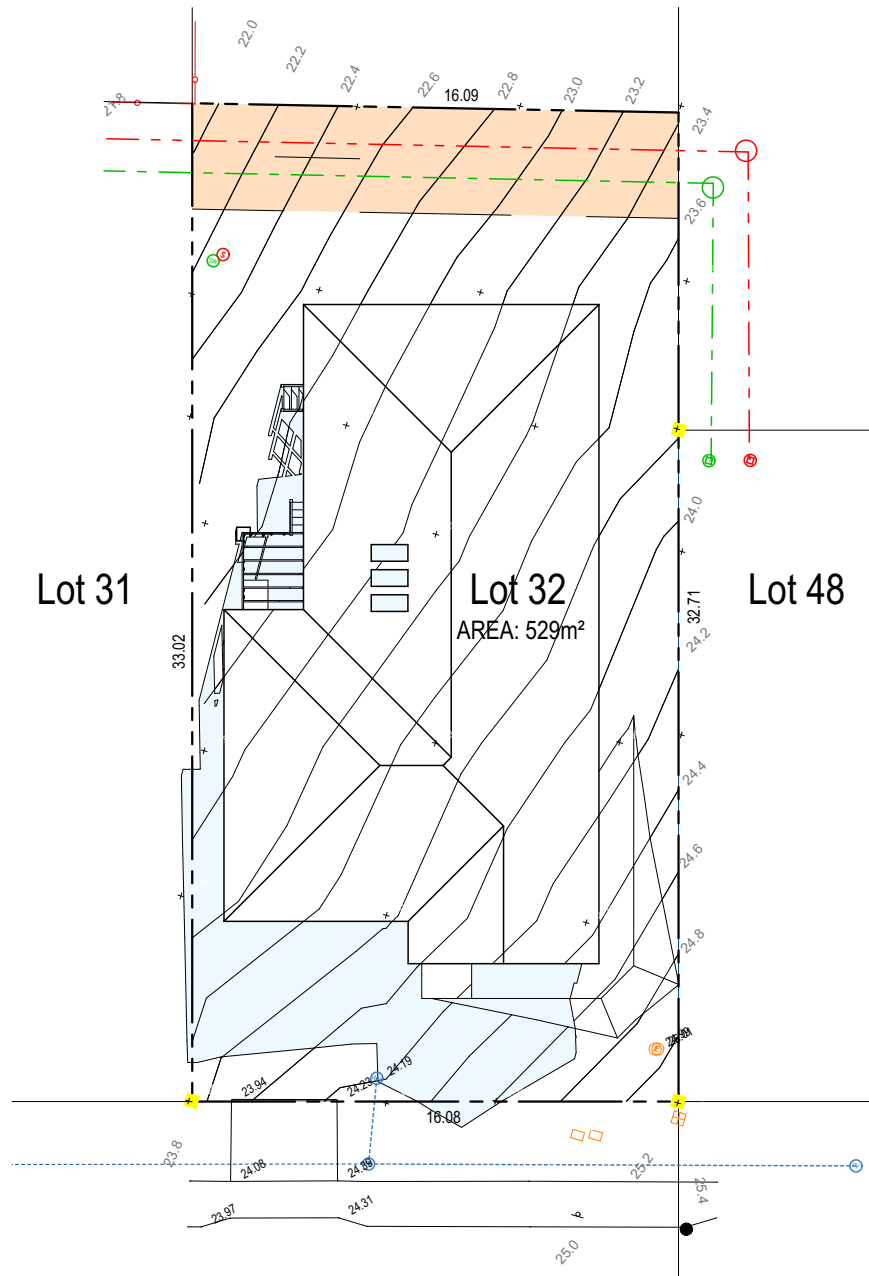
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 NOW by Wilson Homes	SPECIFICATION: NOW BY WILSON HOMES	REVISION		DRAWN		CLIENT:			HOUSE DESIGN:			HOUSE CODE:		DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 714358
	COPYRIGHT: © 2025	1	CONCEPT	CAL	17/05/2025	WILSON HOMES			PEMBROKE 20					
		2	PRELIM PLANS - INITIAL ISSUE	HMI	25/07/2025	ADDRESS:			FACADE DESIGN:			FACADE CODE:		
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		4	PRELIM PLAN - PLANNING RFI (27/10/2025)	HMI	27/10/2025	LOT / SECTION / CT:		COUNCIL:	SHEET TITLE:		SHEET No.:	SCALES:		
						32 / - / 189367		SORELL	LAUNDRY DETAILS		13 / 14	1:50		

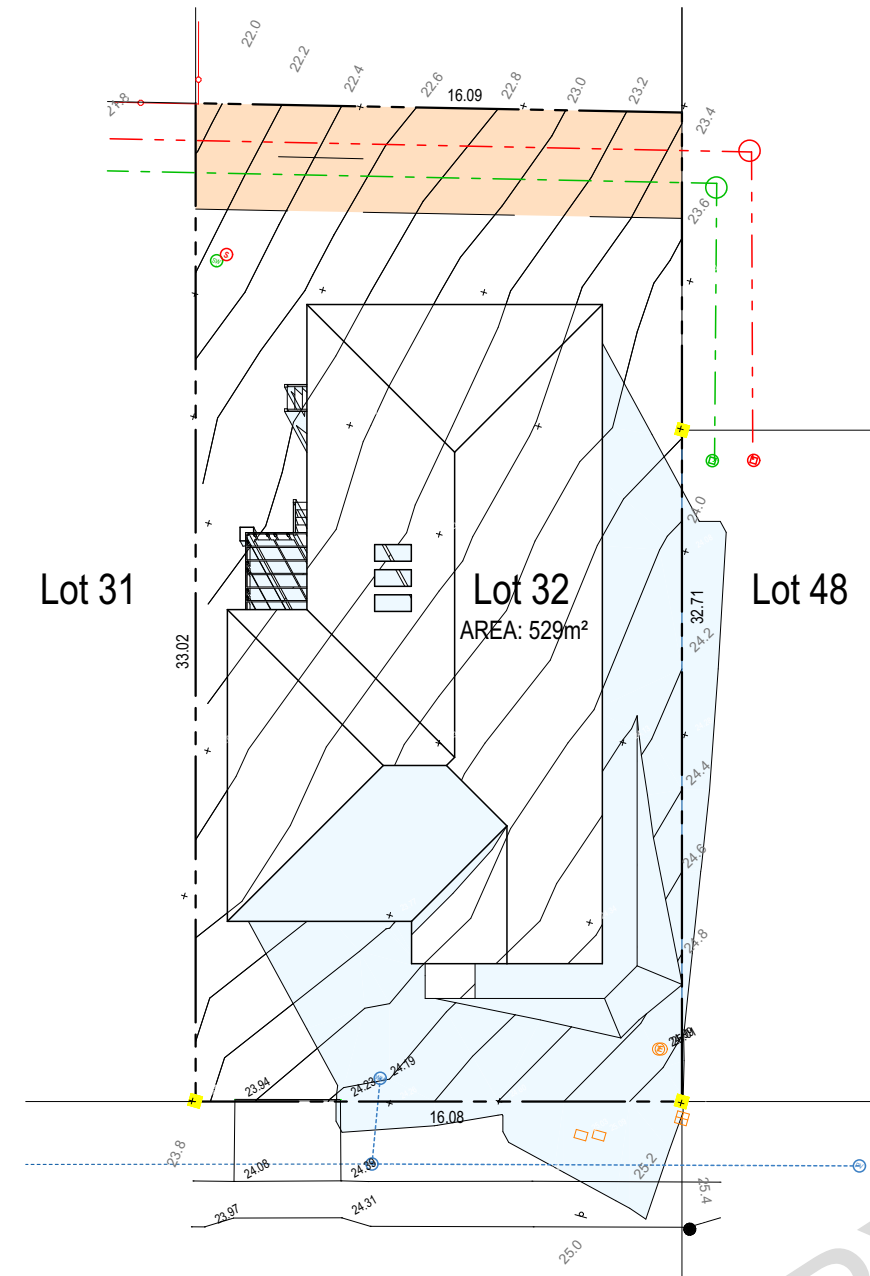
Template Version: 24_1038



JUNE 21 - 0900
SCALE: 1:250



JUNE 21 - 1200
SCALE: 1:250



JUNE 21 - 1500
SCALE: 1:250

**Sorell Council**

Development Application: 5.2025.278.1 -
Response to Request For Information - Lot 32
Oakmont Road, Midway Point P2.pdf
Plans Reference: P2
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(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER	
SIGNATURE: _____	DATE: _____
SIGNATURE: _____	DATE: _____
PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED	

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NOW BY WILSON HOMES	1	CONCEPT		CAL	17/05/2025	WILSON HOMES			PEMBROKE 20					
COPYRIGHT:	2	PRELIM PLANS - INITIAL ISSUE		HMI	25/07/2025	ADDRESS:			FACADE DESIGN:			FACADE CODE:		
© 2025	3	PRELIM PLAN - SHADOW DIAGRAM UPDATE		HMI	27/09/2025	LOT 32 OAKMONT ROAD, MIDWAY POINT TAS 7171			RIVERSIDE					
	4	PRELIM PLAN - PLANNING RFI (27/10/2025)		HMI	27/10/2025	LOT / SECTION / CT:		COUNCIL:		SHEET TITLE:		SHEET No.:	SCALES:	
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