

# NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

**SITE:**

**16 INVERNESS STREET, MIDWAY POINT**

**PROPOSED DEVELOPMENT:**

**DWELLING**

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at [www.sorell.tas.gov.au](http://www.sorell.tas.gov.au) until **Monday 15<sup>th</sup> December 2025**.

Any person may make representation in relation to the proposal by letter or electronic mail ([sorell.council@sorell.tas.gov.au](mailto:sorell.council@sorell.tas.gov.au)) addressed to the General Manager. Representations must be received no later than **Monday 15<sup>th</sup> December 2025**.

**APPLICATION NO: 5.2025-275.1**  
**DATE: 28 NOVEMBER 2025**





**Disclaimer**

Any information extracted from this document (from the face of the document or by scale) should be verified on site. Council takes no responsibility for the accuracy of any information contained or presented in the document. While every care has been taken to ensure the accuracy of this information, Council makes no representations or warranties about the accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and liability.

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**Part B: Please note that Part B of this form is publicly exhibited.**

Full description of Proposal:	Use:
	Development:
	<i>Large or complex proposals should be described in a letter or planning report.</i>
Design and construction cost of proposal: \$ .....	

Is all, or some the work already constructed:	No: <input type="checkbox"/> Yes: <input type="checkbox"/>
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Location of proposed works:	Street address: .....
	Suburb: ..... Postcode: .....
	Certificate of Title(s) Volume: ..... Folio: .....

Current Use of Site	.....
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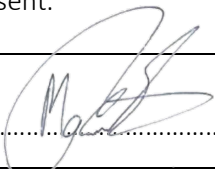
Current Owner/s:	Name(s).....
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Is the Property on the Tasmanian Heritage Register?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Council or Crown land section on page 3</i>
<b>If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form</b> <a href="https://www.sorell.tas.gov.au/services/engineering/">https://www.sorell.tas.gov.au/services/engineering/</a>		



**Sorell Council**

Development Application: 5.2025.275.1 -  
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Declarations and acknowledgements	
<ul style="list-style-type: none"> <li>I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land.</li> <li>I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council's representatives to enter the land at any time during normal business hours.</li> <li>I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies.</li> <li>I/we declare that, in accordance with s52(1) of the <i>Land Use Planning and Approvals Act 1993</i>, that I have notified the owner(s) of the intention to make this application.</li> <li>I/we declare that the information in this application is true and correct.</li> </ul> <p><i>Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council's Privacy Policy available on the Council website.</i></p>	
<ul style="list-style-type: none"> <li>I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.</li> </ul>	
<ul style="list-style-type: none"> <li>Where the General Manager's consent is also required under s.14 of the <i>Urban Drainage Act 2013</i>, by making this application I/we also apply for that consent.</li> </ul>	
<b>Applicant Signature:</b>	Signature:  Date: .....

Crown or General Manager Land Owner Consent	
<p>If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the <i>Land Use Planning and Approvals Act 1993</i>).</p> <p>Please note:</p> <ul style="list-style-type: none"> <li>If General Manager consent is required, please first complete the General Manager consent application form available on our website <a href="http://www.sorell.tas.gov.au">www.sorell.tas.gov.au</a></li> <li>If the application involves Crown land you will also need a letter of consent.</li> <li>Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.</li> </ul>	
<p>I _____ being responsible for the administration of land at _____</p> <p>declare that I have given permission for the making of this application for _____</p>	
<div style="text-align: right;">  <b>Sorell Council</b>                      Development Application: 5.2025.275.1 -                      Development Application - 16 Inverness Street.                      Midway Point - P1.pdf                      Plans Reference: P1                      Date Received: 09/10/2025                 </div>	
<b>Signature of General Manager, Minister or Delegate:</b>	Signature: ..... Date: .....



## SEARCH OF TORRENS TITLE

VOLUME 184962	FOLIO 94
EDITION 2	DATE OF ISSUE 04-Aug-2025

SEARCH DATE : 09-Oct-2025

SEARCH TIME : 09.56 AM

DESCRIPTION OF LAND

Parish of SORELL Land District of PEMBROKE

Lot 94 on Sealed Plan [184962](#)

Derivation : Part of Lot 306, 120 Acres Gtd. to John Lord

Prior CT [184768/1000](#)SCHEDULE 1

[N270898](#) TRANSFER to RODERICK NICHOLAS GLANVILLE and TRACY  
LESLEY GLANVILLE Registered 04-Aug-2025 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP184962](#) EASEMENTS in Schedule of Easements[SP184962](#) COVENANTS in Schedule of Easements[SP184962](#) FENCING COVENANT in Schedule of Easements[SP183934](#), [SP184510](#) & [SP184768](#) COVENANTS in Schedule of  
Easements[SP14888](#), [SP184510](#) & [SP184768](#) FENCING COVENANT in Schedule of  
Easements[SP183934](#) FENCING PROVISION in Schedule of Easements[SP14888](#) COUNCIL NOTIFICATION under Section 468(12) of the  
Local Government Act 1962[M871097](#) FENCING CONDITION in Transfer[E274166](#) INSTRUMENT Creating Restrictive Covenants Registered  
04-Aug-2025 at 12.01 PMUNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

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<b>SCHEDULE OF EASEMENTS</b>	Registered Number
<b>NOTE:</b> THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 184962

PAGE 1 OF 6 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

**Taswater**

Lot 1000 is SUBJECT To a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP 184510) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP 184510)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP 184768) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP 184768)" as shown on the plan ("the Easement Land").

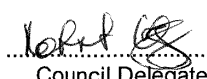
Lots 92, 93, 94 & 95 are SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'C' 3.00 WIDE & DRAINAGE EASEMENT 'C' 3.00 WIDE" as shown on the plan ("the Easement Land").

Lots 88, 90, 91 & 1000 are to be SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'C' 3.50 WIDE (SP184510) & DRAINAGE EASEMENT 'C' 3.50 WIDE (SP184510)" as shown on the plan ("the Easement Land").

Lots 91 & 92 are SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'D' 3.50 WIDE & DRAINAGE EASEMENT 'D' 3.50 WIDE" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'D' 3.50 WIDE (SP184510) & DRAINAGE EASEMENT 'D' 3.50 WIDE (SP184510)" as shown on the plan ("the Easement Land").

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: JAC ESTATES PTY LTD	PLAN SEALED BY: SORELL COUNCIL
FOLIO REF: 184768/1000	DATE: 11.5.23
SOLICITOR & REFERENCE: Butler McIntyre & Butler (JS:230693)	SA 2020/00006 - 1 REF NO. 
<b>NOTE:</b> The Council Delegate must sign the Certificate for the purposes of identification.	

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SUBDIVIDER: JAC ESTATES PTY LTD FOLIO REFERENCE: 184768/1000	

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'E' VARIABLE WIDTH & DRAINAGE EASEMENT 'E' VARIABLE WIDTH" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'E' 3.50 WIDE (SP184510) & DRAINAGE EASEMENT 'E' 3.50 WIDE (SP184510)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'J' VARIABLE WIDTH (SP184510) & DRAINAGE EASEMENT 'J' VARIABLE WIDTH (SP184510)" as shown on the plan ("the Easement Land").

#### Drainage

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP184510) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP184510)" as shown on the plan.

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP184768) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP184768)" as shown on the plan.



Lots 92, 93, 94 & 95 are SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'C' 3.00 WIDE DRAINAGE EASEMENT 'C' 3.00 WIDE" as shown on the plan.

Lots 88, 90, 91 & 1000 are SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'C' 3.50 WIDE (SP184510) & DRAINAGE EASEMENT 'C' 3.50 WIDE (SP184510)" as shown on the plan.

Lots 91 & 92 are SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'D' 3.50 WIDE & DRAINAGE EASEMENT 'D' 3.50 WIDE" as shown on the plan.

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'D' 3.50 WIDE (SP184510) & DRAINAGE EASEMENT 'D' 3.50 WIDE (SP184510)" as shown on the plan.

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'E' Variable Width & DRAINAGE EASEMENT 'E' Variable Width" as shown on the plan.

Director  Director 



**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b>  PAGE 3 OF 6 PAGES	Registered Number  <b>SP 184962</b>
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Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'E' 3.50 WIDE (SP184510) & DRAINAGE EASEMENT 'E' 3.50 WIDE (SP184510)" as shown on the plan.

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'J' VARIABLE WIDTH (SP184510) & DRAINAGE EASEMENT 'J' VARIABLE WIDTH (SP184510)" as shown on the plan.

### Pipeline

Lot 1000 is SUBJECT TO an easement in favour of Metropolitan Water Board over the area marked "PIPELINE EASEMENT 10.06M (563/6D)" shown on the plan and fully set forth in sealed plan 14888.

Lot 1000 is SUBJECT TO an easement for pipeline rights in favour of Sorell Council over the area marked "PIPELINE EASEMENT 10.06M (563/6D)" shown on the plan and fully set forth in transfer B912948.

### Embankment

Lot 1000 is SUBJECT TO an Embankment Easement in gross in favour of the Sorell Council over the land marked "EMBANKMENT EASEMENT "B" VARIABLE WIDTH" as shown on the plan.

### Rights of Way

Lot 91 is to be SUBJECT TO a Right of Carriageway over the land marked "RIGHT OF WAY "A" (PRIVATE) 3.60 WIDE" appurtenant to Lots 90, 92 & 93 on the plan.

Lot 92 is to be SUBJECT TO a Right of Carriageway over the land marked "RIGHT OF WAY "B" (PRIVATE) 3.60 WIDE" appurtenant to Lots 90, 91 & 93 on the plan.

Lots 90, 92 & 93 are TOGETHER WITH a Right of Carriageway over the land marked "RIGHT OF WAY "A"(PRIVATE) 3.60 WIDE" over Lot 91 on the plan.

Lots 90, 91 & 93 are TOGETHER WITH a Right of Carriageway over the land marked "RIGHT OF WAY "B" (PRIVATE) 3.60 WIDE" over Lot 92 on the plan.

### COVENANTS

The owners of Lot 1000 on the Plan covenants in gross with the Sorell Council to the intent that the burden of this covenant may run with and bind the covenantors' lot and every part thereof and that the benefit thereof shall be in favour of the said Sorell Council to observe the following stipulation:-

1. Not to construct, or allow to be constructed, any habitable room of a dwelling within the area marked A.C.E.D. on the Plan.

Director 

Director... 

 <b>Sorell Council</b> Development Application: 5.2025.275.1 - Development Application - 16 Invernss Street. Midway Point - P1.pdf Plans Reference: P1 Date Received: 09/10/2025
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The owners of lots 88, 90 – 95(inclusive), 98 & 101 on the Plan covenants in gross with the Sorell Council to the intent that the burden of these covenants may run with and bind the covenantor's lot and each and every part of it and that the benefit of these covenants shall be annexed to and devolve with Sorell Council to observe the following stipulation:

- not to construct on a lot a dwelling without :
- i) A minimum 5,000 litre rain water tank fitted to collect all roof runoff; and
- ii) Such tank shall be installed with minimum retention storage of 2000 litres and be plumbed into toilets so that re-use occurs, with top up from the reticulated water supply.

The owners of lots 91, 92 & 1000 on the Plan covenant in gross with the Sorell Council to the intent that the burden of these covenants may run with and bind the covenantor's lot and each and every part of it and that the benefit of these covenants shall be annexed to and devolve with Sorell Council to observe the following stipulation :

- not to allow vehicular access to Penna Road.

## FENCING PROVISION COVENANT

In respect to the lots on the plan, the owners of each lot on the plan covenants the vendor (JAC ESTATES PTY LTD) that the vendor shall not be required to fence.

## Definitions;

"Pipeline and Services Easement" means-

**FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY** for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
  - (a) without doing unnecessary damage to the Easement Land; and
  - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

Director *Sean Carter*

Director *Rob Kerr*

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**SECONDLY**, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

**"Infrastructure"** means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

**"Right of Drainage"** means a right of drainage as defined within Schedule 8 of the Conveyancing and Law of Property Act 1884 (Tas).

**"Right of Carriageway"** means a right of carriage way as defined within Schedule 8 of the Conveyancing and Law of Property Act 1884 (Tas).

**"Embankment Easement"** means all the full and free right and liberty for the Sorell Council and its successors and its and their servants, agents and contractors ("the Council") at all times hereafter:-

- (a) to have the stability and support of the area shown on the Plan as road being lot 1001 on SP 184510 ("Road") upheld and maintained by the Embankment Easement.
- (b) to enter into and upon the servient land with or without all necessary plant, machinery and equipment and the means of transporting the same and if necessary to cross the remainder of the said land in consultation with the registered proprietors for the purpose of examining, maintaining, repairing or modifying the land area marked "Embankment Easement" without doing unnecessary damage to the said servient land and making good all damage occasioned by such make good.
- (c) Nothing within this definition shall prevent the registered proprietors for themselves and their successors in title from using the servient land provided that such use does not derogate from this grant or, in the opinion of the Council, compromise support provided to the Road.

Director: 

Director: 




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**EXECUTED** by **JAC ESTATES PTY LTD (ACN 638 495 182)** pursuant to section 127(1) of the Corporations Act 2001 (Cth) by:

  
Director Signature

  
Director/ ~~Secretary~~ Signature

**DEAN MURRAY COCKER**  
Director Full Name (print)

**PETER KUTZ**  
Director/ ~~Secretary~~ Full Name

**Sorell Council**

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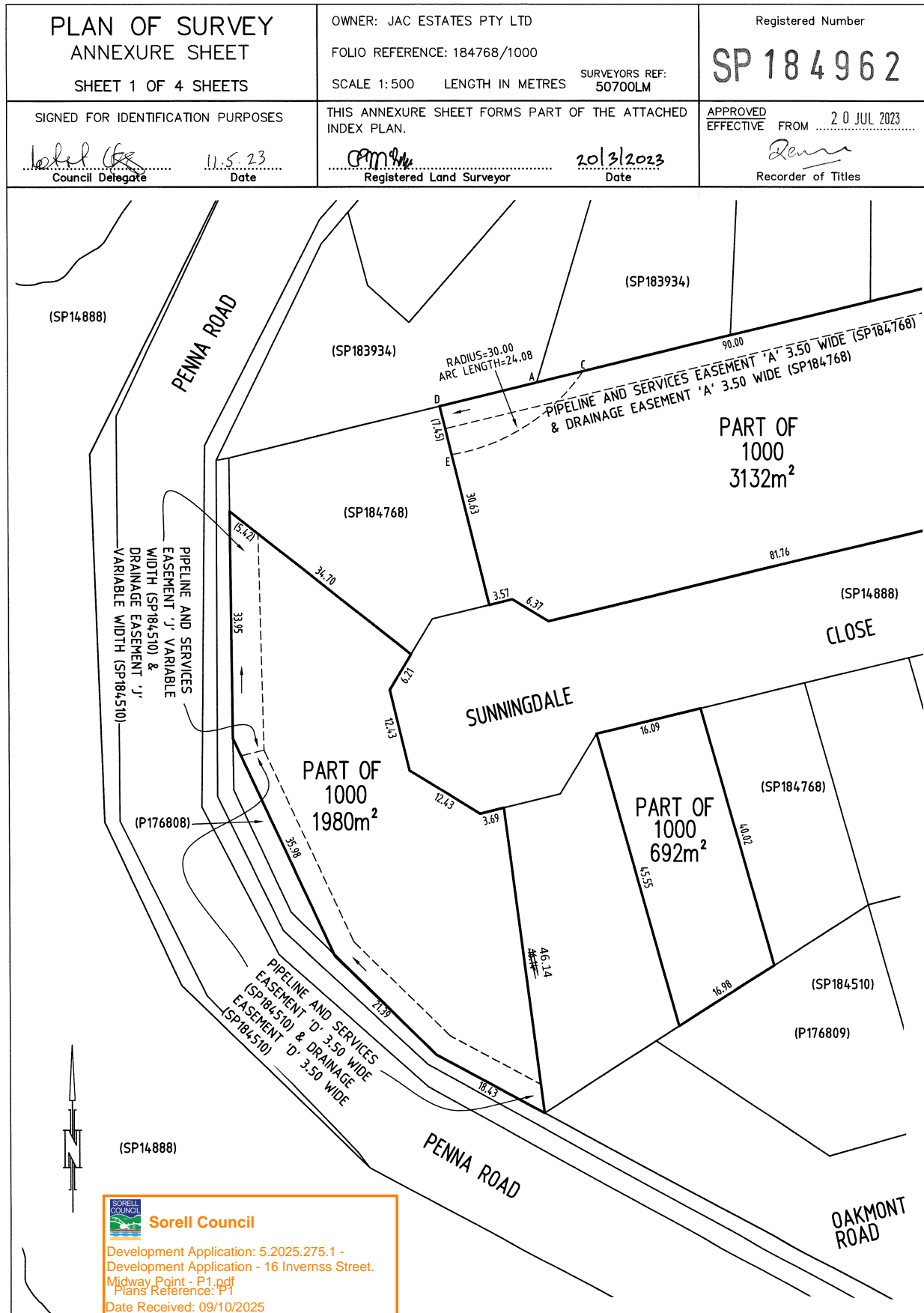
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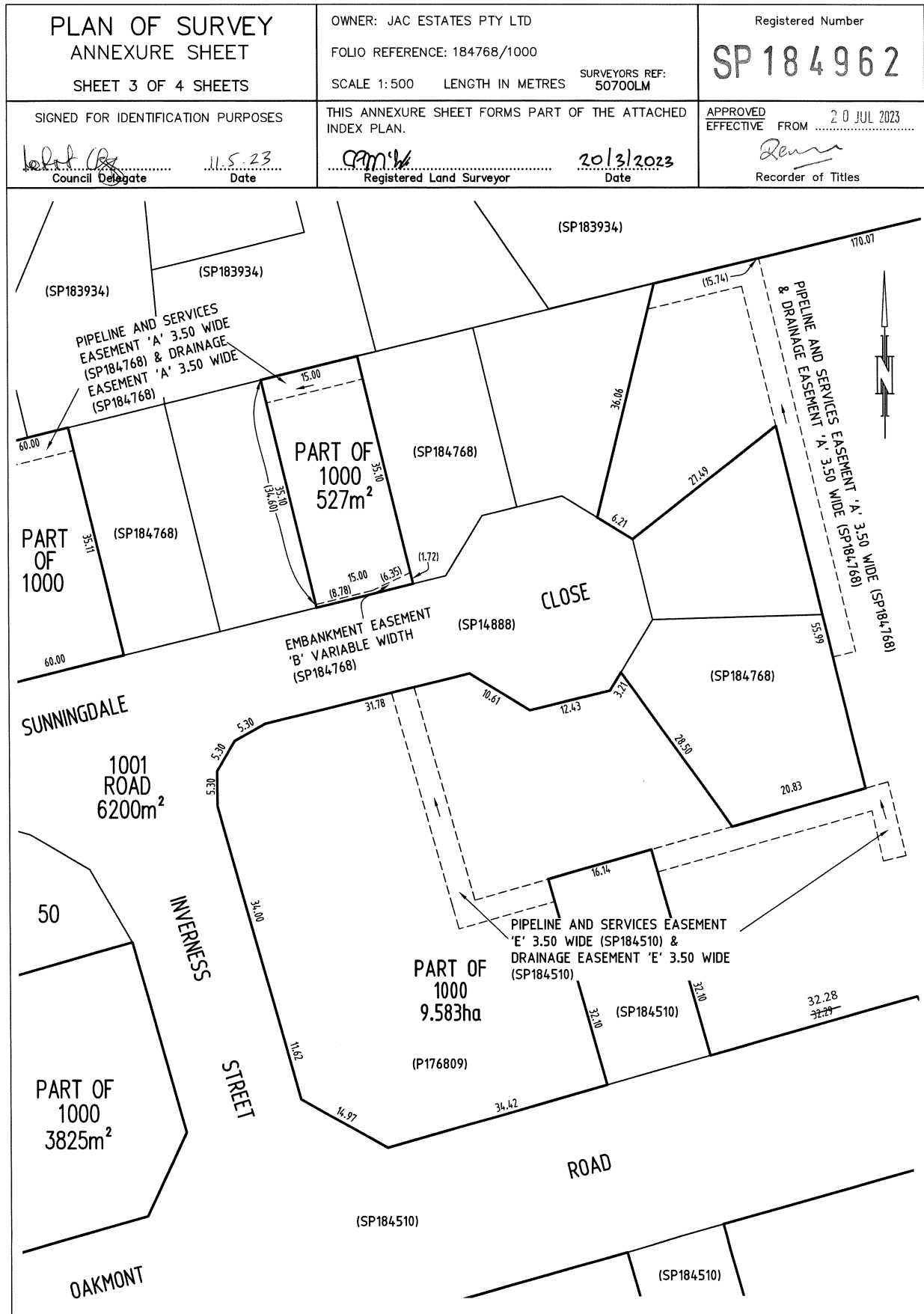
<p><b>PLAN OF SURVEY ANNEXURE SHEET</b></p> <p>SHEET 2 OF 4 SHEETS</p>	<p>OWNER: JAC ESTATES PTY LTD</p> <p>FOLIO REFERENCE: 184768/1000</p> <p>SCALE 1:500    LENGTH IN METRES    SURVEYORS REF: 50700LM</p>	<p>Registered Number</p> <p><b>SP 184962</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p> 11.5.23 Council Delegate                      Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p> 20/3/2023 Registered Land Surveyor                      Date</p>	<p>APPROVED EFFECTIVE FROM 20 JUL 2023</p> <p> Recorder of Titles</p>


 **Sorell Council**

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# ***DISPERSIVE SOIL ASSESSMENT***

***16 Inverness Street***

***Midway Point***

***July 2025***



GEO-ENVIRONMENTAL  
SOLUTIONS



**Sorell Council**

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Midway Point - P1.pdf  
Plans Reference: P1

Date Received: 09/10/2025

Disclaimer: The author does not warrant the information contained in this document is free from errors or omissions. The author shall not in any way be liable for any loss, damage or injury suffered by the User consequent upon, or incidental to, the existence of errors in the information.

## **Investigation Details**

<b>Client:</b>	JOSCON Tasmania Pty Ltd
<b>Site Address:</b>	16 Inverness Street, Midway Point
<b>Date of Inspection:</b>	21/07/2025
<b>Proposed Works:</b>	New house
<b>Investigation Method:</b>	Geoprobe 540UD - Direct Push
<b>Inspected by:</b>	C. Cooper

## **Site Details**

<b>Certificate of Title (CT):</b>	184962/94
<b>Title Area:</b>	Approx. 528.3 m <sup>2</sup>
<b>Applicable Planning Overlays:</b>	Bushfire-prone areas, Priority Vegetation , Airport obstacle limitation area, Waterway and Coastal Protection Areas
<b>Slope &amp; Aspect:</b>	10° W facing slope
<b>Vegetation:</b>	Grass & Weeds

## **Background Information**

<b>Geology Map:</b>	MRT
<b>Geological Unit:</b>	Triassic Sandstone
<b>Climate:</b>	Annual rainfall 400mm
<b>Water Connection:</b>	Mains
<b>Sewer Connection:</b>	Serviced-Mains
<b>Testing and Classification:</b>	AS2870:2011, AS1726:2017 & AS4055:2021

## Investigation

A number of bore holes were completed to identify the distribution and variation of the soil materials at the site, bore hole locations are indicated on the site plan. See soil profile conditions presented below. Tests were conducted across the site to obtain bearing capacities of the material at the time of this investigation.

### ***Soil Profile Summary***

BH 1 Depth (m)	BH 2 Depth (m)	USCS	Description
0.00-0.40	0.00-0.50	SM	<b>Silty SAND:</b> grey, slightly moist, medium dense
0.40-1.30	0.50-1.20	CI	<b>Sandy CLAY:</b> medium plasticity, brown, slightly moist, stiff,
1.30-2.00	1.20	GC	<b>Clayey GRAVEL:</b> yellow, grey, slightly moist dense, refusal on sandstone

## Site Notes

The soil on site has formed from Triassic sandstone. The subsoil was tested for dispersion using the Emerson Test and was found to be slightly dispersive Class 2(2) -obvious milkiness, <50% of the aggregate affected.

## Dispersive Soil Assessment

The dispersive soil assessment of the property considers the proposed construction area.

### Potential for dispersive soils

The site has been identified as an area subject to a tunnel erosion hazard according to 'Dispersive Soils and Their Management: Technical Reference Manual'. This is due to the soils present on site that developed from Triassic Sandstone that contain considerable fine sand/silt content and medium plastic clays. Triassic Sandstone in the local area is known to produce soils with an excess of sodium on the soil exchange complex, which can cause soil dispersion. Under some circumstances the presence of dispersive soils can also lead to significant erosion, and in particular tunnel erosion. Based upon field survey of the property, no visible tunnel or gully erosion was identified. However, a soil sampling program was undertaken to identify the presence of dispersive soils in the proposed development areas.

### Soil sampling and testing

Samples were taken at the site for assessment of dispersion. An Emerson (1968) Dispersion test was conducted to determine if these samples were dispersive.

The soil samples taken from site were found to be Slightly dispersive Class 2(2) -obvious milkiness, <50% of the aggregate affected.



## **Management Recommendations**

A number of site and soil management measures are recommended for development on the site.

The proposed site cut/fill and driveway areas must be managed by:

- Applying a geo-fabric, jute mesh or similar material to the exposed batters of any cutting on site and revegetating the slope
- Applying a surface layer of at least 50mm of suitable crushed rock/gravel to the driveway surface (and any proposed house pad), with adequate compaction to ensure a relatively impervious surface to maintain site surface stability
- Vegetation on any fill batters must be established and maintained, if any bare area of soil on the batter develops then it must be top-dressed with suitable topsoil and additional vegetation planted

The risk of erosion and tunnel erosion associated with construction must be minimized by:

- Any new water, power, or other service trenches within the property must ensure recommendations for dispersive soils are followed:
  - o Where possible trenches to be placed shallow in topsoil and mounded over to achieve the required cover depth
  - o If buried the trench must be backfilled in layers of no more than 200mm with clay with 5% by weight gypsum added (the clay must be sufficiently moist to allow good compaction).
  - o The trench must be finished with at least 150mm depth of non-dispersive suitable topsoil and finished to a level at least 75mm above natural ground to allow for possible settlement
- Vegetation cover must be maintained wherever possible on the property
- Foundations may be placed into the natural soil; however, care must be taken to ensure all exposed soil in the foundation area is compacted and 1Kg/m<sup>2</sup> of gypsum is applied. Excavated fill from the construction area is not recommended for reuse on site in landscaping unless it is appropriately treated with gypsum, compacted, and capped with topsoil with natural soil and gypsum
- All stormwater runoff from the dwelling to be directed to mains connection (all the drains are to be adequately treated with gypsum)
- Drainage of any site cut must not employ conventional rock drain construction; it must adhere to recommendations for dispersive soils (unless founded entirely in rock)
- All excavation works on site should be monitored for signs of soil dispersion and remedial action taken as required – any excavated fill from the construction area is not recommended for reuse on site in landscaping unless it is appropriately treated with gypsum, compacted, and capped with topsoil

There is a low to moderate risk associated with dispersive soil and potential erosion on the site provided the recommendations in this report are adhered to. Efforts should be made to cover all exposed soils on cut/fill batters with topsoil and seeded with well suited pasture species to avoid rainwater, runoff, surface water flows from intercepting exposed subsoils.

A number of site management recommendations have been made in this report and further information can also be found in the publication "Dispersive soils and their management – Technical manual" (DPIWE Tas 2009)

It is recommended that during construction that GES be notified of any variation to the soil conditions as outlined in this report.

A handwritten signature in blue ink, appearing to read 'J. Cumming', with a horizontal line drawn through the middle of the signature.

Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD  
Environmental and Engineering Soil Scientist

**Appendix 1– Soil test results**

# Laboratory Test Results

**Sample Submitted By:** C Cooper

**Date Submitted:** 22/07/2025

**Sample Identification:** 2 samples – 16 Inverness Street, Midway Point

**Soil to be tested:** Emerson soil dispersion test

**Result:**

Sample	Texture	Emerson class	Description
Sample 1	clay	Class 2 (2)	Some dispersion <50% affected
Sample 2	clay	Class 2 (2)	Some dispersion <50% affected

Notes: Some dispersion with obvious milkiness affecting <50% of the aggregate.

**Sample Tested by:** C Cooper  
23/07/2025



## **Disclaimer**

This Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the Client. To the best of GES's knowledge, the information presented herein represents the client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that discussed in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organizations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

The scope of this study does not allow for the review of every possible geotechnical parameter or the soil conditions over the whole area of the site. Soil and rock samples collected from the investigation area are assumed to be representative of the areas from where they were collected and not indicative of the entire site. The conclusions discussed within this report are based on observations and/or testing at these investigation points.

This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required.

No responsibility is accepted for the use of any part of this report in any other context or for any other purpose by a third party.



AP2025-2493 - PROPOSED GLANVILLE RESIDENCE  
16 Inverness Street,  
MIDWAY POINT

SHEET		DRAWING TITLE
01	C	SITE PLAN
01a	C	DRAINAGE PLAN
02	C	GROUND FLOOR PLAN
02a	C	LOWER GROUND FLOOR PLAN
03	C	ELEVATIONS SHEET 1
03a	C	ELEVATIONS SHEET 2
03b	C	PERSPECTIVE VIEWS



Sorell Council

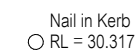
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C	Increase sub floor storage, increase Garage front wall to 270mm, update feature wall to match, move house to maintain setback requirements. Update all relevant plans	3 Oct. 2025	ST	CK	01 - 03b, Elec, Roof	<div>Notes</div> <ul style="list-style-type: none"><li>• Builder to verify all dimensions and levels on site prior to commencement of work</li><li>• All work to be carried out in accordance with the current National Construction Code.</li><li>• All materials to be installed according to manufacturers specifications.</li><li>• Do not scale from these drawings.</li><li>• No changes permitted without consultation with designer.</li></ul>	Designer:	Client / Project info	<div>Soil Classification: M</div> <div>Title Reference: CT184962/94</div> <div>Floor Areas: Refer to plans</div> <div>Porch / Deck Areas: 23.12m²</div> <div>Wind Speed: N3</div> <div>Climate Zone: 7</div> <div>Alpine Zone: N/A</div> <div>Corrosion Environment: MEDIUM</div> <div>Certified BAL: LOW</div> <div>Designed BAL: LOW</div> <div>(Refer to Standard Notes for Explanation)</div>	COVER SHEET	
B	Concrete storage area to subfloor (lower ground floor). Window to storage area. 920 wide door to subfloor. Remove door to ensuite shower. 06-20 window above bed in Master.	15 Sep. 2025	SW	CK	01 - 03b		ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED GLANVILLE RESIDENCE  16 Inverness Street, MIDWAY POINT			AP2025-2493
A	New Layout & Facade: Bed 2 pushed over to allow for new l'dry/garage layout. Master suite and kitchen + dining shifted down to allow for new facade design. Window changes. Amended Bath & Ensuite layouts.	04 Sep. 2025	SW	CK	01 - 03b, Elec, Roof		Date14 August 2025	Sheet			
	DA PLAN SET	14 Aug. 2025	SW	RJ	01 - 03						
No.	Amendment	Date	Drawn	Checked	Sheet						

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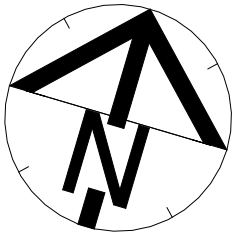
INVERNESS STREET



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B	15 Sep. 2025	SW
A	04 Sep. 2025	SW
No.	Date	Int.

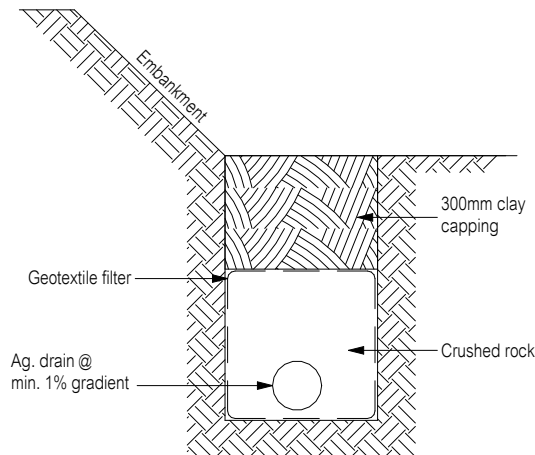
<p>Amendment changes as per cover sheet</p>	<p>Notes</p> <ul style="list-style-type: none"> <li>• Builder to verify all dimensions and levels on site prior to commencement of work</li> <li>• All work to be carried out in accordance with the current National Construction Code.</li> <li>• All materials to be installed according to manufacturers specifications.</li> <li>• Do not scale from these drawings.</li> <li>• No changes permitted without consultation with designer.</li> </ul>	<p>Designer:</p> <p>ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au</p>	<p>Client / Project info</p> <p>PROPOSED GLANVILLE RESIDENCE</p> <p>16 Inverness Street, MIDWAY POINT</p>		<p>SITE PLAN</p>	
					<p>Drawn</p> <p>SW</p>	<p>AP2025-2493</p>
					<p>Date</p> <p>07 August 2025</p>	<p>Sheet</p>
					<p>Scale</p> <p>1 : 200</p>	<p>01/03</p>



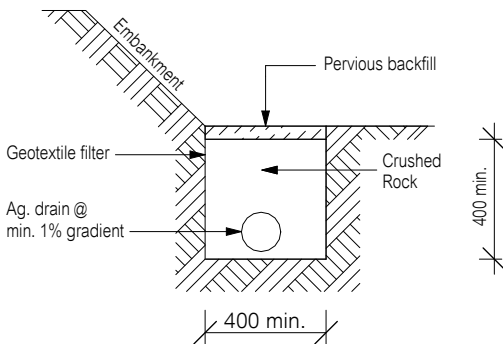


Where ag drain is < 1.5m from footing, the following engineering principles are required:

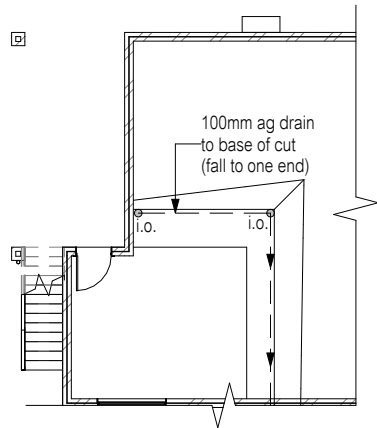
1. Ag drain to be capped with 300mm of clay to prevent ingress of surface run-off unless it is under a paving slab etc (ag drains are designed for removal of ground water, surface water should be dealt with separately).
2. Ag drain to have a minimum 1% fall to a grated pit which drains to the stormwater system.
3. Install a geotextile filter sock to the slotted drain, and enclose the whole drain in geofabric (to the underside of clay capping).
4. Provide additional grated pits / or inspection openings along the length of the ag drain and at the high point to make the effect of a blockage visible and enable a blockage to be cleared.



TYPICAL AG. DRAIN DETAIL  
(<1800 FROM HOUSE)  
Not to scale

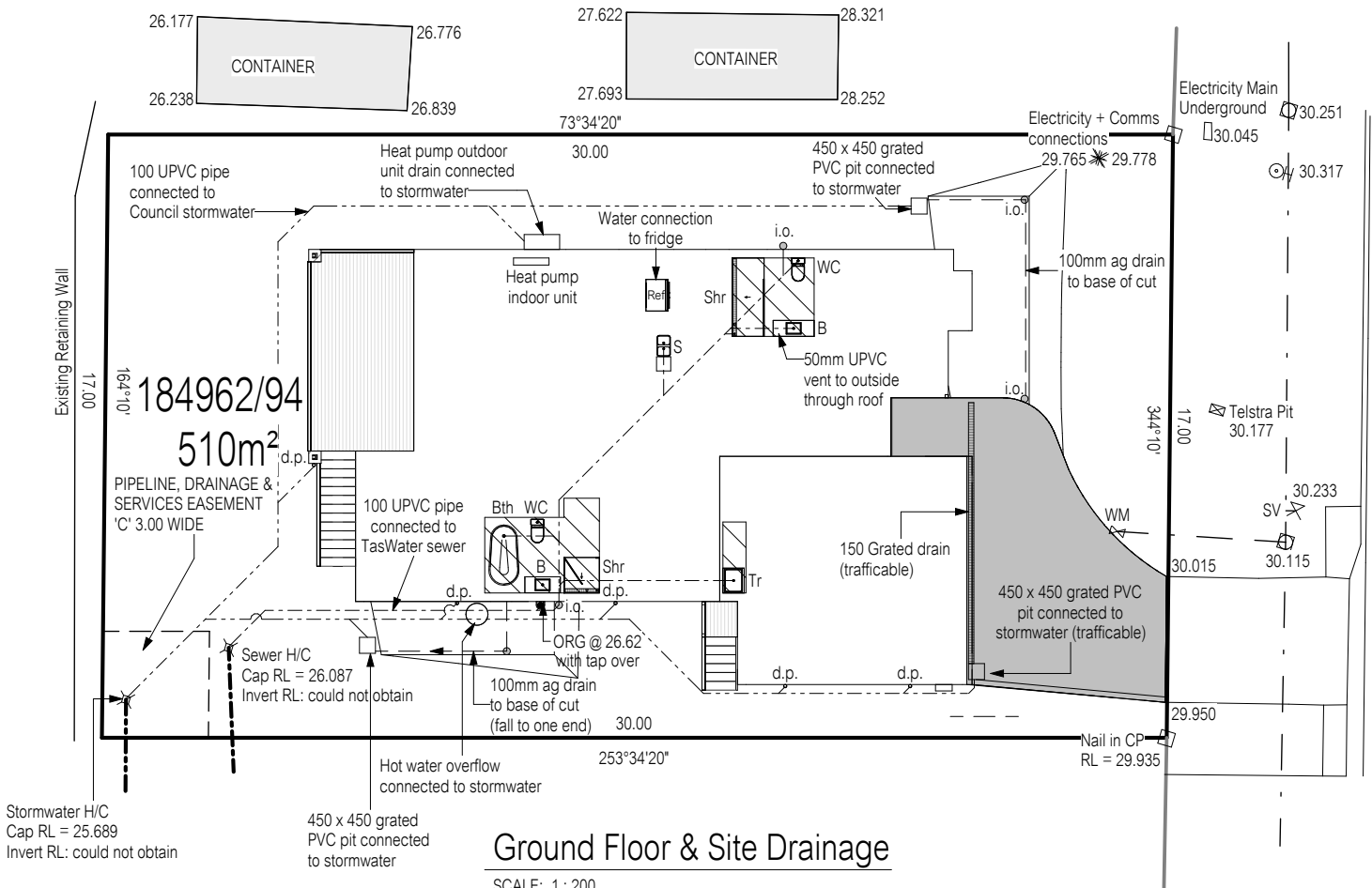


TYPICAL AG. DRAIN DETAIL  
(≥1800 FROM HOUSE)  
Not to scale



Lower Ground Floor Drainage

SCALE: 1 : 200



Ground Floor & Site Drainage

SCALE: 1 : 200

DRAINAGE LEGEND		
Abbreviation	Fixture	Min. Outlet Size
B	Basin	400
Bth	Bath	400 (incl. trap)
Shr	Shower	400 (Note 3)
S	Sink	500
Tr	Trough	400
WC	Water Closet Pan	1000
d.p.	Downpipe	900
ORG	Overflow Relief Gully	1000
FWG	Floor Waste Gully	650 (Note 2)
----- Sewer Line (1000 UPVC) (unless noted otherwise)		
----- Stormwater Line (1000 UPVC) (unless noted otherwise)		
----- Stormwater Line (1500 UPVC) (unless noted otherwise)		
NOTES:		
1. Flexible connections are to be installed on any pipes emerging from beneath the building in accordance with AS2870 & AS/NZS3500.2:2021.		
2. Untrapped Bath tub pipe to connect to FWG if trap not accessible from below or access panel.		
3. 500 required for multiple shower heads.		
4. Showers to comply with N.C.C. 10.2.14.		
5. Falls to floor waste to be minimum 1:80 & maximum 1:50		



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Refer to Roof Plan for  
downpipe calculations

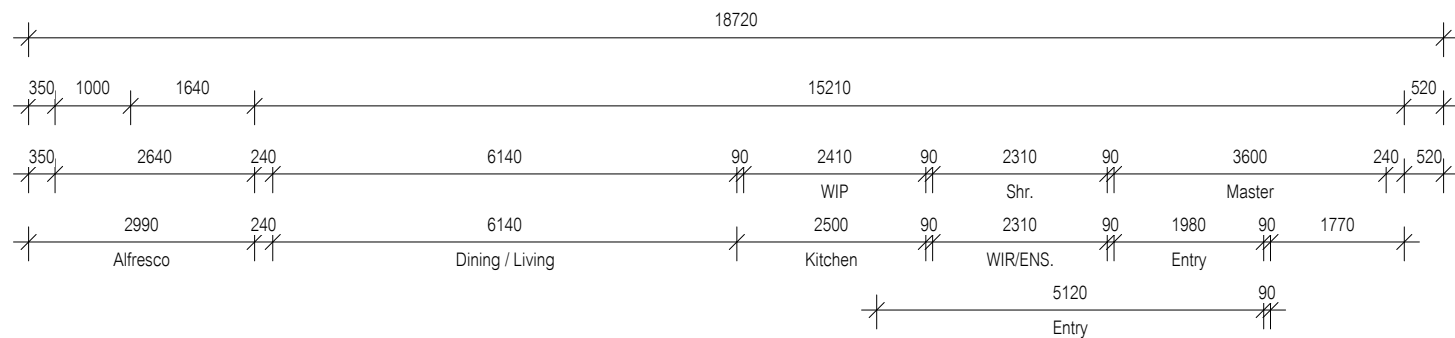
All works are to in accordance with the Water Supply Code of Australia WSA 03-2011-3.1 Version 3.1 MRWA Edition V2.0 and Sewerage Code of Australia Melbourne Retail Water Agencies Code WSA 02-2014-3.1 MRWA Version 2.0 and TasWater's supplements to these codes.

ROOF DRAINAGE NOTE:  
Min. medium rectangular gutter & min. 900 downpipe specified as per N.C.C. part 7.4. These sizes and downpipe quantities are based on a max. roof catchment area of 70m²

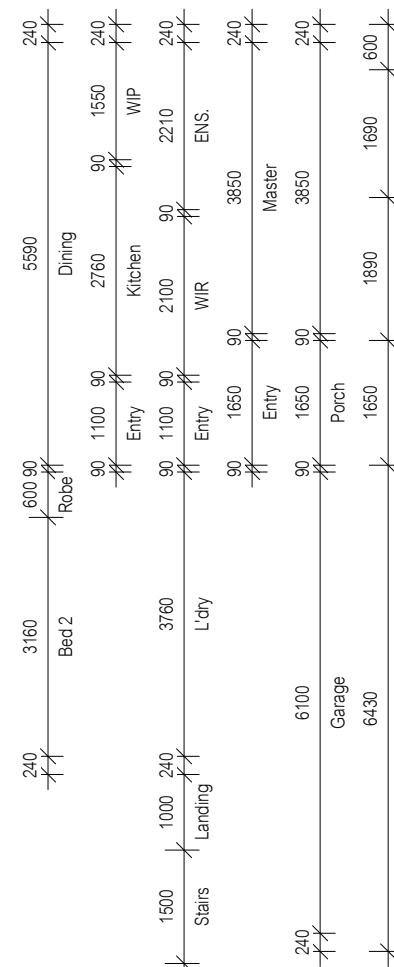
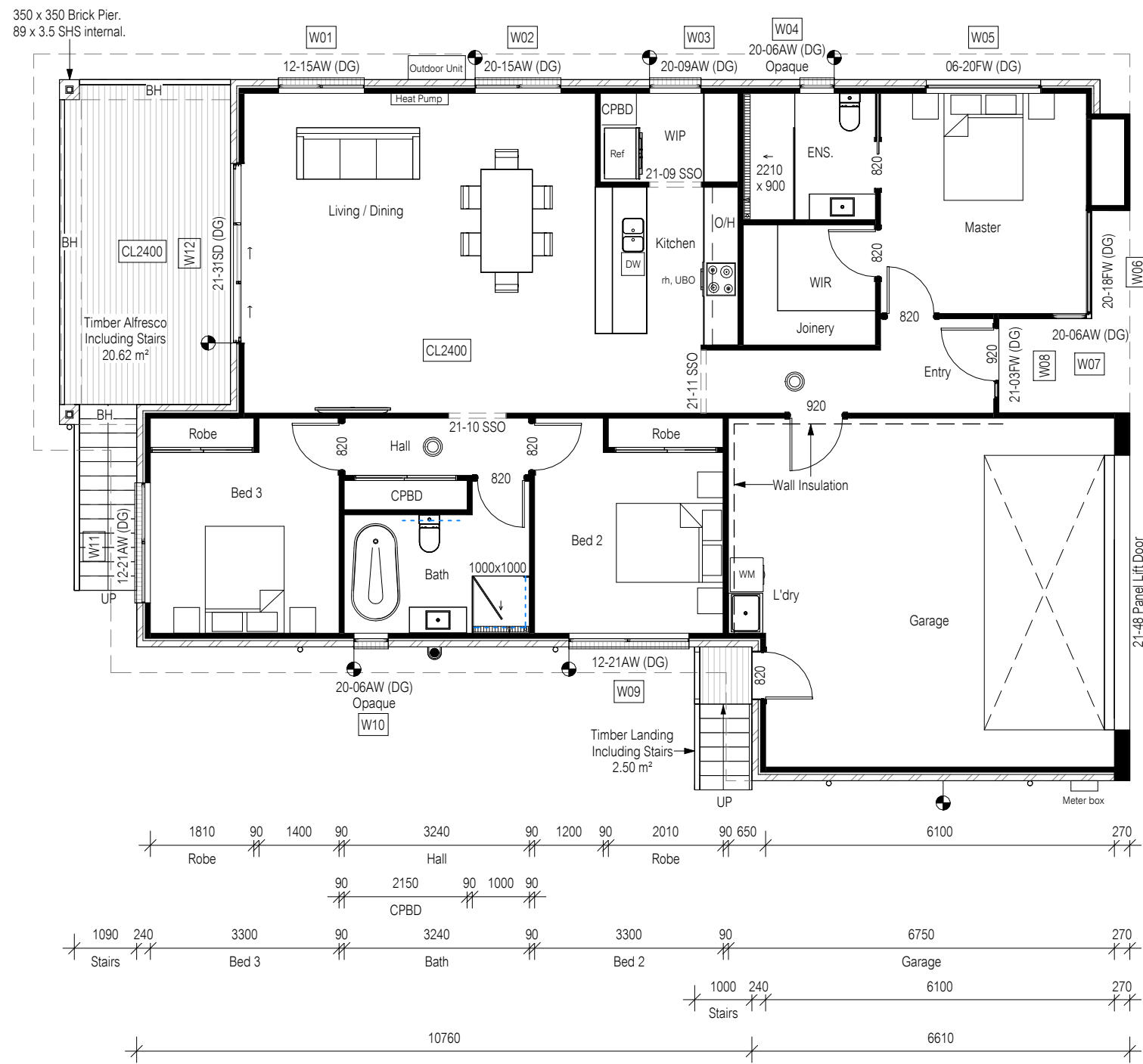


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B	15 Sep. 2025	SW
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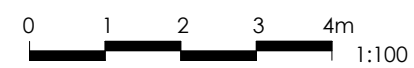
Soil classification: M Refer to Soil Report for nominated founding depth and description of founding material. All Materials and construction to comply with AS/NZ3500 Part 2 & Part 3 Amendment changes as per cover sheet			Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.		Designer: ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	Client / Project info PROPOSED GLANVILLE RESIDENCE 16 Inverness Street, MIDWAY POINT		DRAINAGE PLAN	
								Drawn SW AP2025-2493	Sheet 01a/03
								Date 14 August 2025	
								Scale 1:200	



Architectural floor plan of the first floor of a house. The plan shows a rectangular layout with various rooms and dimensions. The overall dimensions are 5680 units wide by 4240 units deep. Rooms include a Living area (5590 units wide), a Dining area (5330 units wide), a Kitchen (5680 units wide), a Stairs (3250 units wide), a Hall 2 (1000 units wide), a Bath (2670 units wide), and a Bed 3 (3760 units wide). There are also several smaller rooms and alcoves, such as a Robe (600 units wide) and a Bed 3 (3160 units wide). The plan is drawn with black lines on a white background, with dimensions labeled in millimeters.



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- Articulation joints
- Smoke Alarm (interconnected where more than 1)

All window sizes to be checked and/or confirmed on site prior to ordering glazing units

- Notes
- Builder to verify all dimensions and levels on site prior to commencement of work
- All work to be carried out in accordance with the current National Construction Code.
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Designer:

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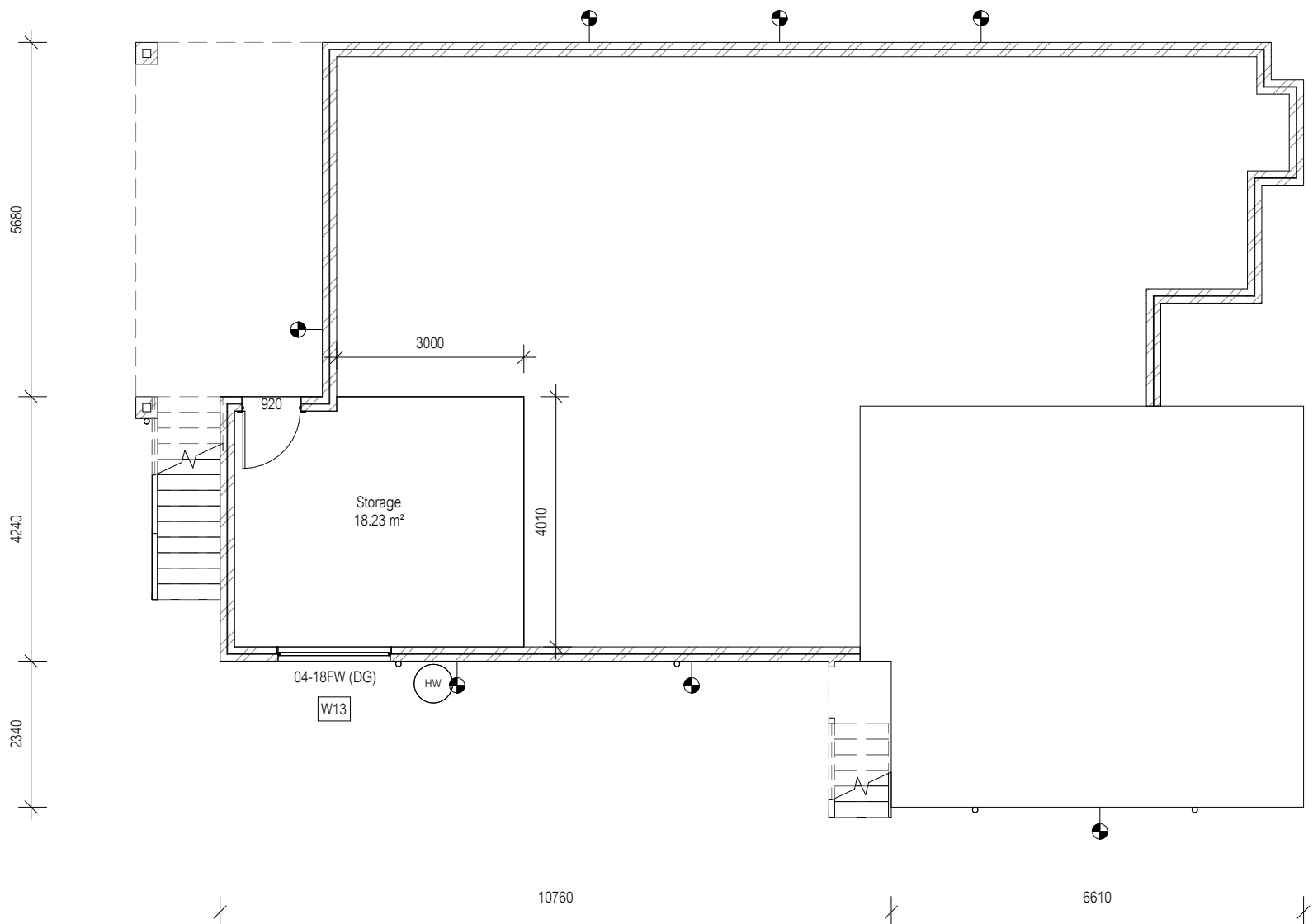
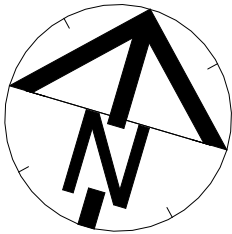
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PROPOSED GLANVILLE RESIDENCE

16 Inverness Street,  
MIDWAY POINT

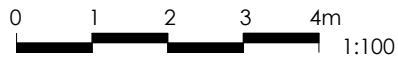


GROUND FLOOR PLAN	
Drawn	SW
Date	14 August 2025
Scale	1 : 100
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Floor Area = 15.39m<sup>2</sup>



Articulation joints



Smoke Alarm (interconnected where more than 1)

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Notes

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PROPOSED GLANVILLE RESIDENCE  
16 Inverness Street,  
MIDWAY POINT



**JOSCON**  
TASMANIA

LOWER GROUND FLOOR PLAN

Drawn

SW

AP2025-2493

Date

15 September 2025

Sheet

Scale

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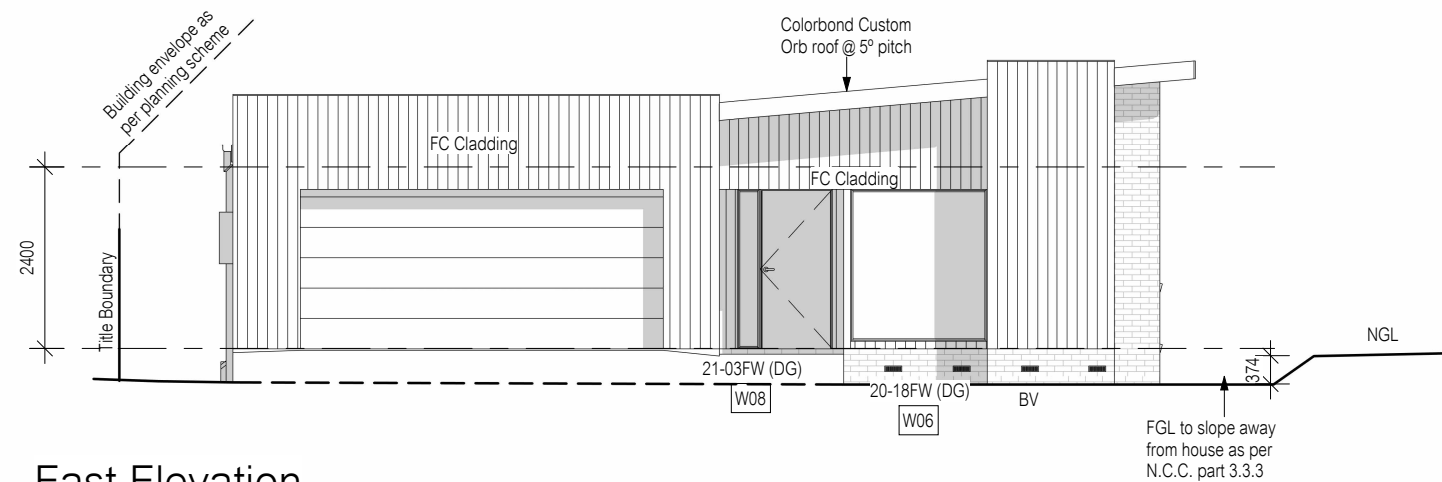
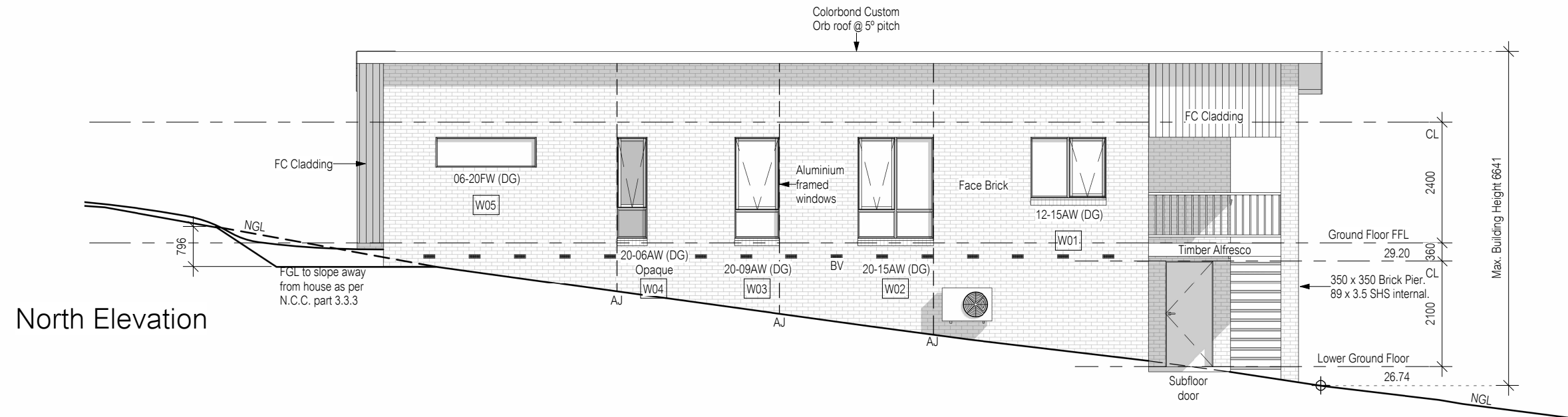
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02a/03



Material	Colour
Colorbond Roof	tbc
Face Brick	tbc
FC Sheet	tbc

All lightweight cladding to be installed to manufacturer's guidelines. Refer to manufacturer's documentation.



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SUB-FLOOR VENTILATION CALCULATIONS (as per N.C.C. 6.2.1)

- Minimum Sub-floor Ventilation 6000mm<sup>2</sup> per metre of subfloor perimeter (for Climatic Zone C where ground isn't sealed with impervious membrane)
- Vents to be evenly spaced around perimeter of dwelling.
- Vents to be located within 600mm of corners.
- If located within a bushfire prone area, vents to be BAL compliant as per AS3959. e.g. Pryda 230 x 75 metal vent spaced every 1048mm around subfloor perimeter.

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Amendment changes as per cover sheet

LEGEND:

AJ - Articulation Joint  
BV - Brick Vent

Shadows shown for stylisation purposes only

All window sizes to be checked and/or confirmed on site prior to ordering glazing units

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PROPOSED GLANVILLE RESIDENCE  
16 Invernss Street,  
MIDWAY POINT



**JOSCON**  
TASMANIA

ELEVATIONS SHEET 1

Drawn SW AP2025-2493

Date 14 August 2025 Sheet

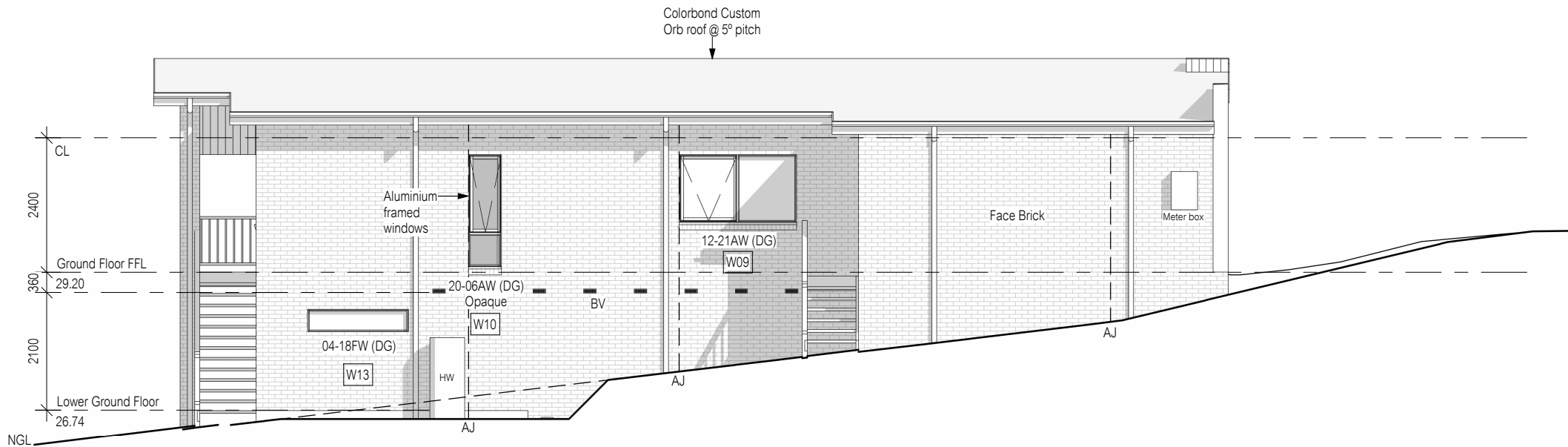
Scale 1 : 100

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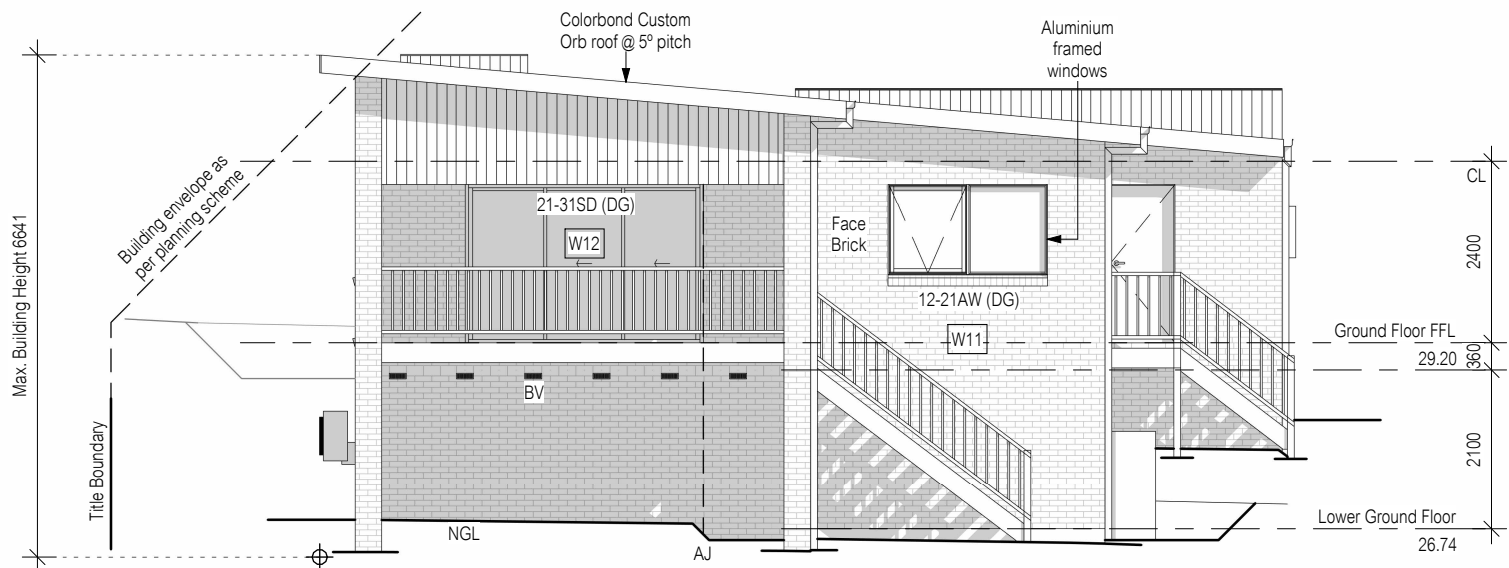
03/03

Material	Colour
Colorbond Roof	tbc
Face Brick	tbc
FC Sheet	tbc

All lightweight cladding to be installed to manufacturer's guidelines. Refer to manufacturer's documentation.



South Elevation



West Elevation



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PROPOSED GLANVILLE RESIDENCE  
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**JOSCON**  
T A S M A N I A

ELEVATIONS SHEET 2

Drawn SW AP2025-2493

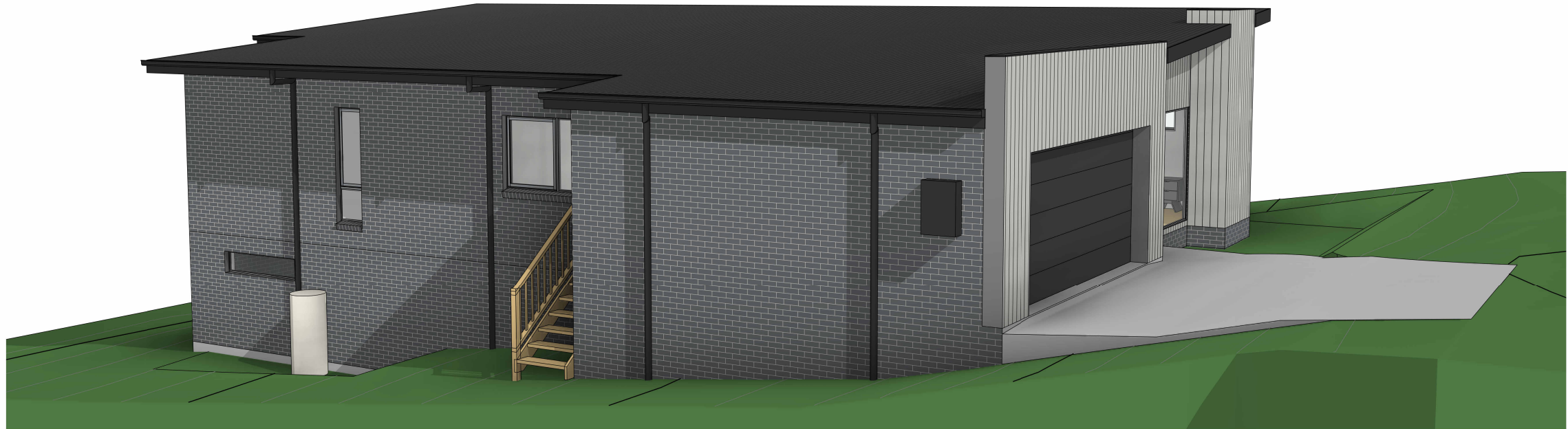
Date 14 August 2025 Sheet

Scale 1 : 100

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03a/03





**Sorell Council**

Development Application: 5.2025.275.1 -  
Development Application - 16 Invernss Street.  
Midway Point - P1.pdf  
Plans Reference: P1  
Date Received: 09/10/2025

C	3 Oct. 2025	ST
B	15 Sep. 2025	SW
A	04 Sep. 2025	SW
No.	Date	Int.

Amendment changes as per cover sheet

Shadows shown for stylisations purpose only

- Notes
- Builder to verify all dimensions and levels on site prior to commencement of work
  - All work to be carried out in accordance with the current National Construction Code.
  - All materials to be installed according to manufacturers specifications.
  - Do not scale from these drawings.
  - No changes permitted without consultation with designer.

**Designer:**

ANOTHER PERSPECTIVE PTY LTD  
PO BOX 171  
NORTH HOBART  
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**Client / Project info**

PROPOSED GLANVILLE RESIDENCE  
16 Invernss Street,  
MIDWAY POINT



**JOSCON**  
TASMANIA

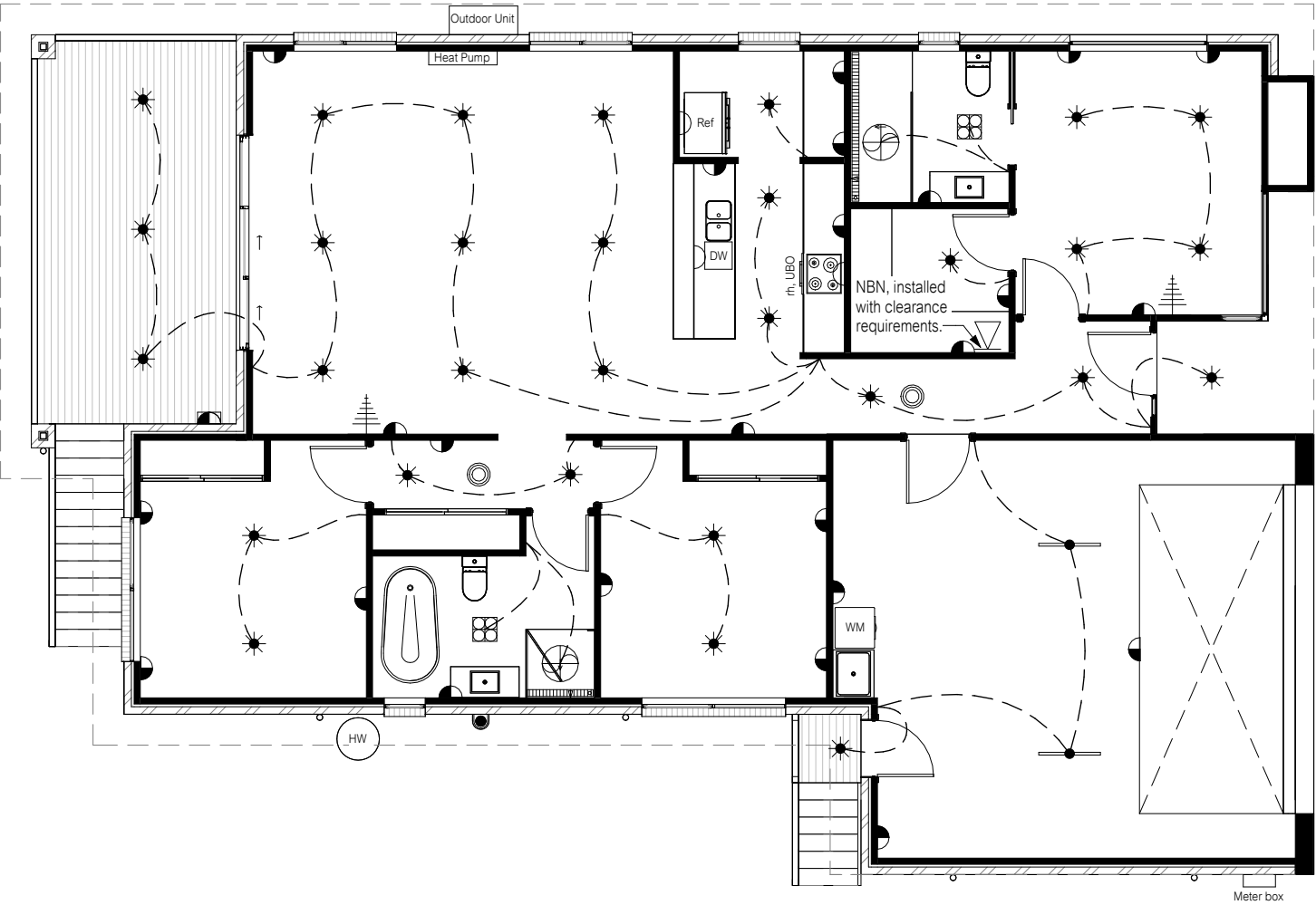
**PERSPECTIVE VIEWS**

Drawn SW AP2025-2493

Date 07 August 2025 Sheet

Scale 03b/03

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- LEGEND (W = Wattage e.g. 35W = 35 Watts.)
- STANDARD CEILING LIGHT POINT (30W)
  - DOWNLIGHT POINT (UNVENTED) (35W)
  - ✱ LED DOWNLIGHT POINT (10W) SUITABLE FOR & FITTED WITH INSULATION OVER. (IC RATED)
  - PENDANT LIGHT (30W)
  - WALL LIGHT POINT (30W)
  - 2 x 900mm FLUORESCENT LIGHT POINT (36W)
  - 2 x SLIM T5 900mm FLUORESCENT LIGHT POINT (28W)
  - ⌒ SINGLE POWER POINT
  - ⌒ DOUBLE POWER POINT
  - ⌒ DOUBLE POWER POINT WITH USB
  - ⌒ WATER PROOF POWER POINT
  - ⊙ MAINS POWERED SMOKE ALARM (INTERCONNECTED WHERE MORE THAN 1)
  - ⊞ FAN / HEATER / LIGHT (8W) (VENT IN ACCORDANCE WITH N.C.C. 10.8.2)
  - ⌒ TV CONNECTION POINT
  - ▽ NBN/TELEPHONE CONNECTION POINT
  - ⌒ SENSOR LIGHT
  - ⊙ EXHAUST FAN (VENT IN ACCORDANCE WITH N.C.C. 10.8.2)
  - ⌒ FLOOD LIGHT
  - ⌒ CAT 6 CONNECTION POINT
  - ▶ TREAD LIGHTS (2W)
  - ⌒ DUCTED VACUUM POINT
  - ⌒ SECURITY SYSTEM KEYPAD
  - ⌒ SECURITY SYSTEM SENSOR

ALL EXHAUST FANS:  
25 L/s for a bathroom or sanitary compartment, 40 L/s for a kitchen or laundry. Exhaust from a kitchen, kitchen range hood, bathroom, sanitary compartment, or laundry must be discharged directly or via a shaft or duct to outdoor air.

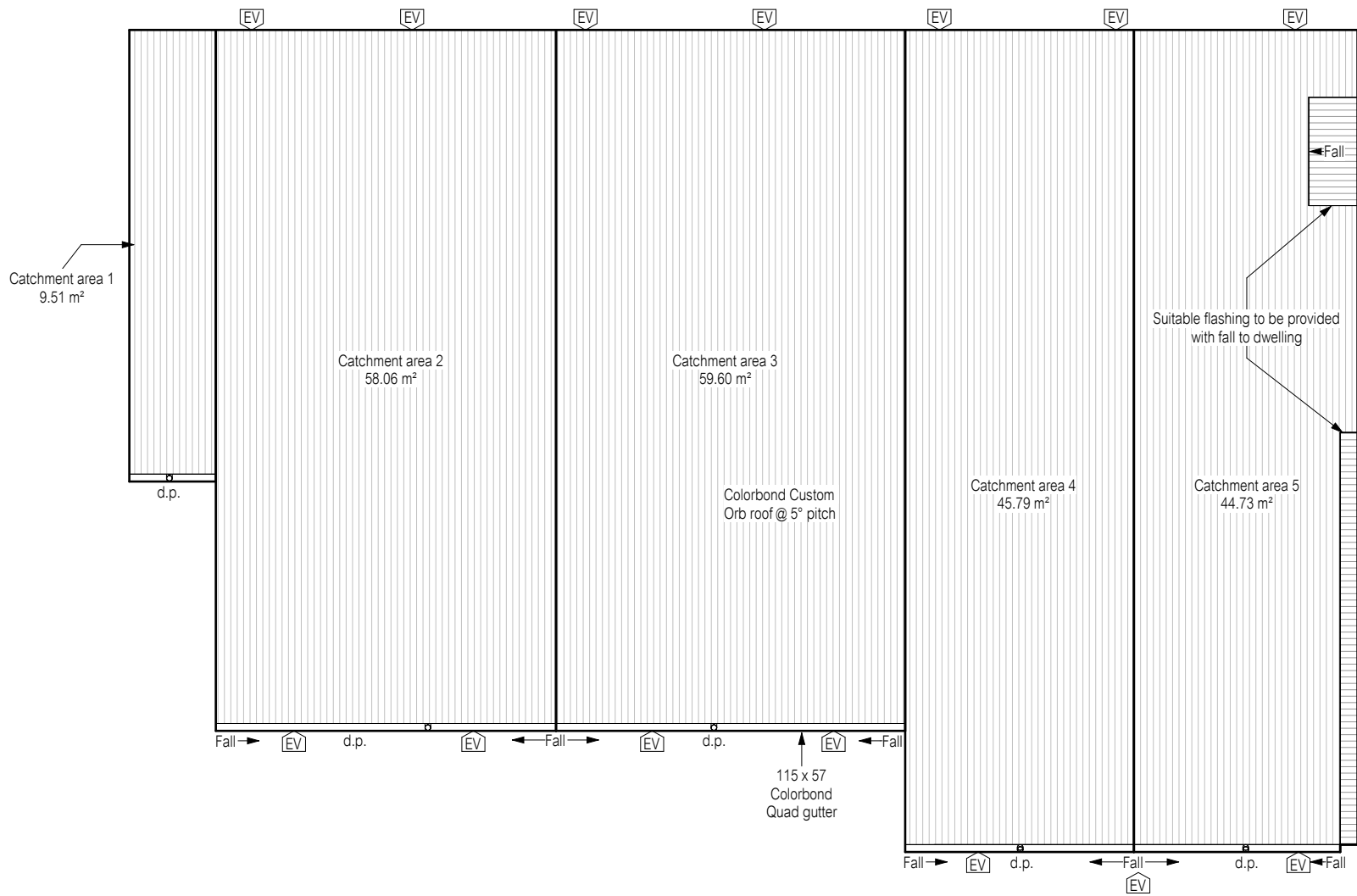


**Sorell Council**  
Development Application: 5.2025.275.1 -  
Development Application - 16 Invernss Street.  
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C	3 Oct. 2025	ST
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Amendment changes as per cover sheet	<div>Notes<ul style="list-style-type: none"><li>• Builder to verify all dimensions and levels on site prior to commencement of work</li><li>• All work to be carried out in accordance with the current National Construction Code.</li><li>• All materials to be installed according to manufacturers specifications.</li><li>• Do not scale from these drawings.</li><li>• No changes permitted without consultation with designer.</li></ul></div>	Designer:	Client / Project info	<div></div>	ELECTRICAL PLAN		
		ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED GLANVILLE RESIDENCE  16 Inverness Street, MIDWAY POINT		Drawn	SW	AP2025-2493
					Date	14 August 2025	Sheet
					Scale	1 : 100	09/03





GUTTER OVERFLOW REQUIREMENTS as per N.C.C. Figure 7.4.6a:  
Minimum slot opening area of 1200 mm² per metre of gutter and the lower edge of the slots installed a minimum of 25 mm below the top of the fascia.  
The acceptable overflow capacity must be 0.5 L/s/m.

Batten fixings:  
100mm type 17, 14g bugle screws to comply with AS1684, or refer to AS1684 for alternatives.

Batten spacing:  
75 x 38 F8  
@ 900 Centre

Colorbond fixings:  
50mm M6 11 x 50 EPDM seal to comply with AS3566 or refer to AS3566 for alternatives.

Fascia Length (Approx)  
61.89 m



**Sorell Council**

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Sarking to be cut / discontinuous along ridge line.  
Custom orb profile to provide N.C.C. required ventilation between ridge capping and roofing sheet.

EAVES VENT NOTE:  
BRADFORD CSR METAL EAVE VENT (34,600mm²).  
14 VENTS EVENLY SPACED

Position and quantity of downpipes are not to be altered without consultation with designer

ROOF DRAINAGE NOTE:  
Min. medium rectangular gutter & min. 90ø downpipe specified as per N.C.C. part 7.4. These sizes and downpipe quantities are based on a max. roof catchment area of 70m²

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		<div>ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au</div>	<div>PROPOSED GLANVILLE RESIDENCE  16 Invernss Street, MIDWAY POINT</div>		Drawn	SW	AP2025-2493
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