

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE:**47 FEDERATION DRIVE, SORELL****PROPOSED DEVELOPMENT:****DWELLING**

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Tuesday 4th November 2025**.

Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the General Manager. Representations must be received no later than **Tuesday 4th November 2025**.

APPLICATION NO: 5.2025.257.1

DATE: 17/10/2025

Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	Use:
	Development:
	<i>Large or complex proposals should be described in a letter or planning report.</i>
Design and construction cost of proposal: \$	

Is all, or some the work already constructed:	No: ☐ Yes: ☐
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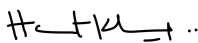
Location of proposed works:	Street address:
	Suburb: Postcode:
	Certificate of Title(s) Volume: Folio:

Current Use of Site	
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Current Owner/s:	Name(s).....
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Is the Property on the Tasmanian Heritage Register?	No: ☐ Yes: ☐	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: ☐ Yes: ☐	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: ☐ Yes: ☐	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: ☐ Yes: ☐	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: ☐ Yes: ☐	<i>If yes, please complete the Council or Crown land section on page 3</i>
If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form https://www.sorell.tas.gov.au/services/engineering/		


Sorell Council
 Development Application: 5.2025.257.1 -
 Development Application - 47 Federation Drive,
 Sorell - P1.pdf
 Plans Reference: P1
 Date Received: 23/09/2025

Declarations and acknowledgements	
• I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land. • I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council's representatives to enter the land at any time during normal business hours. • I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies. • I/we declare that, in accordance with s52(1) of the <i>Land Use Planning and Approvals Act 1993</i>, that I have notified the owner(s) of the intention to make this application. • I/we declare that the information in this application is true and correct. <i>Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council's Privacy Policy available on the Council website.</i>	
• I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.	
• Where the General Manager's consent is also required under s.14 of the <i>Urban Drainage Act 2013</i>, by making this application I/we also apply for that consent.	
Applicant Signature:	Signature:  Date:

Crown or General Manager Land Owner Consent	
If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the <i>Land Use Planning and Approvals Act 1993</i>). Please note: • If General Manager consent is required, please first complete the General Manager consent application form available on our website www.sorell.tas.gov.au • If the application involves Crown land you will also need a letter of consent. • Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.	
I _____ being responsible for the administration of land at _____ declare that I have given permission for the making of this application for _____	
Signature of General Manager, Minister or Delegate:	Signature: Date:

SEARCH OF TORRENS TITLE

VOLUME 184821	FOLIO 24
EDITION 2	DATE OF ISSUE 03-Aug-2023

SEARCH DATE : 19-Sep-2025

SEARCH TIME : 08.38 PM

DESCRIPTION OF LAND

Town of SORELL

Lot 24 on Sealed Plan [184821](#)

Derivation : Part of 980 Acres Gtd. to Thomas Villeneuve Jean & Cornelius Driscoll

Prior CT [184546/99](#)SCHEDULE 1[N137728](#) TRANSFER to SHILPA BHATIA and CHANDRESH BHATIA
Registered 03-Aug-2023 at 12.01 PMSCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP184821](#) COVENANTS in Schedule of Easements[SP184821](#) FENCING PROVISION in Schedule of Easements[SP183756](#) & [SP184546](#) FENCING PROVISION in Schedule of Easements[E313649](#) AGREEMENT pursuant to Section 78 of the Land Use
Planning and Approvals Act 1993 Registered
07-Nov-2022 at noon[E354591](#) MORTGAGE to National Australia Bank Limited
Registered 03-Aug-2023 at 12.02 PMUNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 184821

PAGE 1 OF 4 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lot 11 is subject to a right of drainage (appurtenant to lot 1 on Diagram 87-36 Deeds Office, lots 1 & 2 on Sealed Plan Deeds 156 and lot 1 on Sealed Plan Deeds 729) over the land marked DRAINAGE EASEMENT 1.83 WIDE passing through that lot on the plan

Lot 11 is subject to a right of drainage in gross (in favour of Sorell Council) over the land marked DRAINAGE EASEMENT 3.00 WIDE passing through that lot on the plan

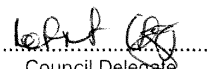
Lot 11 is subject to a pipeline and services easement in gross as defined herein (in favour of TasWater) over the land marked PIPELINE & SERVICES EASEMENT 3.00 WIDE ("the Easement Land") passing through that lot on the plan

Lot 18 is subject to a right of drainage (appurtenant to lot 1 on Sealed Plan Deeds 729) over the land marked DRAINAGE EASEMENT 1.83 WIDE passing through that lot on the plan

Lots 19-22 are each subject to a right of drainage in gross (in favour of Sorell Council) over the land marked DRAINAGE EASEMENT "B" 2.00 WIDE & VARIABLE WIDTH passing through such lot on the plan

Lot 23 is subject to a right of drainage in gross (in favour of Sorell Council) over the land marked DRAINAGE EASEMENT 3.00 WIDE and DRAINAGE EASEMENT "A" 2.00 WIDE passing through that lot on the plan

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: HOBART PROPERTIES & SECURITIES NO 2 PTY LTD FOLIO REF: 184546-99 SOLICITOR: ROBERTS & PARTNERS LAWYERS	PLAN SEALED BY: SORELL COUNCIL DATE: <u>19.4.23</u> SA-2019-0009 REF NO.	 Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.		



ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 4 PAGES	Registered Number SP 184821
SUBDIVIDER: HOBART PROPERTIES & SECURITIES NO 2 PTY LTD FOLIO REFERENCE: 184546-99	

Lot 53 is subject to a right of drainage in gross (in favour of Sorell Council) over the land marked DRAINAGE EASEMENT "A" 3.00 WIDE passing through that lot on the plan

Lot 53 is subject to a pipeline and services easement in gross as defined herein (in favour of TasWater) over the land marked PIPELINE & SERVICES EASEMENT "A" 3.00 WIDE ("the Easement Land") passing through that lot on the plan

Lot 99 is subject to a right of drainage (appurtenant to lot 1 on Diagram 87-36 Deeds Office and lots 1 & 2 on Sealed Plan Deeds 156) over the land marked DRAINAGE EASEMENT 1.83 WIDE "AB" passing through that lot on the plan

Lot 99 is subject to a right of drainage (appurtenant to lot 1 on Sealed Plan Deeds 729) over the land marked DRAINAGE EASEMENT 1.83 WIDE "DAB" passing through that lot on the plan

FENCING PROVISION

In respect to the lots on the plan the vendor (Hobart Properties & Securities No 2 Pty Ltd) shall not be required to fence

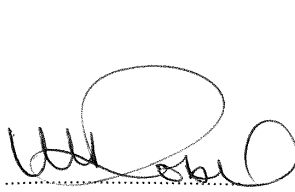
COVENANTS

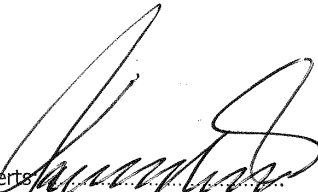
The owners of lots 11, 18-26 & 53-55 on the plan covenant with Sorell Council to the intent that the burden of this covenant may run with and bind the covenantors lot and every part thereof and that the benefit thereof may devolve with Sorell Council to observe the following stipulations-

1. Not to erect a new dwelling on such lot unless fitted with a minimum 5000 litre rain water tank to collect roof runoff, the rain water tank must have a retention storage of 2000 litres and be plumbed into toilets so that re-use can occur, with top up from the reticulated supply

The owners of lots 19-26 on the plan covenant with Sorell Council to the intent that the burden of this covenant may run with and bind the covenantors lot and every part thereof and that the benefit thereof may devolve with Sorell Council to observe the following stipulations-

2. Not to gain direct vehicular access to or from Arthur Highway shown on the plan

WA Roberts: 

IN Roberts: 

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

 **Sorell Council**
Development Application: 5.2025.257.1 -
Development Application - 47 Federation Drive,
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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 4 PAGES	Registered Number SP 184821
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INTERPRETATION

"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653) its successors and assigns

"Pipeline and Services Easement" means:-

FIRSTLY, the full and free right and liberty for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and

(7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;

WA Roberts:

IN Roberts:

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 4 PAGES	Registered Number SP 18 48 21
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- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

Executed by HOBART PROPERTIES & SECURITIES No 2 PTY LTD (ACN 644 630 884)

pursuant to section 127(1) Corporations Act 2001 (Cth) by-

Director *signature:*

Ian Noel Roberts

Director *signature:*

Wendy Amanda Roberts

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OWNER: HOBART PROPERTIES & SECURITIES NO 2 PTY LTD FOLIO REFERENCE: C.T. 184546 - 99 GRANTEE: PART OF 980 ACRES GRANTED TO THOMAS VILLENEVE JEAN & CORNELIUS DRISCOLL	PLAN OF SURVEY BY SURVEYOR: N. D. LEARY of LEARY, COX & CRIPPS SURVEYORS Unit G04 40 Mollie Street, HOBART TAS 7000 P 03 6118 2030 E admin@lccsurvey.com LOCATION: TOWN OF SORELL SCALE 1: 750 LENGTHS IN METRES	Registered Number SP 184821 APPROVED EFFECTIVE FROM - 2 MAY 2023 <i>Den</i> Recorder of Titles
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PRIORITY FINAL PLAN ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

Den **28/3/23**
Registered Land Surveyor Date

Sorell Council

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Development Application - 47 Federation Drive,
Sorell - P1.pdf
Plans Reference: P1
Date Received: 23/09/2025

John **19.4.23**
Council Delegate Date

SITE INVESTIGATION REPORT

**AS 2870 SITE CLASSIFICATION &
AS 4055 WIND LOADS FOR HOUSING**

**CLIENT:
URBAN SPACE DESIGNERS**

**PROJECT ADDRESS:
47 FEDERATION DRIVE
SORELL 7172**

**PROPOSED DEVELOPMENT:
SINGLE RESIDENTIAL DWELLING**

**FILE NUMBER:
H3065**

**DATE:
17 JULY 2025**



**HED CONSULTING
UNIT 2, 1 LIVERPOOL ST, HOBART 7000
P 03 6146 0334 E info@hed-consulting.com.au**

The logo for HED CONSULTING features the letters 'HED' in a stylized, bold font. The 'H' and 'E' are white, while the 'D' is red. Below this, the word 'CONSULTING' is written in a white, sans-serif font. The entire logo is set against a dark grey rectangular background.

1. Executive Summary

The subject land is located at 47 Federation Drive, Sorell. The development proposal includes the construction of a new residential dwelling. The site investigation has been conducted in accordance with AS2870:2011 *Residential slabs and footings* and AS4055-2021 *Wind Load for housing*. A summary of the report is detailed within the table below.

Analysis	Observations / Results
Site classification	M
Surface movement (γ_s) range:	20-40mm
Geology:	Tertiary basalt (tholeiitic to alkalic) and related pyroclastic rocks
Refusal depth:	0.6m (assumed rock)
Estimated soil bearing capacity:	>100 kPa @ 0.1m depth
Modified Emerson Crumb test:	Non - dispersive
Wind classification:	N2

2. Client Information and Site Location

	Information
Client name:	Urban Space Designers
Site address:	45 Federation Drive Sorell
Property ID:	9459872
Title Reference:	184821/24

3. Site information

Site information	Results
Size of development:	Single residential dwelling
Services available:	Power, telecommunications, water, sewer & stormwater
Zoning:	General Residential
Tenure:	Private Freehold
Permit Authority:	Sorell Council
Planning Overlays:	Bushfire-prone areas, Airport noise exposure area & Airport obstacle limitation area

4. Site visit

Site investigation	Observations / Results
Date of site investigation:	15/7/2025
Slope:	8-10%
Aspect:	North-west
Rainfall:	0.4mm (preceding two weeks) ¹
Drainage:	Poor
Vegetation:	Grass
Erosion:	No erosion was observed

¹ Bureau of Meteorology, <http://www.bom.gov.au>, Daily Rainfall Sorell (Abbatoirs)

5. Soil Profile

Bore hole revealed a high plasticity black – brown clay overlying assumed rock. Auger refused at 0.6m depth. No groundwater was intercepted in either bore hole. 9Kg Dynamic Cone Penetrometer test was also conducted to establish the estimated bearing capacity of the soil. The soil profile and location of the bore holes / DCP is shown in the appendix of this report.

6. Site Stability

The site exhibits no signs of significant erosion or land instability and is not within a landslide hazard overlay.

Earthworks shall comply with AS3798-2007 Guidelines on earthworks for commercial and residential developments.

7. AS2870 Site Classification

The site is classified as: M

The natural soil profile has 20-40mm γ_s surface movement. All footings must be bedded / piered into competent bedrock and approved by engineer.

8. AS4055 Wind Classification

The site is classified as per AS4055 – 2021 Wind loads for housing.

Site information	Results
Geographic region:	A
Terrain Category:	2
Topographic classification:	T0
Shielding:	NS
Wind Classification:	N2
Wind Speed ($V_{h,u}$):	40m/s

9. General notes and limitations

Site Investigation:

Site investigation conducted in accordance with the requirements of clause 2.4 of AS2870:2011. The aim of a site investigation is to obtain information about the soil at the location of the intended building(s). The location of bore holes are based on information supplied from the client and other any other location that is deemed necessary by HED Consulting to provide an accurate report. The investigation only applies to this part of the site and the results and recommendations of this report should not be used for any other part of the site.

HED Consulting aims to provide an accurate report at the time of the investigation however natural variations in soil characteristics and depth can occur over short distances. Soil conditions can also vary over time due to climatic events or earthworks. For example, the bearing capacity of clay soils can vary due to the seasonal climatic events. HED Consulting accepts no responsibility for soil conditions that are different to what was inspected at the time of the investigation. If the soil conditions encountered vary to the results of this report HED Consulting should be contacted for advice. As per clause 2.5.2 of AS2870:2011 the site may require to be re-classified if a cut exceeds 500mm or depth of fill would result in a P classification (when the earthworks were not known at the time of investigation).

Soil testing:

Soil samples (when collected) are tested in accordance with AS1289.7.1.1 – 2003 *Soil reactivity tests-determination of the shrinkage index of a soil-shrink swell index*. Soil testing is not required for all sites due to previous testing of similar material and/or using professional opinion. Bearing capacity of soil is based on field testing with accordance to clause 6.1.7 of AS1726:2017 and / or pocket penetrometer and / or DCP method. Bearing capacity of clays can vary seasonally. Clay can lose strength with high moisture content and increase in strength when clay dries. Bearing capacity results are estimated and are valid for the time of the investigation only. Emersion testing is conducted in accordance with Dispersive Soils and their Management, Technical Reference Manual, Marcus Hardie – 2009. This test reveals whether a clay is dispersive or not.

Building maintenance notes:

The building foundations shall be designed by an engineer. The builder must ensure that good site drainage is provided during the construction phase. Soil drains shall be constructed before excavation of the footings. Roof water should be diverted away from the footing as soon as the roof is constructed by using temporary pipes if necessary.

The long-term performance of the building is dependent upon satisfactory ongoing maintenance by the owner. The builder and owner should obtain a copy of the notes contained within the CSIRO – Building Technology Services, Foundation Maintenance and Footing Performance. A copy of this

manual can be purchased from CSIRO Publishing, <http://www.publish.csiro.au>. Earthworks shall comply with AS3798-2007 Guidelines on Earthworks for commercial and residential developments.

Appendix

9.1 Field photos



Photo 1: Field photo showing the soil profile of bore hole BH01.

9.2 Bore hole log

See attached.

9.3 Site plan

See attached.

9.4 Form 55

See attached.

Engineering Log - Bore hole

Project Number : H3065

Client: Urban Space Designers
 Project Address: 47 Federation Drive Sorell
 Logged By: J Hepper

Date: 15/07/2025
 Borehole Location: Lat -042.781421° / Long +147.572402° (±2.1m)
 Drilling Method: 55mm Sitech Auger

Drilling Information										Observation / Notes
Method	DCP Blows/100mm	Water	Depth (mm)	Group Symbol	Material Description: Colour, Structural, Fraction, Plasticity, Bedding, Additional	Moisture Condition	Consistency / Relative Density	In situ testing (Est. KPa)	Structure and Additional Observations	
	4		100	CH	CLAY, with sand, trace fine angular gravel, brown, trace rootlets, high plasticity.	M	F	>50 - <100	Fill?	
	5		200	CH	AS ABOVE	M	St	>100		
	5		300	CH	CLAY, trace sand, trace fine angular gravel, black - brown, high plasticity	M	St	>100		
	6		400							
	7		500							
	R		600	GC	Clayey GRAVEL, with sand, brown - white	M	D	>100		
			700		Auger refusal on assumed rock (weahtered basalt)					
			800							
			900							
			1000							
			1100							
			1200							
			1300							
			1400							
			1500							
			1600							
			1700							
			1800							
			1900							
			2000							

Drilling Method

HA - Hand Auger
 E - Excavator
 WB - Wash Boring

Support

C- Casing

Sample and Tests

U - Undisturbed Sample
 D - Disturbed Sample
 PP - Pocket Penetrometer
 DCP - Dynamic Cone Penetration Test
 SPT - Standard Penetration Test
 SV - Shear Vane Test

Classification Symbols and Soil Description

Based on Unified Soil Classification System and in accordance with AS1726

Moisture Condition

W - Wet
 M - Moist
 D - Dry

Consistency / Relative Density

VS - Very Soft L - Loose
 S - Soft MD - Medium Dense
 F - Firm D - Dense
 St - Stiff VD - Very Dense
 Vst - Very Stiff
 H - Hard
 Fr - Friable

Water

Level
 Inflow
 Partial Loss

47 FEDERATION DRIVE SORELL
BORE HOLE / DCP LOCALITIES



CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

Form **55**

To: Owner /Agent
 Address
 Suburb/postcode

Qualified person details:

Qualified person:
Address: Phone No:
 Fax No:
Licence No: Email address:

Qualifications and Insurance details: (description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Speciality area of expertise: (description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Details of work:

Address: Lot No:
 Certificate of title No:

The assessable item related to this certificate: (description of the assessable item being certified)
Assessable item includes –
- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

Certificate details:

Certificate type: (description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work: ☒

or

a building, temporary structure or plumbing installation: ☐

In issuing this certificate the following matters are relevant –

Documents:	AS2870 Site Classification and AS4055 Wind Classification dated 17 July 2025.
Relevant calculations:	
References:	AS2870 – 2011, AS4055 – 2021

Substance of Certificate: (what it is that is being certified)

Foundation and wind classification

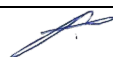
Scope and/or Limitations

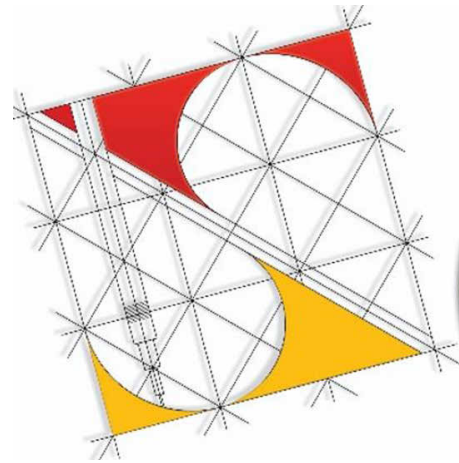
Footings to be bedded / piered into competent bedrock.

Footings to inspected by engineer prior to pour.

Limitations as per section 9.0 of site investigation report dated 17 July 2025.

I certify the matters described in this certificate.

Qualified person:	Signed: JOE HEPPER 	Certificate No: H3065	Date: 17/7/2025
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Urban Space Designers
Building Design and Drafting

PROPOSED SINGLE STOREY DWELLING AT

47 FEDERATION DRIVE,
SORELL, TAS - 7172

Sheet List		
Sheet No.	Sheet Name	Revision
A00	COVER SHEET	1
A01	NOTES	1
A02	SITE PLAN	1
A03	SURVEY PLAN	1
A04	GROUND FLOOR PLAN	1
A05	ROOF PLAN	1
A06	ELEVATIONS	1
A07	ELEVATIONS	1
A11	LANDSCAPE PLAN	1
A17	SHADOWS	1

**Sorell Council**

Development Application: 5.2025.257.1 -
Response to Request For Information - 47
Federation Drive, Sorell - P2.pdf
Plans Reference: P2
Date Received: 03/10/2025



Urban Space Designers
Building Design and Drafting

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IF IN DOUBT ASK.

The completion of the issued details checked and authorized section below is confirmation of the status of the drawing. The drawing shall not be used for the construction unless endorsed "for construction" and authorized for issue. Read these drawings in conjunctions with drawings prepared by USD. Refer any discrepancies with the architect before proceeding with any building works.

The drawing is prepared as built and strict instructions to builders to have a physical measurement before referring this drawing and inform USD if there are any gaps in dimensions.

Client:
SHILPA BHATIA & CHANDRESH BHATIA

Project:
SINGLE STOREY DWELLING

Address:
47 FEDERATION DRIVE,
SORELL, TAS - 7172

Rev	Description	Date	DESIGN DRAWINGS
1	North updated, Gutter on wall detail shown on A05	03/10/2025	CHECK all dimensions and measurements on site prior to fabrication and or construction. Dimensions are in millimeters "frame to frame" and do not allow for interior linings. ALL work in Accordance with The Building Code of Australia (BCA) as amended, relevant Australian Standards (AS) Codes and good building practices. Drawings to be read in conjunction with specifications and schedules.

Sheet:
COVER SHEET

Drawn: GK

Scale:	Size: A3	Date: 22/09/2025
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Project: 47FDS/TAS/ARCH-2025	Sheet No.: A00	Rev: 1
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GENERAL NOTES
ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH BUILDING ACT 1993, BUILDING REGULATIONS 2018, NCC 2022 AND RELEVANT STANDARDS THE BUILDER AND SUBCONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, RELEVANT LEVELS AND DIMENSIONS ON-SITE PRIOR TO COMMENCING ANY BUILDING WORKS OR PREFABRICATION. ARCHITECTURAL DRAWING SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL ENGINEERING COMPUTATIONS OR STRUCTURAL DRAWINGS. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS. BUILDER TO ADHERE TO ALL BUILDING PERMIT CONDITIONS AND PLANNING PERMIT CONDITIONS. PLEASE CONSULT ARCHITECT IF THERE ARE ANY DISCREPANCIES. ALL MATERIALS & METHODS OF CONSTRUCTION SHALL COMPLY WITH RELEVANT S.A.A CODES, NCC 2022 AND LOCAL COUNCIL BY- LAWS.

DO NOT SCALE DRAWINGS
PROVIDE IMPERVIOUS FLOOR & WALL FINISHES TO ALL WET AREAS INACCORDANCE WITH NCC PART 10.2
CONNECT STORMWATER AND SULLAGE DRAINS INTO LEGAL POINTS OF DISCHARGE ALL DRAINS SHALL COMPLY WITH LOCAL AUTHORITIES REGULATIONS AND AS3500.3-2015
PROVIDE 90MM DIA. AGRICULTURAL DRAINS TO THE BASE OF ALL EXCAVATIONS BANKS AND RETAINING WALLS. CONNECT TO STORMWATER VIA SILT PIT. SMOKE ALARMS TO COMPLY WITH AS3786-2014.
SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 PART 9.5. SMOKE ALARMS MUST BE INTERCONNECTED DIRECTLY TO MAINS POWERS. REFER TO SOIL REPORT FOR SOIL CLASSIFICATIONS AND FOUNDING DEPTHS. ALL EXPOSED STEEL TO BE HOT DIPPED GALVANISED.
PROVIDE MECHANICAL VENTILATION IN ACCORDANCE WITH NCC PART 10.6 AS REQUIRED. ALL EXHAUST FANS ARE TO DISCHARGE TO THE EXTERIOR OF THE BUILDING.

PART 4 FOOTINGS & SLABS
REINFORCED CONCRETE STRIP FOOTINGS & PAD FOOTINGS TO ENGINEERS DESIGN. FOOTING CONSTRUCTION TO COMPLY WITH NCC PART 4.2 & AS2870-2011

PART 6 & 7 WALL FRAMING
TIMBER WALL FRAMING IS TO COMPLY WITH AS1684.2-2010 "RESIDENTIAL TIMBER FRAMED CONSTRUCTION NON-CYCLONIC AREAS" AND OR AS1684.3-2010 "RESIDENTIAL TIMBER FRAMED CONSTRUCTION CYCLONIC AREAS" AND WITH SUPPLEMENTARY TABLES.
PROVIDE DOUBLE STUD, STUMP & PAD UNDER ALL LOAD POINTS. ALL STRUCTURAL STEEL IS TO COMPLY WITH AS4100-1998 (R2016) WALL TIE DOWNS ARE TO BE INSTALLED IN ACCORDANCE WITH PART 7 OF THE NCC 2022. THE TYPES OF WALL TIES DOWNS MAY BE INCLUSIVE OF METAL STRAPS BOLTS, SCREWS, COACH SCREWS AND FRAMING ANCHORS. ALL EXTERNAL STEEL LINTELS ARE TO BE HOT DIPPED GALVANIZED AND THE WALL TIES PROVIDED ARE TO BE STAINLESS STEEL (PART 6.3 OF THE NCC 2022).

PART 5 MASONRY
ALL MASONARY WORK IS TO COMPLY WITH AS4773-SET:2015 AND NCC PART 5.2

PART 4 & 5 CONCRETE STRUCTURES
ALL CONCRETE STRUCTURES ARE TO COMPLY WITH AS 3600-2009 AND NCC PART 4 & 5

INSULATION
REFER TO ENERGY REPORT FOR INSULATION REQUIREMENTS IN WALLS AND CEILINGS.
PROVIDE SOUND-DAMPENING AND SARKING TO METAL ROOFS: 50 MM THICK FIBERGLASS BLANKETS. SISILATION FLAMMABILITY INDEX NO GREATER THAN 5. SUPPLY AND INSTALL.

PART 8 WINDOWS/GLAZING
ALL WINDOWS SHALL CONFORM TO AS2047-2014 AND ALL GLAZING TO AS1288 -2006 & NCC PART 8.3
GLAZING WITHIN 2000MM OF THE F.F.L IN BATHROOMS OR ENSUITES IS TO BE GRADE A SAFETY GLASS
ALL SIZES SHOWN ARE NOMINAL AND SHOULD BE COMPARED TO MANUFACTURERS STANDARD SCHEDULE BEFORE CONSTRUCTION COMMENCES. NON-STANDARD WINDOWS TO HAVE SIZES CHECKED ON SITE PRIOR TO MANUFACTURING. REFER TO ELEVATIONS FOR SASH ARRANGEMENT. ALL WINDOW SIZES & CLEARANCES TO BE CHECKED ON SITE PRIOR TO MANUFACTURING.
GRADE A SAFETY GLASS IS REQUIRED TO ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS, SHOWER DOORS, SHOWER SCREENS, BATH ENCLOSURES, AND ASSOCIATED WINDOWS, WHERE THE LOWEST SIGHT LINE IS LESS THAN 2.0 M ABOVE THE HIGHEST ABUTTING FINISHED LEVEL OF THE FLOOR, BOTTOM OF THE BATH, OR SHOWER BASE PLEASE NOTE THAT WINDOWS CAPABLE OF BEING MISTAKEN FOR A DOORWAY OR OPENING AND GREATER THEN 500MM IN WIDTH, 1M IN HEIGHT AND WITHIN 700MM OF THE FINISHED FLOO ARE TO BE PROVIDED WITH A MID-HEIGHT MOTIF WITHIN ITS PANEL IN ACCORDANCE WITH PART 8.4 OF THE NCC 2022.

TIMBER FRAMING
TIMBER WALL FRAMING IS TO COMPLY WITH AS1684.2-2010 "RESIDENTIAL TIMBER FRAMED CONSTRUCTION NON-CYCLONIC AREAS" AND OR AS1684.3-2010 "RESIDENTIAL TIMBER FRAMED CONSTRUCTION CYCLONIC AREAS" AND WITH SUPPLEMENTARY TABLES. PROVIDE DOUBLE STUD, STUMP & PAD UNDER ALL LOAD POINTS. WALL BRACING LAYOUT IN CONJUNCTION WITH THE WALL TIE DOWN DETAILS (TOP PLATES TO STUDS) ARE TO COMPLY WITH AS1684-2010. WALL TIE DOWNS (TOP PLATES TO STUDS) ARE TO BE INSTALLED AT MINIMUM 1800 CTRS (EVERY 4TH STUD). THE TYPES OF WALL TIES DOWNS MAY BE INCLUSIVE OF METAL STRAPS, BOLTS, SCREWS, COACH SCREWS AND FRAMING ANCHORS. WALL BRACING NO GREATER THEN 9M APART.

TRUSS/POSISTRUTT
PROVIDE AN ELECTRONIC COPY OF THE ROOF TRUSS/POSISTRUTT MANUFACTURER'S DESIGN AND LAYOUT OF THE BEAMS ARE TO BE SUBMITTED PRIOR TO THE FRAME INSPECTION BEING CARRIED OUT. NOTE: THE FRAME INSPECTION WILL NOT BE CARRIED OUT UNTIL SUCH TIME THAT COPY OF FULL TRUSS COMPUTATIONS AND LAYOUT PLANS ARE PROVIDED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR. NOTE DISCS WILL NOT BE ACCEPTED

DRAINAGE
ALL EXISTING UNDERGROUND SERVICES ARE TO BE LOCATED PRIOR TO EXCAVATION FOR NEW PIPES LINES AND NO EXISTING SERVICE SHALL BE DISCONNECTED OR DISTURBED WITHOUT APPROVAL FROM ENGINEER.
STORM-WATER DRAINS SHALL BE 100MM DIAMETER AT A GRADE OF 1:100 UNLESS NOTED OTHERWISE.
ALL PIPE JUNCTIONS SHALL BE WITH A 45 DEGREE JOINT.
ALL U-PVC PIPES SHALL CONFORM TO AS1260-2009 "PVC-U PIPES AND FITTINGS FOR DRAIN, WASTE AND VENT APPLICATION"
THE SITE SHOULD BE DRAINED SO THAT THE WATER CANNOT POND AGAINST OR NEAR THE BUILDING. THE GROUND IMMEDIATELY ADJACENT TO THE BUILDING SHOULD BE GRADED TO FALL 50MM OVER THE FIRST METER. WHERE THIS IS IMPRACTICABLE (I.E. SEVERAL SLOPING SITES) USE AGGIE DRAINS ADJACENT TO THE FOOTINGS WHERE THE GROUND FALLS TOWARDS THE BUILDING.



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FLOORING
REINFORCED CONCRETE FLOOR SLAB TO ENGINEERS DESIGN.
CONSTRUCTION OF CONCRETE SLAB TO COMPLY WITH NCC PART 4.2 & AS2870

SUB-FLOOR
SUB-FLOOR VENTILATION IS TO BE INSTALLED AT A MINIMUM OF EVERY 6000MM² PER METER RUN OF WALL IN COMPLIANCE WITH PART 6.2 OF THE NCC 2022. THE SUB-FLOOR ACCESS DOOR IS TO BE LOCATED IN A READILY ACCESSIBLE POSITION.

ROOFING
TIMBER ROOF FRAMING IS TO COMPLY WITH AS1684.2-2010 "RESIDENTIAL TIMBER FRAMED CONSTRUCTION NON-CYCLONIC AREAS" AND OR AS1684.3-2010 "RESIDENTIAL TIMBER FRAMED CONSTRUCTION CYCLONIC AREAS" AND WITH SUPPLEMENTARY TABLES
TIMBER ROOF TRUSSES AT 900MM CTS TO MANUFACTURERS SPECIFICATIONS PROVIDE GALV. IRON CROSS BRACING OVER ROOF TRUSSES EXPOSED COLORBOND GUTTERS AND FASCIAS, INSTALLED PER NCC 2022 PART 7. ALL ROOF STORMWATER DRAINAGE SHALL COMPLY WITH AS3500.3-2015 ENSURE ALL SARKING BENEATH ROOFS IS PROVIDED IN ACCORDANCE WITH PART 3.5 OF THE NCC, AND HAS A FLAMMABILITY INDEX OF NOT MORE THAN 5

STEEL PROTECTION
ALL EXTERNAL STEEL LINTELS ARE TO BE HOT DIPPED GALVANIZED AND THE WALL TIES PROVIDED ARE TO BE STAINLESS STEEL, PLEASE CONFIRM THIS ON PLAN. (PART6.3 OF THE NCC 2022).

STAIRS
STAIRS, STEPS & LANDINGS TO COMPLY WITH NCC. PART 11.2.
RISERS - 115MM MIN, 190MM MAX.
GOINGS - 240MM MIN 355MM MAX
HANDRAIL TO BE 865MM ABOVE NOSING OF TREAD
1000MM HIGH BALUSTRADING & 865 ABOVE STAIR NOSING
125MM MAXIMUM BETWEEN BALUSTERS
PROVIDE 2000MM MIN HEAD ROOM CLEARANCE FROM TREAD NOSING.
MAX 3 RISERS OR 570MM WITHOUT A LANDING TO DOOR OPENING.
SLOPE RELATIONSHIP 2R + G 550MIN - 700MAXTHE MAXIMUM GAP BETWEEN RISERS
IN OPEN STAIRS IS 125MM WHERE THE STAIR IS IN EXCESS OF 1000MM ABOVE THE ADJACENT FLOOR LEVEL.
ALL TREADS ARE TO HAVE A NON-SLIP FINISH OR A NON-SLIP STRIP IS TO BE PROVIDED TO THE NOSING.

HANDRAILS
A HANDRAIL IS TO BE PROVIDED ALONG AT LEAST ONE SIDE OF THE INTERNAL STAIRS. THE TOP SURFACE OF THE HANDRAIL IS TO BE NOT LESS THAN 865MM VERTICALLY ABOVE THE NOSINGS OF THE STAIR TREADS AND HAVE NO OBSTRUCTION ON OR ABOVE.

CONCRETE:
ALL CONCRETE MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE AS3600-2009 CONCRETE STRUCTURES CODE.
ALL CONCRETE SHALL BE CURED IN ACCORDANCE WITH AS3600- 2009.
ALL REINFORCEMENT TO BE LAID AND LAPPED TO MANUFACTURERS SPECIFICATIONS ON APPROVED BAR CHAIRS.
CONCRETE STRENGTH 25MPA (MIN) AT 28 DAYS.
ALL WORKS TO BE IN ACCORDANCE WITH AS2870-2011 - "RESIDENTIAL SLABS AND FOOTING CONSTRUCTION" OWNERS MUST RECOGNIZE THEIR RESPONSIBILITIES NOTED IN AS 2870-2011 AND MORE DETAIL IN C.S.I.R.O PUBLICATION "GUIDE TO HOMEOWNERS ON FOUNDATION MAINTENANCE AND PERFORMANCE."
ALL EXCAVATIONS SHOULD BE CAREFULLY INSPECTED BY A COMPETENT PERSON AND THIS OFFICE CONTACTED IMMEDIATELY IF CONDITIONS OTHER THAN THOSE DESCRIBED IN THE SOIL REPORT ARE ENCOUNTERED.
CONCRETE SLAB REINFORCED CONCRETE FLOOR SLAB TO ENGINEERS DESIGN. CONSTRUCTION OF CONCRETE SLAB TO COMPLY WITH NCC PART 4.2 & AS2870

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SURFACE DRAINAGE
THE GROUND BENEATH SUSPENDED FLOORS MUST BE GRADED SO THAT THE AREA BENEATH THE BUILDING IS ABOVE THE ADJACENT EXTERNAL FINISHED GROUND LEVEL AND SURFACE WATER IS PREVENTED FROM PONDING UNDER THE BUILDING. TERMITE TREATMENT SITE TO BE TREATED AGAINST SUBTERRANEAN TERMITES IN ACCORDANCE WITH AS3660.1 TO LOCAL AUTHORITIES SATISFACTION AS3660.1 TERMITE MANAGEMENT REQUIRES A MINIMUM OF 400MM CLEARANCE FROM GROUND LEVEL TO THE UNDERSIDE OF THE BEARER (THIS CAN BE REDUCED TO 200MM ON A SLOPING SITE)

MECHANICAL VENTS
ANY CONTAMINATED AIR FROM A SANITARY COMPARTMENT OR BATHROOM MUST
A. EXHAUST DIRECTLY TO OUTSIDE THE BUILDING BY WAY OF DUCTS; OR
B. EXHAUST INTO THE ROOF SPACE PROVIDED-
(I) IT IS ADEQUATELY VENTILATED THAT COMPLIES WIT PART 10.8.3 OF THE NCC 2022
(II) THE ROOF IS CLAD IN ROOFING TILES WITHOUT SARKING OR SIMILAR MATERIALS WHICH WOULD PREVENT VENTING THROUGH GAPS BETWEEN TILES EXHAUST FAN DISCHARGE RATES TO BE
A. SANTITARY COMPARTMENTS AND BATHROOMS - 25l/s
B. KITCHEN AND LAUNDRY - 40l/s

DOWNPIPES
100X50 OR 90MM DIAMETER DOWNPIPES ARE REQUIRED TO BE PROVIDED AT 12 METER MAXIMUM SPACING.
MINIMUM BOX GUTTER DIMENSIONS SHALL BE 200MM WIDE X 100MM DEEP.
ALL DOWNPIPES ARE TO BE CONNECTED TO THE APPROVED POINT OF DISCHARGE TO THE SATISFACTION OF THE RELEVANT BUILDING SURVEYOR.

WASTE PIPE LAGGING
PROVIDE SOUND ABSORBING INSULATION AROUND ALL WASTE PIPES FROM FIRST FLOOR WET AREAS (BATHROOMS/ENSUITES/LAUNDRY) TOILET DOORS ARE TO BE FITTED WITH REMOVABLE HINGES, OR ARE TO SWING OUT, OR BE SLIDING WHERE THE HINGE IS WITHIN 1200MM OF THE PAN.

WEEPHOLES
OPEN PERPENDICULAR JOINTS 'WEEPHOLES' MUST BE PROVIDED ABOVE ALL OPENINGS OVER 1200MM WIDE AND 1200MM CTRS IMMEDIATELY ABOVE THE DPC.

WET AREAS
TO COMPLY WITH AS3740-2010

PLIABLE BUILDING MEMBRANE
PLIABLE BUILDING MEMBRANE TO BE PROVIDED IN ACCORANCE WITH PART 10.8.1 OF THE BCA AND TO BE LOCATED ON THE EXTERIOR SIDE OF THE PRIMARY INSULATION LAYER OF WALL ASSEMBLIES THAT FORM THE EXTERNAL ENVELOPE.
ALL PLIABLE BUILDING MEMBRANES SHALL COMPLY WITH AS4200.1 AND INSTALLED IN ACCORDANCE WITH AS4200.2

BUSHFIRE ATTACK LEVEL
CLASSIFICATION TO BE DETERMINED BY REGISTERED BUILDING SURVEYOR IF REQUIRED.

FLASHING
ALL FLASHING TO BE INSTALLED IN ACCORDANCE WITH AS/NZS 2904-1995 AND COMPLY WITH THE BCA

ARTICULATION JOINTS
ARTICULATION JOINTS ARE TO COMPLY WITH PART 5.6.8 OF THE NCC 2022 (MINIMUM EVERY 5M CENTRES).

LOGS FOR PILES OR PIERS
UPON COMPLETION, PROVIDE A COMPLETE COPY OF THE RECORDS FOR THE PILE/PIER DRIVING OPERATIONS

LIGHTING
MAINS ELECTRICITY SUPPLY, TELSTRA AND OTHERS TO BE LOCATED IN ACCORDANCE WITH THE RESPONSIBLE AUTHORITIES REQUIREMENTS. ALL ELECTRICAL SWITCHES AND POINTS SHALL BE INSTALLED IN ACCORDANCE WITH AS3000-2018, NCC AND ELECTRICAL AUTHORITIES REQUIREMENTS. PROVIDE SAFETY SWITCHES (RCD) TO ALL LIGHTING AND POWER POINT CIRCUITS.

 Urban Space Designers <i>Building Design and Drafting</i>	Phone: 0402438170	The information contained in this document is copyright and may not be used or reproduced for any other project or purpose. Verify all dimensions and levels on site and report any discrepancies toUrban Space Designers for direction prior to the commencement of work. Drawings to be read in conjunction with all other contract documents. Use figured dimensions only. Do not scale from drawings. USD cannot guarantee the accuracy of content and format for copies of drawings issued electronically. IF IN DOUBT ASK. The completion of the issued details checked and authorized section below is confirmation of the status of the drawing. The drawing shall not be used for the construction unless endorsed "for construction" and authorized for issue. Read these drawings in conjunctions with drawings prepared byUSD. Refer any discrepancies with the architect before proceeding with any building works. The drawing is prepared as built and strict instructions to builders to have a physical measurement before referring this drawing and inform USD if there are any gaps in dimensions.	Client: SHILPA BHATIA & CHANDRESH BHATIA	Rev	Description	Date	DESIGN DRAWINGS	Sheet:		
	Email: info@urbanspacedesigners.com.au		Project: SINGLE STOREY DWELLING	1	North updated, Gutter on wall detail shown on A05	03/10/2025	CHECK all dimensions and measurements on site prior to fabrication and or construction. Dimensions are in millimeters "frame to frame" and do not allow for interior linings. ALL work in Accordance with The Building Code of Australia (BCA) as amended, relevant Australian Standards (AS) Codes and good building practices. Drawings to be read in conjunction with specifications and schedules.	NOTES		
	Website: www.urbanspacedesigners.com.au		Address: 47 FEDRATION DRIVE, SORELL, TAS - 7172					Drawn: GK		
	Accreditation: TAS - 381246362 VIC - DP-AD 72846							Scale:	Size: A3	Date: 22/09/2025
								Project: 47FDS/TAS/ARCH-2025	Sheet No.: A01	Rev: 1

NOTES:
SOIL CLASSIFICATION
SOIL CLASSIFICATION TO BE CONFIRMED ON SITE.
SCRAPE SITE TO REMOVE SURFACE VEGETATION
AND PROVIDE LEVEL BUILDING PLATFORM.
SITE CLEARING
IT IS THE RESPONSIBILITY OF THE CLIENT TO UNDERTAKE REMOVAL OF ANY
SITE SPOIL/STOCK PILES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
DETAILS OF ASSETS IN EASEMENTS NOT AVAILABLE AT THE TIME OF DRAFTING.
VERIFY ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION..
CONDENSATION MANAGEMENT PART 10.8 IS ACHIEVED.
THIS IS ONLY REQUIRED, IF ALL EXHAUST FANS (WC/KITCHEN
ETC.) DISCHARGE TO WITHIN ROOF SPACE. IF IT COMPLIES WITH
PART 10.8.2 (2) THEN NO NEED FOR 'WHIRLY BIRDS'.

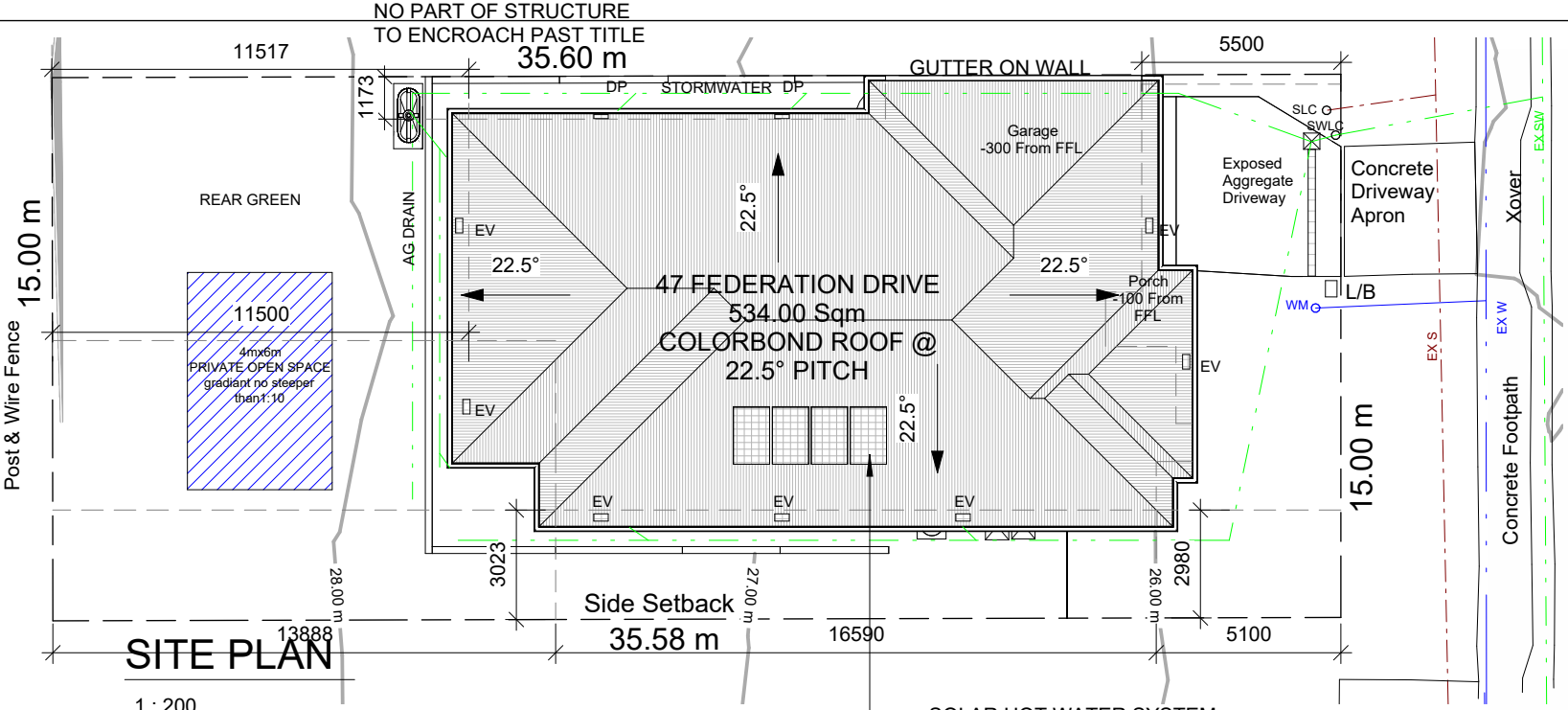
TERMITE PROTECTION
PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.
STORM WATER DRAIN LAYOUT IS INDICATIVE ONLY AND WILL BE LAID TO THE
DRAINERS DISCRETION
SOLAR WATER SYSTEM
SOLAR HOT WATER SYSTEM IN ACCORDANCE WITH PLUMBING REGULATIONS
AND AS 4234-1998
RELOCATION OF SERVICE PITS OR ANY OBSTRUCTIONS TO ALLOW VEHICLE
ACCESS TO GARAGE REMAINS THE RESPONSIBILITY OF THE OWNER
A SOIL INVESTIGATION REPORT AND FEATURE SURVEY WILL BE REQUIRED.

PLIABLE BUILDING MEMBRANE – PART 10.8.1: WHERE A PLIABLE BUILDING MEMBRANE IS INSTALLED IN AN
EXTERNAL WALL, COMPLY WITH AS/NZS 4200.1; AND BE INSTALLED IN ACCORDANCE WITH AS 4200.2;
AND BE A VAPOUR PERMEABLE MEMBRANE FOR CLIMATE ZONES 6, 7 AND 8; AND BE LOCATED ON THE
EXTERIOR SIDE OF THE PRIMARY INSULATION LAYER OF WALL ASSEMBLIES THAT FORM THE EXTERNAL
ENVELOPE OF A BUILDING

FLASHINGS TO WALL OPENINGS ARE ACCORDANCE WITH PART 7.5.6
ALL MASONRY VENEER WALLS TO COMPLY WITH PART 5.2
DESIGN OF ANTI-PONDING DEVICE/BOARD IN ACCORDANCE WITH 7.3.5
FLOW RATE AND DISCHARGE OF EXHAUST SYSTEMS – PART 10.8.2: AN EXHAUST SYSTEM INSTALLED IN A
KITCHEN, BATHROOM, SANITARY COMPARTMENT OR LAUNDRY MUST HAVE A MINIMUM FLOW RATE OF —
O 25 L/S FOR A BATHROOM OR SANITARY COMPARTMENT; AND
O 40 L/S FOR A KITCHEN OR LAUNDRY.

SITE PLAN NOTES
STORM WATER AND SEWER TO BE CONNECTED TO
LEGAL POINT OF DISCHARGE IN ACCORDANCE
WITH LOCAL AUTHORITIES REQUIREMENTS
DOWNPIPES (DP) TO APPROX. LOCATION MAX 12M
CNTRS CONNECTED TO S/WATER SYS. IN
ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS.
ALL S/WATER DRAINS THAT PASS
UNDER CONC. SLABS AND TRAFFICABLE AREAS TO
BE LAID IN HEAVY DUTY SEWER PIPE.

BUILDER TO PROVIDE AGI DRAIN TO BASE OF
BATTERS / RETAINING WALLS & WHERE EVER DEEMED
NECESSARY. PROVIDE SILT PITS TO BASE OF BATTER,
CONNECTED TO S/WATER SYSTEM.
PROVIDE CUT - OFF (AGI) DRAIN AS REQUIRED TO
BASE OF ANY EXCAVATION AND CONNECT INTO
STORM WATER VIA SILT PITS
PROPERTY LAYOUT IS BASED UPON INFORMATION
PROVIDED BY BUILDER OR OWNER AND THEREFORE
ALL DIMENSIONS, OFFSETS AND DETAILS MUST BE
VERIFIED ONSITE PRIOR TO COMMENCING ANY
SETOUTS AND OR BUILDING WORKS.
LEVELS MUST BE VERIFIED ON SITE TO DETERMINE
DEPTH OF EXCAVATIONS AND AFFECTED WALL
HEIGHTS



Surface Water Drainage

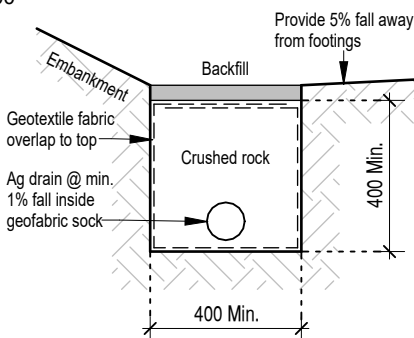
Ground to fall away from building in all Directions in compliance with AS2870 & N.C.C 2022 3.3.3 .

Surface water must be diverted away from a Class 1 building as follows:
(a) Slab-on -ground - Finished ground level adjacent to a building: the external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than

- (i) 25 mm over the first 1m from the building
- (A) in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or clay paving); or
- (B) for any reasonably impermeable surface that forms part of an access path or ramp provided for the purposes of Clauses 1.1 (2) or (4)(c) of the ABCB Standard for Livable Housing Design; or

- (ii) 50 mm over the first 1m from the building in any other case.
- (b) Slab-on -ground - finished slab heights: the height of the slab-on -ground above external finished surfaces must not be less than:
 - (i) 100 mm above the finished ground level in low rainfall intensity areas or sandy, well drained areas; or
 - (ii) 50 mm above impermeable (paved or concrete) areas that slope away from the building in accordance with(a); or

- (iii) 150 mm in any other case.
- (c) The ground beneath suspended floors must be graded so that the area beneath the building is above the adjacent external finished ground level and surface water is prevented from ponding under the building.

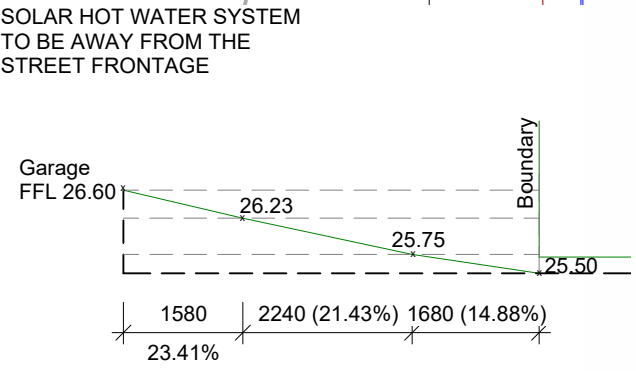


DETAIL - AG DRAIN

Subsoil Drainage

To comply with AS2870, AS3500 & N.C.C 2022 3.3.4 .
Where a subsoil drainage system is installed to divert subsurface water away from the area beneath a building, the subsoil drain must-

- (a) be graded with a uniform fall of not less than 1:300 ; and
- (b) discharge into an external silt pit or sump with-
 - (i) the level of discharge from the silt pit or sump into an impervious drainage line not less than 50 mm below the invert level of the inlet; and provision for cleaning and maintenance.



DRIVEWAY DETAIL

Sorell Council
Development Application: 5.2025.257.1 -
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Plans Reference: P2
Date Received: 03/10/2025

DP - Downpipe
EV - Eave Vents (1 vent every 5m)

Title Reference: 184821/24
Property ID: 9459873

DEVELOPMENT SUMMARY		
Sno.	Description	AREA SQM.
1	SITE AREA	534
2	GREEN AREA	288.65
a	FRONT GREEN	55.65
b	REAR GREEN	233.00
	TOTAL GREEN	288.65
4	BLDG BUILT UP AREA	
a	BUILT UP AREA	160.75
b	GARAGE	40.00
c	PORCH	5.00
d	ALFRESCO	7.00
	TOTAL BUILT UP AREA (BUILDING FOOT PRINT) (BUILDING GROUND COVER)	212.75
	GROUND COVER PERCENTAGE %	39.84
5	CONCRETE AREA (DRIVEWAY)	32.60
6	IMPERVIOUS SURFACE	
	BUILDING GRD COVER	212.75
	CONCRETE/DRIVEWAY	32.60
	TOTAL IMPERVIOUS SURFACE	245.35
	PERCENTAGE %	45.95
7	PERVIOUS SURFACE	
	GREEN AREA	288.65
	TOTAL PERVIOUS SURFACE	288.65
	PERCENTAGE %	54.05

Urban Space Designers
Building Design and Drafting
Phone: 0402438170
Email: info@urbanspacedesigners.com.au
Website: www.urbanspacedesigners.com.au
Accreditation: TAS - 381246362
VIC - DP-AD 72846

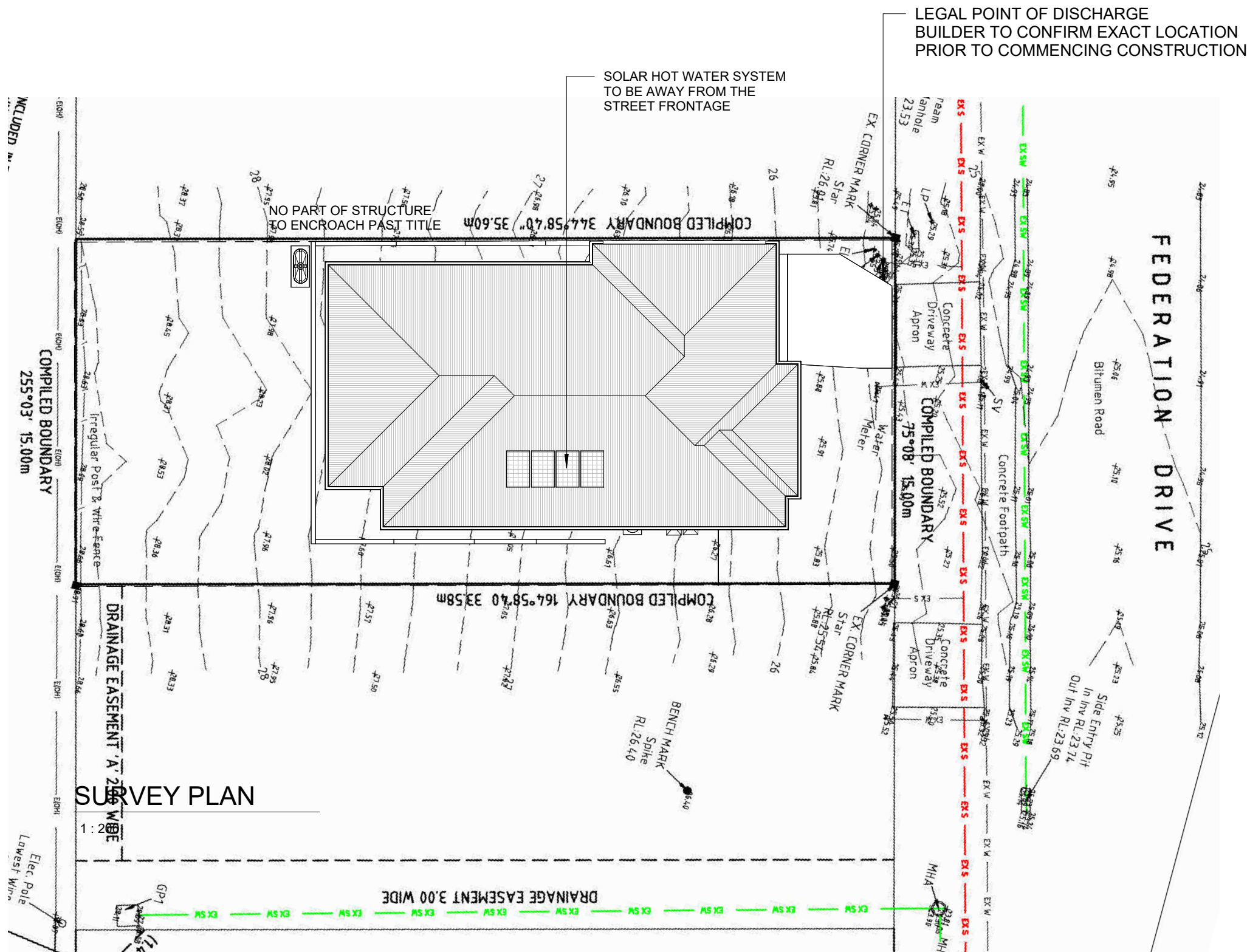
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Client: SHILPA BHATIA & CHANDRESH BHATIA
Project: SINGLE STOREY DWELLING
Address: 47 FEDRATION DRIVE, SORELL, TAS - 7172

Rev	Description	Date
1	North updated, Gutter on wall detail shown on A05	03/10/2025

DESIGN DRAWINGS
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Sheet: SITE PLAN
Drawn: GK
Scale: As indicated
Size: A3
Date: 22/09/2025
Project: 47FDS/TAS/ARCH-2025
Sheet No.: A02
Rev: 1



NOTE:

Site Return fence/ Gate for Standard lots must be maximum 1.8m High and level with the Adjacent Side Boundary Fence.

STORMWATER DRAIN NOTE:
PROVIDE 90mm DIAMETER P.V.C STORMWATER PIPE WITH MINIMUM FALL OF 1:100.
STORMWATER DRAIN LAYOUT IS INDICATIVE ONLY & WILL BE LAID AT THE DRAINERS' DISCRETION.
PROVIDE SELECTED DOWNPIPES AT 12.0m MAXIMUM CENTRES.
CONNECT STORMWATER TO RAINWATER TANK AND DISCHARGE THE OVERFLOW TO FRONT CENTER.
TO BE ADVISED.

**Sorell Council**

Development Application: 5.2025.257.1 -
Response to Request For Information - 47
Federation Drive, Sorell - P2.pdf
Plans Reference: P2
Date Received: 03/10/2025

 Urban Space Designers <i>Building Design and Drafting</i> 	Phone: 0402438170	The information contained in this document is copyright and may not be used or reproduced for any other project or purpose. Verify all dimensions and levels on site and report any discrepancies toUrban Space Designers for direction prior to the commencement of work. Drawings to be read in conjunction with all other contract documents. Use figured dimensions only. Do not scale from drawings. USD cannot guarantee the accuracy of content and format for copies of drawings issued electronically. IF IN DOUBT ASK. The completion of the issued details checked and authorized section below is confirmation of the status of the drawing. The drawing shall not be used for the construction unless endorsed "for construction" and authorized for issue. Read these drawings in conjunctions with drawings prepared byUSD. Refer any discrepancies with the architect before proceeding with any building works. The drawing is prepared as built and strict instructions to builders to have a physical measurement before referring this drawing and inform USD if there are any gaps in dimensions.	Client: SHILPA BHATIA & CHANDRESH BHATIA	Rev	Description	Date	DESIGN DRAWINGS		Sheet: SURVEY PLAN				
	Email: info@urbanspacedesigners.com.au		Project: SINGLE STOREY DWELLING	1	North updated, Gutter on wall detail shown on A05	03/10/2025	CHECK all dimensions and measurements on site prior to fabrication and or construction. Dimensions are in millimeters "frame to frame" and do not allow for interior linings.		Drawn: GK	Scale: 1 : 200	Size: A3	Date: 22/09/2025	
	Website: www.urbanspacedesigners.com.au		Address: 47 FEDRATION DRIVE, SORELL, TAS - 7172										ALL work in Accordance with The Building Code of Australia (BCA) as amended, relevant Australian Standards (AS) Codes and good building practices. Drawings to be read in conjunction with specifications and schedules.
Accreditation: TAS - 381246362 VIC - DP-AD 72846						Project: 47FDS/TAS/ARCH-2025	Sheet No.: A03	Rev: 1					

DWELLING MUST INCORPORATE PLUMBING THAT ALLOWS FOR CONNECTION TO ANY FUTURE RECYCLED WATER SUPPLY. HOUSE TO HAVE ACCESS TO A FIBRE TO THE HOME NETWORK PROVIDED BY NBN CO. MUST BE WIRED IN ACCORDANCE WITH NBN REQUIREMENTS. ANY OUTBUILDINGS, EXTERNAL LIGHT FITTING, SERVICE EQUIPMENT, AND OTHER ANCILLARY ITEMS MUST MEET THE REQUIREMENTS OF THE DESIGN GUIDELINES.

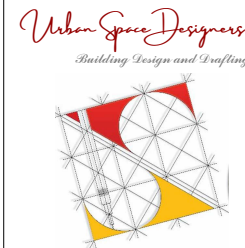
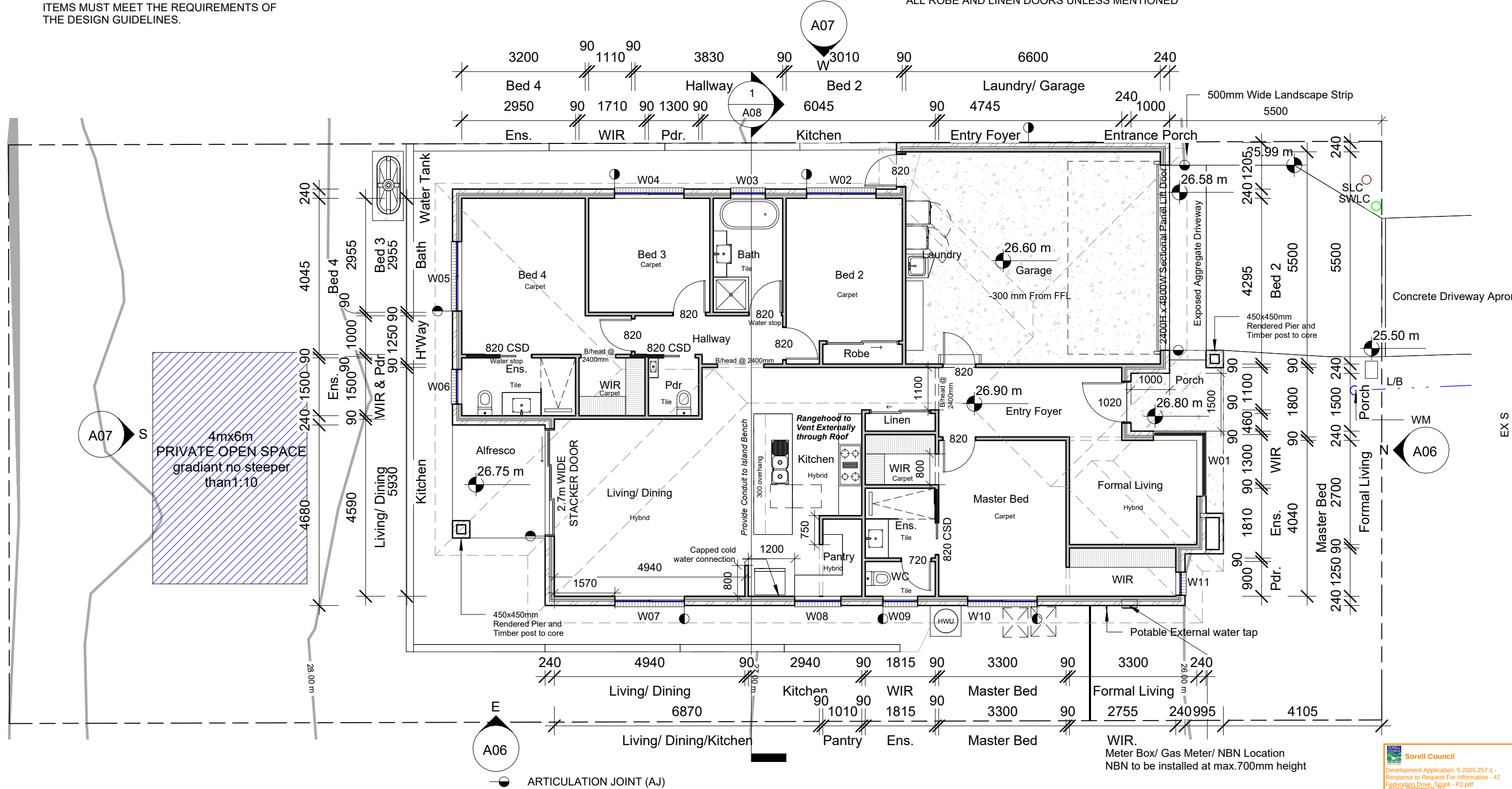
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ARTIFICIAL LIGHTING NOT TO EXCEED:

- 5W/M² FOR DWELLING
 - 4W/M² FOR VERANDAH, BALCONY
 - 3W/M² FOR GARAGE
- ENERGY RATING
INSULATION
WALL : R2.5
ROOF : R5.0
ALL INTERNAL DOORS TO BE 2340 HIGH INCLUDING ALL ROBE AND LINEN DOORS UNLESS MENTIONED

NOTES:

ROOF LAYOUT DESIGN SHOWN IS FOR GUIDE PURPOSES ONLY, SEE THE ROOF MANUFACTURES DRAWINGS FOR EXACT DESIGN. CONCRETER / BUILDER TO MAKE SURE THAT MIN. 385 TO BE EXCAVATED BELOW FLOOR LEVEL IN RESIDENCE AND GARAGE FOR A WAFFLE SLAB. CHECK ON SITE BEFORE COMMENCING BEFORE COMMENCING ON SITE PLEASE CHECK ALL DIMENSIONS



Phone:
0402438170

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Project:
SINGLE STOREY DWELLING

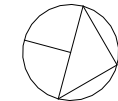
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Sheet: GROUND FLOOR PLAN	Drawn: GK	Scale: 1 : 100	Size: A3	Date: 22/09/2025
Project: 47FDS/TAS/ARCH-2025	Sheet No.: A04	Rev: 1		

- Colorbond metal fascias and gutters.
- Eaves gutters installed with a fall of 1:500 (normally).
- Box gutters fall of 1:100.
- Spacing between downpipes maximum 12m.
- Downpipes to be located 1.2m from a valley or provisions made for overflow.
- Gutters and downpipes to be selected in accordance with NCC Vol 2 Part 7.4.3 and table

and 7.4.3c.

Ventilation of Roof Spaces NCC 2022 Part 10.8.3

- (a) is located-
 - (i) immediately above the primary insulation layer; or
 - (ii) immediately above sarking with a vapour permeance of not less than $1.14 \mu\text{g}/\text{N.s}$, which is immediately above the primary insulation layer; or
 - (iii) immediately above ceiling insulation; and
- (b) has a height of not less than 20 mm; and
- (c) is either-
 - (i) ventilated to outdoor air through evenly distributed openings in accordance with Table 10.8.3;
 - or
 - (ii) located immediately underneath the roof tiles or an unsarked tiled roof.

All gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3 & NCC 2022 Volume II Part 7.4.

R5.0 Insulation batts to roof space above ceiling lining.

Roof cladding, flashings, cappings, roof sheeting and fixings are to be installed in accordance with NCC 2022 Volume II Part 7.2 for sheet roofing and Part 7.3 for tiled and shingle roofing.

To comply with NCC 2022 Vol II Part 7.5.5 and where provided, external fibre-cement sheets and linings used as eaves and soffit linings must-

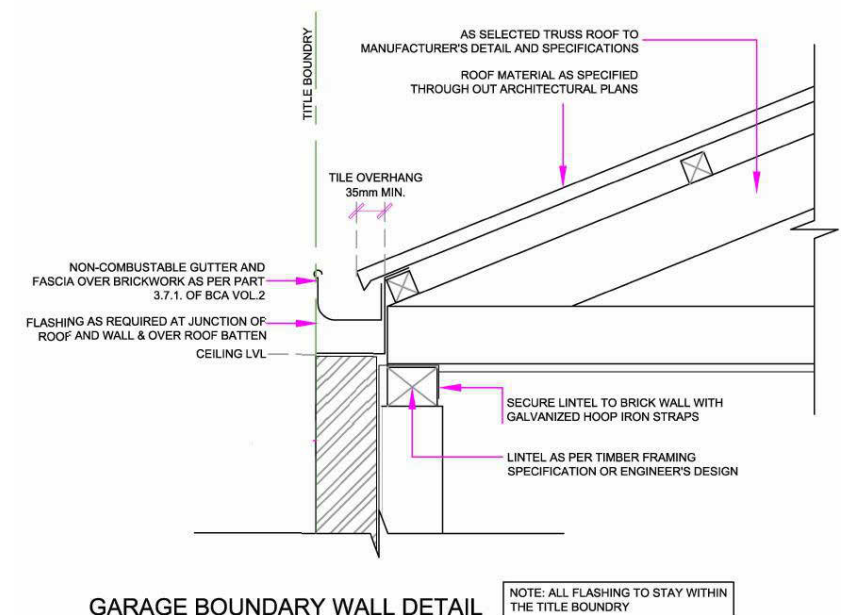
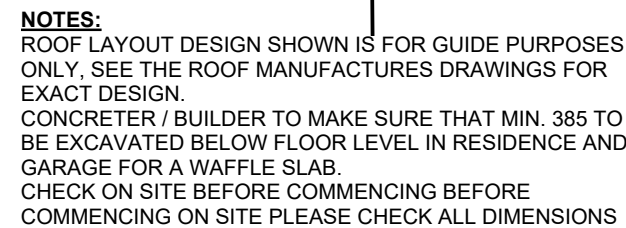
- (a) comply with AS/NZS 2908.2 or ISO 8336; and
- (b) be fixed in accordance with Table 7.5.5 and Figure 7.5.5 using:
 - (i) 2.8 x~ 30 mm fibre-cement nails; or
 - (ii) No. 8 wafer head screws (for 4.5 mm and 6 mm sheets only); or
 - (iii) No. 8 self embedding head screws (for 6 mm sheets only).

Refer to table 7.5.5 for trimmer and fastener spacings.

F8D3 External wall construction

2 (b) for climate zone 6,7,& 8, 1.14 $\mu\text{g}/\text{N.s}$

Class 4 vapour control membranes meet the vapour permeance requirements of F8D3(2)(b)



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SINGLE STOREY DWELLING

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Rev	Description	Date
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Sheet:

ROOF PLAN

Drawn:

GK

Scale:

1 : 200

Size:

A3

Date:

22/09/2025

Project:

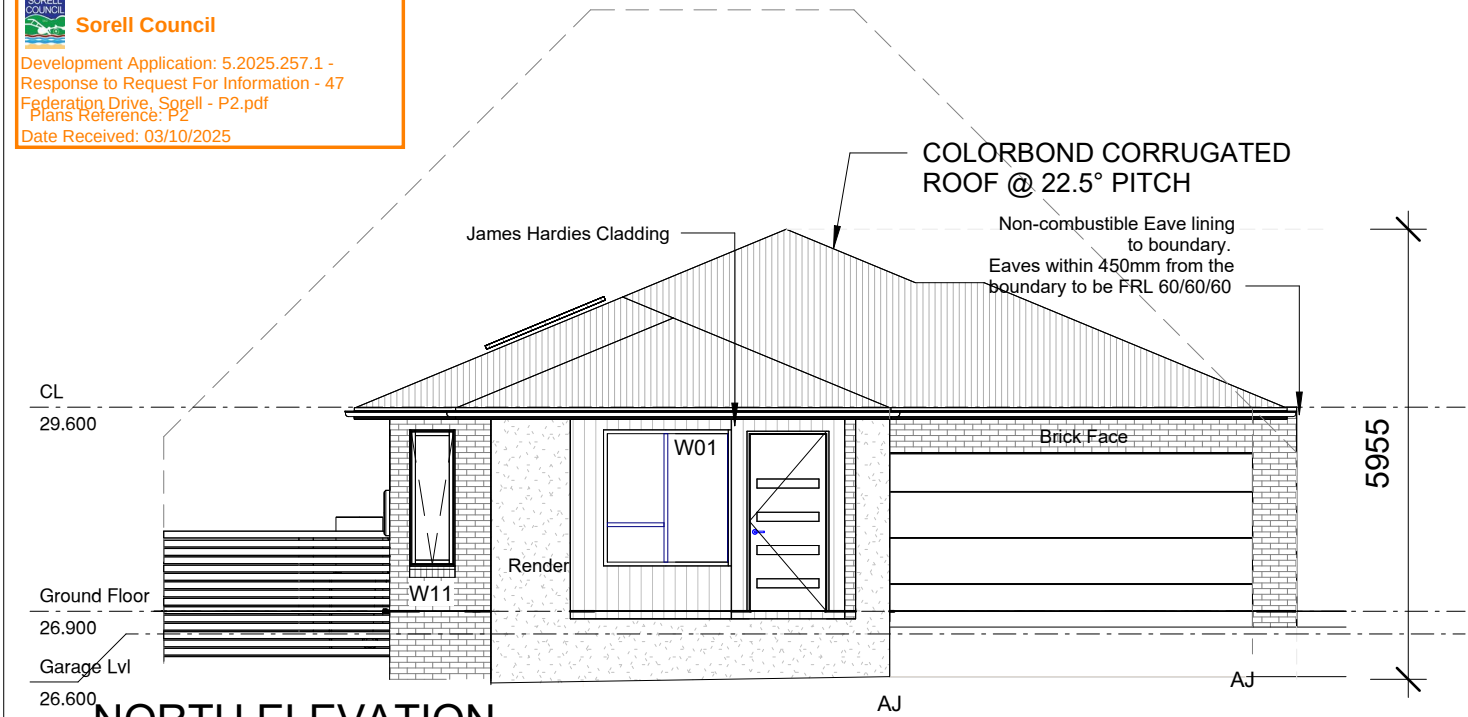
47FDS/TAS/ARCH-2025

Sheet No.:

A05

Rev:

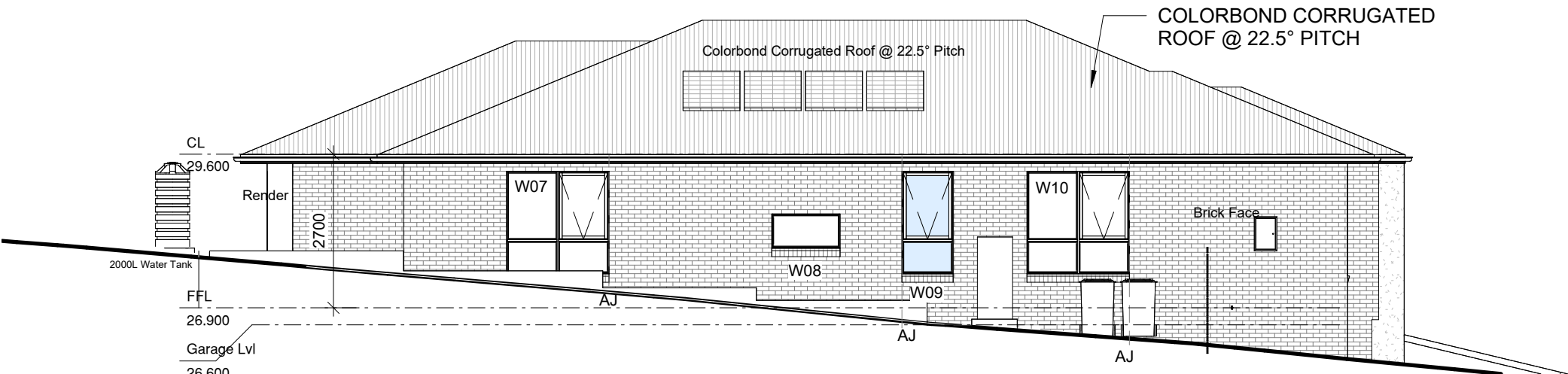
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NORTH ELEVATION

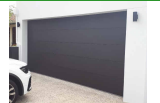
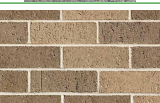
1 : 100

NOTE:
Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of:
100mm in low rainfall intensity areas or sandy, well-drained areas;
50mm above impermeable areas that slope away from the building;
or 150mm in any other case.
Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.
U.N.O in builder's specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.
As per NCC parts 11.3.7 and 11.3.8, Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so that a 125mm sphere cannot pass through, and withstand a force of 250N.
Except for bedrooms, where the requirement is for heights above 2m.
All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2
· Riser: Min 115mm - Max 190mm
· Going: Min 240mm - Max 355mm
· Slope (2R+G): Max 550 - Min 700



EAST ELEVATION

1 : 100

COLOUR LEGEND	
External Finishes	
Item	Description
	Roof/ Downpipes/ Fascia/ Gutter/ Door-Window Frame Colorbond - Monument
	Render Seed Pearl Dulux
	Garage Door Monument
	Driveway/ Porch Midway Exposed Aggregate - Bulla
	Brick Retreat
	Front Portal Cladding External Cladding Black color 5 Slat

STRUCTURAL ENGINEERING DISCLAIMER:

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ALL ROOF PENETRATIONS AND FLASHINGS AS PER THE NCC 2022 PART 7.2.7
WET AREA COMPLIANCE WITH AS3740.
THE EXTERNAL FINISHED SURFACE SURROUNDING THE SLAB MUST BE DRAINED TO MOVE SURFACE WATER AWAY FROM THE BUILDING.

WINDOW SIZES CAN BE VARY DEPENDING ON MANUFACTURER SPECIFICATIONS AND ENERGY RATING REQUIREMENTS WINDOW SIZES CAN BE VARY DEPENDING ON MANUFACTURER SPECIFICATIONS AND ENERGY RATING REQUIREMENTS IF NOT CLEAR PLEASE CONFIRM DIMENSIONS BEFORE COMMENCE WORK ON SITE

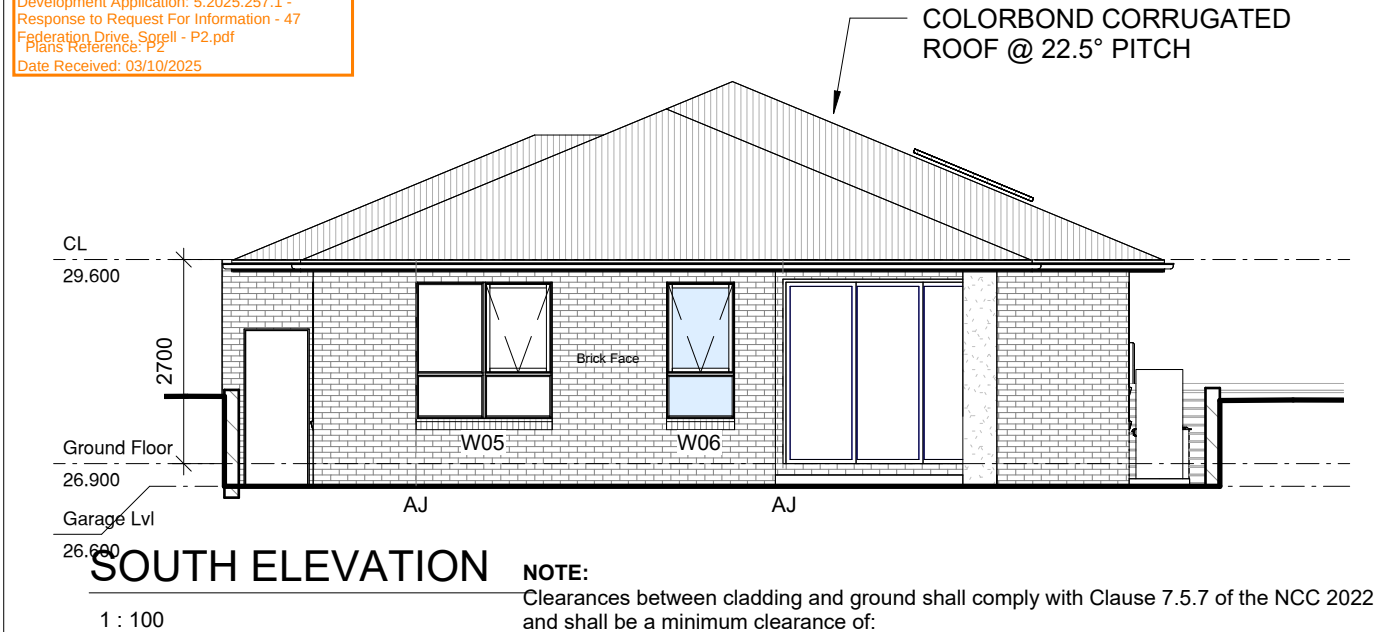
AJ : DENOTES CONTROL JOINT TO FULL HEIGHT OF BRICKWORK @5M MAX. CENTRES. ALL JOINTS TO CONFIRM TO NOTE CN9 OF THE BRICKWORK AND CONCRETE ASSOCIATION.

INFORMATION CONTAINED IN THE SOIL REPORT REGARDING CONTROL JOINTS TAKES RECEDENCE.

WEEPHOLES -
WEEP HOLES AT 1.2 METRE SPACING AND ABOVE WINDOWS MORE THAN 1.0 METRE WIDE.

NOTE: PROVIDE WEEPHOLES AT 960MM MAXIMUM CENTRES WITH CONTINUOUS FLASHING WHERE THE BRICKWORK EXTENDS OVER THE OPENINGS

Window Schedule				
Number	Height	Width	Head Height	Sill Height
W01	1800	1650	2400	600
W02	1800	1800	2400	600
W03	1800	900	2400	600
W04	1800	1800	2400	600
W05	1800	1800	2400	600
W06	1800	900	2400	600
W07	1800	1800	2400	600
W08	600	1200	1650	1050
W09	1800	900	2400	600
W10	1800	1800	2400	600
W11	1800	600	2400	600



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	Brick Retreat
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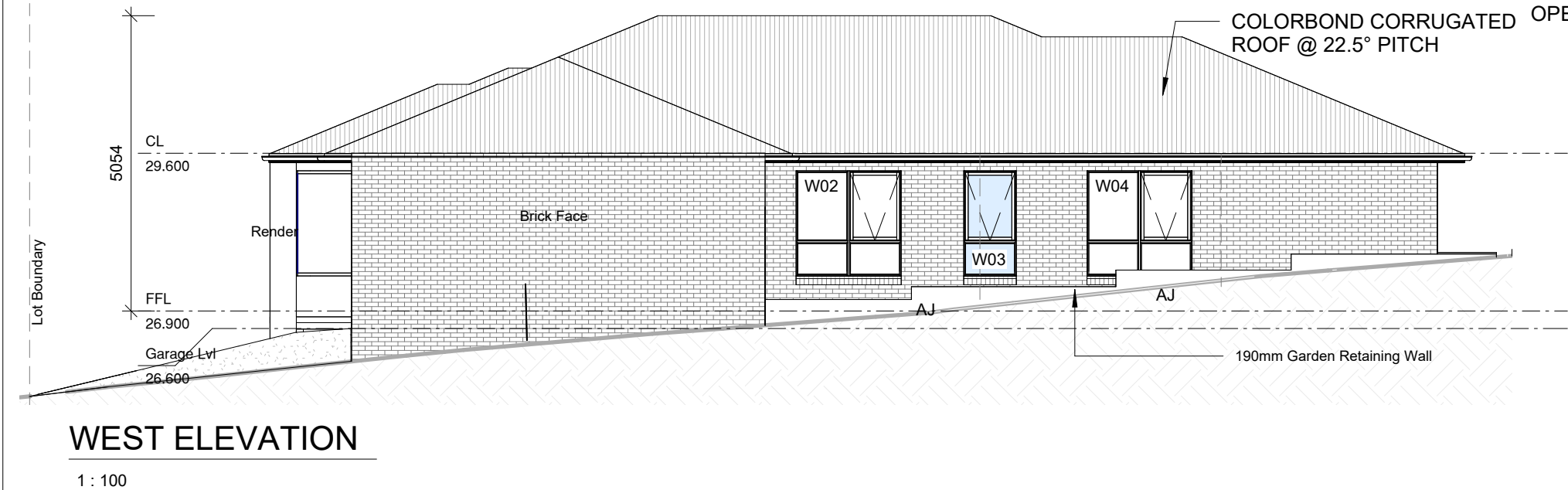
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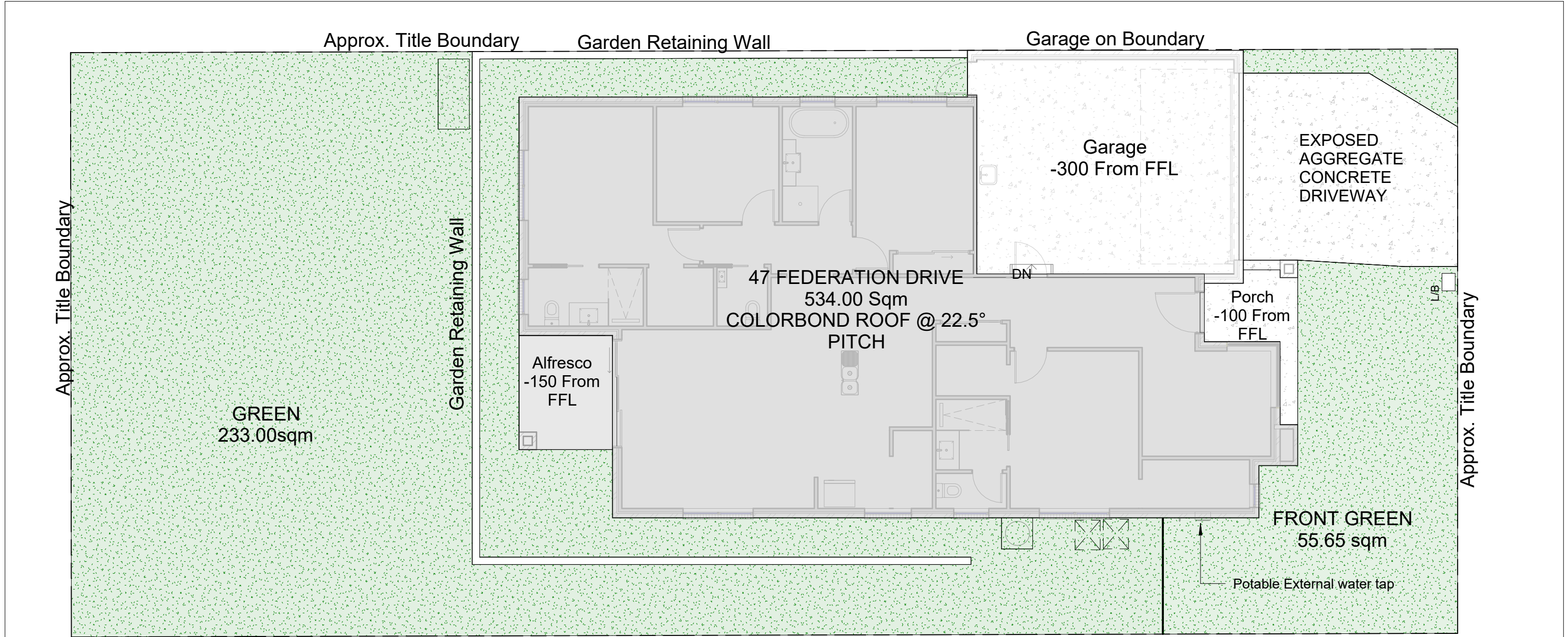
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W07	1800	1800	2400	600
W08	600	1200	1650	1050
W09	1800	900	2400	600
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LANDSCAPE PLAN

1 : 100

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PLANTING SCHEDULE				
CODE	NAME	POT SIZE	QUANTITY	MATURE H x W
SHRUBS				
Wco	WHITE CORREA (Correa Alba)	150mm	8	1.5m x 2.0m
LoL	TANIKA (Lomandra Logifolia)	150mm	7	0.6m x 0.6m
BaS	BIRTHDAY CANDLE (Banksia Spinulosa)	150mm	3	0.4m x 0.5m
TREES				
Ar	AGONIS BURGANDY (Agonis Reflexa)	45L	1	5m x 3m

Front landscaping, as well as any garden areas within public view, must be completed within three months of the Certificate of Occupancy being issued.

GARDEN BEDS LOCATED IN PUBLIC VIEW MUST BE MULCHED. GARDEN BEDS ARE TO CONTAIN ORGANIC OR PEBBLE MULCH

**Sorell Council**
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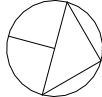
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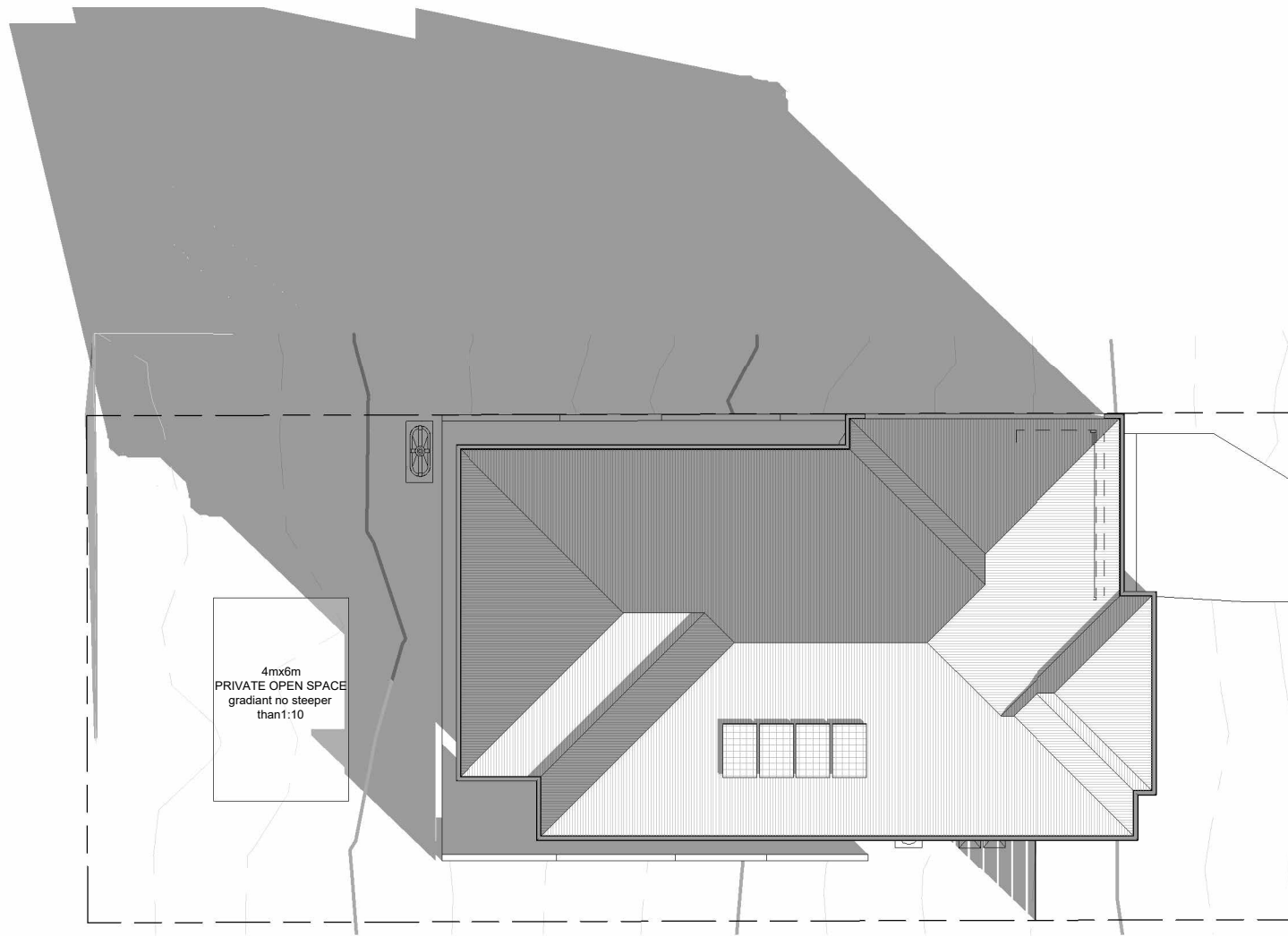


Sheet:
LANDSCAPE PLAN

Drawn: GK

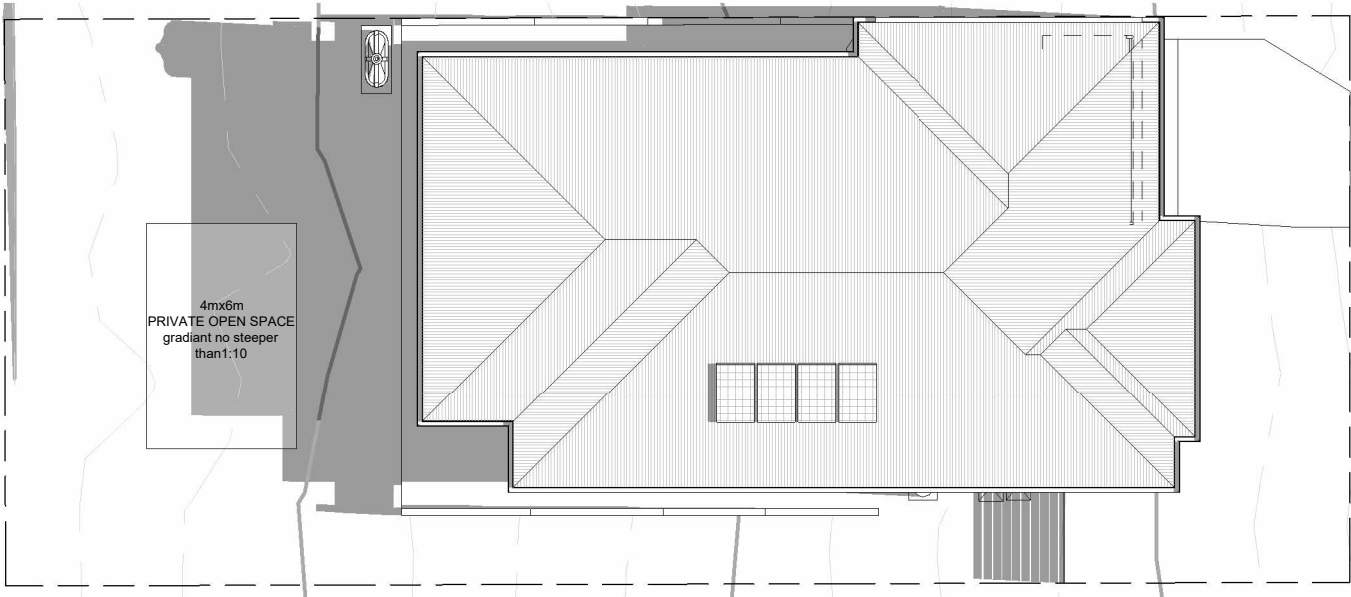
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Project: 47FDS/TAS/ARCH-2025Sheet No.: **A11**Rev: **1**



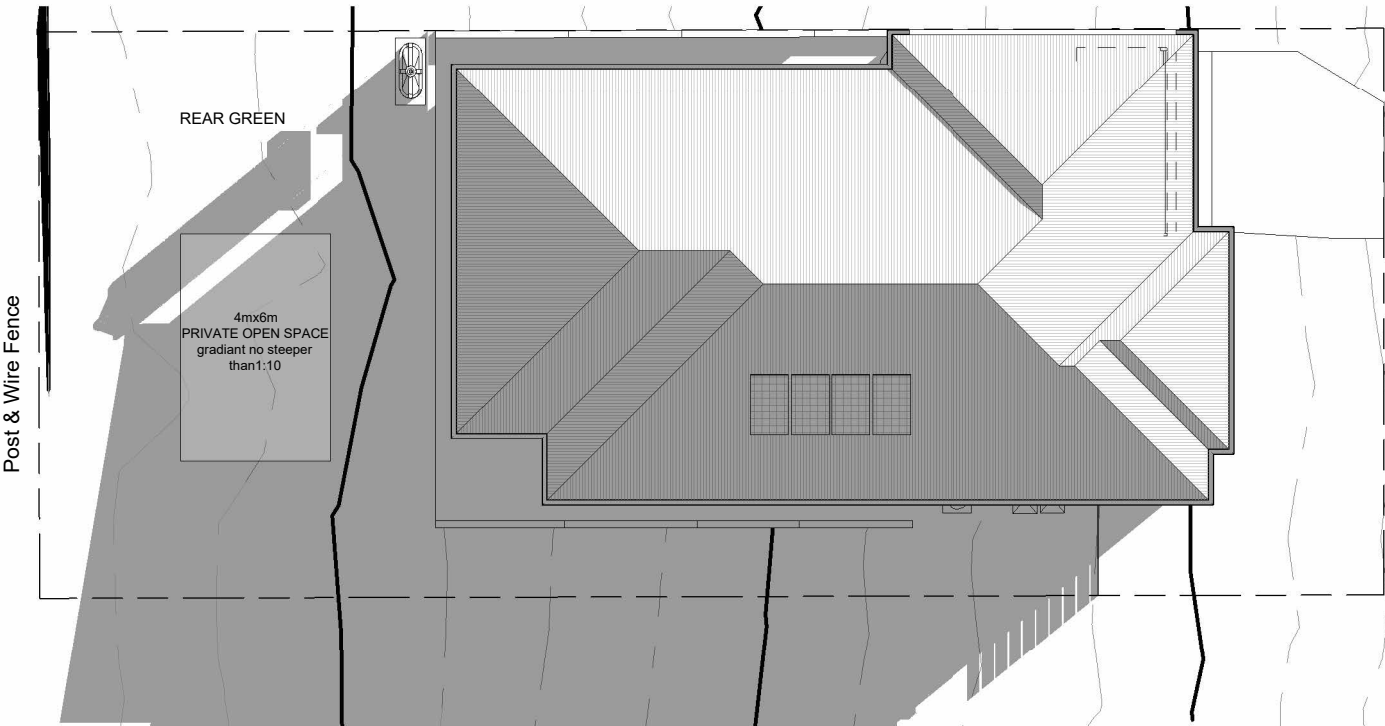
SHADOW @ 0900AM

1 : 200



SHADOW @ 1200PM

1 : 200

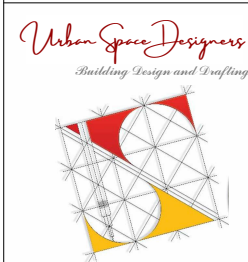


SHADOW @ 0300PM

1 : 200



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Project:
SINGLE STOREY DWELLING

Address:
47 FEDRATION DRIVE,
SORELL, TAS - 7172

Rev	Description	Date	DESIGN DRAWINGS
1	North updated, Gutter on wall detail shown on A05	03/10/2025	CHECK all dimensions and measurements on site prior to fabrication and or construction. Dimensions are in millimeters "frame to frame" and do not allow for interior linings. ALL work in Accordance with The Building Code of Australia (BCA) as amended, relevant Australian Standards (AS) Codes and good building practices. Drawings to be read in conjunction with specifications and schedules.

Sheet: SHADOWS			
Drawn: GK			
Scale: 1 : 200	Size: A3	Date: 22/09/2025	
Project: 47FDS/TAS/ARCH-2025		Sheet No.: A17	Rev: 1