

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE:**WIGGINS ROAD, WATTLE HILL****PROPOSED DEVELOPMENT:****FARM SHED**

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Monday 13th October 2025**.

Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the General Manager. Representations must be received no later than **Monday 13th October 2025**.

APPLICATION NO: 5.2025-186.1

DATE: 26/09/2025

Part B: Please note that Part B of this form is publicly exhibited.

| | |
|--|---|
| Full description of Proposal: | Use: |
| | Development: |
| | <i>Large or complex proposals should be described in a letter or planning report.</i> |
| Design and construction cost of proposal: \$ | |

| | |
|---|--|
| Is all, or some the work already constructed: | No: <input type="checkbox"/> Yes: <input type="checkbox"/> |
|---|--|

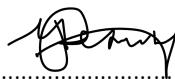
| | |
|-----------------------------|--|
| Location of proposed works: | Street address: |
| | Suburb: Postcode: |
| | Certificate of Title(s) Volume: Folio: |


| | |
|---------------------|-------|
| Current Use of Site | |
|---------------------|-------|

| | |
|------------------|--------------|
| Current Owner/s: | Name(s)..... |
|------------------|--------------|

| | | |
|---|--|---|
| Is the Property on the Tasmanian Heritage Register? | No: <input type="checkbox"/> Yes: <input type="checkbox"/> | <i>If yes, please provide written advice from Heritage Tasmania</i> |
| Is the proposal to be carried out in more than one stage? | No: <input type="checkbox"/> Yes: <input type="checkbox"/> | <i>If yes, please clearly describe in plans</i> |
| Have any potentially contaminating uses been undertaken on the site? | No: <input type="checkbox"/> Yes: <input type="checkbox"/> | <i>If yes, please complete the Additional Information for Non-Residential Use</i> |
| Is any vegetation proposed to be removed? | No: <input type="checkbox"/> Yes: <input type="checkbox"/> | <i>If yes, please ensure plans clearly show area to be impacted</i> |
| Does the proposal involve land administered or owned by either the Crown or Council? | No: <input type="checkbox"/> Yes: <input type="checkbox"/> | <i>If yes, please complete the Council or Crown land section on page 3</i> |
| If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form https://www.sorell.tas.gov.au/services/engineering/ | | |



| Declarations and acknowledgements | |
|--|--|
| <ul style="list-style-type: none"> I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land. I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council's representatives to enter the land at any time during normal business hours. I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies. I/we declare that, in accordance with s52(1) of the <i>Land Use Planning and Approvals Act 1993</i>, that I have notified the owner(s) of the intention to make this application. I/we declare that the information in this application is true and correct. <p><i>Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council's Privacy Policy available on the Council website.</i></p> | |
| <ul style="list-style-type: none"> I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only. | |
| <ul style="list-style-type: none"> Where the General Manager's consent is also required under s.14 of the <i>Urban Drainage Act 2013</i>, by making this application I/we also apply for that consent. | |
| Applicant Signature: | <div style="text-align: center; margin-bottom: 10px;">  </div> Signature: Date: |

| Crown or General Manager Land Owner Consent | |
|---|------------------------------|
| <p>If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the <i>Land Use Planning and Approvals Act 1993</i>).</p> <p>Please note:</p> <ul style="list-style-type: none"> If General Manager consent is required, please first complete the General Manager consent application form available on our website www.sorell.tas.gov.au If the application involves Crown land you will also need a letter of consent. Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development. | |
| <p>I _____ being responsible for the administration of land at _____</p> <p>declare that I have given permission for the making of this application for _____</p> | |
| <div style="text-align: right; border: 1px solid black; padding: 5px; width: fit-content; margin: 0 auto;">  Sorell Council <small>Development Application: Wiggins Road, Wattle Hill</small> <small>Plans Reference: P1</small> <small>Date Received: 18/07/2025</small> </div> | |
| Signature of General Manager, Minister or Delegate: | Signature: Date: |

SEARCH OF TORRENS TITLE

| | |
|------------------|------------------------------|
| VOLUME 128936 | FOLIO 1 |
| EDITION 3 | DATE OF ISSUE 24-Mar-2020 |

SEARCH DATE : 11-Jul-2025

SEARCH TIME : 02.29 PM

DESCRIPTION OF LAND

Parish of FORCETT, Land District of PEMBROKE
Lot 1 on Sealed Plan 128936
Derivation : Part of Lot 1456 Gtd. to J. Walker.
Prior CT 38128/4

SCHEDULE 1

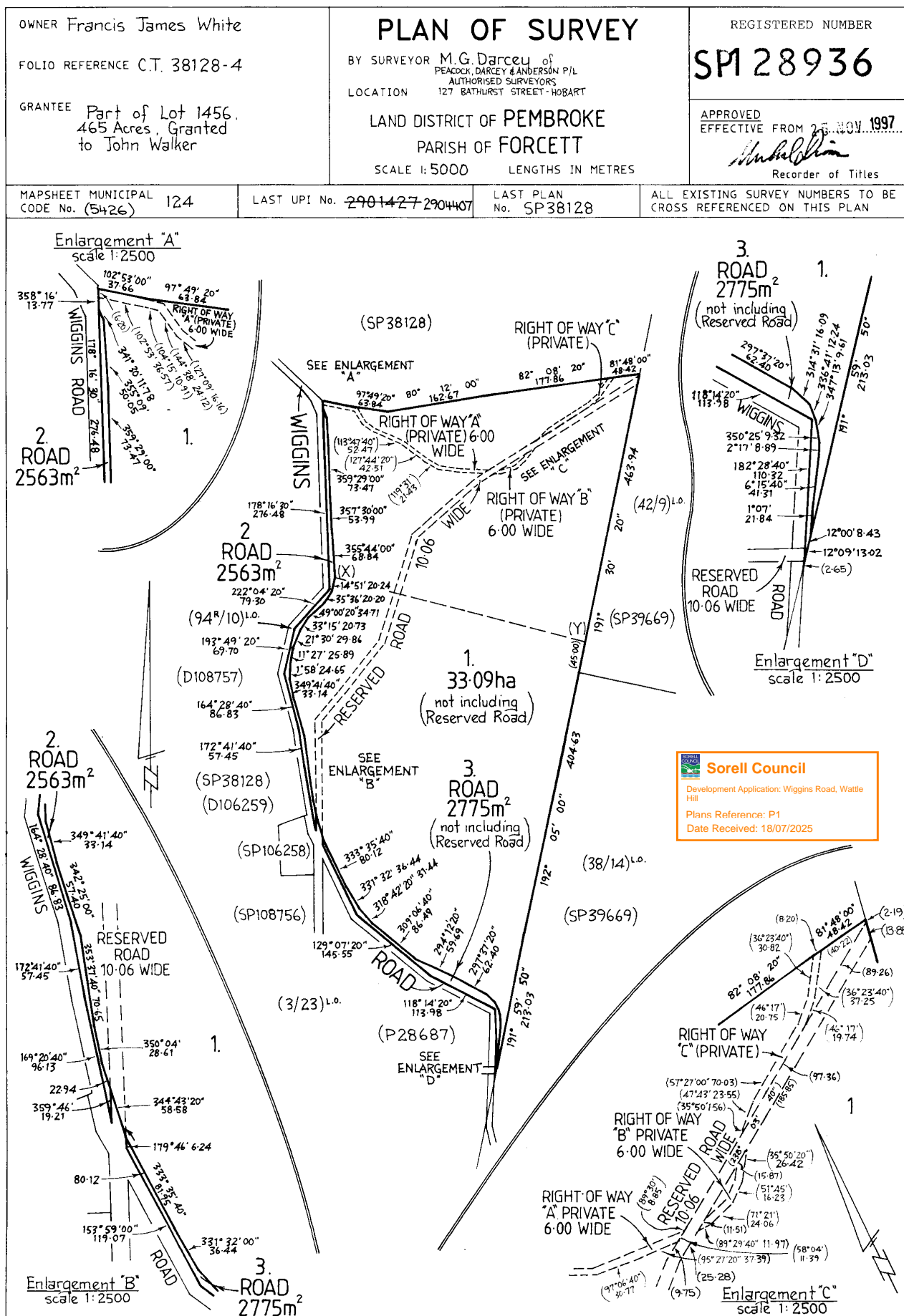
C335838 TRANSFER to JASON WAYNE BROWN Registered
07-Jan-2002 at noon

SCHEDULE 2

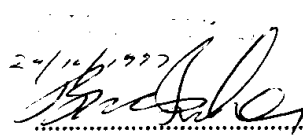
Reservations and conditions in the Crown Grant if any
SP 128936 EASEMENTS in Schedule of Easements
SP 128936 COVENANTS in Schedule of Easements
SP 128936 FENCING COVENANT in Schedule of Easements
SP 38128 FENCING COVENANT in Schedule of Easements
SP 38128 COUNCIL NOTIFICATION under Section 468(12) of the
Local Government Act 1962
E214111 MORTGAGE to National Australia Bank Limited
Registered 24-Mar-2020 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



A-148

| | | | |
|--|--|------------------------------|--------------------|
| <p style="text-align: center;">SCHEDULE OF EASEMENTS</p> <p>NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.</p> | <p style="text-align: center;">REGISTERED NUMBER</p> <p style="font-size: 24px; font-weight: bold;">SP1 28936</p> | | |
| <table style="width: 100%;"> <tr> <td style="width: 60%;"><u>EASEMENTS AND PROFITS</u></td> <td style="width: 40%; text-align: right;">PAGE 1 OF 2 PAGE/S</td> </tr> </table> <p>Each lot on the plan is together with:-</p> <p>(1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and</p> <p>(2) any easements or profits a prendre described hereunder.</p> <p>Each lot on the plan is subject to:-</p> <p>(1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and</p> <p>(2) any easements or profits a prendre described hereunder.</p> <p>The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.</p> <p><u>Right of carriageway</u></p> <p>The balance is together with a right of carriageway over the right of way "A" (Private) 6.00 wide, the right of way "B" (Private) 6.00 wide and the right of way "C" (Private) shown passing through lot 1 on the Plan</p> <p>Lot 1 is subject to a right of carriageway over the right of way "A" (Private) 6.00 wide, the right of way "B" (Private) 6.00 wide and the right of way "C" (Private) shown on the Plan as appurtenant to the balance.</p> <p>"The balance" means the balance of the land comprised in Folio of the Register at the date of acceptance hereof Numbered Volume 38128 Folio 4 after excepting out the lots shown in the Plan.</p> <p><u>Covenant</u></p> <p>The owner of lot 1 on the Plan covenants with Noel James White and Cynthia Frances Morey and the owners for the time being of every other lot shown on the Plan to the intent that the burden of this covenant may run with and bind the covenantor's lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulation, namely, not to use or permit to be used any portion of lot 1 on the Plan to the North of the line marked XY on the Plan for the purpose of residential development.</p> <p style="text-align: center;">(USE ANNEXURE PAGES FOR CONTINUATION)</p> | | <u>EASEMENTS AND PROFITS</u> | PAGE 1 OF 2 PAGE/S |
| <u>EASEMENTS AND PROFITS</u> | PAGE 1 OF 2 PAGE/S | | |
| <p>SUBDIVIDER : N.J. WHITE & C.F. MOREY</p> <p>FOLIO REF : CERTIFICATE OF TITLE 38128/4 CONVEYANCE 21/3685</p> <p>SOLICITOR & REFERENCE : DOBSON MITCHELL & ALLPORT (MR J.R. UPCHER)</p> | <p>PLAN SEALED BY : </p> <p>DATE : 24/06/2022</p> <p>..... REF No. Council Delegate</p> | | |
| <p>NOTE: THE COUNCIL DELEGATE MUST SIGN THE CERTIFICATE FOR THE PURPOSE OF IDENTIFICATION.</p> | | | |



ANNEXURE TO
SCHEDULE OF EASEMENTS

PAGE 2 OF 2 PAGES

Registered Number

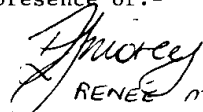
SP128936

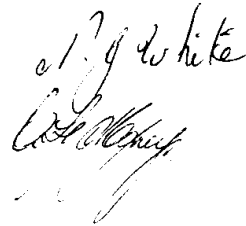
SUBDIVIDER:- N.J. WHITE & C.F. MOREY

FOLIO REFERENCE:- CERTIFICATE OF TITLE 38128/4 AND CONVEYANCE 21/3685

The owner of each lot on the Plan covenants with the Vendor, Noel James White
~~and Cynthia Frances Morey, and as a separate covenant with Noel James White that~~
~~neither~~ the Vendor ~~nor Noel James White~~ shall ^{not} be required to fence.

SIGNED by NOEL JAMES WHITE and)
CYNTHIA FRANCES MOREY the)
registered proprietors of the)
land comprised in Folio of the)
Register Numbered Volume 38128)
Folio 4 and the beneficial owners)
of the land in Conveyance 21/3685)
in the presence of:-)


RENEE MOREY
ARTHUR HIGHWAY
SORELL.
STUDENT.



NOTE:- Every annexed sheet must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

 **Sorell Council**
Development Application: Wiggins Road, Wattle
Hill
Plans Reference: P1
Date Received: 18/07/2025

SURVEY NOTES

SHEET 1 OF 6 SHEETS

Registered Number

SP128936

SURVEY CERTIFICATE

I, MAYWELL GEORGE DARCEY of HOBART

in Tasmania a registered surveyor HEREBY CERTIFY that:

- (a) this survey is based upon the best evidence that the nature of the case admits
- (b) the survey notes have been truly compiled from surveys made by me or made under my supervision; and
- (c) this survey and accompanying survey notes comply with the relevant legislation affecting surveys and are correct for the purpose required.

Signature

Date 7.05.1996

Surveyors Reference: V347D

CROSS REFERENCE PLAN NUMBERS
USED AS PART OF THIS SURVEY

DESCRIBE BY REPORT THE EVIDENCE
USED TO DETERMINE BOUNDARIES

SURVEY NOTES

BY SURVEYOR **M.G. DARCEY**

LAND DISTRICT OF **PEMBROKE**

PARISH OF **FORCETT**

PART OF LOT 1456, 4.65 ACRES
GRANTED TO JOHN WALKER

FRANCIS JAMES WHITE - OWNER

C.T. 38128/4

NOTE: ALL BOUNDARIES ARE OPEN AND
ALL CORNERS ARE C.P.'S UNLESS STATED
OTHERWISE. ALL ROAD LOT CORNERS
SHOWN THUS, □, HAVE NOT BEEN MARKED.
ROAD WIDENING C.P.'S ARE 9.00 METRES
FROM THE CENTRELINE OF FORMATION.

SURVEY COMMENCED : 5TH MARCH 1996

SURVEY COMPLETED : 4TH APRIL 1996

ERROR OF CLOSE : SEE CALCS.

Join Sheet 2

(3/23)^{L.O.}

(Lot 4
S.P. 38128)

33.09 ha
EX. RES. ROAD

REPORT

1. EASTERN GRANT BOUNDARY OF (3/23)^{L.O.}

THE SOUTHERN END WAS FIXED PER P.28687.
O. STONES, STN(E) IN (38/14)^{L.O.} AND STN(14) IN THIS SURVEY,
WERE ADOPTED.
THE FENCE INTERSECTION AT THE CORNER OF (3/23),
(38/14) AND (42/9) WAS ADOPTED. IT WAS VERIFIED BY SP 39669. SH in Side
AN ADOPTED O.R. POST IN THE VICINITY OF THE RESERVED
ROAD GIVES APPROXIMATELY P.O. ANGLES WITH THE FENCES
AT THE ABOVE FENCE INTERSECTION.
THE O.R. POST WAS USED TO FIX THE LINE OF THE
REMAINDER OF THE GRANT BOUNDARY.
THE NORTHERN TERMINAL WAS FIXED BY A DEDUCED
DISTANCE, PER 42/9 FROM IRON CREEK, OF 322.5.

2. WIGGINS ROAD

SURVEYS P.28687 AND S.P. 38128 WERE ADOPTED TO
FIX THE EASTERN SIDE OF WIGGINS ROAD.

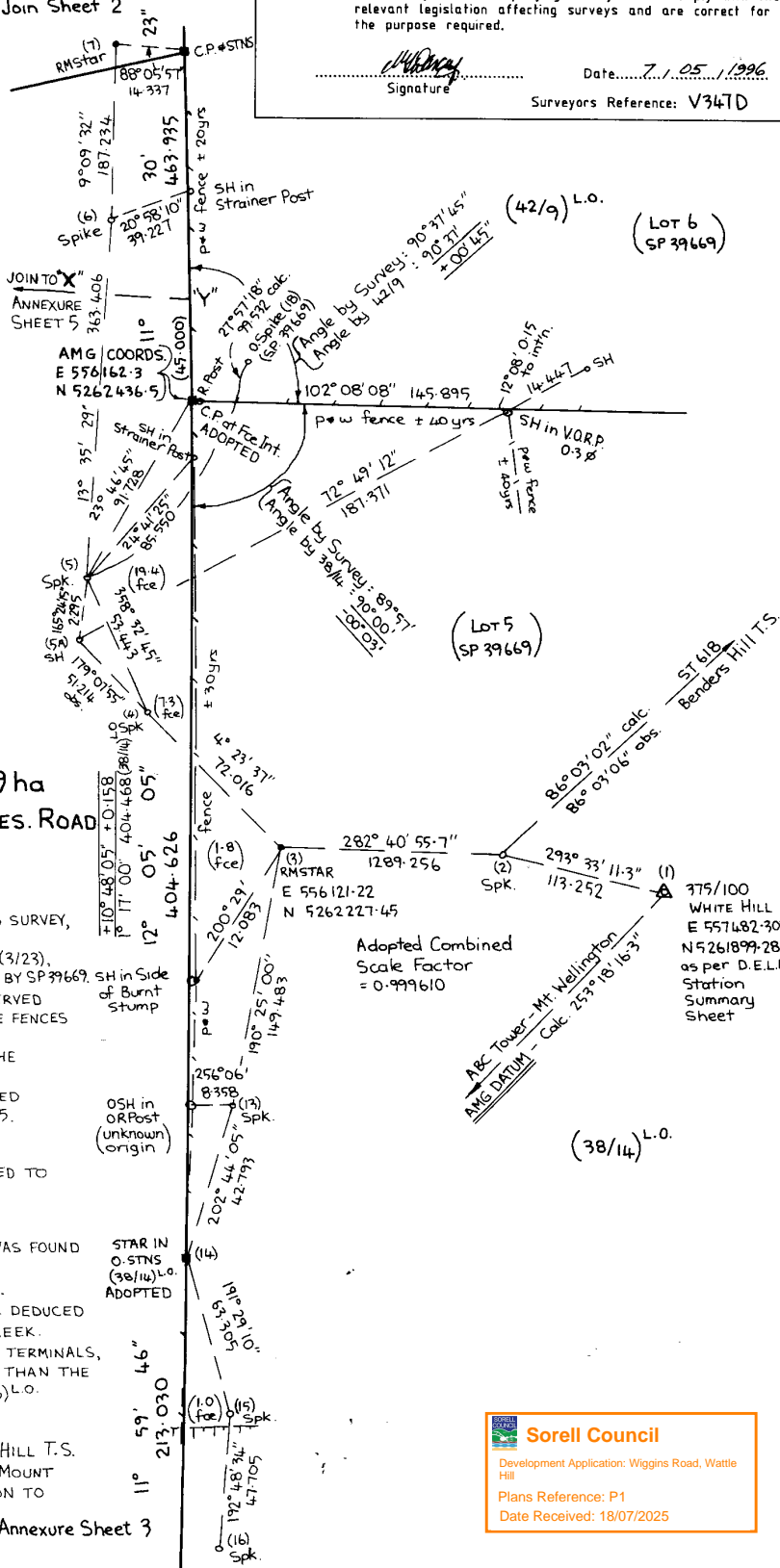
3. RESERVED ROAD THROUGH LOT 1

NO EVIDENCE OF OLD FORMATION OR FENCING WAS FOUND
IN THE VICINITY OF THE RESERVED ROAD.
THE SOUTHERN END WAS FIXED PER P.28687.
THE NORTHERN END 'G' WAS FIXED BY A P.O. DEDUCED
DISTANCE OF 146.853 (3/23)^{L.O.} FROM IRON CREEK.
AN EXCESS OF 10.444 METRES BETWEEN THE TERMINALS,
'F' AND 'G', WAS PROPORTIONED AND IS LESS THAN THE
COMPUTED MISCLOSE OF 17.2 METRES IN (3/23)^{L.O.}

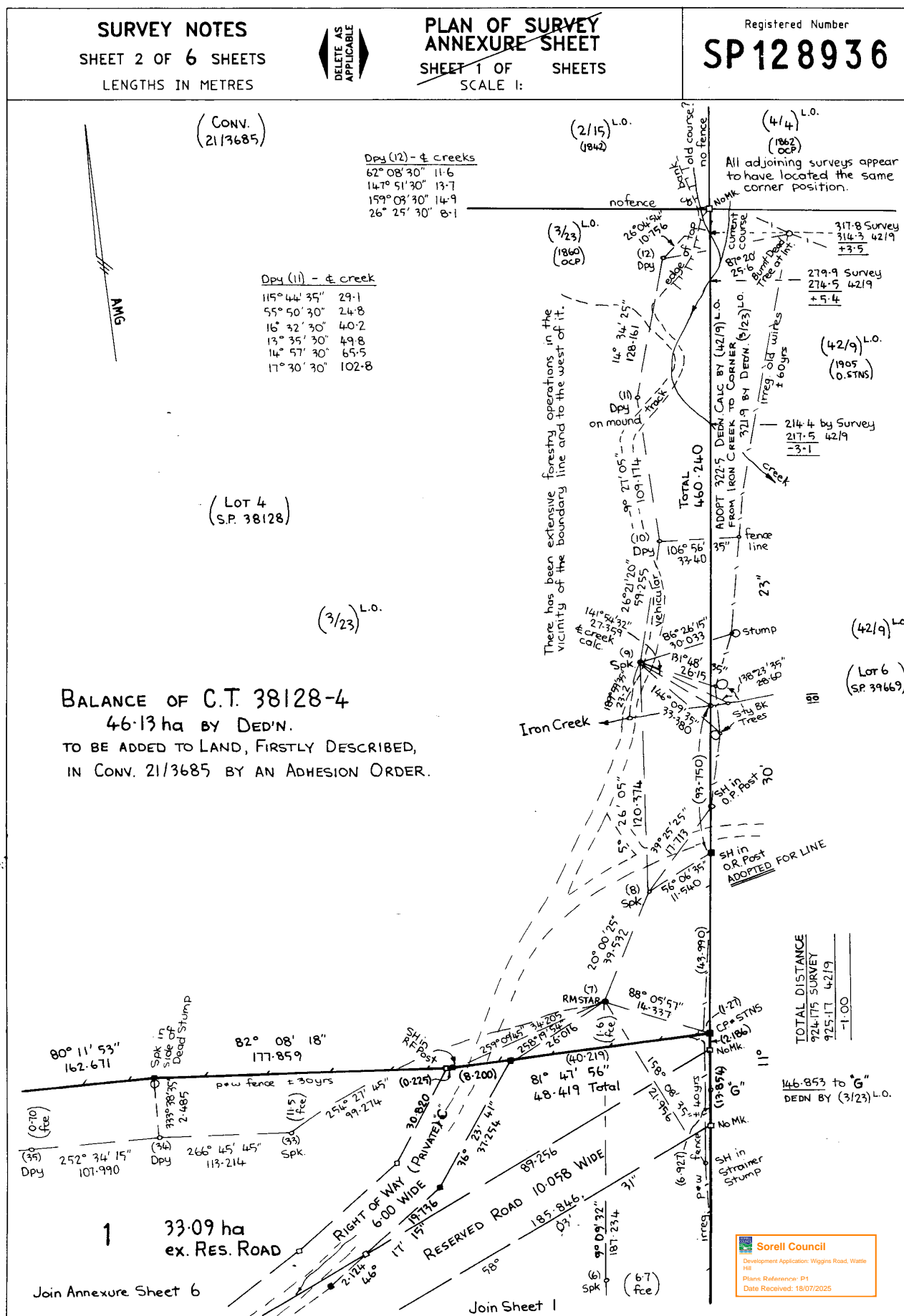
4. AMG DATUM

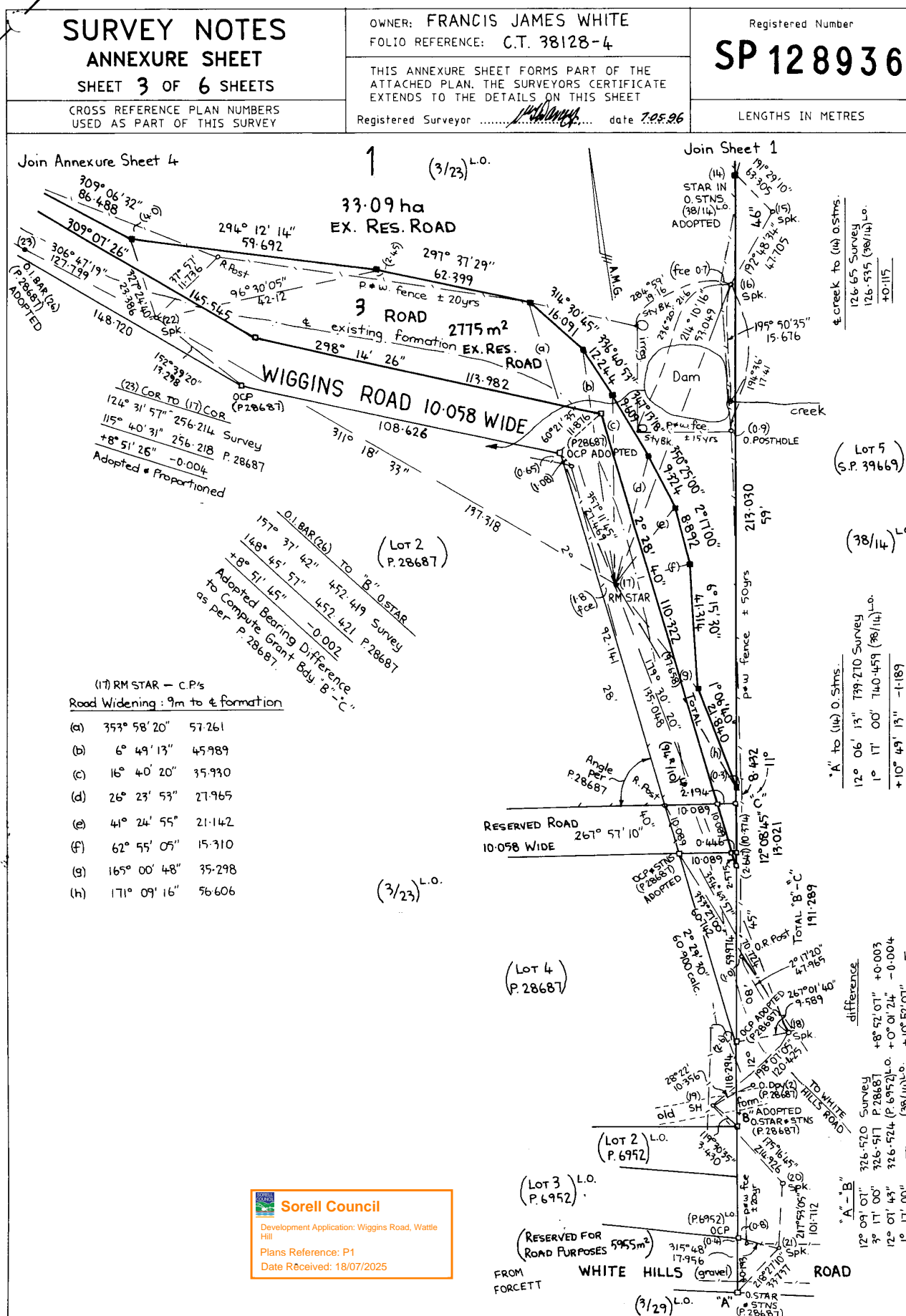
DATUM WAS DETERMINED AT 375/100 WHITE HILL T.S.
BY OBSERVATION TO THE ABC TOWER, ST 90, MOUNT
WELLINGTON. IT WAS VERIFIED BY OBSERVATION TO
BENDERS HILL T.S., ST 618.

Join Annexure Sheet 3



Sorell Council
Development Application: Wiggins Road, Wattle
Hill
Plans Reference: P1
Date Received: 18/07/2025





SURVEY NOTES

ANNEXURE SHEET

SHEET 4 OF 6 SHEETS

CROSS REFERENCE PLAN NUMBERS
USED AS PART OF THIS SURVEY

OWNER: FRANCIS JAMES WHITE

FOLIO REFERENCE: C.T. 38128-4

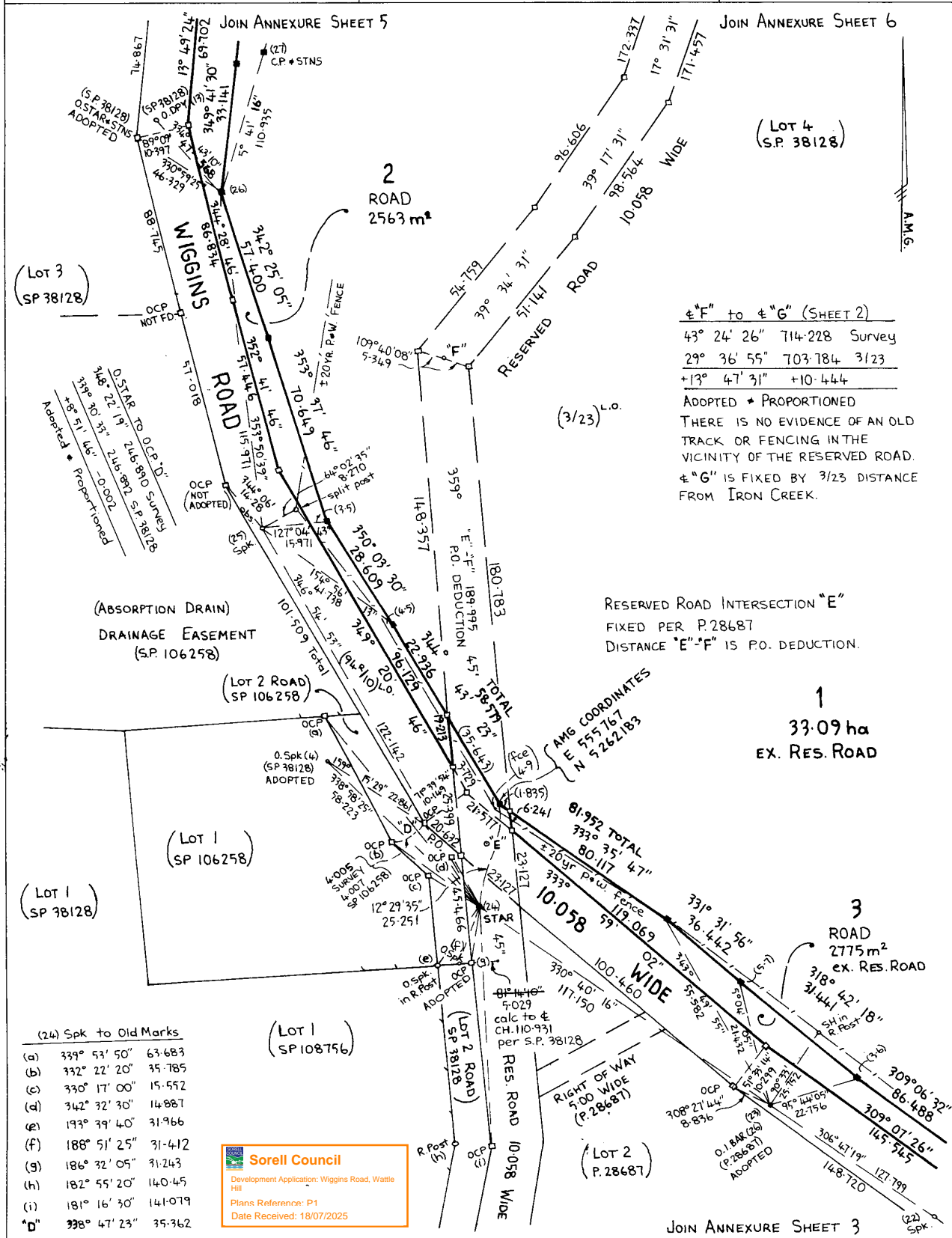
THIS ANNEXURE SHEET FORMS PART OF THE
ATTACHED PLAN. THE SURVEYORS CERTIFICATE
EXTENDS TO THE DETAILS ON THIS SHEET

Registered Surveyor date 7.05.86.

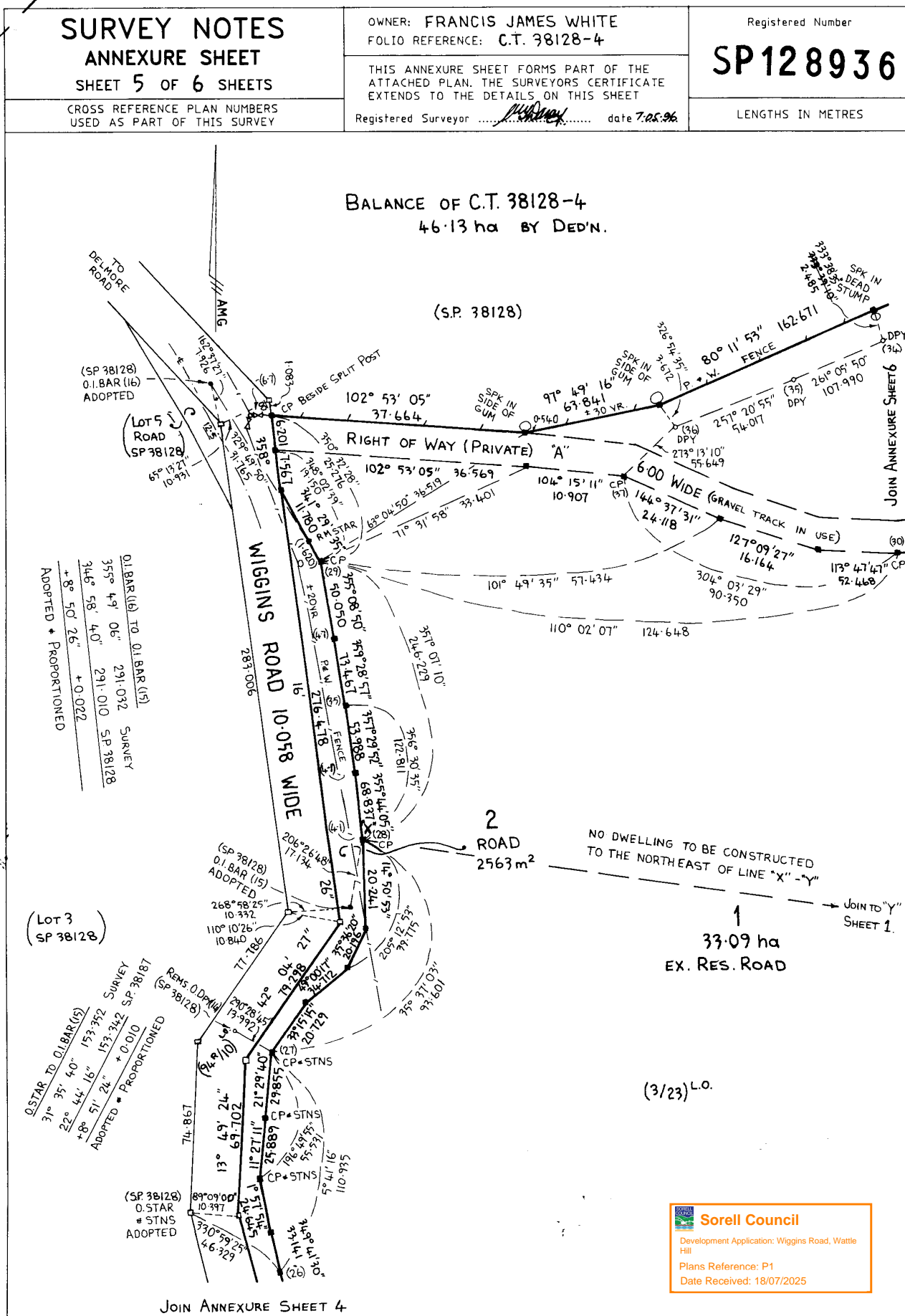
Registered Number

SP 128936

LENGTHS IN METRES



A-147



Sorell Council
 Development Application: Wiggins Road, Wattle Hill
 Plans Reference: P1
 Date Received: 18/07/2025

A-147

SURVEY NOTES

ANNEXURE SHEET

SHEET 6 OF 6 SHEETS

CROSS REFERENCE PLAN NUMBERS
USED AS PART OF THIS SURVEY

OWNER: FRANCIS JAMES WHITE

FOLIO REFERENCE: C.T. 38128-4

THIS ANNEXURE SHEET FORMS PART OF THE
ATTACHED PLAN. THE SURVEYORS CERTIFICATE
EXTENDS TO THE DETAILS ON THIS SHEET

Registered Surveyor date 7.05.26

Registered Number

SP128936

LENGTHS IN METRES

JOIN SHEET 2

BALANCE OF C.T. 38128-4
46.13 ha BY DEED.

(LOT 4
S.P. 38128)

JOIN ANNEXURE SHEET 5

JOIN SHEET 1

RM STAR (7) - ROW CP'S
(a) 23° 28' 10" 59.217
(b) 23° 32' 05" 80.952

SH (32) - ROW CP'S
(c) 57° 48' 45" 122.272
(d) 60° 03' 25" 100.283
(e) 74° 04' 55" 66.460
(f) 80° 55' 15" 51.814
(g) 89° 01' 20" 28.369

1
33.09 ha
EX. RES. ROAD

SEE ANNEXURE SHEET 4 FOR
COMPARISON USED TO FIX
RESERVED ROAD 10.058 WIDE

JOIN ANNEXURE SHEET 4

Sorell Council
Development Application: Wiggins Road, Wattle
Hill
Plans Reference: P1
Date Received: 18/07/2025

JOIN ANNEXURE SHEET 5

A-147



September 17th, 2025

Sorell Council

RE: Proposed shed at Wiggling Road, Forcett - Details of the proposed use of the building, whether it is intended that the building be used for storage of agricultural goods / equipment or otherwise.

To whom it may concern,

We are writing to confirm that the proposed use of the building.

- Machinery storage e.g. excavator, header and tractor's
- Agricultural good and equipment.

Please contact Mark Perry on 0439 204 498 should you require further information.

Kind regards,

A handwritten signature in black ink, appearing to read 'Mark Perry', is positioned above the printed name.

Mark Perry



July 14th, 2025

Sorell Council
Attn: Planning
PO Box 126
SORELL TAS 7172

Email: Sorell.council@sorell.tas.gov.au

Re: Notification of Proposed Setback Variation – Title Ref: 128936/1, Wiggins Road, Forcett

To Whom It May Concern,

I write in relation to the planning application, seeking approval for the construction of a shed on the site at the above-mentioned property.

Due to the existing natural ground levels and the need to ensure functional and safe access to the shed, the proposed boundary setback has been reduced to 15 metres, rather than the standard 25 metres typically required under the relevant planning provisions.

The decision to reduce the setback has been made with the site's natural features in mind. The proposed location:

- Limits the need for major earthworks or cut and fill;
- Provides easier vehicle access to the shed; and
- Helps minimise environmental impact on the surrounding area.

Should you require any additional information or clarification, please do not hesitate to contact me.

Kind regards,

Mark Perry

M Perry Construction Pty Ltd
116 Bay Road, Boomer Bay, TAS 7177
PH: 0439 204 498
Email: mp.construction@outlook.com.au
Accreditation CC7321

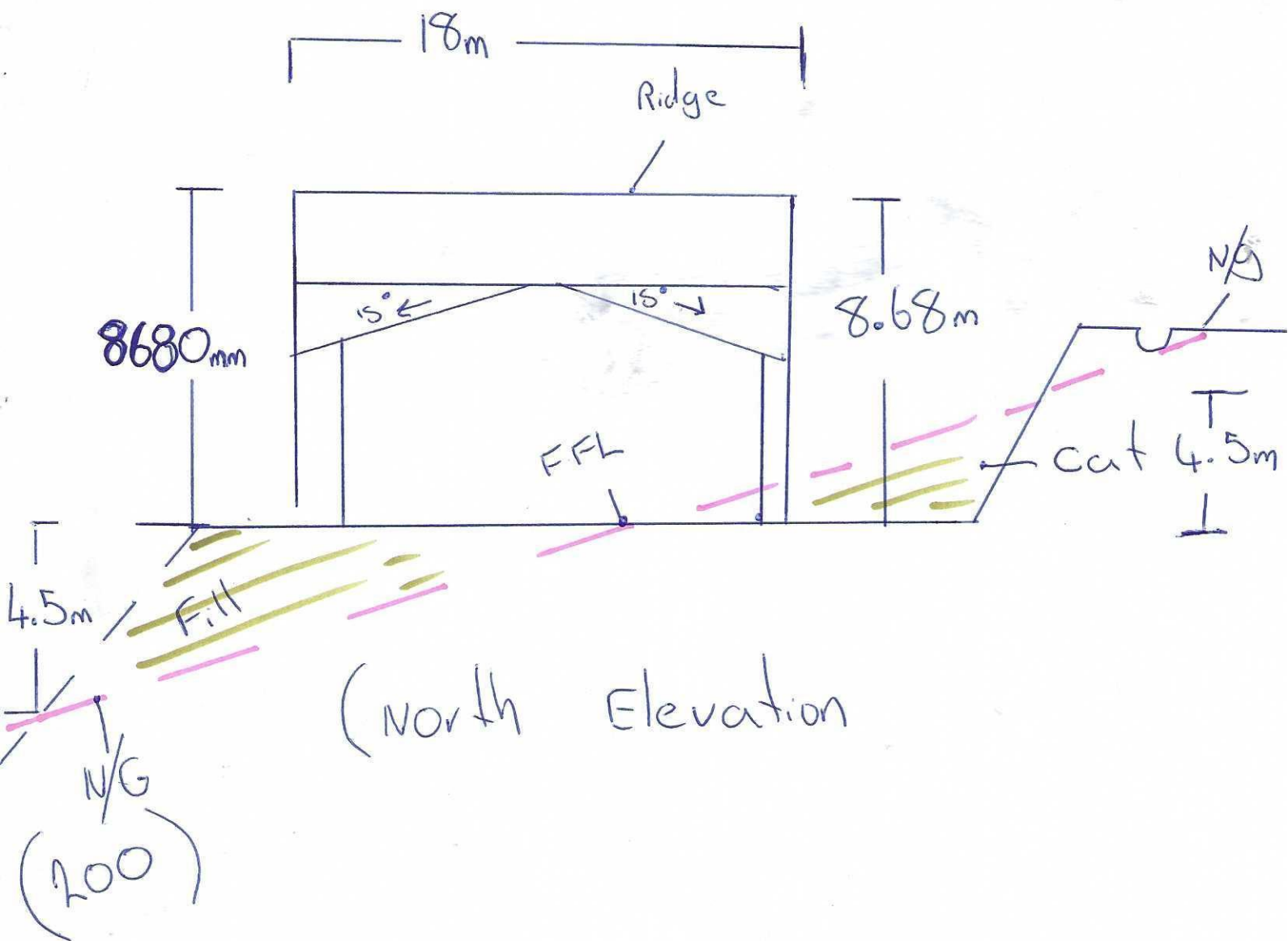




Elevation plan

- Roof - night sky
- walls - Surf mist
- Total height from natural ground =

Address - Wiggins Road, Forcett



Notes

- cut 4.5m
- Fill 4.5m

- FFL of slab = 200.0

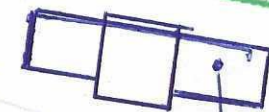
Site Plan

- wiggins Road
- Force H



Driveway
(5.0m wide)

200



Proposed
Shed

120.0m

Existing dam

Road Detail



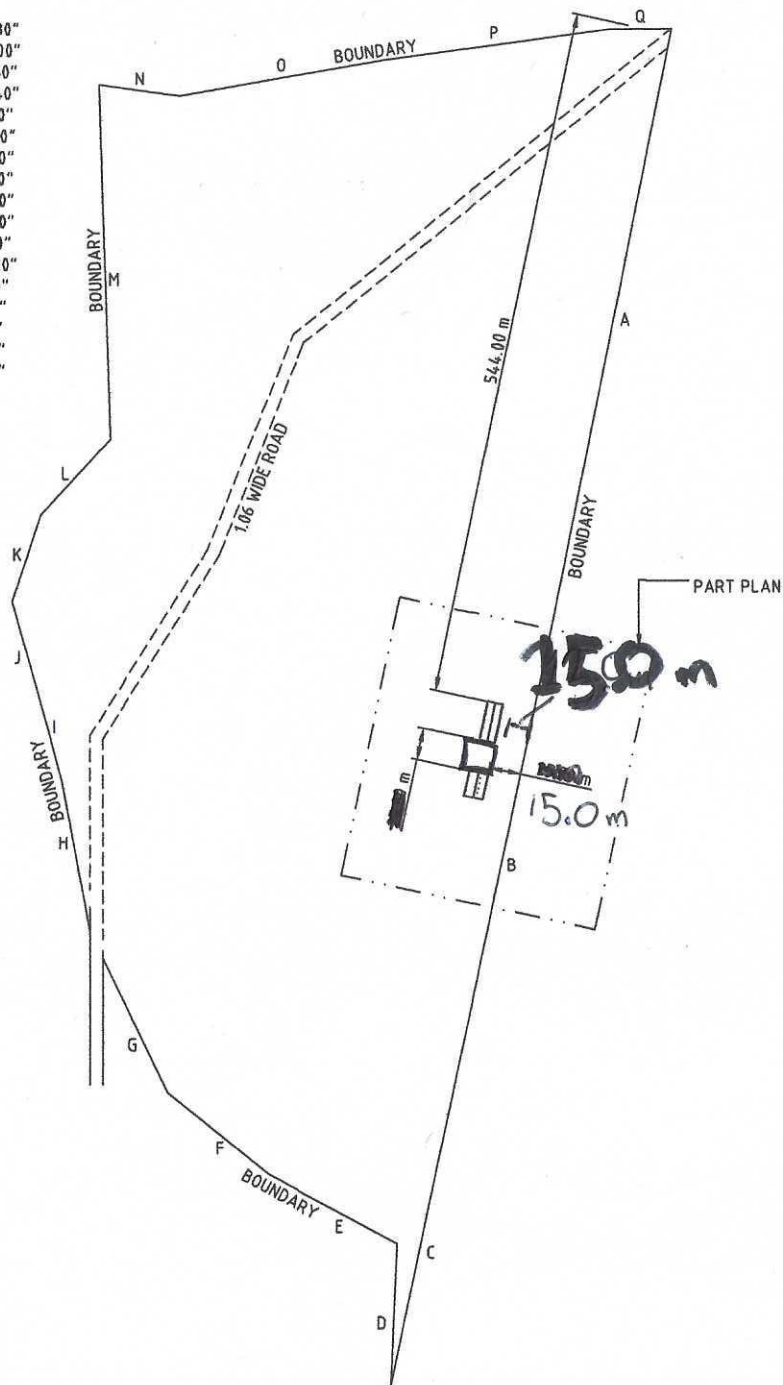
WIGGINS ROAD

434

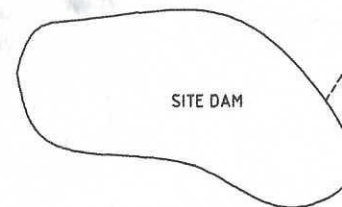
Copyright Notice

Wiggins Creek

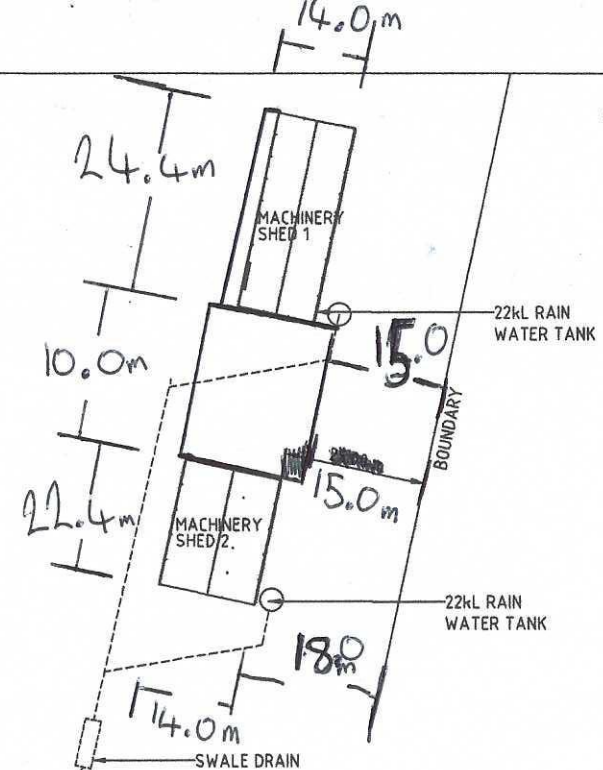
- A - 463.94 m 191° 30' 30"
- B - 404.63 m 192° 05' 00"
- C - 213.03 m 191° 59' 50"
- D - 110.32 m 182° 28' 40"
- E - 113.98 m 118° 14' 20"
- F - 145.55 m 129° 07' 20"
- G - 119.07 m 153° 59' 00"
- H - 96.13 m 169° 20' 40"
- I - 57.45 m 172° 41' 40"
- J - 86.83 m 164° 28' 40"
- K - 69.70 m 193° 49' 20"
- L - 79.30 m 222° 04' 20"
- M - 276.48 m 178° 16' 30"
- N - 63.84 m 97° 49' 20"
- O - 162.67 m 80° 12' 00"
- P - 177.86 m 82° 08' 20"
- Q - 48.42 m 81° 08' 20"



SITE PLAN



PART SITE PLAN
SCALE - 1:800

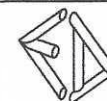


Sorell Council

Development Application: Wiggins Road, Wattie Hill

Plans Reference: P1

Date Received: 18/07/2025



CONSULTING ENGINEERS
Emmanuel Dellas Pty Ltd
phone: 6228 2225 fax: 6228 2235
mobile: 0418 232 811
email: edellias@bigpond.com
28 Straffen Avenue Lenah Valley

Project Title:
**PROPOSED MACHINERY SHEDS
AT WIGGINS ROAD, FORCETT
FOR Mr. JASON BROWN
SITE PLAN**

Designed by: E.D.

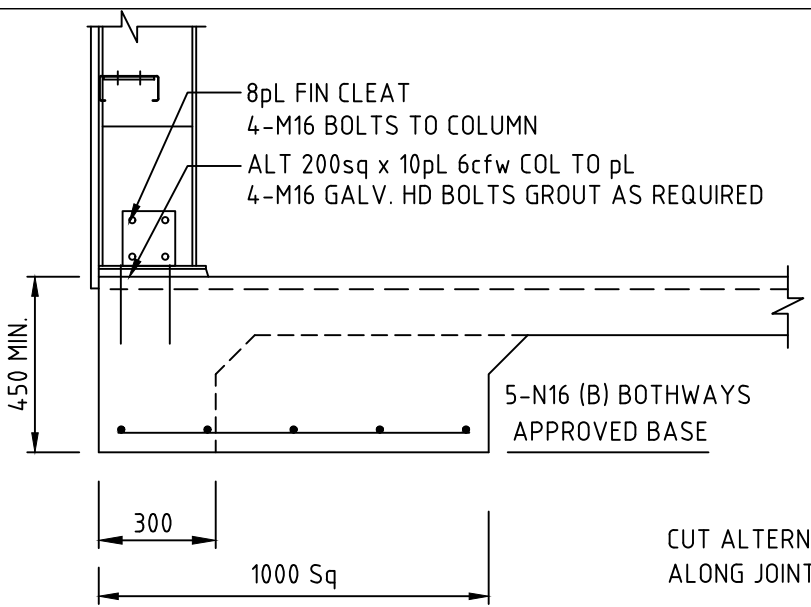
ED Accreditation Number:
CC164C

Date: Nov '20

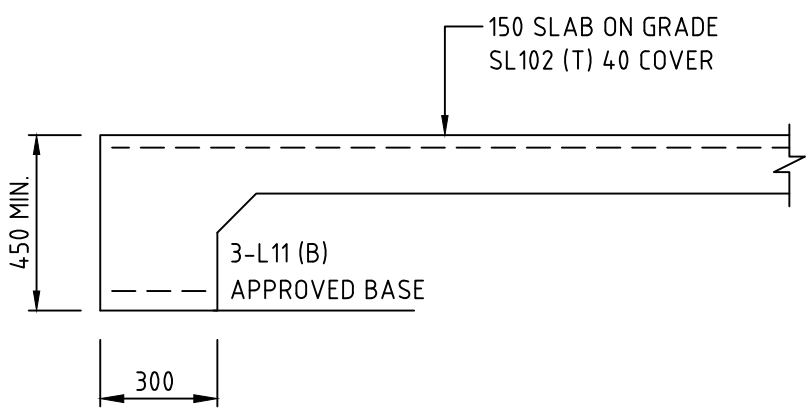
Scale:
1:4000 A3

Job No.

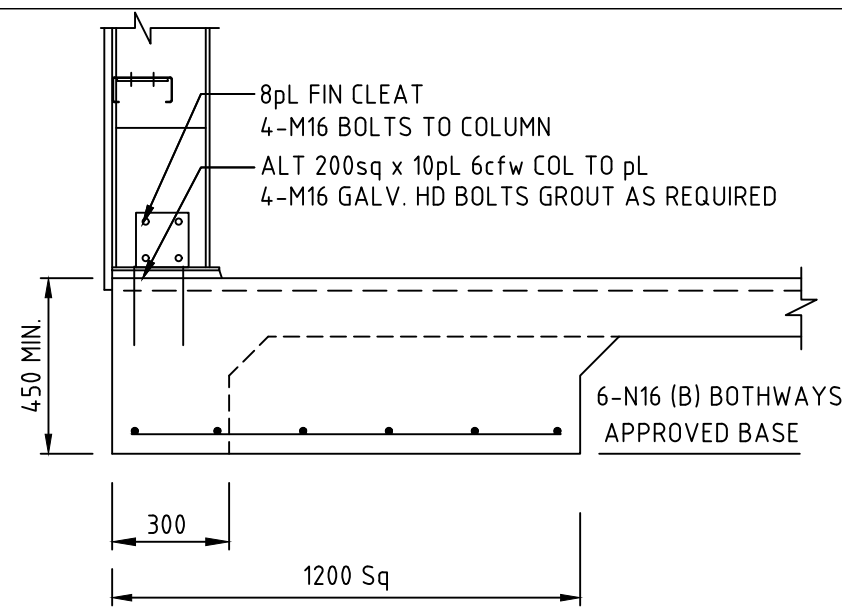
Drawing No. Rev.
A1 0



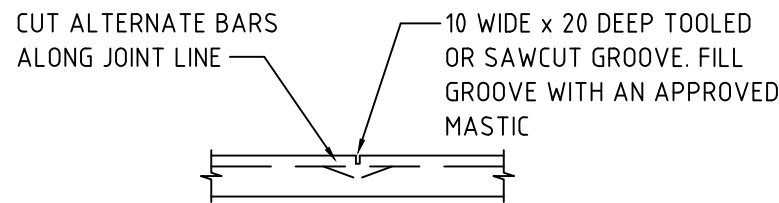
COL. SLAB DETAIL
SCALE - 1:20



EB DETAIL
SCALE - 1:20

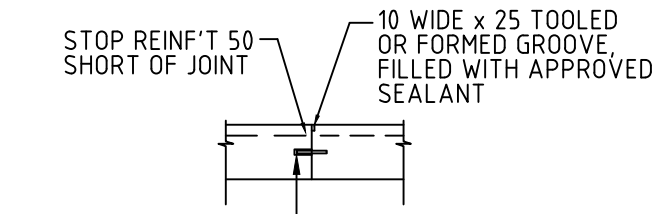


COL. SLAB DETAIL
SCALE - 1:20



TYPICAL SAW CUT JOINT DETAIL @ 5.0m CRS.
SAW-CUTS SHALL BE MADE AS SOON AS POSSIBLE AFTER
PLACEMENT OF CONCRETE, BUT IN NO CASE LATER THAN
12 HOURS AFTER FINAL TROWELLING.

TYPICAL SAW CUT DETAIL

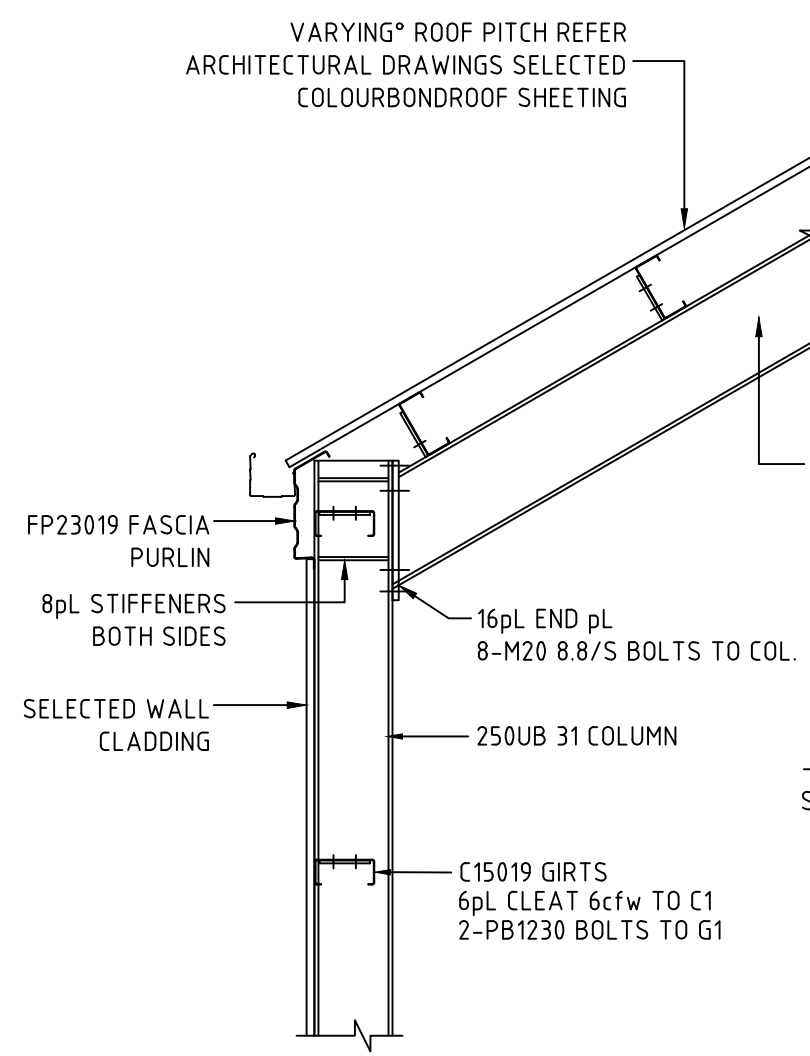


EXPANSION JOINT DETAIL 'EJ'
SCALE - 1:20



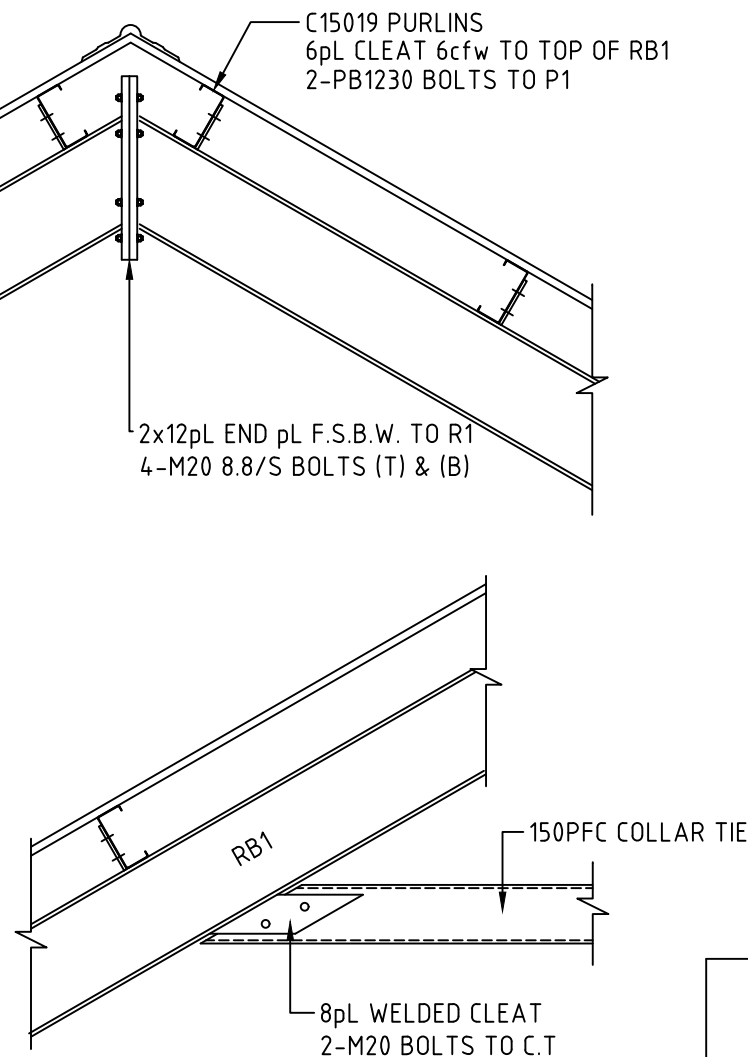
U/SLAB PREP

- LEGEND :-
- C1 : 250UB 31
 - C2 : 200 PFC
 - RB1 : 250UB 31 PORTAL FRAME
 - FP : FP23019 FASCIA PURLIN
 - H1 : C15019 HEADER
 - H2 : 200 PFC HEADER
 - P1 : C15019 PURLINS @ 900 MAX CRS + MID-SPAN BRIDGING
 - G1 : C15019 PURLINS @ 900 MAX CRS + MID-SPAN BRIDGING.
 - RB1 : 20φ ROD BRACING + HALF MOON WASHERS ROOF BRACING
 - WBR1 : 20φ ROD BRACING + HALF MOON WASHERS WALL BRACING



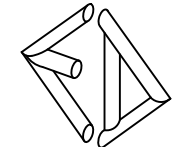
FRAME DETAIL
SCALE - 1:20

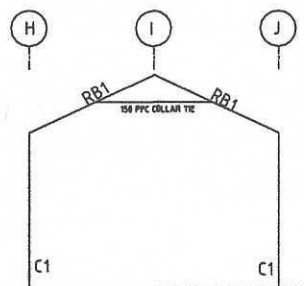
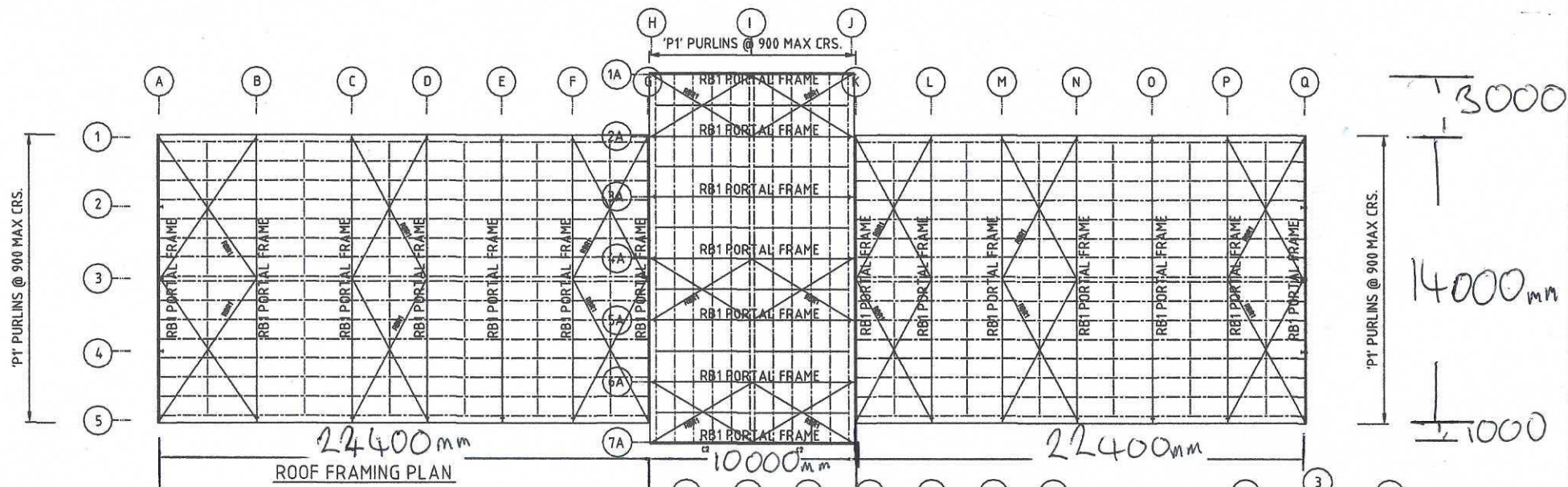
Sorell Council
Development Application: Wiggins Road, Wattle Hill
Plans Reference: P1
Date Received: 18/07/2025



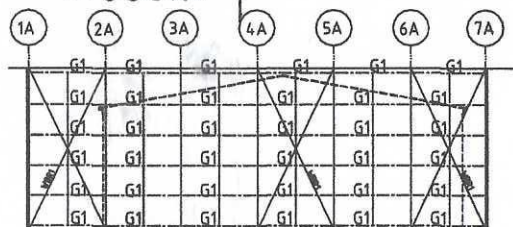
RB1/CT FIXING DETAIL
SCALE - 1:20

CERT No ----
SIGNED

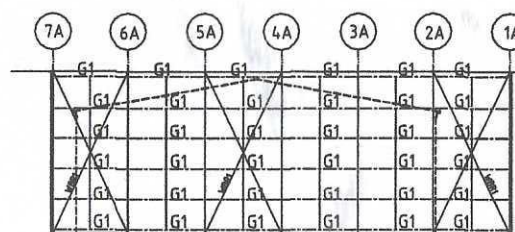
| | | | | |
|---|---|------------------------------------|------------------|------|
|  CONSULTING ENGINEERS Emmanuel Dellas Pty Ltd phone: 6228 2225 fax: 6228 2235 mobile: 0418 232 811 email: edellas@bigpond.com 20 Stratton Ave, LENA VALLEY | Project Title: PROPOSED MACHINERY SHED AT WIGGINS ROAD, FORCETT FOR Mr. JASON BROWN DETAILS | | Scale: | A3 |
| | | | 1:100 | |
| | Job No. | | ----- | Rev. |
| | Drawing No. | | S3 | |
| Designed by: E.D. | | ED Accreditation Number: CC164C | Date: Nov '20 | 0 |



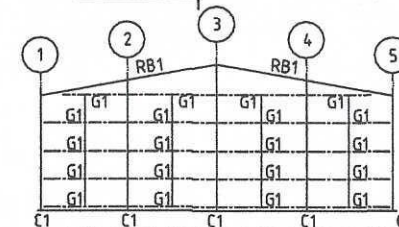
WALL FRAMING ELEVATION AT 1A, 2A, 3A, 4A, 5A, 6A



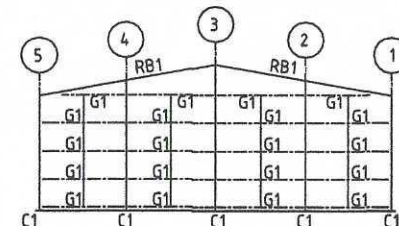
SIDE ELEVATION WALL FRAMING



SIDE ELEVATION WALL FRAMING



END ELEVATION WALL FRAMING

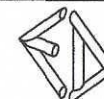


END ELEVATION WALL FRAMING

LEGEND :-

- C1 : 250UB 31
- C2 : 200 PFC
- RB1 : 250UB 31 PORTAL FRAME
- FP : FP23019 FASCIA PURLIN
- H1 : C15019 HEADER
- H2 : 200 PFC HEADER
- P1 : C15019 PURLINS @ 900 MAX CRS + MID-SPAN BRIDGING
- G1 : C15019 PURLINS @ 900 MAX CRS + MID-SPAN BRIDGING.
- RBR1 : 20Ø ROD BRACING + HALF MOON WASHERS ROOF BRACING
- WBR1 : 20Ø ROD BRACING + HALF MOON WASHERS WALL BRACING

WALL FRAMING ELEVATION AT B, C, D, E, F, L, M, N, O, P



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Project Title:
PROPOSED MACHINERY SHED
AT WIGGINS ROAD, FORCETT
FOR Mr. JASON BROWN
ROOF AND WALL & FRAMING PLAN

Designed by:
E.D.

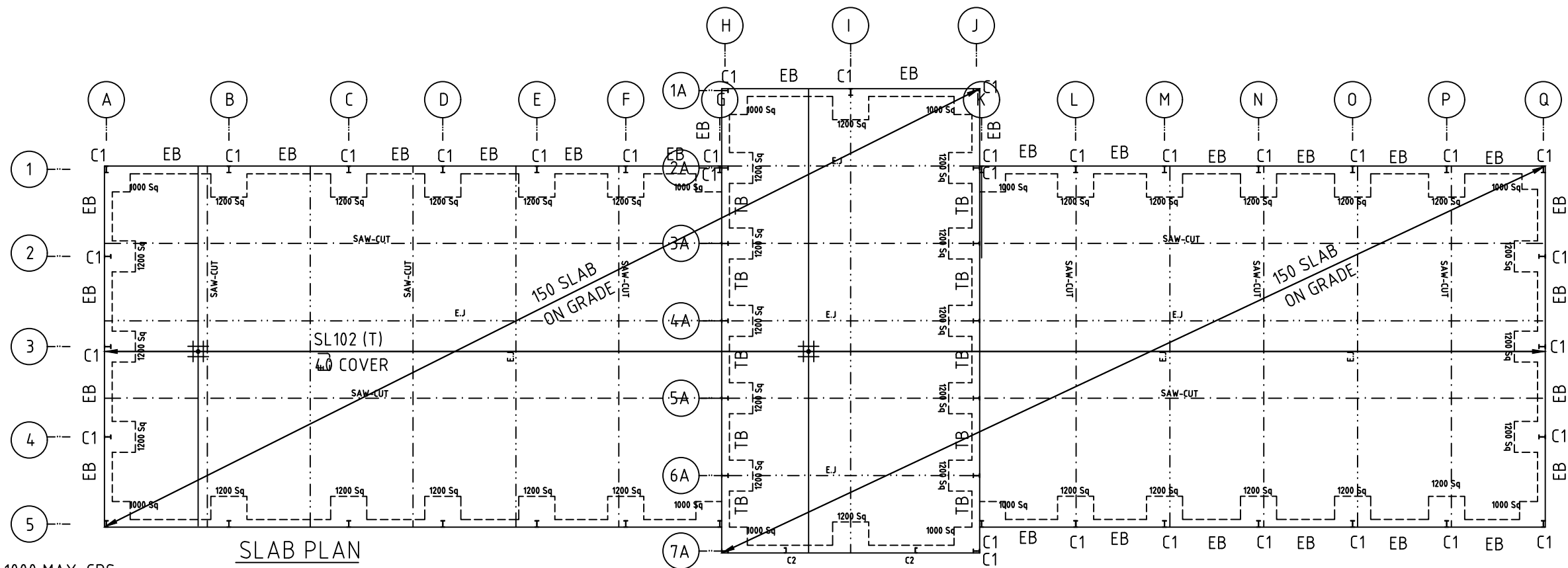
ED Accreditation Number:
CC164C

Date:
Nov '20

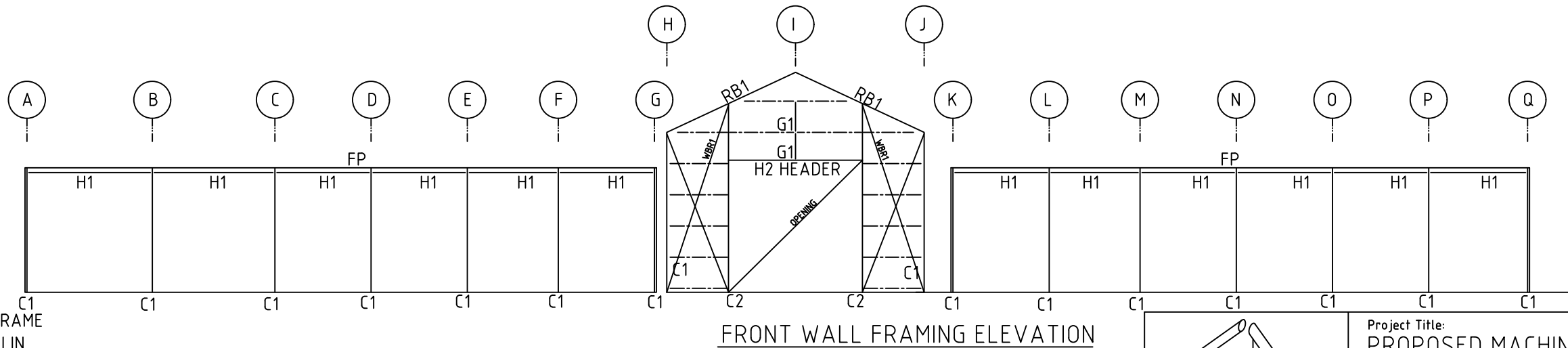
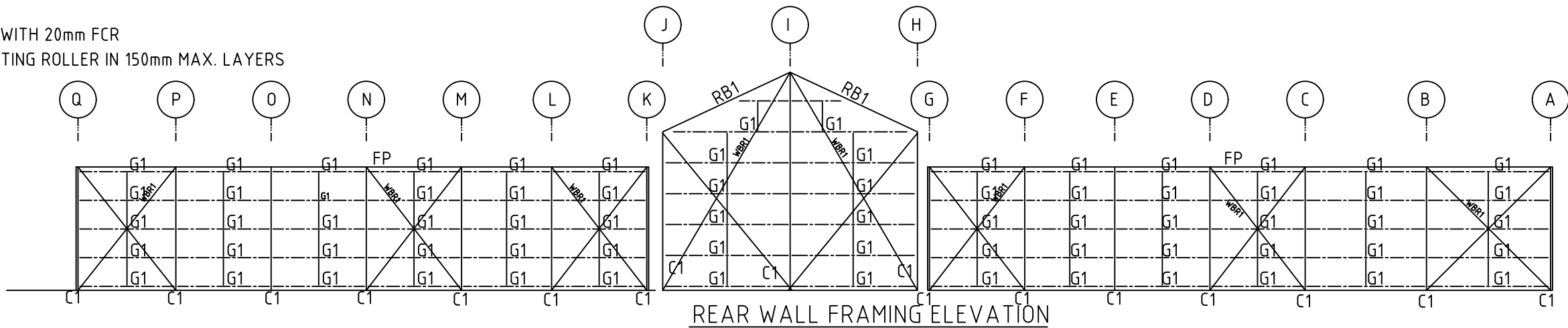
CERT No ----

SIGNED

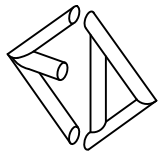
| | |
|-------------------|------|
| Scale: 1:200 | A3 |
| Job No. ---- | |
| Drawing No. S2 | Rev. |



- NOTES :-
1. N32 CONCRETE IN SLAB
 2. PROVIDE BAR CHAIRS AT 1000 MAX. CRS
 3. STRIP SIDE OF TOPSOIL & VEGETATION TO APPROVAL BEFORE PLACING FILL
 4. FILL TO U/SIDE SLAB WITH 20mm FCR COMPACT WITH VIBRATING ROLLER IN 150mm MAX. LAYERS



- LEGEND :-
- C1 : 250UB 31
C2 : 200 PFC
RB1 : 250UB 31 PORTAL FRAME
FP : FP23019 FASCIA PURLIN
H1 : C15019 HEADER
H2 : 200 PFC HEADER
P1 : C15019 PURLINS @ 900 MAX CRS + MID-SPAN BRIDGING
G1 : C15019 PURLINS @ 900 MAX CRS + MID-SPAN BRIDGING.
RBR1 : 20Ø ROD BRACING + HALF MOON WASHERS ROOF BRACING
WBR1 : 20Ø ROD BRACING + HALF MOON WASHERS WALL BRACING



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Project Title:
PROPOSED MACHINERY SHED
AT WIGGINS ROAD, FORCETT
FOR Mr. JASON BROWN
SLAB PLAN AND FRAMING PLAN

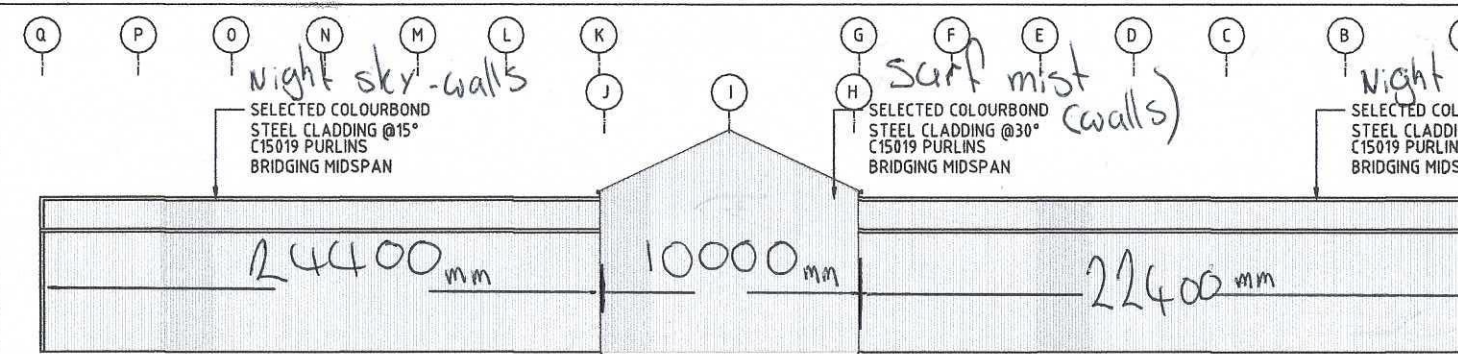
Designed by:
E.D.

ED Accreditation Number:
CC164C

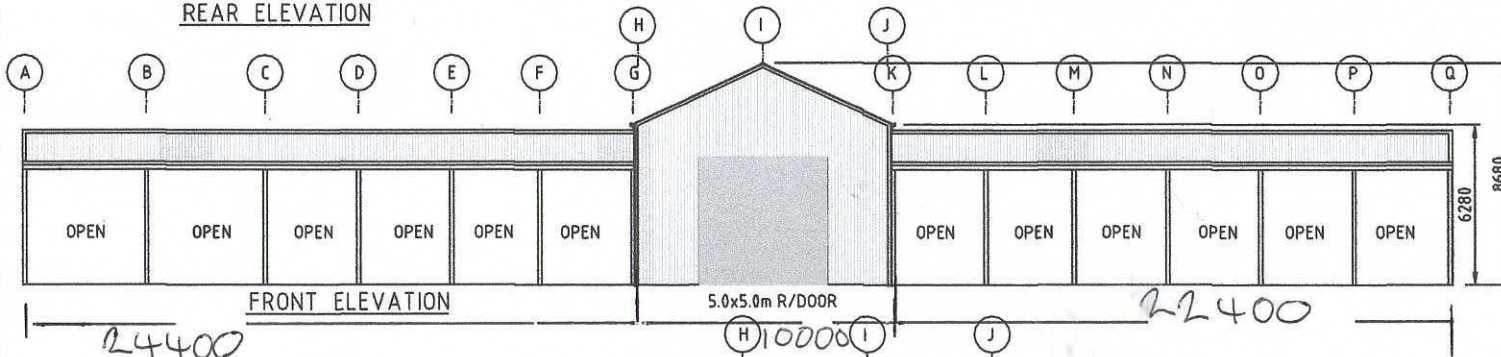
Date:
Nov '20

CERT No -----
SIGNED

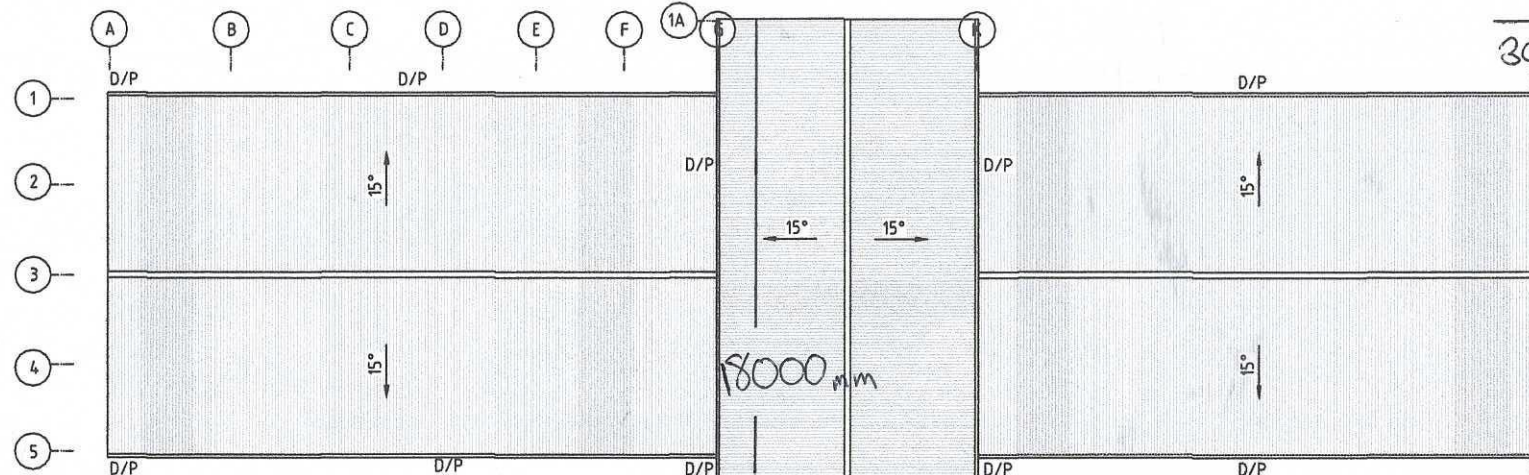
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| Scale: 1:200 | A3 |
| Job No. ---- | |
| Drawing No. S1 | Rev. 0 |



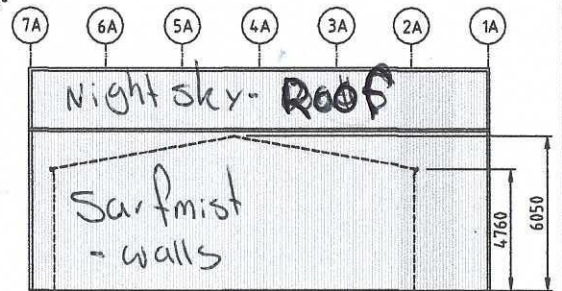
REAR ELEVATION



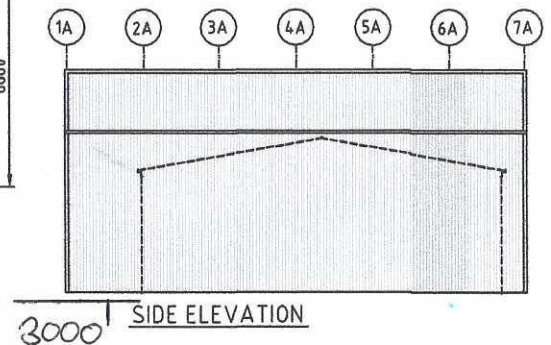
FRONT ELEVATION



ROOF PLAN



SIDE ELEVATION



SIDE ELEVATION

Sorell Council
Development Application: Wiggins Road, Wattle Hill
Plans Reference: P1
Date Received: 18/07/2025

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Project Title:
**PROPOSED MACHINERY SHED
AT WIGGINS ROAD, FORCETT
FOR Mr. JASON BROWN
BUILDING ELEVATIONS**

| | | | | |
|----------------------|------------------------------------|------------------|-------------------|-------------|
| Designed by: E.D. | ED Accreditation Number: CC164C | Date: Nov '20 | Scale: 1:200 | A3 |
| | | | Job No. ---- | |
| | | | Drawing No. A2 | Rev. --- |