

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE:

2802 TASMAN HIGHWAY, ORIELTON

PROPOSED DEVELOPMENT:

ALTERATIONS AND ADDITIONS

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Monday 15th September 2025**.

Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the General Manager. Representations must be received no later than **Monday 15th September 2025**.

APPLICATION NO: 5.2025.212.1
DATE: 29 AUGUST 2025

Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	Use:
	Development:
	<i>Large or complex proposals should be described in a letter or planning report.</i>
Design and construction cost of proposal: \$	

Is all, or some the work already constructed:	No: <input type="checkbox"/> Yes: <input type="checkbox"/>
---	--

Location of proposed works:	Street address:
	Suburb: Postcode:
	Certificate of Title(s) Volume: Folio:

Current Use of Site
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Current Owner/s:	Name(s).....
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Is the Property on the Tasmanian Heritage Register?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Council or Crown land section on page 3</i>
If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form https://www.sorell.tas.gov.au/services/engineering/		

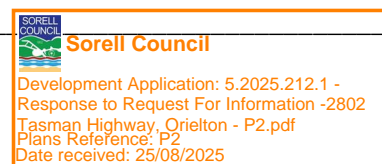


Sorell Council

Development Application: 5.2025.212.1 -
 Response to Request For Information -2802
 Tasman Highway, Orielton - P2.pdf
 Plans Reference: P2
 Date received: 25/08/2025

Declarations and acknowledgements	
<ul style="list-style-type: none"> I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land. I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council's representatives to enter the land at any time during normal business hours. I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies. I/we declare that, in accordance with s52(1) of the <i>Land Use Planning and Approvals Act 1993</i>, that I have notified the owner(s) of the intention to make this application. I/we declare that the information in this application is true and correct. <p><i>Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council's Privacy Policy available on the Council website.</i></p>	
<ul style="list-style-type: none"> I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only. 	
<ul style="list-style-type: none"> Where the General Manager's consent is also required under s.14 of the <i>Urban Drainage Act 2013</i>, by making this application I/we also apply for that consent. 	
Applicant Signature:	<div style="text-align: center; margin-bottom: 10px;"> </div> Signature: Date:

Crown or General Manager Land Owner Consent	
<p>If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the <i>Land Use Planning and Approvals Act 1993</i>).</p> <p>Please note:</p> <ul style="list-style-type: none"> If General Manager consent is required, please first complete the General Manager consent application form available on our website www.sorell.tas.gov.au If the application involves Crown land you will also need a letter of consent. Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development. 	
<p>I _____ being responsible for the administration of land at _____</p> <p>declare that I have given permission for the making of this application for _____</p>	
Signature of General Manager, Minister or Delegate:	<div style="text-align: center; margin-bottom: 10px;"> </div> Signature: Date:



SEARCH OF TORRENS TITLE

VOLUME 136138	FOLIO 1
EDITION 10	DATE OF ISSUE 30-Oct-2019

SEARCH DATE : 25-Aug-2025

SEARCH TIME : 10.42 AM

DESCRIPTION OF LAND

Parish of SORELL, Land District of PEMBROKE

Lot 1 on Plan 136138

Being the land formerly described in Indenture of Conveyance
No.45/8065

Excepting thereout Lots 9 and 10 on Plan No. 122845

Derivation : Part of 6000 acres Granted to T A Wolstenholme &
H Goodford

Derived from A17973

SCHEDULE 1

C435158 YOUTH WITH A MISSION (TASMANIA) INCORPORATED
Registered 06-Mar-2003 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

C900337 BURDENING EASEMENT: a right of carriageway
(appurtenant to Lot 2 on Sealed Plan 126456) over the
Right of Way 10.00 wide on Plan 136138 Registered
15-Jul-2009 at noon

C674633 MORTGAGE to Australian National Credit Union Limited
Registered 21-Sep-2005 at noon

C900370 LEASE to CROWN CASTLE AUSTRALIA PTY LTD of a
leasehold estate for the term of 10 years from
17-Jan-2017 (of that part of the said land within
described as Optus Lease Area on annexure A on the
plan attached to the said Lease) Registered
04-Mar-2009 at noon

C901929 LEASE to CROWN CASTLE AUSTRALIA PTY LTD of a
leasehold estate for the term of 10 years from
17-Jan-2027 (of that part of the said land within
described as Optus Lease Area on annexure A on the
plan attached to the said Lease) Registered
04-Mar-2009 at 12.01 PM

E155137 LEASE to OPTUS MOBILE PTY LIMITED of a leasehold
estate for the term of 10 years from 17-Jan-2027 that
is concurrent with and subject to Lease C901929 until

16-Jan-2027 (of that part of the said land within described as Lot 1 (32.5m2) on Annexure B on the plan attached to the said lease) Registered 30-Oct-2019 at noon

E155138 LEASE to OPTUS MOBILE PTY LIMITED of a leasehold estate for the term of 10 years from 17-Jan-2017 that is concurrent with and subject to Lease **C900370** until 16-Jan-2027 (of that part of the said land within described as 1 (32.5m2) on Annexure B on the plan attached to the said lease) Registered 30-Oct-2019 at noon

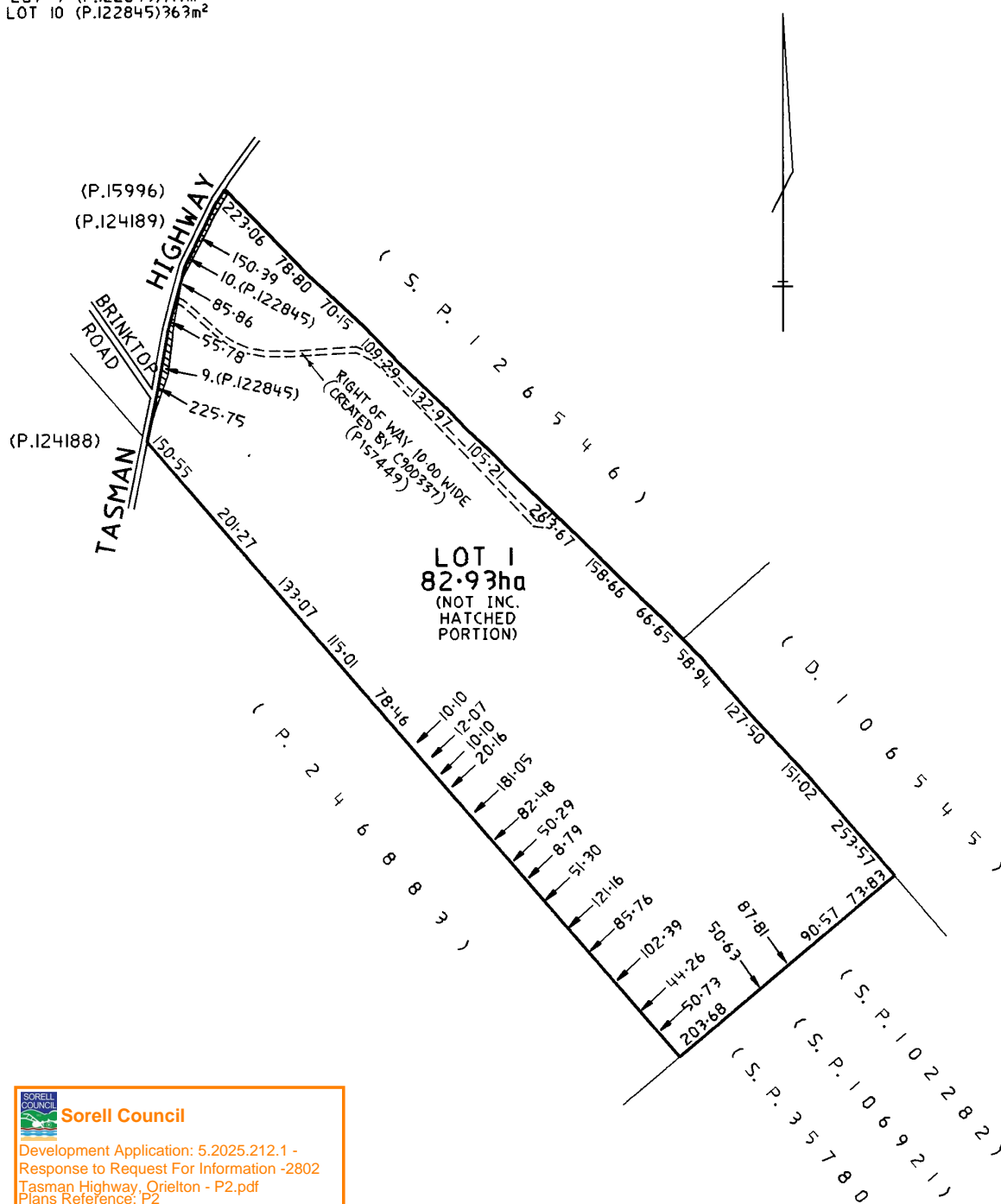
UNREGISTERED DEALINGS AND NOTATIONS


No unregistered dealings or other notations

<p>FILE NUMBER A.17973</p> <p>GRANTEE PART OF 6000 ACRES GTD TO THOMAS AUGUSTUS WOLSTENHOLME & HENRY GOODFORD.</p>		<p style="text-align: center;">CONVERSION PLAN</p> <p>LOCATION PEMBROKE - SORELL</p> <p>CONVERTED FROM 45/8065 (URP3)</p> <p>NOT TO SCALE LENGTHS IN METRES</p>		<p>Registered Number P136138</p> <p>APPROVED 7 AUG 2001 <i>Alice Kana</i> Recorder of Titles</p>	
MAPSHEET MUNICIPAL CODE No. 124 (5426)	LAST UPI No. 2901186	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN		DRAWN DAB	

SKETCH BY WAY OF ILLUSTRATION ONLY
EXCEPTED LANDS

LOT 9 (P.122845) 719m²
LOT 10 (P.122845) 363m²





Sorell Council

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Response to Request For Information -2802
Tasman Highway, Orielton - P2.pdf
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SEARCH OF TORRENS TITLE

VOLUME 126546	FOLIO 2
EDITION 8	DATE OF ISSUE 10-Sep-2014

SEARCH DATE : 28-Apr-2025

SEARCH TIME : 11.02 AM

DESCRIPTION OF LAND

Parish of SORELL, Land District of PEMBROKE
Lot 2 on Sealed Plan 126546
Derivation : Part of 6 000-0-0 Granted to T. A. Wolstenholme
and H. Goodford
Prior CT 124191/2

SCHEDULE 1

M473407 TRANSFER to GERARD MUS and KERRI ROSALIE MUS
Registered 19-Aug-2014 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP 126546 EASEMENTS in Schedule of Easements
SP 126546 COVENANTS in Schedule of Easements
SP 126546 FENCING COVENANT in Schedule of Easements
C208597 BURDENING WAYLEAVE EASEMENT with the benefit of a
restriction as to user of land fully defined therein
in favour of AURORA ENERGY PTY LTD over the land
marked 'WAYLEAVE EASEMENT 12.00 WIDE' on SP 126546
Registered 06-Dec-1999 at noon
C900337 BENEFITING EASEMENT: a right of carriageway over the
Right of Way 10.00 wide on Sealed Plan 126546
Registered 15-Jul-2009 at noon
D135303 MORTGAGE to National Australia Bank Limited
Registered 10-Sep-2014 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

**Sorell Council**

Development Application: 5.2025.212.1 -
Development Application - 2802 Tasman
Highway, Orielton - P1.pdf
Plans Reference: P2
Date Received: 27/07/2025

SCHEDULE OF EASEMENTS

NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS
& MORTGAGEES OF THE LAND AFFECTED.
SIGNATURES MUST BE ATTESTED.

REGISTERED NUMBER

SP1 26546

EASEMENTS AND PROFITS

PAGE 1 OF 1 PAGE/S

Each lot on the plan is together with:-

(1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and

(2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

(1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and

(2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

COVENANT:
FENCING PROVISION:

The owner of each Lot on the Plan covenants with owner Cuthbertson Brothers Pty. Ltd. ('the Vendor') that the Vendor shall not be required to fence.

EASEMENTS:

COVENANTS:

and 3 are
Lots 1 on the Plan is together with a right of carriageway over the Right-of-Way 10.00 Wide appurtenant to Lot 2. (Private)

Lot 2 on the Plan is subject to a right of carriageway over the Right-of-Way 10.00 wide appurtenant to Lot 1. and 3. (Private)

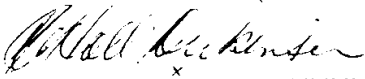
COVENANT:

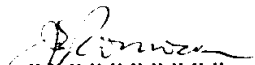
The owners of each Lot shown on the Plan covenant with the Vendor and the owners for the time being of every other Lot shown on the Plan and with the Sorell Council to the intent that the burden of these covenants shall run with and bind the covenantor's Lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other Lot shown on the Plan to observe the stipulations herein:

That no lots on the Plan shall have additional vehicular access to the Tasman Highway other than the accessways shown on the Plan, and marked Right of Way 10.00 wide (Private).

THE COMMON SEAL of CUTHBERTSON
BROS. PTY. LTD. (ACN 009 493 627)
the registered proprietor in Certificate
of Title Volume 124191 Folio 2 was
nereunto affixed in the presence of:



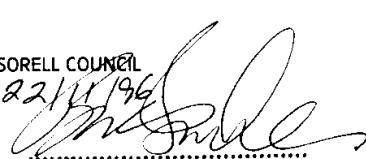

.....
Director.


.....
Director/Secretary.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER : CUTHBERTSON BROTHERS PTY. LTD.

FOLIO REF : VOLUME 115294 FOLIO 1

SOLICITOR LEWIS, DRISCOLL & BULL
& REFERENCE : T. P. BARONPLAN
SEALED BY : SORELL COUNCIL
DATE : 22/11/96.....
REF No.
.....
Council Delegate

NOTE: THE COUNCIL DELEGATE MUST SIGN THE CERTIFICATE FOR THE PURPOSE
OF IDENTIFICATION.

Sorell Council
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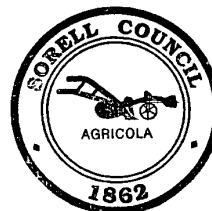
COUNCIL APPROVAL

{Insert any qualification to the permit under section 83(5), section 109 or section 111
of the Local Government (Building & Miscellaneous Provisions) Act 1993 }

The subdivision shown in this plan is approved

Registered Number

SP 126546



In witness whereof the common seal of

has been affixed, pursuant to a resolution of the Council of the said municipality

passed the 18th day of September 1996 in the presence of us

Member

Member

General Manager

Council Reference

NOMINATIONS

For the purpose of section 88 of the Local Government (Building & Miscellaneous Provisions) Act 1993

the owner has nominated

Lewis Driscoll & Bull

Solicitor to act for the owner

Brooks Lark & Carrick

Surveyor to act for the owner

TO BE COMPLETED WHEN ADDITIONAL PLAN OF SURVEY SHEETS ARE ANNEXED

Detailed drawings of the lots shown in this plan are contained in the additional sheet(s) annexed and

signed by us

..... Surveyor

..... General Manager



Sorell Council

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Plans Reference: P2
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OFFICE EXAMINATION:

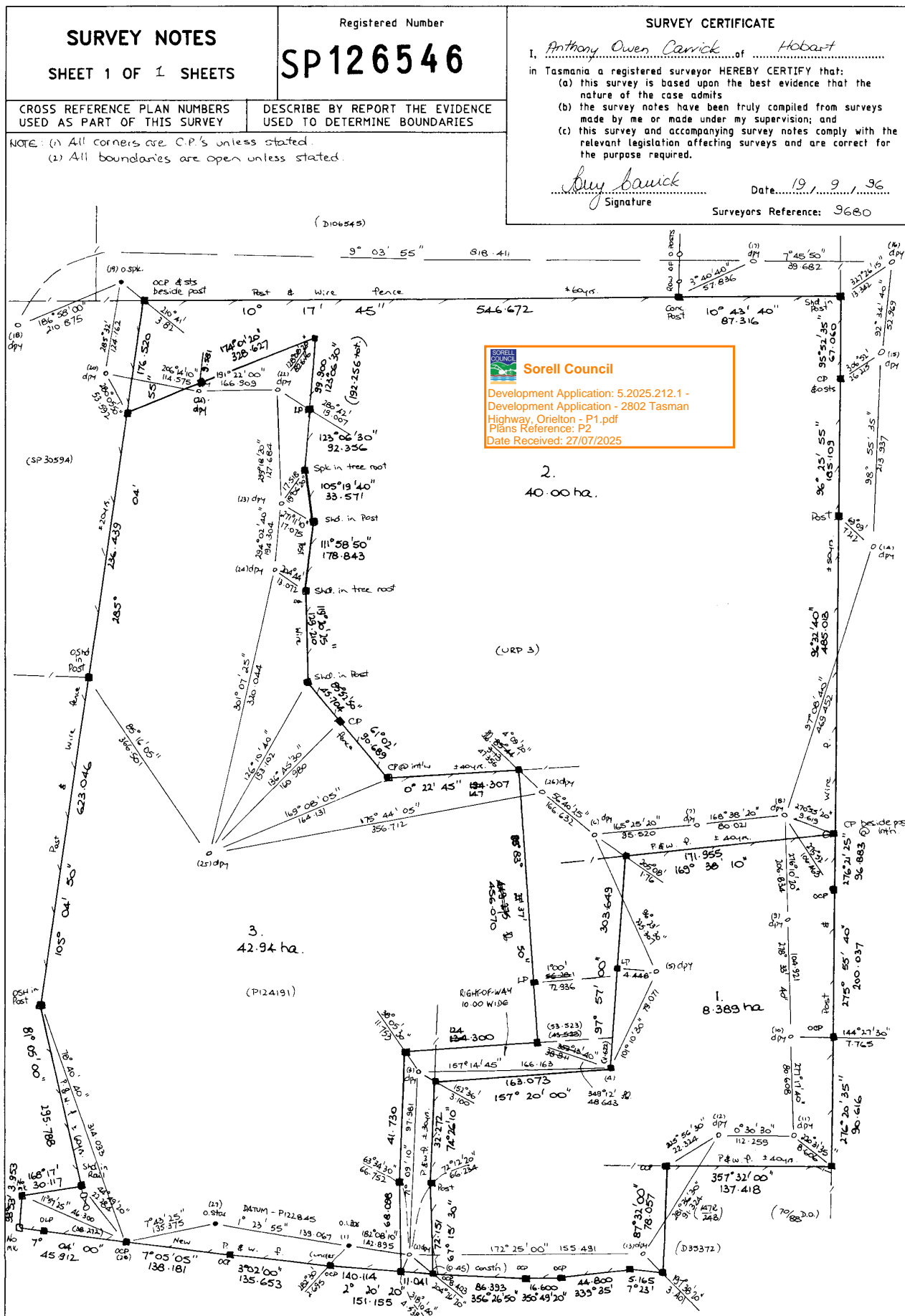
Indexed

Computed

R.C.
2-12-96

Examined

4/12/96

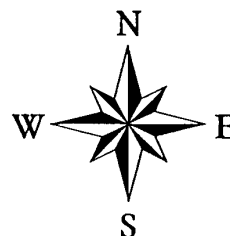


**IDENTIFICATION PLAN OF
WAYLEAVE EASEMENT**

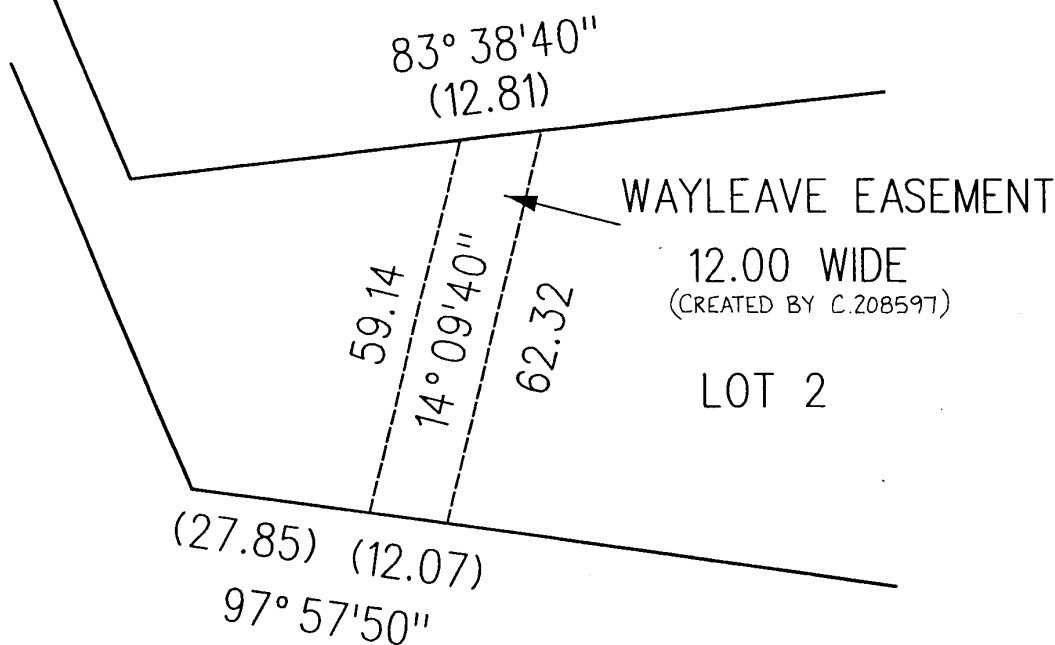
ANNEXURE PAGE

VOL : **126546**

FOLIO : **2**



SCALE 1:1000



Sorell Council

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Highway, Orielson - P1.pdf
Plans Reference: P2
Date Received: 27/07/2025

**LAND DISTRICT OF PEMBROKE
PARISH OF SORELL**

OWNER : Darren Todd Carter

PLAN No: 126546

UPI :

Electricity Entity No. 4617

SURVEYORS REPORT

The wayleave easement shown in this plan has been surveyed in accordance with Clause 16 of the Land Surveyors (Survey Practice) By Laws 1982, for identification by the Electricity Entity for the purpose of registering an easement in gross.

The easement to be created extends 6 metres either side of the centre of the electricity powerline.

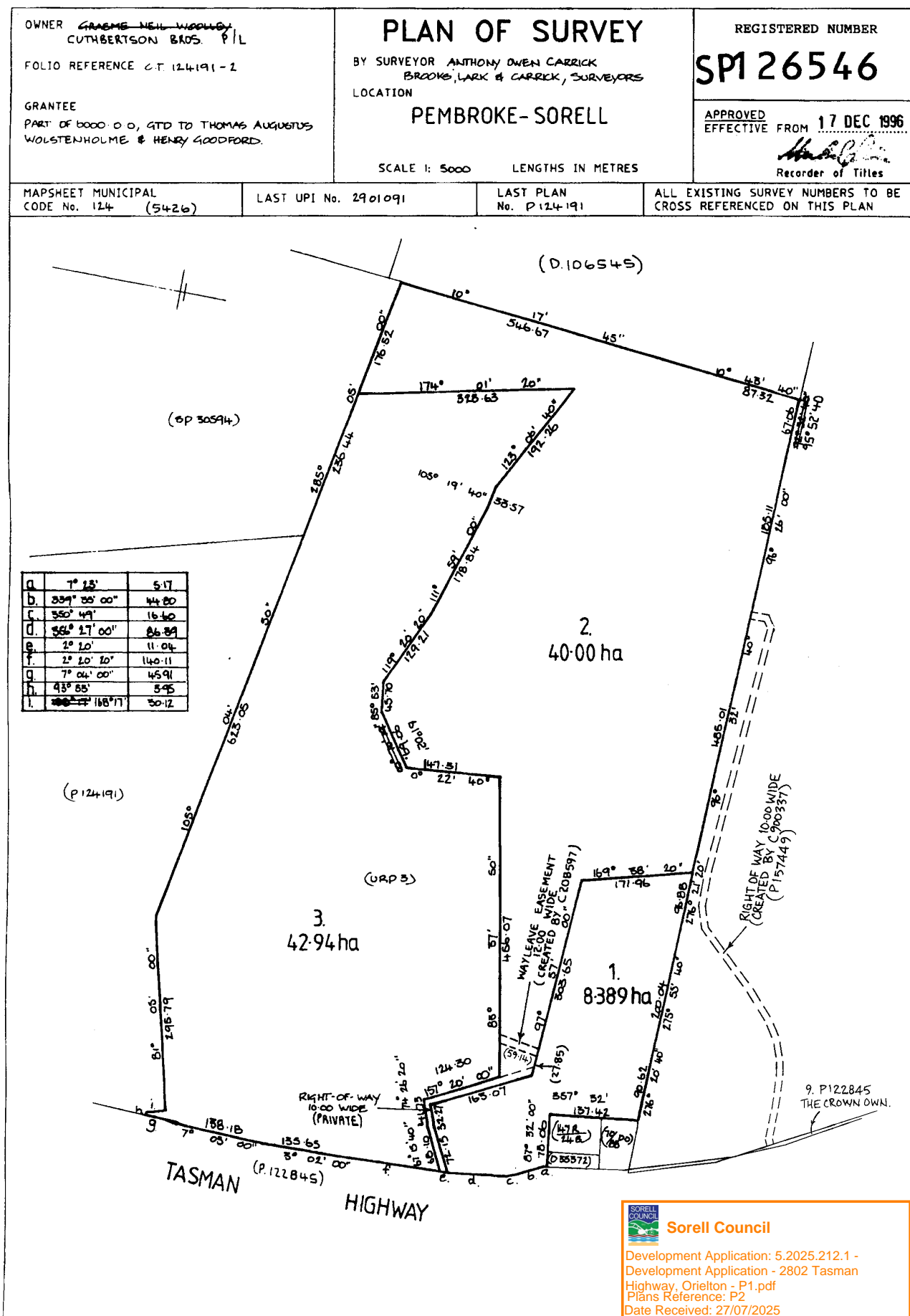
The accuracy of this easement survey is insufficient for title boundary determination.

Registered Surveyor: 

David A. Hurd

Date:

5/Oct/1999

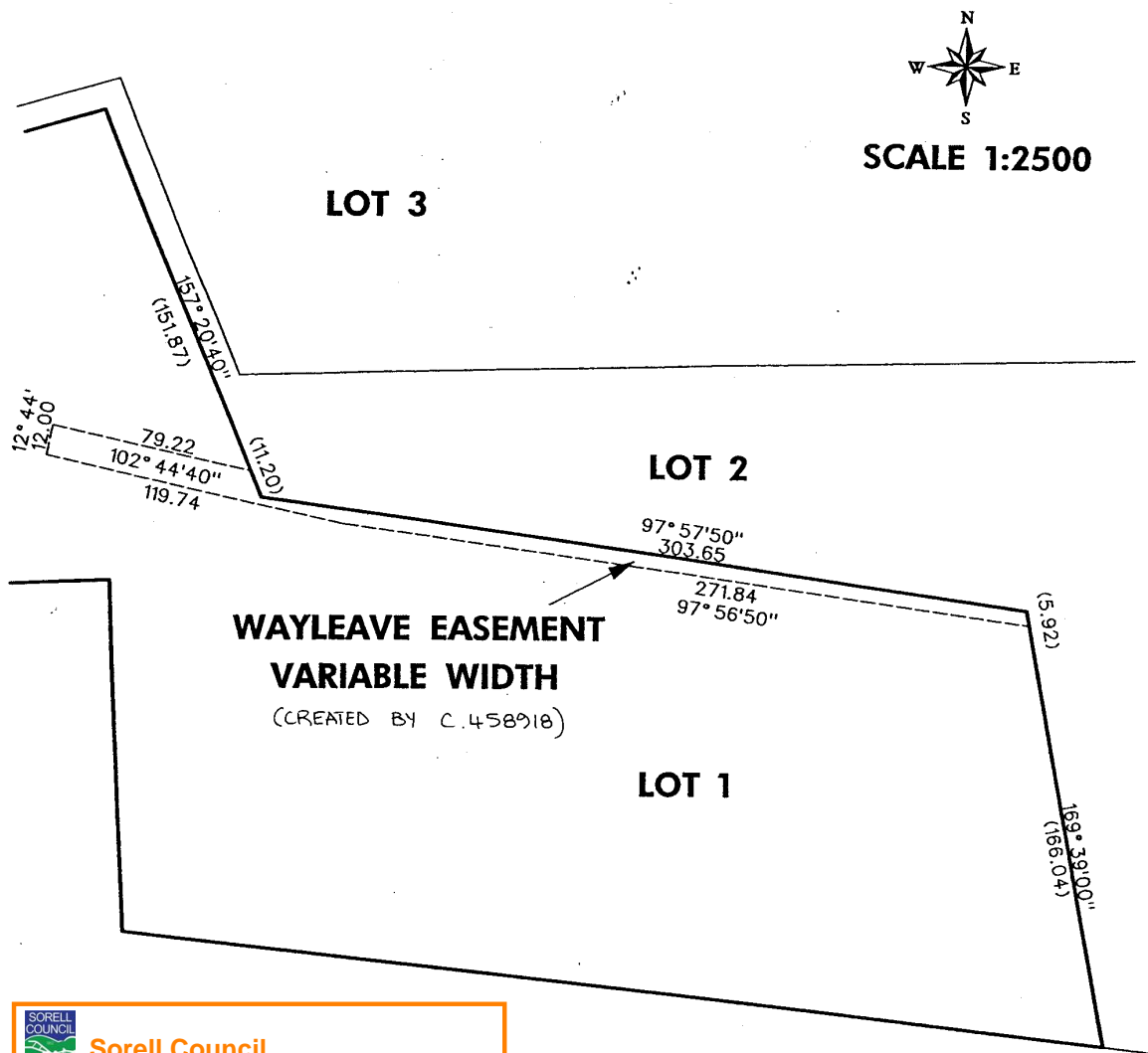


**IDENTIFICATION PLAN OF
WAYLEAVE EASEMENT**

ANNEXURE PAGE TO FOLIO PLAN

VOL : **126546**

FOLIO : **1**



Sorell Council

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LAND DISTRICT OF PEMBROKE

PARISH OF SORELL

OWNER : Steven William Mills and Lucia Gomamela Mills

PLAN No: 126546

UPI :

Electricity Entity No. 4584

SURVEYORS REPORT

The wayleave easement shown in this plan has been surveyed in accordance with Clause 16 of the Land Surveyors (Survey Practice) By Laws 1982, for identification by the Electricity Entity for the purpose of registering an easement in gross.

The easement to be created extends 6 metres either side of the centre of the electricity powerline.

The accuracy of this easement survey is insufficient for title boundary determination.

Registered Surveyor:

David A. Hurd

Date:

21/Jan/2003



S. Group

73-75 St John St, Launceston

6/100 Elizabeth St, Hobart

PO Box 1271, Launceston TAS 7250

p 03 6311 1403 e info@sgroup.com.au

abn 33 625 566 618 sgroup.com.au

2802 Tasman Highway, Orielton, 7172

To whom it may concern,

The proposed application for 2802 Tasman Highway, Orielton, involves interior alterations and an extension to the existing residential dwelling. The intent of the interior alterations and extension is to add additional living facilities to support the needs of the property owners and their family, the property use and number of bedrooms shall be retained.

The site is located within Planning Zone 21.0 – Agriculture, of the Tasmanian Planning Scheme – Sorelle Local Provisions Schedule.

Please note, the proposed design achieves the acceptable solutions under all relevant clauses of 21.0 Agricultural Zone. Regarding clause 21.4 Development standards for Building Works, item 21.4.1 Building height, the proposed extension shall not exceed a height of 5100mm. Please refer to drawings A301 and A302 – Elevations.

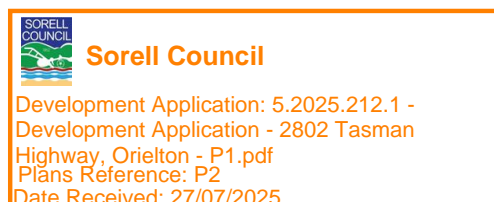
Regarding clause 21.4.2 Setbacks, the existing dwelling and proposed extension are setback in excess of 200m from all property boundaries, please refer to drawing A101 – Site Plan.

The proposed works are within a Scenic Protection Area Overlay (SOR-C8.1.4). In consideration of management objective (a) and (b), to avoid significant landscape change on hill faces and skylines, or visual obtrusion from Tasman Highway, the volume and aesthetic of the proposed extension shall be in keeping with the existing dwelling. Similarly, no vegetation currently exists in the proposed development area. Please refer to drawing A101 – Site Plan.

I trust that the contents of this letter and the attached documentation have satisfactorily addressed the intent of this proposal. If there are any further questions or queries in relation to the above, please do not hesitate to contact me directly.

Yours Sincerely,

Isobella Lord
12/08/2025



create.
wonder.

Gerard & Kerri Mus

Proposed Alterations and Extension 2802 Tasman Highway, Orielton, TAS

DRAWING SCHEDULE:

Sheet No:	Drawing:	Rev:	Revision Date:
A000	Cover	A	6/8/2025
A101	Site Plan	A	6/8/2025
A201	Existing & Demo Floor Plan	A	6/8/2025
A202	Existing & Demo Roof plan	A	6/8/2025
A203	Proposed Floor Plan	A	6/8/2025
A204	Proposed Roof Plan	A	6/8/2025
A301	Elevation Sheet 1	A	6/8/2025
A302	Elevation Sheet 2	A	6/8/2025
A401	Existing Condition Photos	A	6/8/2025
A901	Perspectives	A	6/8/2025
A902	General Notes	A	6/8/2025



LOCATION PLAN – Scale: NTS

GENERAL INFORMATION:

Accredited Architect:	Sam Haberle	
Accreditation Number:	CC5618 U	
Land Tence Nitle Referumber:	C.T. 126546/2	(Certificate volume and folio)
Planning Zone:	21 – Agriculture	
Soil classification:	6	Site classification to AS 2870–2011 (Reference report author)
Wind Classification:	N/A	Site classification to AS 4055–2006 (Reference report author)
Climate Zone:	7	(www.abcb.gov.au map)
Alpine Area:	N/A	<300m AHD (NCC section H7D3)
Bushfire-prone Area BAL Rating:	N/A	As determined by registered Bushfire Assessor
Corrosion environment:	N/A	For steel subject to the influence of salt water, breaking surf or heavy industrial areas, refer to NCC section H1D6 Framing. Cladding and fixings to manufacturer's recommendations
Other Known site hazards:		Waterway and coastal protection area, Bushfire-prone
Site Area:	400000m²	
Total Existing Floor Area:	151.5m²	
Total Proposed Floor Area:	266.6m²	



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FOR DEVELOPEMENT APPLICATION ONLY

create.
wonder.

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73-75 St John St, Launceston.
6/100 Elizabeth St, Hobart
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p 03 6311 1403 e info@sgroup.com.au
abn 33 625 566 618 sgroup.com.au



REVISION A	DATE	6/8/2025	DESCRIPTION	DA Issue
ADDRESS	2802 Tasman Highway, Orielton			do not scale off plans all dimensions in millimetres confirm all dimensions on site all work to relevant NCC and AS
CLIENT	Gerard Mus			ISSUE DA
DWG	Cover			DWG # A000-A
CHKD	JE			PROJECT# J009325

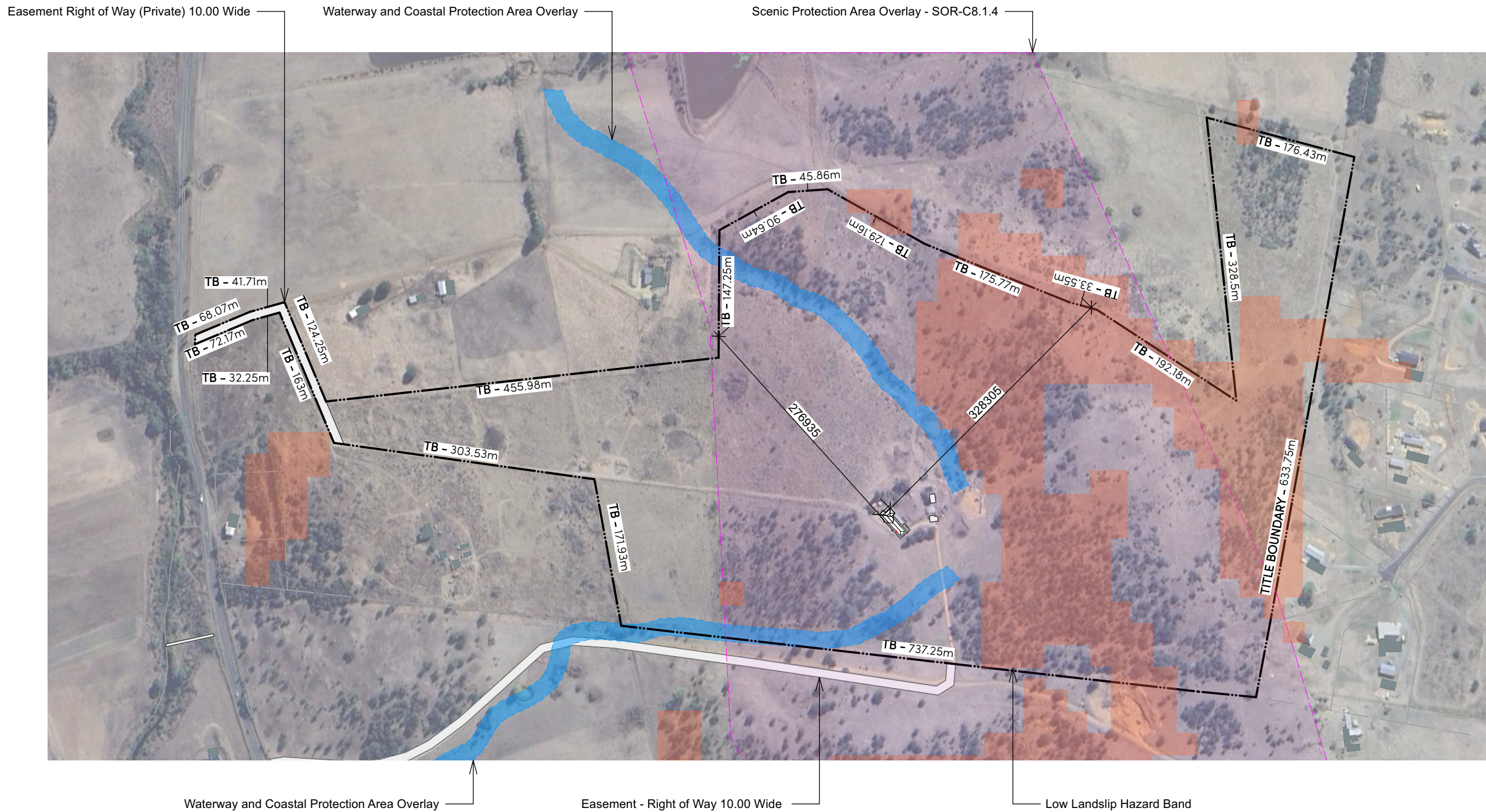
S. Group 73 - 75 St John st, Launceston | 6/100 Elizabeth st, Hobart | 552 Victoria st, North Melbourne, Melbourne
© Copyright 2023 T: 03 63 111 403 E: info@sgroup.com.au sgroup.com.au

SITE PLAN NOTES

1. THIS DRAWING HAS BEEN CONSTRUCTED USING TITLE AND GIS INFORMATION SOURCED FROM: QGIS, ELVIS CONTOURS AND THE LIST MAP

2. ALL CONTOUR HEIGHTS, DWELLING RL'S AND DIMENSIONS ARE TO BE CONFIRMED ON SITE.

3. USE WRITTEN DIMENSIONS ONLY - DO NOT SCALE DRAWINGS.



Sorell Council

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FOR DEVELOPEMENT APPLICATION ONLY

create.
wonder.

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abn 33 625 566 618 sgroup.com.au



REVISION A	DATE	6/8/2025	DESCRIPTION	DA Issue
ADDRESS	2802 Tasman Highway, Orielson			
CUSTOMER	Gerard Mus			
DWG	Site Plan			
do not scale off plans all dimensions in millimetres confirm all dimensions on site all work to relevant NCC and AS				ISSUE DA
SCALE @ ISO A3 1:5000				DWG # A101-A
DRAWN IL				PROJECT# J009325
CHKD JE				
S. Group 73 - 75 St John st, Launceston 6/100 Elizabeth st, Hobart 552 Victoria st, North Melbourne, Melbourne © Copyright 2023 T: 03 63 111 403 E: info@sgroup.com.au sgroup.com.au				

LEGEND:

EXISTING WALLS TO REMAIN

EXISTING ELEMENTS TO BE DEMOLISHED.

PROPOSED NEW WALLS.

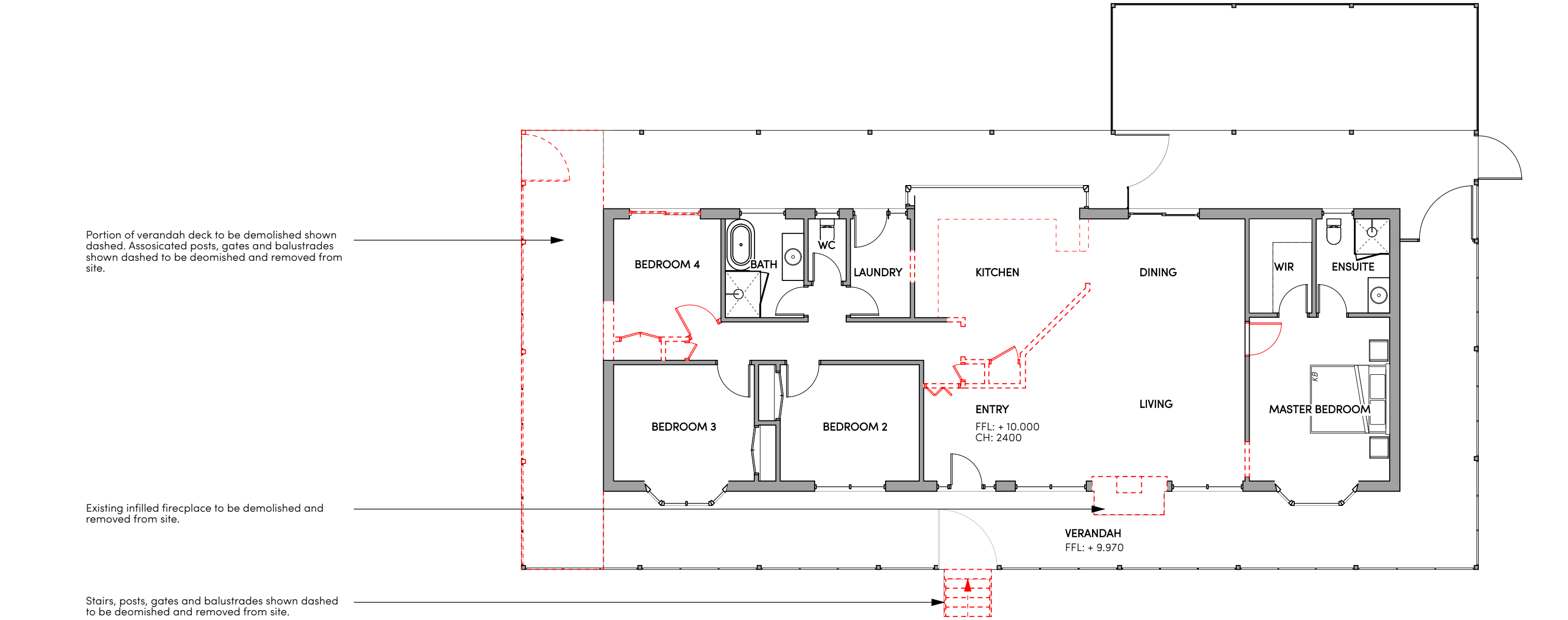
NOTES

1. GROUND FLOOR NOMINAL RL: + 10.000 - EXISTING AREA TO EXTERNAL FACE OF EXTERIOR WALLS = 151.5m²

2. ALL EXISTING CONDITIONS ARE SHOWN INDICATIVELY ONLY. ALL DIMENSIONS SHOULD BE CONFIRMED ON SITE.

3. GENERAL DEMOLITION TO: AS2601

4. ALL EXISTING INTERNAL WALL THICKNESSES ARE TO BE NOMINAL 110mm UNLESS ATATED OTEHRWISE
ALL EXISTING EXTERNAL WALL THICKNESSES ARE TO BE NOMINAL 250mm UNLESS STATED OTHERWISE.



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FOR DEVELOPEMENT APPLICATION ONLY

create.
wonder.

S. Group
73-75 St John St, Launceston.
6/100 Elizabeth St, Hobart
PO Box 1271, Launceston TAS 7250
p 03 6311 1403 e info@sgroup.com.au
abn 33 625 566 618 sgroup.com.au



NORTH

0125

METRES

1 centimetre on this drawing represents
1 metre on the ground (i.e. 1:1 00).

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CLIENT	Gerard Mus	
DWG	Existing & Demo Floor Plan	
do not scale off plans all dimensions in millimetres confirm all dimensions on site all work to relevant NCC and AS		
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DRAWN IL		DWG # A201-A
CHKD JE		PROJECT# J009325

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LEGEND:

EXISTING WALLS TO REMAIN

EXISTING ELEMENTS TO BE DEMOLISHED.

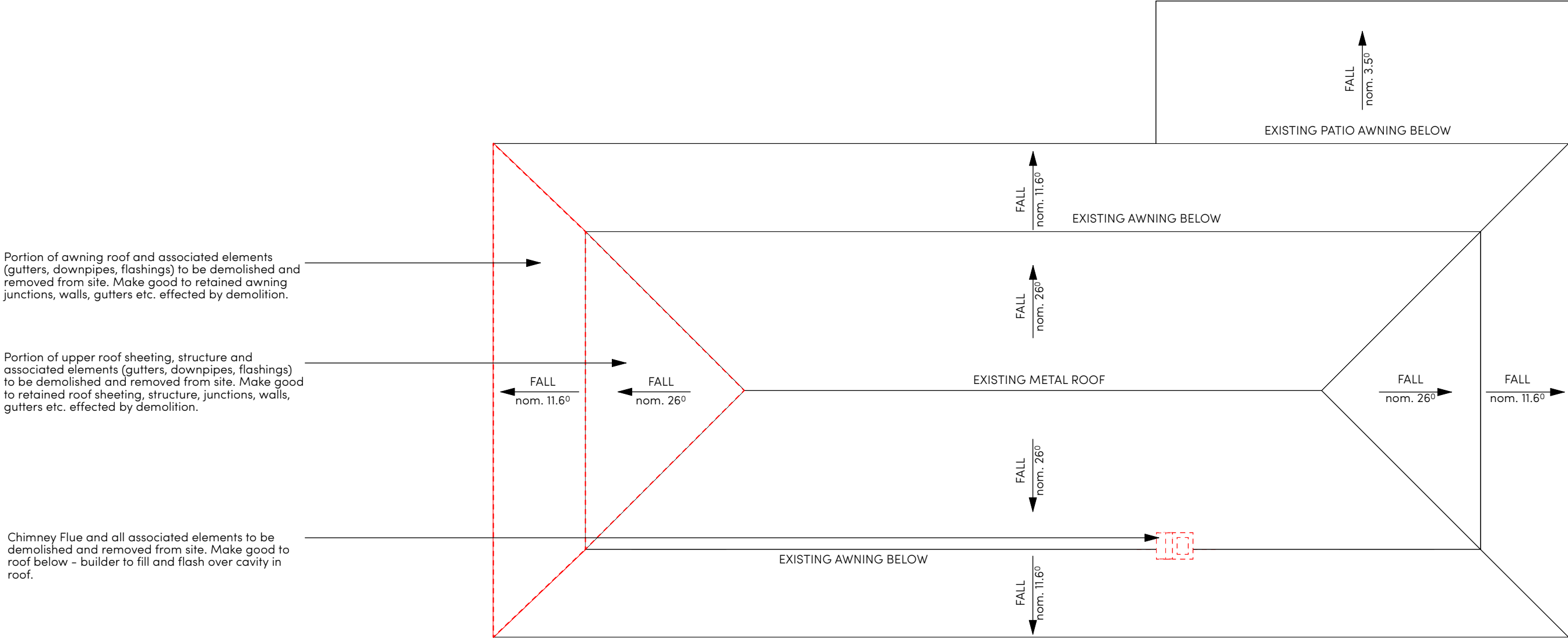
PROPOSED NEW WALLS.

NOTES

1. ROOF PITCH, EAVE AND RIDGE HEIGHTS ARE SHOWN INDICATIVELY - TO BE CONFIRMED ON SITE.

2. ALL EXISTING CONDITIONS ARE SHOWN INDICATIVELY ONLY. ALL DIMENSIONS SHOULD BE CONFIRMED ON SITE.

3. GENERAL DEMOLITION TO: AS2601



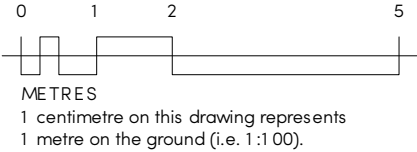
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DWG	Existing & Demo Roof plan			DWG # A202-A
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LEGEND:

EXISTING WALLS TO REMAIN

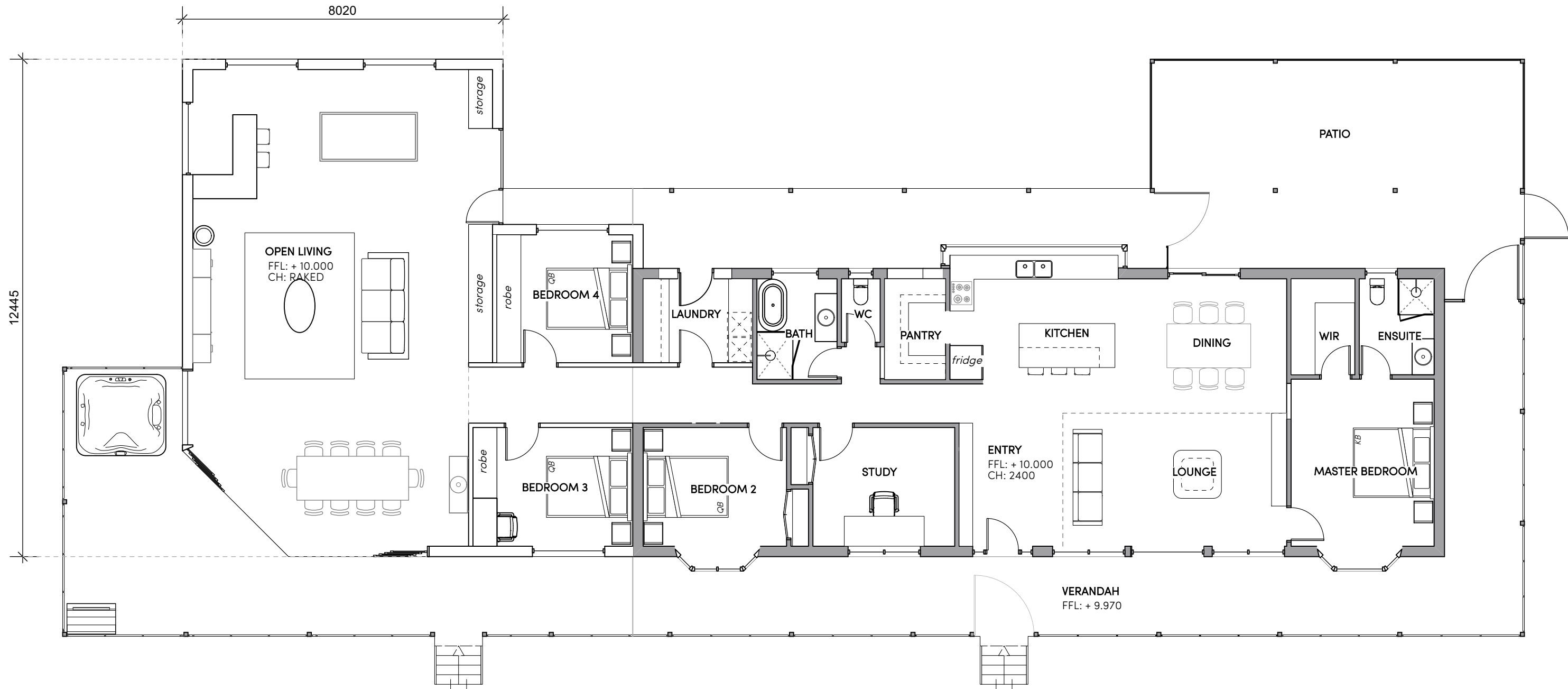
PROPOSED NEW WALLS.

NOTES

1. GROUND FLOOR NOMINAL RL: + 10.000 - PROPOSED FLOOR AREA TO EXTERNAL FACE OF EXTERIOR WALLS = 266.6m²

2. ALL EXISTING CONDITIONS ARE SHOWN INDICATIVELY ONLY. ALL DIMENSIONS SHOULD BE CONFIRMED ON SITE.

3. USE WRITTEN DIMENSIONS ONLY - DO NOT SCALE DRAWINGS.



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0125

METRES

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CLIENT	Gerard Mus			ISSUE DA
DWG	Proposed Floor Plan			DWG # A203-A
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LEGEND:

EXISTING WALLS TO REMAIN

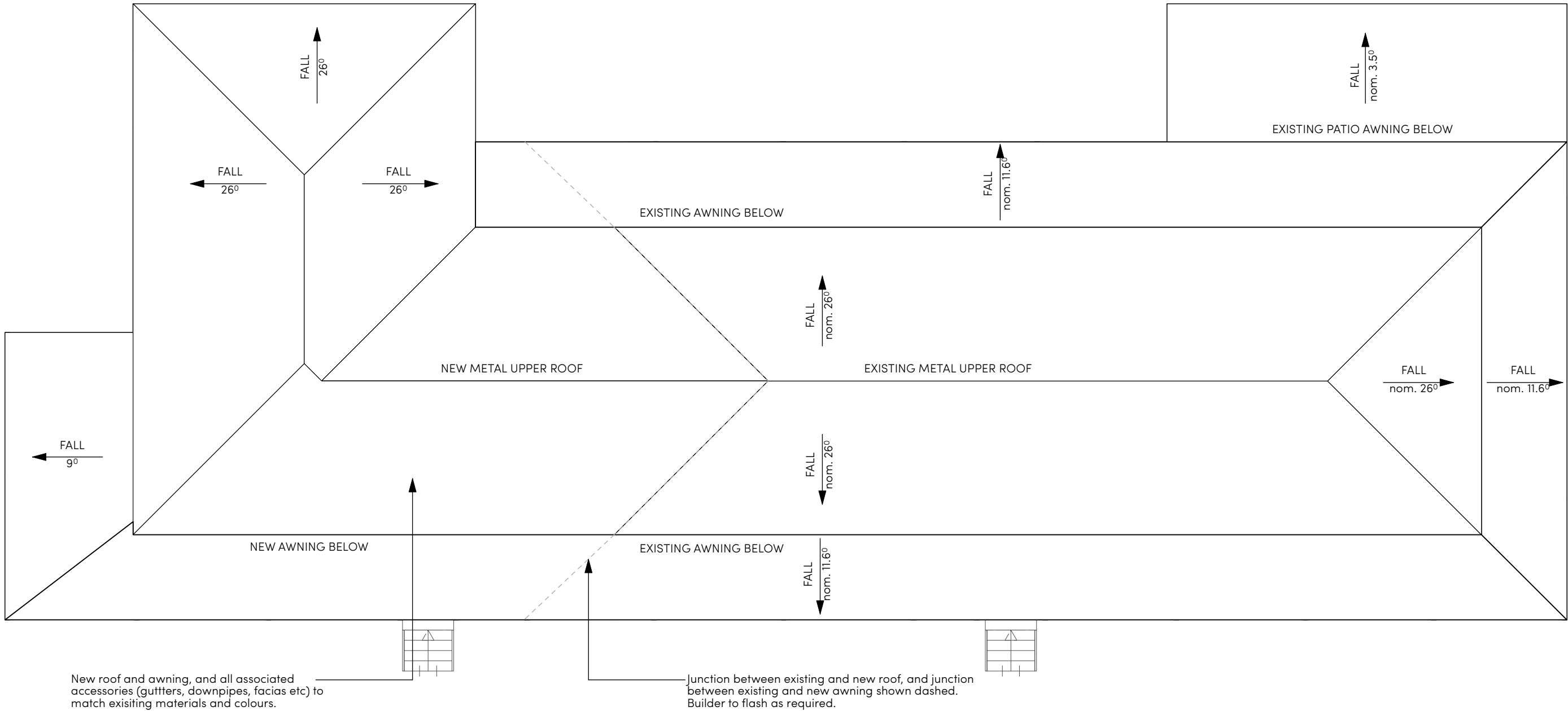
PROPOSED NEW WALLS.

NOTES

1. ROOF PITCH, EAVES AND RIDGE HEIGHTS ARE INDICATIVELY ONLY - TO BE CONFORMED ON SITE. NEW ROOF TO MATCH EXISTING.

2. ALL EXISTING CONDITIONS ARE SHOWN INDICATIVELY ONLY. ALL DIMENSIONS SHOULD BE CONFIRMED ON SITE.

3. USE WRITTEN DIMENSIONS ONLY - DO NOT SCALE DRAWINGS.



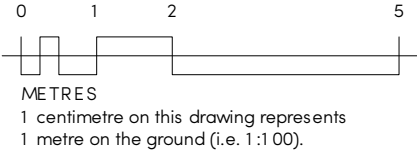
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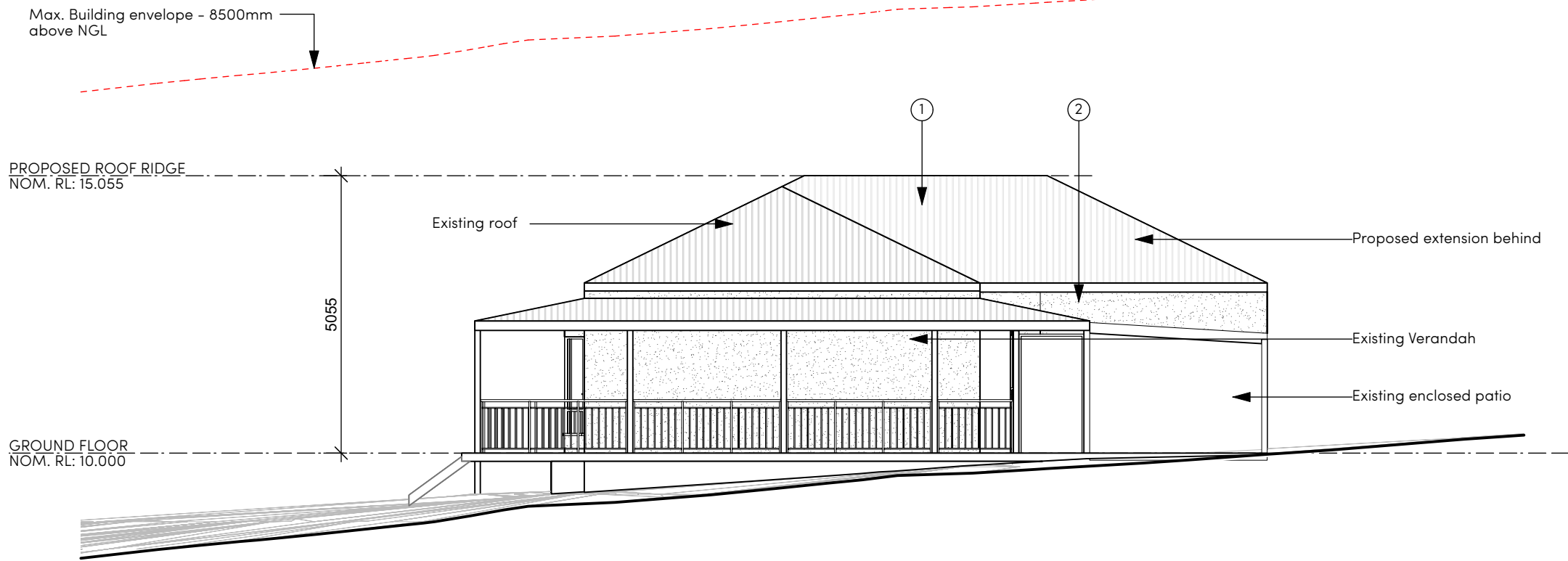
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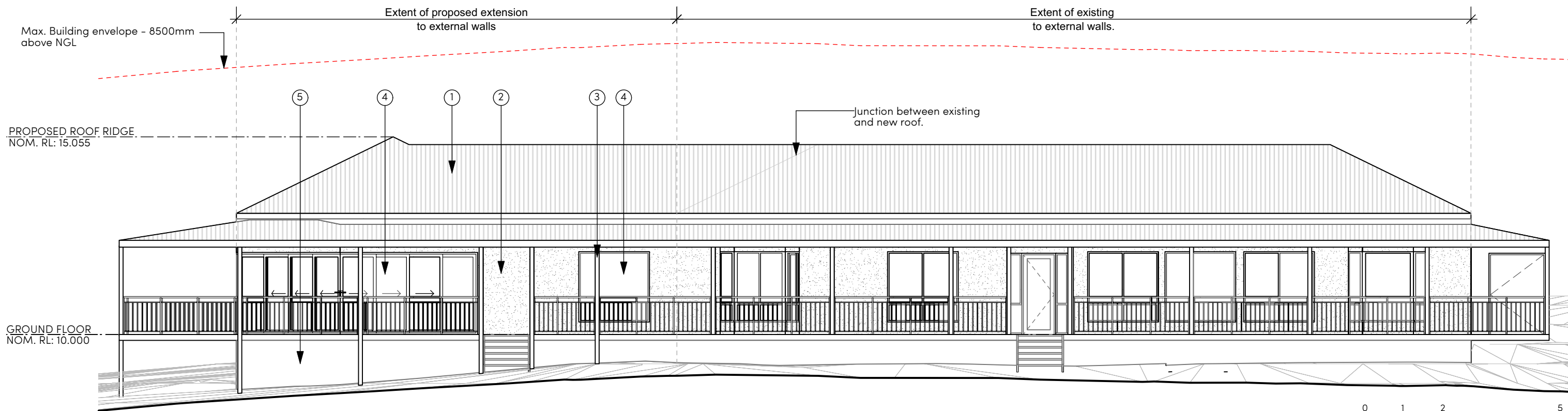
REVISION A	DATE 6/8/2025	DESCRIPTION DA Issue	do not scale off plans all dimensions in millimetres confirm all dimensions on site all work to relevant NCC and AS	
ADDRESS	2802 Tasman Highway, Orierton		SCALE @ ISO A3	1:100
CLIENT	Gerard Mus		DRAWN	IL
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			PROJECT# J009325	



01 South East Elevation
Scale: 1:100

EXTERNAL FINISHES & COLOURS SCHEDULE:	
1	CUSTOM ORB ROOF SHEET OR EQUIVALENT TO APPROVAL - PROFILE AND COLOUR TO MATCH EXISTING ROOF. COLORBOND CAPPINGS, GUTTERS, DOWNPIPES ETC TO MATCH EXISTING.
2	7.5mm 'HARDIE TEX BASE SHEET' FC CLADDING OR EQUIVALENT TO APPROVAL - COLOURED RENDER FINISH TO MATCH EXISTING
3	TIMBER POSTS TO ENGINEERS SPECIFICATION - PAINT FINISH TO MATCH EXISTING.
4	DOUBLE GLAZED ALUMINIUM FRAMED WINDOWS & DOORS. POWDER COAT FINISH, COLOUR TO MATCH EXISTING FRAMES THROUGHOUT.
5	CONCRETE BLOCK FOUNDATION TO MATCH EXISTING.

NOTES	
1.	ALL EXISTING CONDITIONS ARE SHOWN INDICATIVELY ONLY. ALL DIMENSIONS ARE TO BE CONFIRMED ON SITE.
2.	UNTAGGED WINDOWS ARE TO REMAIN AS EXISTING.
5.	ALL PROPOSED EXTERNAL ELEMENTS TO MATCH PROFILE AND COLOURS OF RETAINED EXISTING EXTERNAL ELEMENTS.
4.	GENERALLY, BUILDER TO MAKE GOOD TO ALL RETAINED ELEMENTS AFFECTED BY DEMOLITION, INCLUDING LANDSCAPING.



02 South West Elevation
Scale: 1:100



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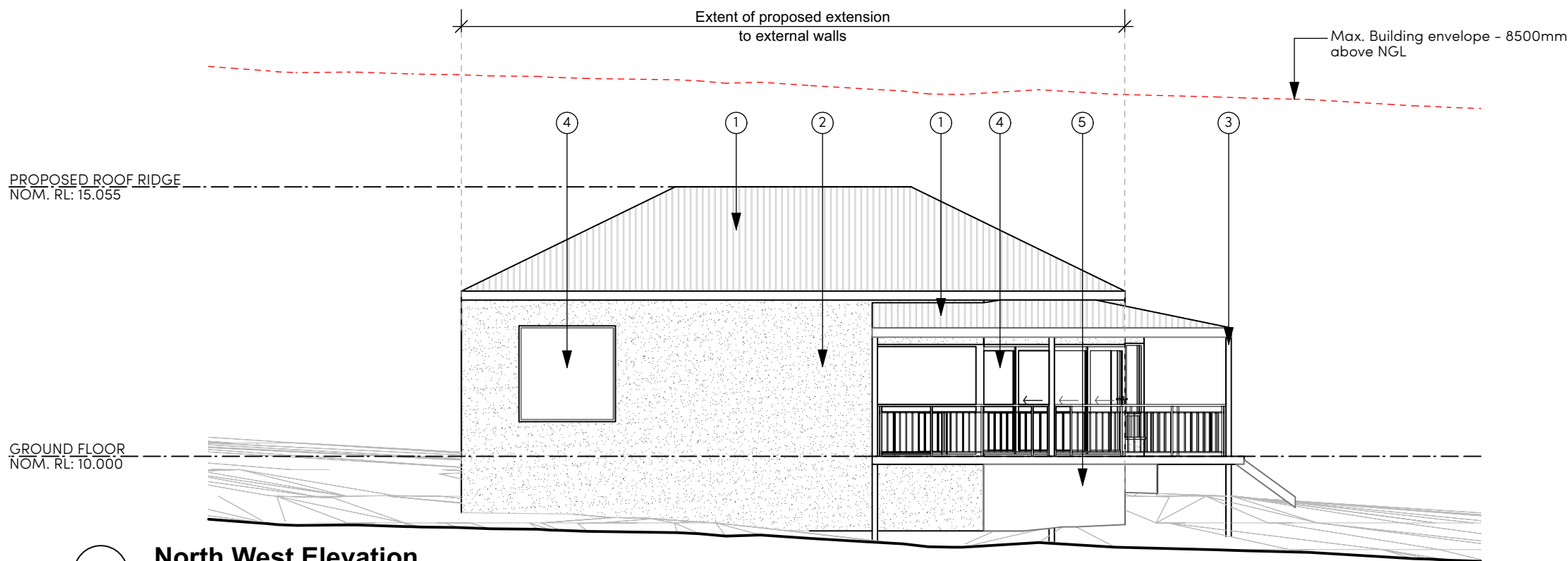
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DWG	Elevation Sheet 1			
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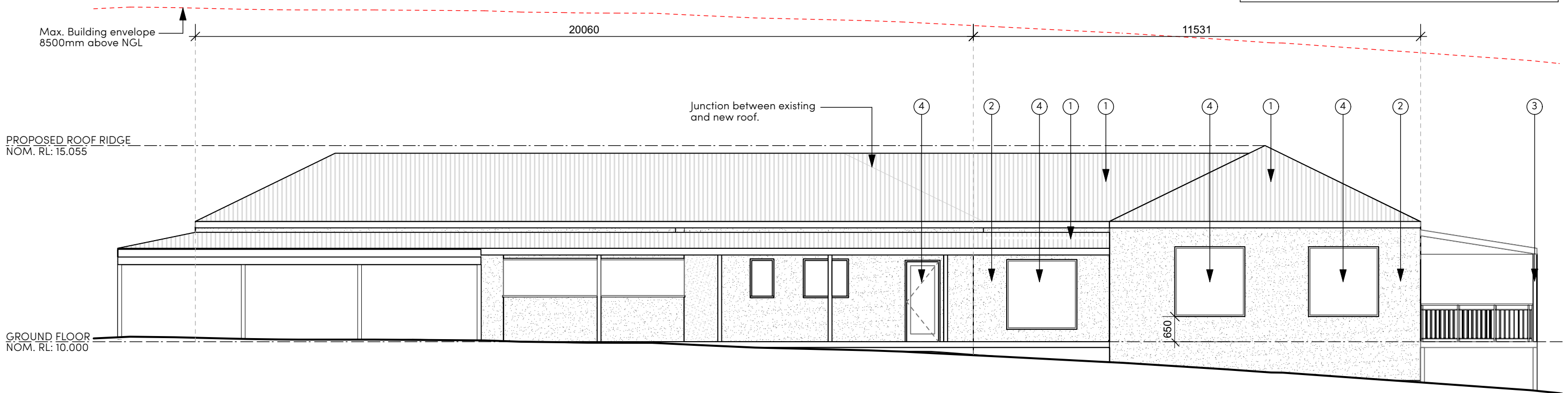


03 North West Elevation
Scale: 1:100

- 1 CUSTOM ORB ROOF SHEET OR EQUIVALENT TO APPROVAL - PROFILE AND COLOUR TO MATCH EXISTING ROOF. COLORBOND CAPPINGS, GUTTERS, DOWNPIPES ETC TO MATCH EXISTING.
- 2 7.5mm 'HARDIE TEX BASE SHEET' FC CLADDING OR EQUIVALENT TO APPROVAL - COLOURED RENDER FINISH TO MATCH EXISTING
- 3 TIMBER POSTS TO ENGINEERS SPECIFICATION - PAINT FINISH TO MATCH EXISTING.
- 4 DOUBLE GLAZED ALUMINIUM FRAMED WINDOWS & DOORS. POWDER COAT FINISH, COLOUR TO MATCH EXISTING FRAMES THROUGHOUT.
- 5 CONCRETE BLOCK FOUNDATION TO MATCH EXISTING.

NOTES

1. ALL EXISTING CONDITIONS ARE SHOWN INDICATIVELY ONLY. ALL DIMENSIONS ARE TO BE CONFIRMED ON SITE.
2. UNTAGGED WINDOWS ARE TO REMAIN AS EXISTING.
5. ALL PROPOSED EXTERNAL ELEMENTS TO MATCH PROFILE AND COLOURS OF RETAINED EXISTING EXTERNAL ELEMENTS.
4. GENERALLY, BUILDER TO MAKE GOOD TO ALL RETAINED ELEMENTS AFFECTED BY DEMOLITION, INCLUDING LANDSCAPING.



04 North East Elevation
Scale: 1:100



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DWG	Elevation Sheet 2			
do not scale off plans all dimensions in millimetres confirm all dimensions on site all work to relevant NCC and AS				ISSUE DA
SCALE @ ISO A3 1:100				DWG # A302-A
DRAWN IL				PROJECT# J009325
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CLIENT	Gerard Mus			ISSUE DA
DWG	Existing Condition Photos			DWG # A401-A
		SCALE @ ISO A3	1:1	PROJECT# J009325
		DRAWN	IL	
		CHKD	JE	
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CLIENT	Gerard Mus			ISSUE DA
DWG	Perspectives			DWG # A901-A
				SCALE @ ISO A3 1:100 DRAWN IL CHKD JE PROJECT# J009325
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NCC 2022 – CLASS 1 & CLASS 10 BUILDINGS (GENERAL NOTES)					
GENERAL NOTES		PART H1D6 – TIMBER FRAMING		PART H4D2 – WET AREAS	PART HD2 – STAIR CONSTRUCTION
WHEN CARRYING OUT THE BUILDING WORK, A BUILDER (or owner builder) SHOULD BE FAMILIAR WITH GENERAL CONSTRUCTION PRACTICES, THE REQUIREMENTS OF THE NATIONAL CONSTRUCTION CODE (NCC 2022), HOUSING PROVISIONS 2022, AS WELL AS LOCAL COUNCIL RULES / REG'S.		ALL TIMBER FLOOR, WALL & ROOF CONSTRUCTION SHALL BE CARRIED OUT IN ACCORDANCE WITH PART H1D6 OF THE NCC 2022 AND AS 1684.2.		WATERPROOFING OF ALL INTERNAL WET AREAS SHALL BE IN ACCORDANCE WITH PART H4D2 (NCC 2022), PART 10.2 (HOUSING PROVISIONS 2022) & AS 3740 – WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS.	STAIRS SERVING HABITABLE ROOMS, INCLUDING EXTERNAL STAIRS MUST COMPLY WITH PART H5D2 (NCC 2022) & PART 11.2.2 (HOUSING PROVISIONS 2022).
A COPY OF ALL PLANNING, BUILDING & PLUMBING PERMITS, AND DRAWINGS STAMPED "APPROVED" BY THE LOCAL AUTHORITY MUST BE KEPT ON SITE.		DESIGN & CERTIFICATION TO BE BY AN ACCREDITED PRACTICING STRUCTURAL ENGINEER.		PROVIDE THE FOLLOWING AS SUBSTRATES:- 1). TIMBER FLOORS – 19mm 'YELLOWtongue R-flor' OR 18mm 'CEMINTEL' F.C. COMPRESSED SHEET WET AREA FLOORING or EQUIVALENT. 2). WALLS – 6mm 'CEMINTEL' F.C. WALLBOARD WET AREA LINING or 10mm 'GYPROCK AQUACHEK' WET AREA PLASTERBOARD.	IF OPEN TREADS ARE TO BE INCORPORATED INTO THE STAIR DESIGN, THEN THE Max. OPEN AREA OF THE RISER IS NOT TO EXCEED 124mm.
PART H1D3 – SITE PREPARATION		PART H1D6 – STRUCTURAL STEEL MEMBERS		ALL FINISHES TO BE SELECTED BY OWNERS.	STAIR TREADS MUST HAVE A SLIP-RESISTANT FINISH OR A SUITABLE NON-SKID STRIP NEAR THE EDGE OF THE NOSINGS.
EARTHWORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH PART H1D3 OF THE NCC 2022 & PART 3.2 OF THE HOUSING PROVISIONS 2022.		ALL STRUCTURAL STEEL FLOOR, WALL & ROOF CONSTRUCTION SHALL BE CARRIED OUT IN ACCORDANCE WITH PART H1D6 (NCC 2022), PART 6.3 (HOUSING PROVISIONS 2022) AND AS 4100. DESIGN & CERTIFICATION TO BE BY AN ACCREDITED PRACTICING STRUCTURAL ENGINEER.			
CUT & FILL GRADES TO BE TO RELEVANT SAA CODES, SUITABLE FOR SOIL CLASSES ENCOUNTERED (REFER TYPICAL DIAGRAM).		ALL EXTERNAL STRUCTURAL STEEL MEMBERS & FIXING SHALL BE PROTECTED FROM CORROSION IN ACCORDANCE WITH PART 6.3.9 OF HOUSING PROVISIONS 2022. GENERALLY HOT DIP GALVANISED UNLESS NOTED OTHERWISE.		PART H4D5 – FACILITIES	STAIR TREADS – Min. 240mm Max. 355mm STAIR RISERS – Min. 115mm Max. 190mm SLOPE RELATIONSHIP: 2 RISERS + 1 GOING = Min. 550mm Max. 700mm
PART 3.2.1 UNPROTECTED EMBANKMENTS (HOUSING PROVISIONS)		PART H1D6 – ROOF & WALL CLADDING			FACILITIES TO COMPLY WITH PART H4D5 (NCC 2022) & PART 10.4 (HOUSING PROVISIONS 2022). THE DOOR TO A FULLY ENCLOSED SANITARY COMPARTMENT MUST – OPEN OUTWARDS, SLIDE OR BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT, UNLESS THERE IS A CLEAR SPACE OF AT LEAST 1.2m, MEASURED IN ACCORDANCE WITH FIGURE 10.4.2, BETWEEN THE CLOSET PAN WITHIN THE SANITARY COMPARTMENT AND THE DOORWAY.
		METAL ROOF CLADDING PROVIDED & INSTALLED IN ACCORDANCE WITH AS 1562.1 & PART H1D6 (NCC 2022) & PART 7 (HOUSING PROVISIONS 2022).		H4D6 – LIGHT	DOORS OPENING OUTWARDS EXTERNALLY MUST OPEN TO A LANDING (Min. 750mm WIDE) WHERE THE DIFFERENCE IN LEVELS IS GREATER THAN 570mm.
FILL H = less than 2m		COLORBOND FINISH TO SHEET ROOFS (uno) AS SELECTED BY OWNER. ALL RIDGES, FASCIAS, BARGE ENDS, HIP ENDS AND ROOF PENETRATIONS MUST BE PROPERLY FLASHED AND SEALED (i.e. watertight). REFER TO ARCHITECTURAL DWGS FOR TYPICAL SARKING DETAILS AND EXTENT OF ROOF CLADDINGS.		NATURAL LIGHTING REQUIREMENTS IN ACCORDANCE WITH PART H4D6 (NCC 2022) & PART 10.5 (HOUSING PROVISIONS 2022).	PROVIDE 865mm HIGH (Min.) BALUSTRADE TO ANY DECK, LANDING, BALCONY OR THE LIKE 1000mm OR MORE ABOVE ADJOINING FLOOR OR FINISHED GROUND LEVEL; & PROVIDE 865mm HIGH (Min.) BALUSTRADE TO STAIRS; & NO OPENINGS WITHIN ANY PART OF THE BALUSTRADE ARE TO BE GREATER THAN 124mm.
CUT H = less than 2m		ALL GUTTERS AND DOWNPIPES SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH PART 7.4 OF THE HOUSING PROVISIONS, AS/NZS 3500.3 or AS/NZS 3500.5 (domestic installations, Section 5).			
SOIL TYPE (# see Part 4.2.2 for material description)		REFER TO ARCHITECTURAL DWGS FOR TYPICAL GUTTER & FASCIA DETAILS.		(a) AT A RATE OF NOT LESS THAN ONE LIGHT FITTING PER 16m² OF FLOOR AREA; OR (b) IN ACCORDANCE WITH AS/NZS 1680.0.	PROVIDE 865mm HIGH (Min.) CONTINUOUS HANDRAIL TO AT LEAST ONE SIDE OF FLIGHT OF STAIRS OR RAMPS.
		PREFABRICATED TIMBER ROOF TRUSSES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. CERTIFIED TRUSS DESIGN CRITERIA & PLAN SHOWING FIXING & BRACING DETAILS TO BE SUBMITTED TO THE BUILDING SURVEYOR PRIOR TO FRAME INSPECTION & INCLUDE ANY VARIATION REQUIRED TO LINTELS & STUDS TO ACCOUNT FOR CONCENTRATED LOADS.		PART H4D7 – VENTILATION	WIRE BALUSTRADES MUST BE CONSTRUCTED IN ACCORDANCE WITH PART 11.3.6 (HOUSING PROVISIONS 2022), SPECIFICALLY CLAUSE 11.3.4 (9) & TABLE 11.3.6a.
		WALL CLADDING TO BE INSTALLED IN ACCORDANCE WITH 7.5 OF THE HOUSING PROVISIONS 2022 & TO SPECIFIC MANUFACTURERS SPECIFICATIONS.		VENTILATION REQUIREMENTS IN ACCORDANCE WITH PART H4D7 (NCC 2022) & PART 10.6 (HOUSING PROVISIONS 2022). PROVIDE EXHAUST FANS IN TOILET, BATHROOMS AND A RANGEHOOD ABOVE KITCHEN HOTPLATES. INSTALL AND DUCT TO OUTSIDE AIR IN ACCORDANCE WITH AS 1668.2. REFER TO PLANS FOR LOCATION.	TYPICALLY, WIRE Ø 3.0mm – 7x7 LAY – Max. 80mm WIRE SPACINGS. POSTS @ Max. 1500mm cts. (Min. REQUIRED TENSION = 1083N).
		FLASHING TO WALL OPENINGS IN EXTERNAL WALL CLADDING IN ACCORDANCE WITH PART 7.5.6 OF THE HOUSING PROVISIONS 2022 USING MATERIALS THAT COMPLY WITH AS 2904.			TYPICALLY, WIRE Ø 3.0mm – 1 x 19 LAY – Max. 80mm WIRE SPACINGS. POSTS @ Max. 1200mm cts. (Min. TENSION = 1025N).
SILT (P#)		PART H1D8 – GLAZING		PART H4D9 – CONDENSATION MANAGEMENT	GLASS BALUSTRADES TO COMPLY WITH AS 1288, SECTION 7 (2006).
CLAY		GLAZED ASSEMBLIES (INTERNAL & EXTERNAL) ARE TO POSSESS INDUSTRY STANDARD COMPLIANCE LABELLING (THAT CAN BE IDENTIFIED DURING AN INSPECTION) or A CERTIFICATE OF COMPLIANCE TO AUSTRALIAN STANDARDS AS 1288 (glass-safety) & AS 2047 (windows-weatherproofing) WILL HAVE TO BE PROVIDED. GLAZING SHALL ALSO COMPLY WITH PART 8.2 (HOUSING PROVISIONS 2022).		ALL PLIABLE BUILDING MEMBRANES INSTALLED IN A EXTERNAL WALL MUST BE IN ACCORDANCE WITH PART H4D9 (NCC 2022) & PART 10.8 (HOUSING PROVISIONS 2022), AS4200.1 & AS4200.2.	PART H6 – ENERGY EFFICIENCY
FIRM CLAY		THE INSTALLATION OF GLAZED ASSEMBLIES IS TO CORRESPOND WITH THE TOTAL U-VALUE & SHGC QUANTITIES SPECIFIED WITHIN THE APPROVED GLAZING CALCULATORS. PRIOR TO THE ISSUE OF THE CERTIFICATE OF FINAL INSPECTION A STATEMENT CONFIRMING THAT THE SPECIFIED GLAZING HAS BEEN INSTALLED IS TO BE SUBMITTED TO THE BUILDING SURVEYOR.			
SOFT CLAY		GLAZING IN BATHROOMS, INCLUDING SHOWER SCREENS, SHOWER DOORS, BATH ENCLOSURES & ASSOCIATED WINDOWS THAT ARE UNDER 2m MEASURED FROM THE FLOOR LEVEL UP MUST BE IN ACCORDANCE WITH PART 8.4.6 (HOUSING PROVSIONS 2022).		WHERE INSTALLED IN CLIMATE ZONES 6, 7 & 8 THE PLIABLE MEMBRANE MUST BE A VAPOUR PERMABLE MEMBRANE.	REQUIRED MINIMUM TOTAL R-VALUES TO COMPLY WITH PARTS 13.2 – BUILDING FABRIC FOR CLIMATE ZONE 7.
SOFT SOILS (P#)		PART H3D6 – SMOKE ALARMS		PLIABLE MEMBRANES MUST BE LOCATED ON THE EXTERIOR SIDE OF THE PRIMARY INSULATION LAYER OF THE WALL ASSEMBLIES THAT FORM THE EXTERNAL ENVELOPE OF THE BUILDING TO COMPLY WITH 10.8.1.	ALL BULK & REFLECTIVE THERMAL INSULATION MUST COMPLY WITH AS/NZS 4859.1, AND SHALL BE INSTALLED IN ACCORDANCE WITH PART 13.2 (HOUSING PROVISIONS 2022), TO FORM A CONTINUOUS BARRIER WITH THE ROOF, CEILINGS, WALLS & FLOORS.
NOTES: 1. RETAINING WALLS OR OTHER TYPES OF SOIL RETAINING METHODS MUST BE INSTALLED WHERE – (a) THE EMBANKMENT SLOPE IS STEEPER THAN THAT DESCRIBED IN THIS TABLE; OR (b) THE SOIL TYPE IS NOT DESCRIBED IN THIS TABLE. 2. EMBANKMENTS THAT ARE TO BE LEFT EXPOSED AT THE END OF THE CONSTRUCTION WORKS MUST BE STABILISED BY VEGETATION OR SIMILAR WORKS TO PREVENT SOIL EROSION.		SMOKE ALARMS SHALL COMPLY WITH PART H3D6 (NCC 2022) & PART 9.5 (HOUSING PROVISIONS 2022) & AS 3786, AND MUST BE DIRECTLY HARDWIRED INTO THE ELECTRICAL SYSTEM (MUST POSSESS BATTERY BACK-UP). LOCATIONS AS PER CLAUSE 9.5.2 OF THE HOUSING PROVISIONS 2022.		ALL KITCHEN, BATHROOM, SANITARY COMPARTMENTS OR LAUNDRY MUST BE INSTALLED IN ACCORDANCE WITH PART 10.8.2 (HOUSING PROVISIONS 2022).	BUILDING SEALING MUST COMPLY WITH PART 13.4 (HOUSING PROVISIONS 2022).
PART H1D4 – FOOTINGS & SLABS		PART H4D4 – ROOM HEIGHTS		EXHAUST FROM A BATHROOM, SANITARY COMPARTMENT OR LAUNDRY MUST BE DISCHARGED VIA DUCT TO OUTDOOR AIR OR TO ROOF SPACE THAT IS VENTILATED IN ACCORDANCE WITH PART 10.8.2 (HOUSING PROVISIONS 2022).	ALL OPENABLE WINDOW SASHES AND AROUND EDGES OF EXTERNAL DOORS SHALL BE FITTED WITH SELF ADHESIVE FOAM OR RUBBER COMPRESSIBLE SEALS.
FOOTING OR SLAB CONSTRUCTION SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS 2870, AND MUST COMPLY WITH PART H1D4 OF THE NCC 2022 & PART 4 OF THE HOUSING PROVISIONS 2022. PILED FOOTINGS TO BE DESIGNED IN ACCORDANCE WITH AS 2159. DESIGN & CERTIFICATION OF FOOTINGS & SLABS TO BE BY AN ACCREDITED PRACTICING STRUCTURAL ENGINEER.		MINIMUM CEILING HEIGHTS MUST COMPLY WITH PART H4D4 (NCC 2022) & PART 10.3 (HOUSING PROVISIONS 2022).		ALL ROOF SPACES MUST BE IN ACCORDANCE WITH NPART 10.8.3 (HOUSING PROVISIONS 2022). WHERE EXHASUT FROM BATHROOM, SANITARY COMPARTMENTS OR LAUNDRY ARE DISCHARGED INTO ROOF SPACE THE ROOF MUST BE VENTILATED TO OUTDOOR AIR THROUGH EVENLY DISTRIBUTED OPENINGS.	ROOFS, EXTERNAL WALLS, EXTERNAL FLOORS AND ANY OPENING SUCH AS A WINDOW OR DOOR IN AN EXTERNAL WALL MUST BE CONSTRUCTED TO MINIMISE AIR LEAKAGE BY ENSURING INTERNAL LININGS AT CEILING, WALL AND FLOOR JUNCTIONS ARE CLOSE FITTING OR SEALED BY CAULKING, SKIRTING, ARCHITRAVES, CORNICES OR THE LIKE.
PART H2D5 – SUB-FLOOR VENTILATION		GENERALLY 2.4m, UNLESS IN A KITCHEN, HALL, BATHROOM, LAUNDRY OR GARAGE, WHERE A MINIMUM OF 2.1m IS ACCEPTABLE.		OPENINGS MUST HAVE A TOTAL UNOBSTRUCTED AREA IN ACCORDANCE WITH TABLE 10.8.3 – ROOF SPACE VENTILATION REQUIRMENTS.	EXHAUST FANS MUST BE FITTED WITH A SEALING DEVICE SUCH AS A SELF-CLOSING DAMPER, FILTER OR THE LIKE.
PROVIDE SUB-FLOOR VENTILATION TO SUSPENDED FLOOR STRUCTURE TO COMPLY WITH PART H2D5 OF THE NCC 2022 & PART 6.2.1 OF HOUSING PROVISIONS 2022 AT A RATE OF NOT LESS THAN 6000mm ² PER METER LENGTH OF WALL; AND END VENTS ARE NOT TO BE INSTALLED FURTHER THAN 600mm AWAY FROM EXTERNAL CORNERS. FURTHERMORE, THE CLEARANCE BETWEEN THE GROUND SURFACE & THE UNDERSIDE OF THE LOWEST FLOOR FRAMING MEMBER MUST NOT BE LESS THAN 150mm.				(1) VENTILATION OPENINGS ARE SPECIFIED AS A MINIMUM FREE OPEN AREA PER METRE LENGTH OF THE LONGEST HORIZONTAL DIMENSION OF THE ROOF.	HOT WATER SUPPLY SYSTEM SHALL BE DESIGNED & INSTALLED IN ACCORDANCE WITH SECTION 8 OF AS/NZS 3500.4 or CLAUSE 3.38 OF AS/NZS 3500.5 .
				(2) FOR THE PURPOSES OF THIS TABLE, HIGH LEVEL OPENINGS ARE OPENINGS PROVIDED AT THE RIDGE OR NOT MORE THAN 900 MM BELOW THE RIDGE OR HIGHEST POINT OF THE ROOF SPACE, MEASURED VERTICALLY.	THE FIRST 500mm OF PIPE FROM ANY HOT WATER STORAGE UNIT MUST BE INSULATED WITH Min. 19mm OF CLOSED CELL POLYMER (inside building) OR 25mm OF CLOSED CELL POLYMER (outside building).



Sorell Council
Development Application: 5.2025.212.1 -
Development Application - 2802 Tasman
Highway, Orielson - P1.pdf
Plans Reference: P2
Date Received: 27/07/2025

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REVISION A	DATE	6/8/2025	DESCRIPTION	DA Issue		
ADDRESS	2802 Tasman Highway, Orielton			do not scale off plans all dimensions in millimetres confirm all dimensions on site all work to relevant NCC and AS	ISSUE DA	
CLIENT	Gerard Mus				DWG #	
DWG	General Notes			SCALE @ ISO A3 1:1	A902-A	
				DRAWN IL		
				CHKD JE		PROJECT# J009325
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