

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE:

3 TASMAN HIGHWAY, MIDWAY POINT

PROPOSED DEVELOPMENT:

**CHANGE OF USE - DWELLING TO VISITOR
ACCOMMODATION**

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Monday 15th September 2025**.

Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the General Manager. Representations must be received no later than **Monday 15th September 2025**.

APPLICATION NO: 5.2025-210.1
DATE: 29 AUGUST 2025

Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	Use: <u>Dwelling</u>
	Development: <u>Change of use dwelling to visitor accommodation.</u>
	<i>Large or complex proposals should be described in a letter or planning report.</i>
Design and construction cost of proposal: \$	


Is all, or some the work already constructed:	No: <input type="checkbox"/> Yes: <input checked="" type="checkbox"/>
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Location of proposed works:	Street address: <u>3 Tasman Highway</u>
	Suburb: <u>Midway Point</u> Postcode: <u>7171</u>
	Certificate of Title(s) Volume: Folio:

Current Use of Site	<u>Dwelling</u>
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Current Owner/s:	Name(s) <u>Same as applicant</u>
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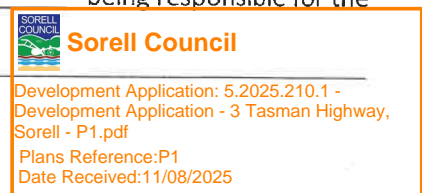
Is the Property on the Tasmanian Heritage Register?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Council or Crown land section on page 3</i>
If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form https://www.sorell.tas.gov.au/services/engineering/		

 Sorell Council
Development Application: 5.2025.210.1 - Development Application - 3 Tasman Highway, Sorell - P1.pdf Plans Reference: P1 Date Received: 11/08/2025

Part B continued: Please note that Part B of this form is publicly exhibited

Declarations and acknowledgements	
<ul style="list-style-type: none">• I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land.• I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council's representatives to enter the land at any time during normal business hours.• I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies.• I/we declare that, in accordance with s52(1) of the <i>Land Use Planning and Approvals Act 1993</i>, that I have notified the owner(s) of the intention to make this application.• I/we declare that the information in this application is true and correct. <p><i>Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council's Privacy Policy available on the Council website.</i></p> <ul style="list-style-type: none">• I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only. <ul style="list-style-type: none">• Where the General Manager's consent is also required under s.14 of the <i>Urban Drainage Act 2013</i>, by making this application I/we also apply for that consent.	
Applicant Signature:	Signature: <u>Y. Smith</u> <u>Mandeep Jaimet</u> Date: <u>6/08/25</u>

Crown or General Manager Land Owner Consent	
<p>If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the <i>Land Use Planning and Approvals Act 1993</i>).</p> <p>Please note:</p> <ul style="list-style-type: none">• If General Manager consent is required, please first complete the General Manager consent application form available on our website www.sorell.tas.gov.au• If the application involves Crown land you will also need a letter of consent.• Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.	
<p>I _____ being responsible for the administration of land at _____ declare that I have given permission for the making of this application for _____</p>	
Signature of General Manager, Minister or Delegate:	Signature: _____ Date: _____



**Sorell Council**

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Development Application - 3 Tasman Highway,
Sorell - P1.pdf
Plans Reference:P1
Date Received:11/08/2025

SEARCH OF TORRENS TITLE

VOLUME	FOLIO
133115	1
EDITION	DATE OF ISSUE
2	23-Aug-2022

SEARCH DATE : 02-Jun-2025

SEARCH TIME : 10.34 AM

DESCRIPTION OF LAND

Town of SORELL

Lot 1 on Plan 133115

(formerly Lots 1 & 2 on Sealed Plan No. 12796)

Derivation : Part of 310 Acres Gtd. to A. Laing Whole of 16

Perches Gtd. to J.C. Mitchell.

Prior CT 12796/4

SCHEDULE 1

C193997 & M958246 KEVIN JOHN WALDIE Registered 23-Aug-2022
at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP 12796 FENCING PROVISION in Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER Kevin John Waldie app. Mary Patricia Waldie app. FOLIO REFERENCE F/R 12796-4 GRANTEE Part of 310 acree gtd. to Alexander Loring & Loring & Whole of 0a.0r.16p. gtd to Josephine Charlotte Mitchell.		PLAN OF SURVEY BY SURVEYOR Anthony Owen Carrick Brooks Lark & Carrick, Surveyors 175 Collins Street Hobart LOCATION Town of Sorell SCALE 1: 400 LENGTHS IN METRES		REGISTERED NUMBER P 133115 APPROVED EFFECTIVE FROM - 6 DEC 1999 <i>Alice Kawa</i> Deputy Recorder of Titles
MAPSHEET MUNICIPAL CODE No. 124 / 5426-51	LAST UPI No. 2904160	LAST PLAN S.P. 12796	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	

COMPILED FROM F/R 12796-4 & THIS SURVEY

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2. Details of Maximum Guests

The maximum number of guests on site at any given time will not exceed seven (7).



www.thelist.tas.gov.au

**Sorell Council**

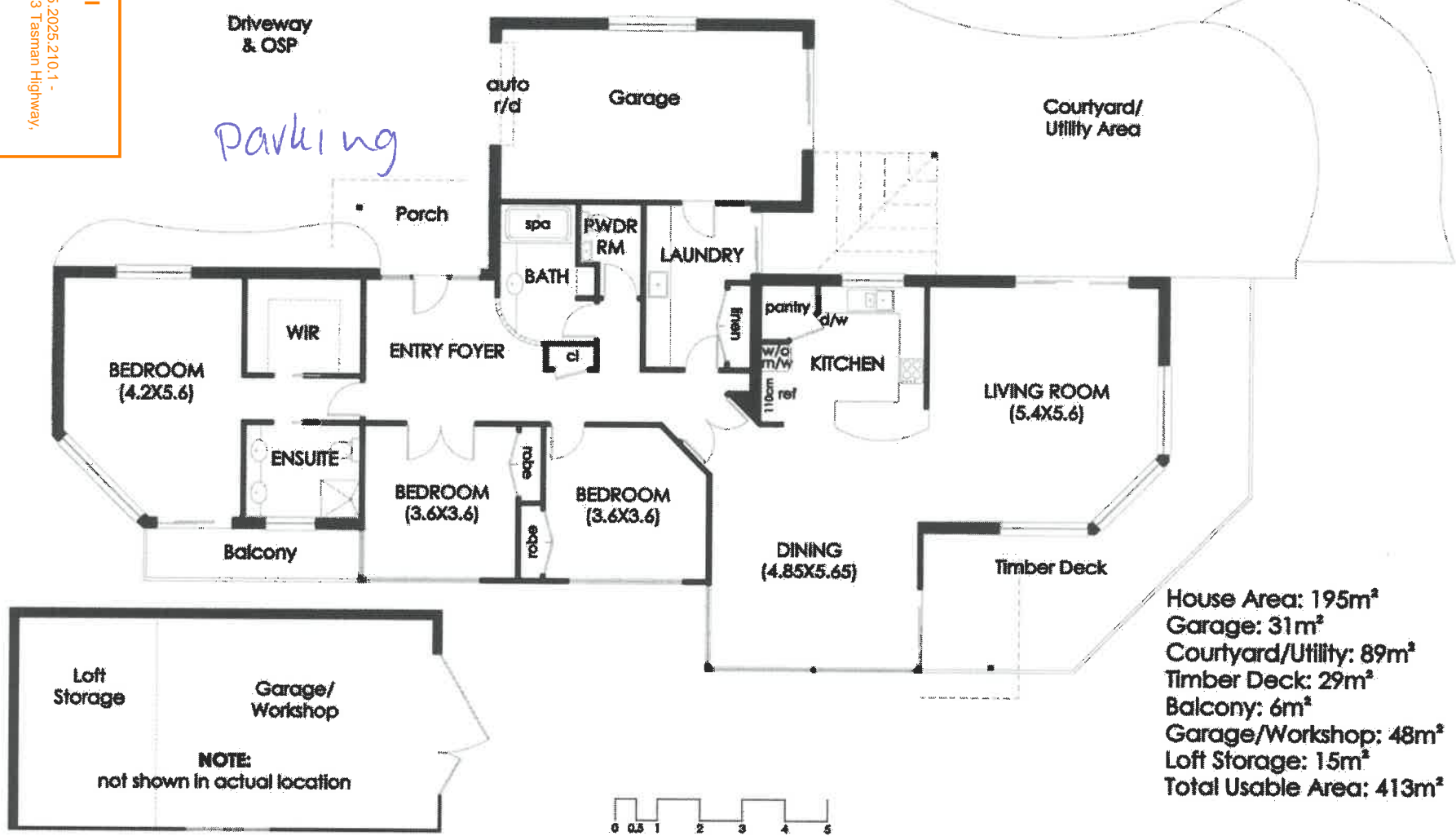
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**Tasmanian
Government**


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Entire building to be used

MIDWAY POINT
 3 Tasman Highway
 House Area: 226m²(24.3sq)



House Area: 195m²
 Garage: 31m²
 Courtyard/Utility: 89m²
 Timber Deck: 29m²
 Balcony: 6m²
 Garage/Workshop: 48m²
 Loft Storage: 15m²
 Total Usable Area: 413m²

PETERSWALD

IMPORTANT: measurements are approximate-interested parties need to verify