

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE:

2 JETTY ROAD, DODGES FERRY

PROPOSED DEVELOPMENT:

**OUTBUILDING (DEMOLITION OF EXISTING) &
ALTERATIONS TO DWELLING**

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Monday 8th September 2025**.

Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the General Manager. Representations must be received no later than **Monday 8th September 2025**.

APPLICATION NO: 5.2025.200.1
DATE: 22 AUGUST 2025

Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	Use:
	Development:
	Minor dwelling alterations
Large or complex proposals should be described in a letter or planning report.	
Design and construction cost of proposal:	\$ (shed) \$15,000 minor alterations

Is all, or some the work already constructed:	No: <input type="checkbox"/> Yes: <input type="checkbox"/>
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Location of proposed works:	Street address:
	Suburb: Postcode:
	Certificate of Title(s) Volume: Folio:

Current Use of Site
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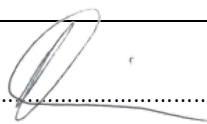
Current Owner/s:	Name(s).....
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Is the Property on the Tasmanian Heritage Register?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	If yes, please provide written advice from Heritage Tasmania
Is the proposal to be carried out in more than one stage?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	If yes, please clearly describe in plans
Have any potentially contaminating uses been undertaken on the site?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	If yes, please complete the Additional Information for Non-Residential Use
Is any vegetation proposed to be removed?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	If yes, please ensure plans clearly show area to be impacted
Does the proposal involve land administered or owned by either the Crown or Council?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	If yes, please complete the Council or Crown land section on page 3
<p>If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form</p> <p>https://www.sorell.tas.gov.au/services/engineering/</p>		



Sorell Council

Development Application: 5.2025.200.1 -
Development Application - 2 Jetty Road, Dodges
Ferry - P1.pdf
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Declarations and acknowledgements	
<ul style="list-style-type: none"> I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land. I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council's representatives to enter the land at any time during normal business hours. I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies. I/we declare that, in accordance with s52(1) of the <i>Land Use Planning and Approvals Act 1993</i>, that I have notified the owner(s) of the intention to make this application. I/we declare that the information in this application is true and correct. <p><i>Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council's Privacy Policy available on the Council website.</i></p>	
<ul style="list-style-type: none"> I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only. 	
<ul style="list-style-type: none"> Where the General Manager's consent is also required under s.14 of the <i>Urban Drainage Act 2013</i>, by making this application I/we also apply for that consent. 	
Applicant Signature:	Signature:  Date:

Crown or General Manager Land Owner Consent	
<p>If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the <i>Land Use Planning and Approvals Act 1993</i>).</p> <p>Please note:</p> <ul style="list-style-type: none"> If General Manager consent is required, please first complete the General Manager consent application form available on our website www.sorell.tas.gov.au If the application involves Crown land you will also need a letter of consent. Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development. 	
<p>I _____ being responsible for the administration of land at _____ declare that I have given permission for the making of this application for _____</p>	
Signature of General Manager, Minister or Delegate:	Signature: Date:



SEARCH OF TORRENS TITLE

VOLUME 42067	FOLIO 101
EDITION 8	DATE OF ISSUE 01-Mar-2024

SEARCH DATE : 28-Jul-2025

SEARCH TIME : 10.02 AM

DESCRIPTION OF LAND

Town of DODGES FERRY

Lot 101 on Diagram 42067

Derivation : Part of 300 Acres Loc. to G. Wise

Derived from W349

SCHEDULE 1

N178409 TRANSFER to CHRISTOPHER KEVIN FYSH Registered
01-Mar-2024 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

E373106 MORTGAGE to Australia and New Zealand Banking Group
Limited Registered 01-Mar-2024 at 12.02 PM

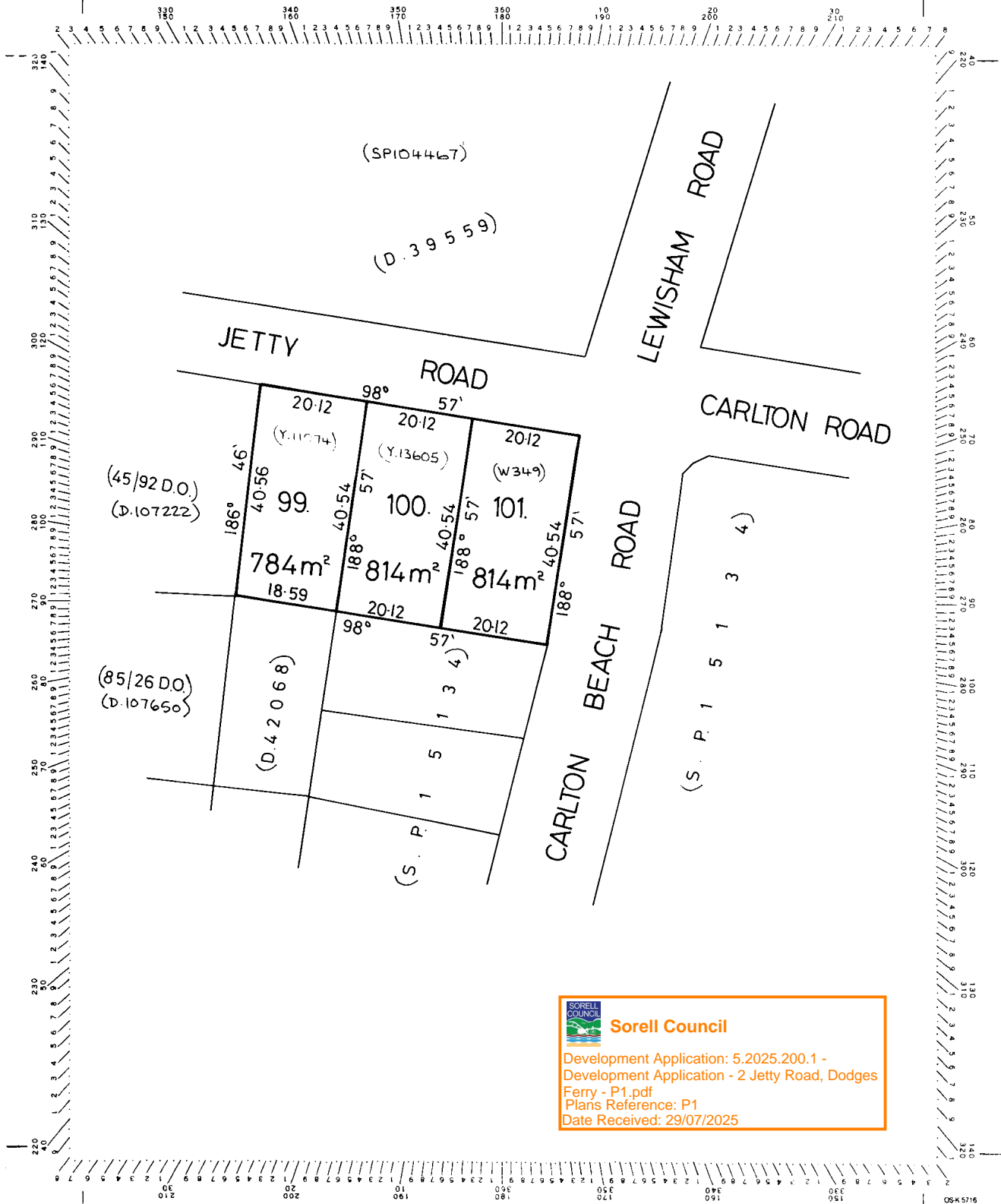
UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

**Sorell Council**

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Owner: L. T. ACT 1980.	PLAN OF SURVEY of land situated in the	Registered Number: D. 42067
Title Reference: Y.11074	TOWN OF DODGES FERRY	Approved: <i>[Signature]</i>
Grantee: PART OF 300-0-0 LOC. TO GEORGE WISE.	COMPILED FROM 45/80 D.O. SCALE 1: 750 MEASUREMENTS IN METRES	Recorder of Titles



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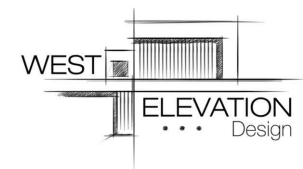
EXTENSION PROJECT

PROJECT NUMBER:

DRAWING NUMBER:	
A00	COVER PAGE
A01A	EXISTING SITE PLAN
A02	DRAINAGE PLAN
A03A	EXISTING FLOOR PLAN
A03B	PROPOSED FLOOR PLAN
A04	ROOF PLAN
A05A	EXISTING ELEVATIONS
A05B	EXISTING ELEVATIONS
A06A	PROPOSED ELEVATIONS
A06B	PROPOSED ELEVATIONS
A07	ELECTRICAL SCHEDULE

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West Elevation Design

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Email: office@westelevation.com.au
Website: www.westelevation.com.au

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WIND CLASSIFICATION: UNASSIGNED

SOIL CLASSIFICATION: UNASSIGNED

CLIENT: CHRIS FYSH

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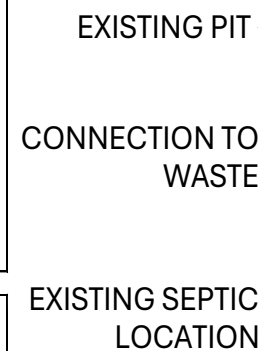
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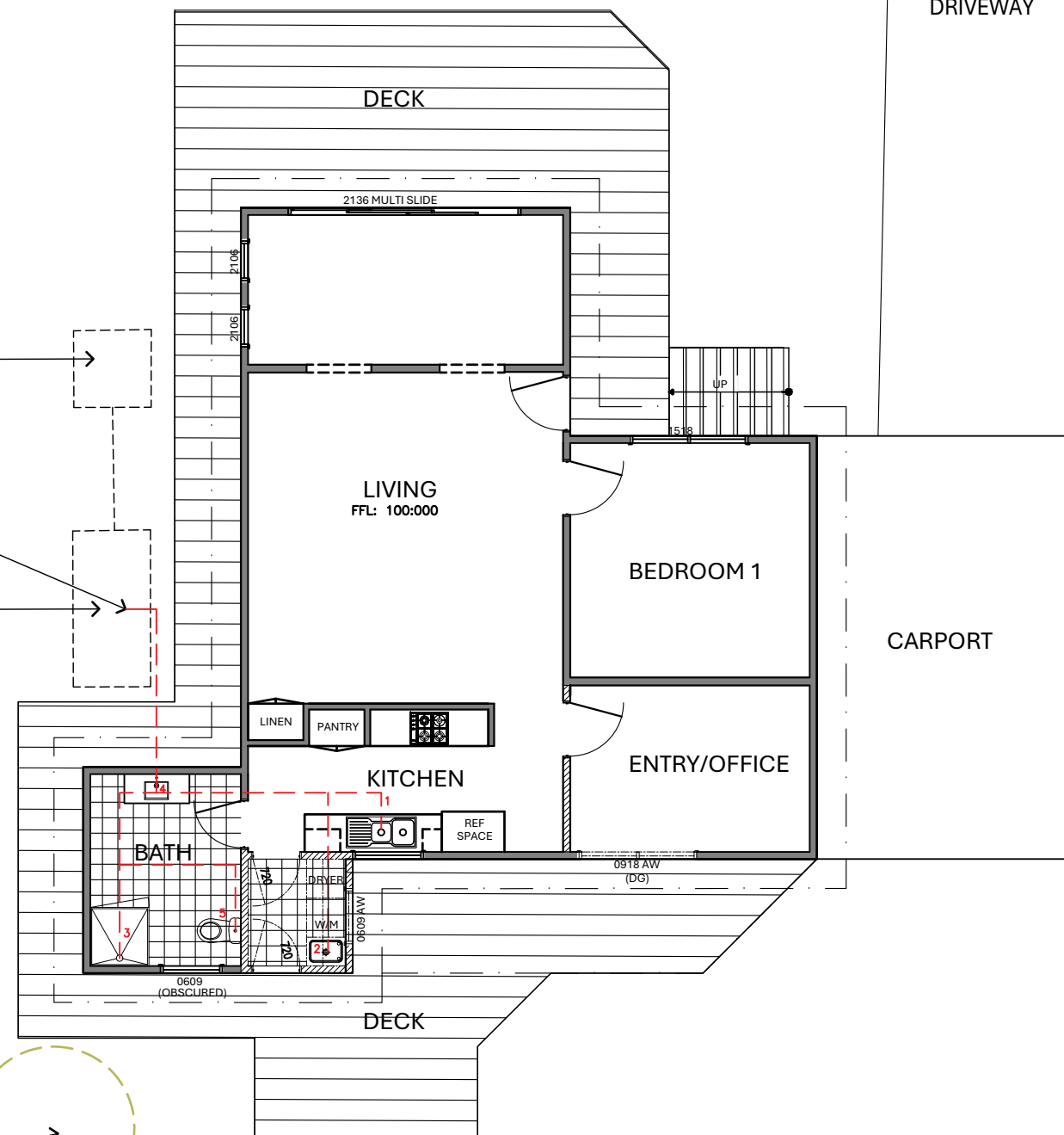
1-KITCHEN SINK
2-LAUNDRY TROUGH
3-BATHROOM SHOWER
4-HAND BASIN
5-WC

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EXISTING RAIN WATER
TANK



2 PROPOSED DRAINAGE PLAN
SCALE 1:100



SOIL CLASSIFICATION: UNASSIGNED

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CHECKED:

PAGE NO:

A02



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CORROSION PROTECTION:
BUILDER MUST IMPLEMENT CORROSION PROTECTION. EXPOSED STEEL SHOULD BE HOT DIPPED GALVANISED. FIXINGS AND CONNECTORS SHOULD BE AT MINIMUM GALVANISED OR STAINLESS STEEL WHERE REQUIRED.

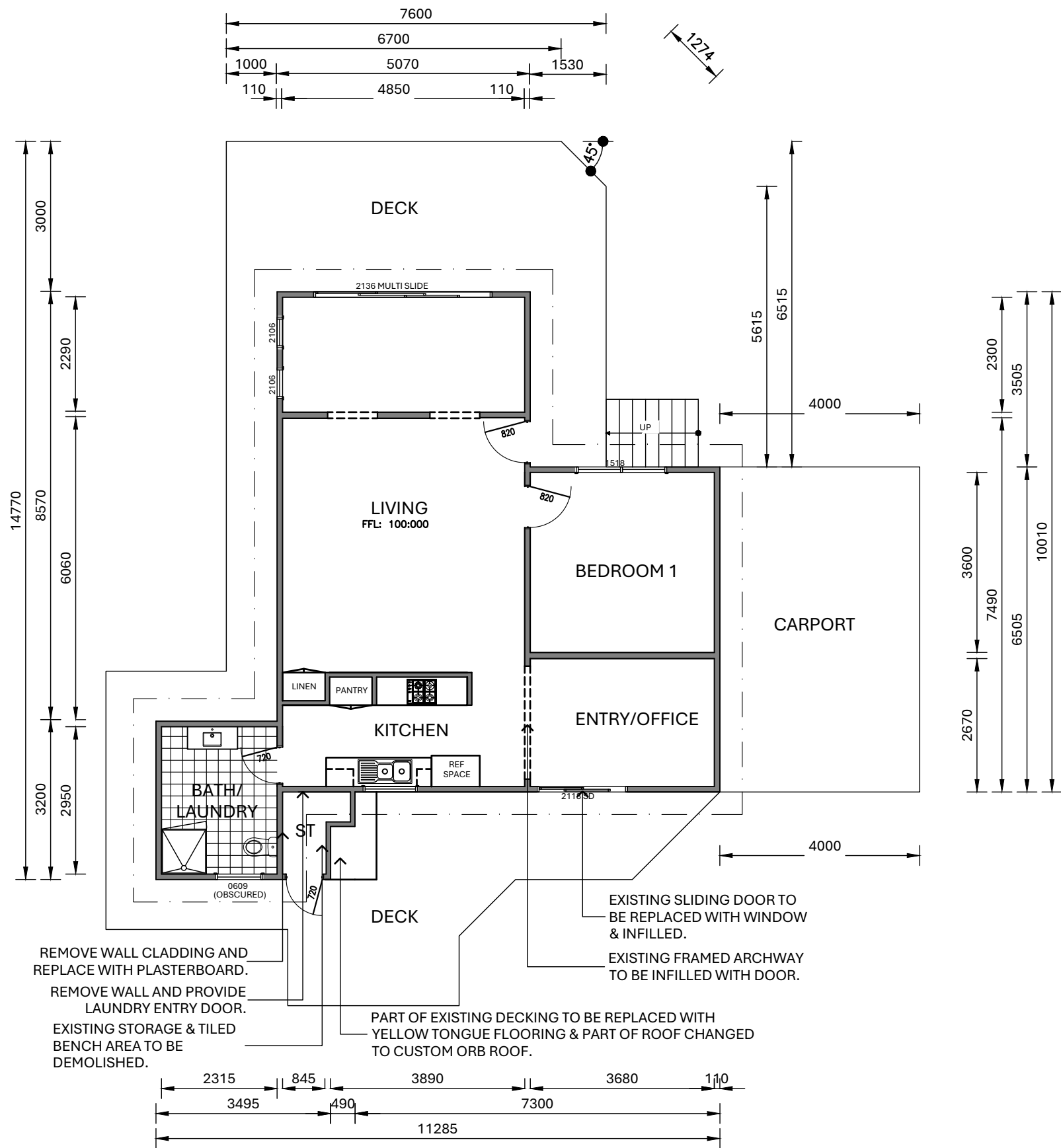
STEEL FRAMING AS PER NCC 2019 PART 3.4.2.2 & TABLE 3.4.4.2

METAL ROOF CLADDING AS PER NCC 2019 PART 3.5.1.3 & TABLE 3.5.1.1A

STRUCTURAL:
ENGINEERS DOCUMENTATION TO TAKE PRECEDENCE OVER DETAILS CONTAINED IN THIS DOCUMENT. WHERE DISCREPANCIES ARE IDENTIFIED, DESIGNER AND ENGINEER ARE TO BE NOTIFIED PRIOR TO COMMENCEMENT OF WORK.

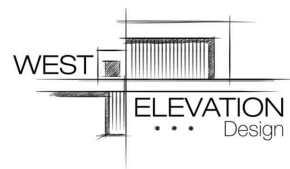
TRUSSES:
TRUSS PLANS BY OTHERS. TRUSS TIE DOWNS AND STRAP BRACING TO BE SPECIFIED BY TRUSS MANUFACTURER.

STAIRS & RAMPS:
CONSTRUCTION IN ACCORDANCE WITH NCC PART 11.2.
BARRIERS AND HANDRAILS IN ACCORDANCE WITH NCC PART 11.3.
SEE ELEVATIONS FOR HANDRAIL LOCATION



3 EXISTING HOUSE FLOOR PLAN
SCALE 1:100

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A03A

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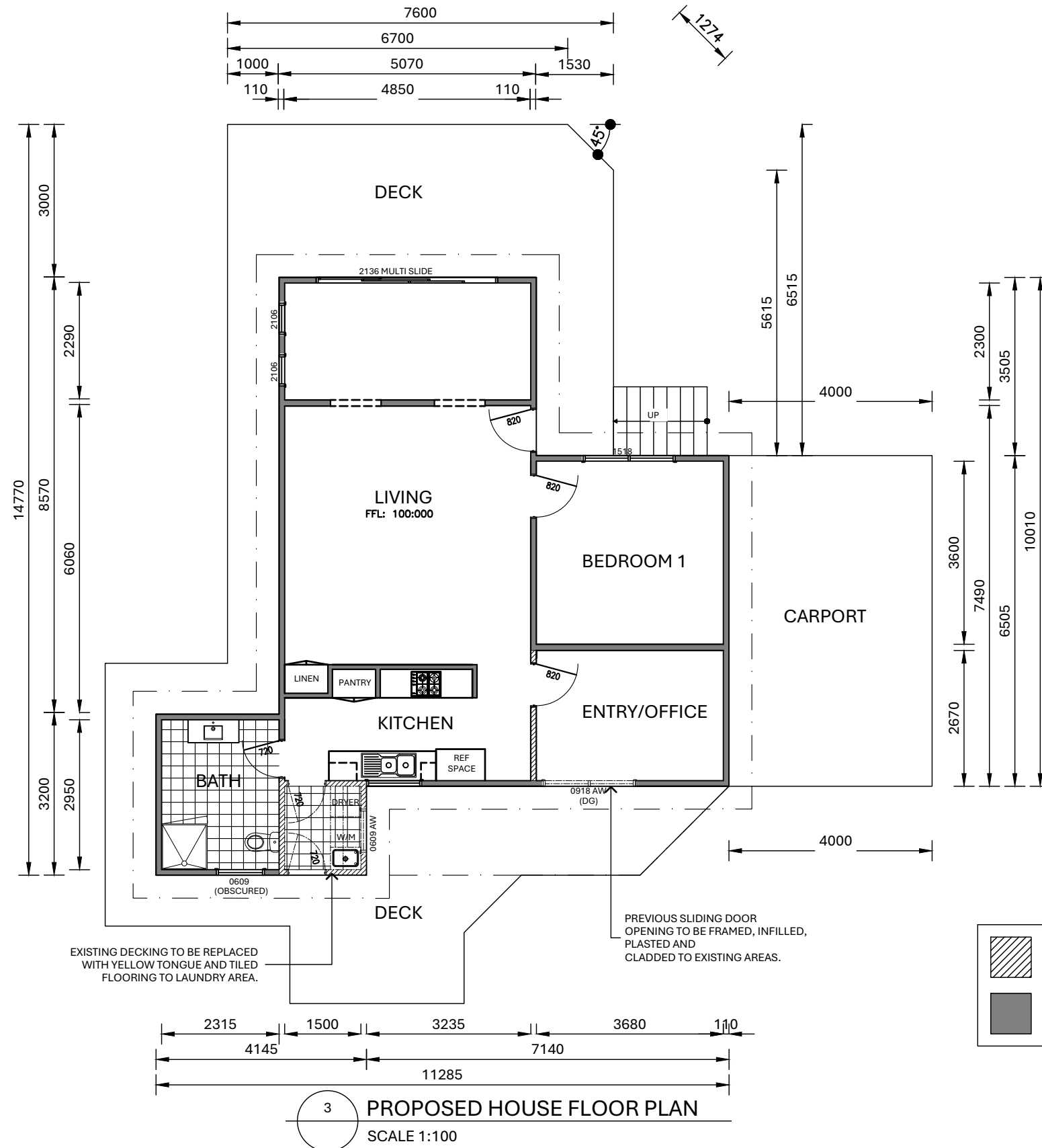
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METAL ROOF CLADDING AS PER NCC 2019 PART 3.5.1.3 & TABLE 3.5.1.1A

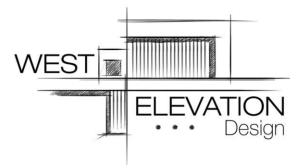
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A03B

NOTE:
ALL PLUMBING TO BE IN ACCORDANCE WITH AS3500

BOX GUTTERS, SUMPS, RAIN WATER HEAD OVERFLOWS & DOWNPIPES TO COMPLY WITH NCC & AS/NZS 3500.3:2021 3.3.7 &3.7.8

SEWER & STORMWATER TO MAINS CONNECTIONS,
PLUMBER TO VERIFY LOCATION ON SITE

ALL STORMWATER PITS TO BE DESIGNED IN ACCORDANCE WITH AS3500 - 2021.3.7.5.2.1

MINMUM GRADIENT ON PIPES AS PER AS3500 7.3.5
DN90 = 1:100
DN100 = 1:100


MINIMUM GRADIENT ON SEWER PIPES AS PER AS3500:2021 4.4
DN65 = 1:40
DN100 = 1:60
DN 150 = 1:100

ROOFWATER DRAINAGE:


REFER TO NCC HP 7.4 GUTTERS AND DOWNPIPES FOR MORE DETAILS

RAINFALL INTENSITY (HOBART) - EAVES GUTTERS - 86ML/HOUR (1 IN 20 YEARS)
- VALLEY/BOX GUTTERS - 120ML/HOUR (1 IN 100 YEARS)

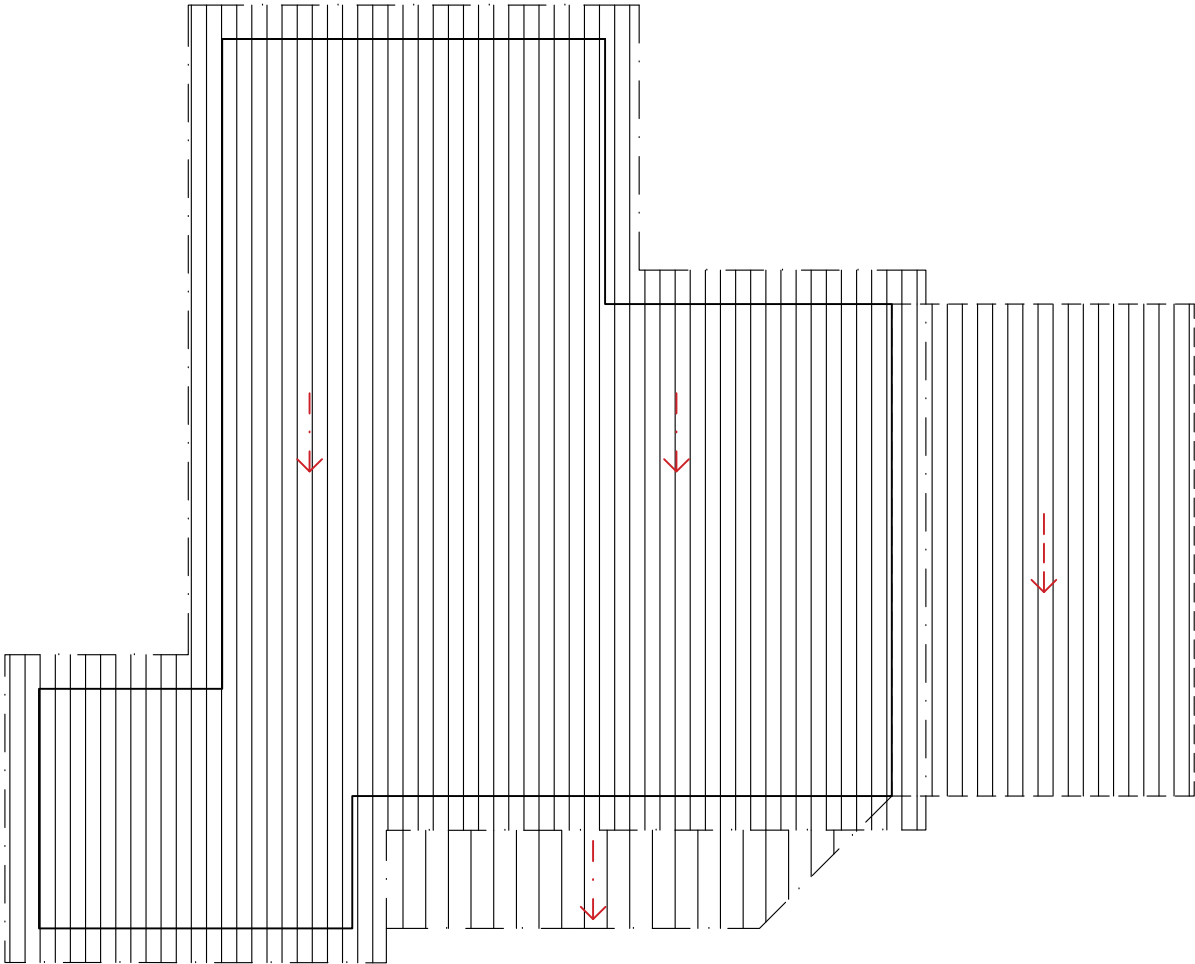
SIZE OF DOWNPIPES (MAX.12M SPACINGS) - 90MM DIA. MIN.
SIZE OF EAVES GUTTER (MIN 1:500 FALL) - 115D MIN.
SIZE OF BOX GUTTER (MIN 1:100 FALL), NOT MORE THAN 12.5 % PITCH.
VALLEY GUTTERS - 400MM MIN.WIDTH NOT LESS THAN 150MM ROOF
COVERING OVERHANG EACH SIDE OF THE GUTTER OR NOT MORE THAN 12.5 % -
MUST BE DESIGNED AS A BOX GUTTER.



DENOTES CUSTOMORB ROOF OVER



DENOTES LASERLITE ROOF OVER





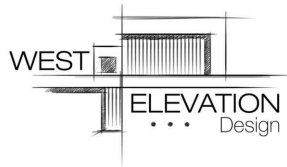
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PROPOSED ROOF PLAN

SCALE 1:100



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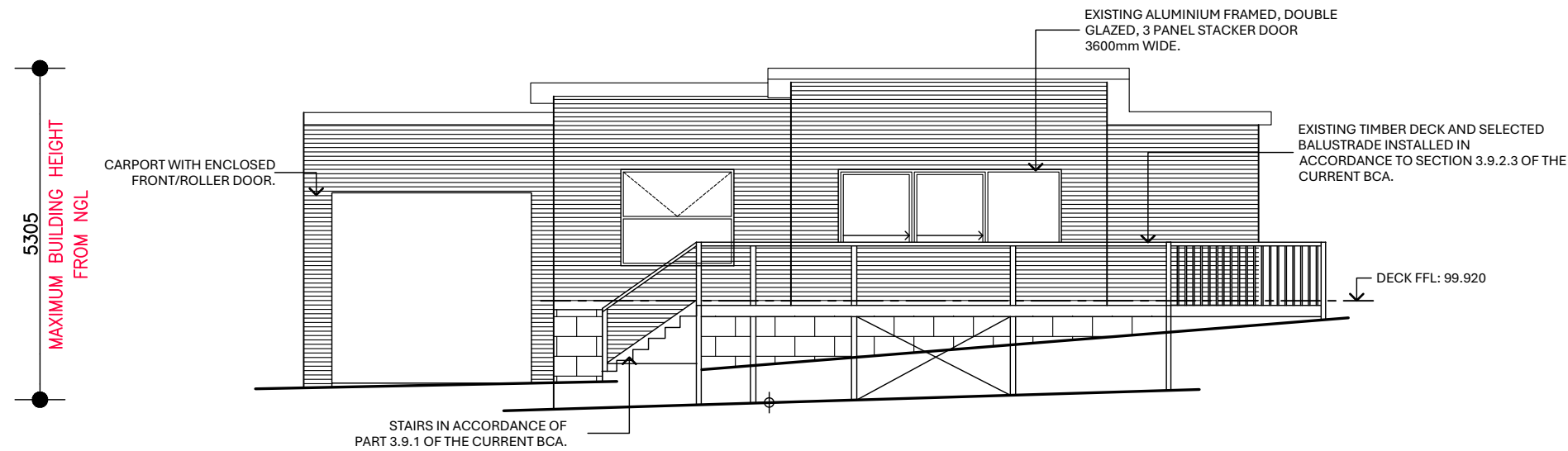
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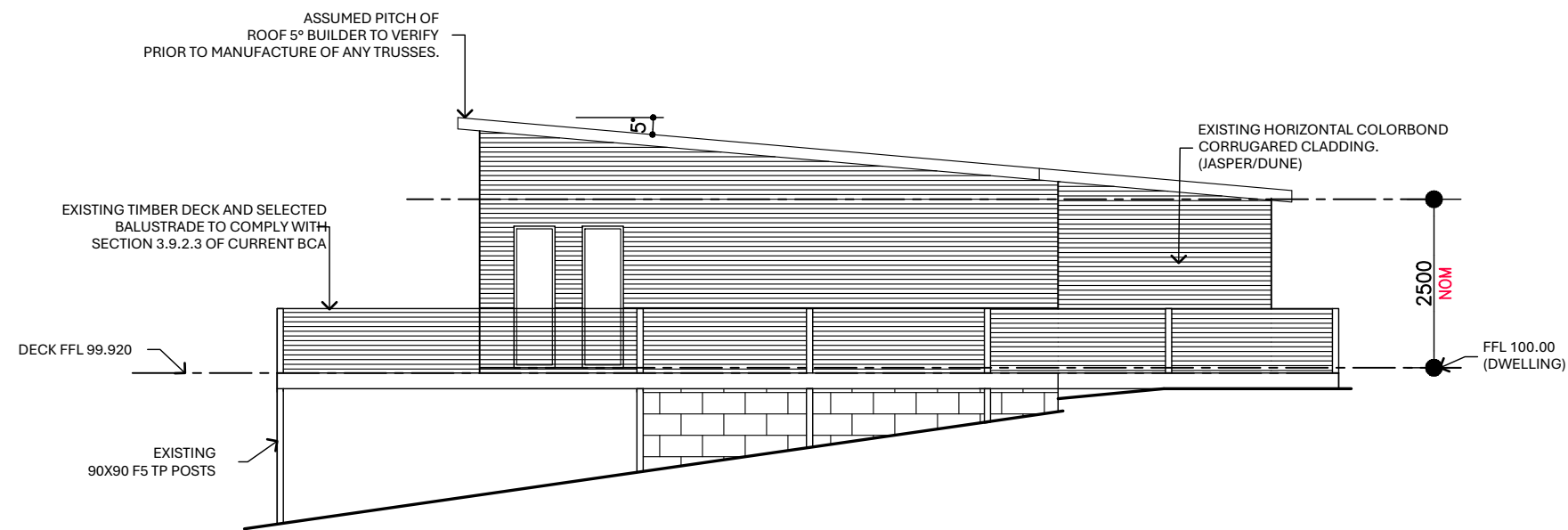
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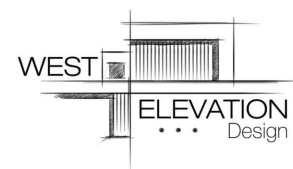


5 EXISTING NORTH ELEVATION
SCALE 1:100



5 EXISTING WEST ELEVATION
SCALE 1:100

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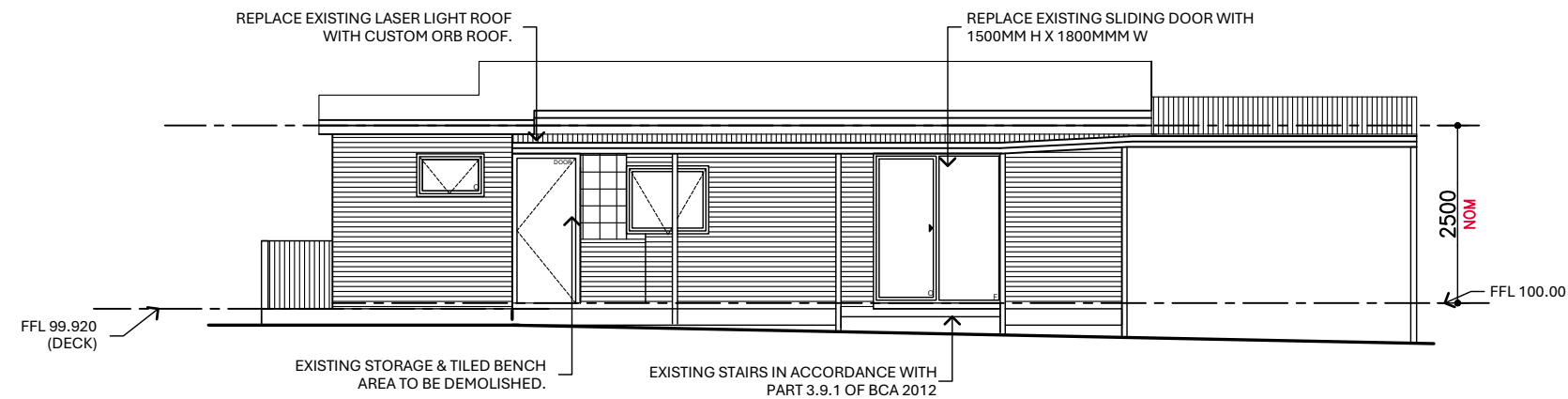
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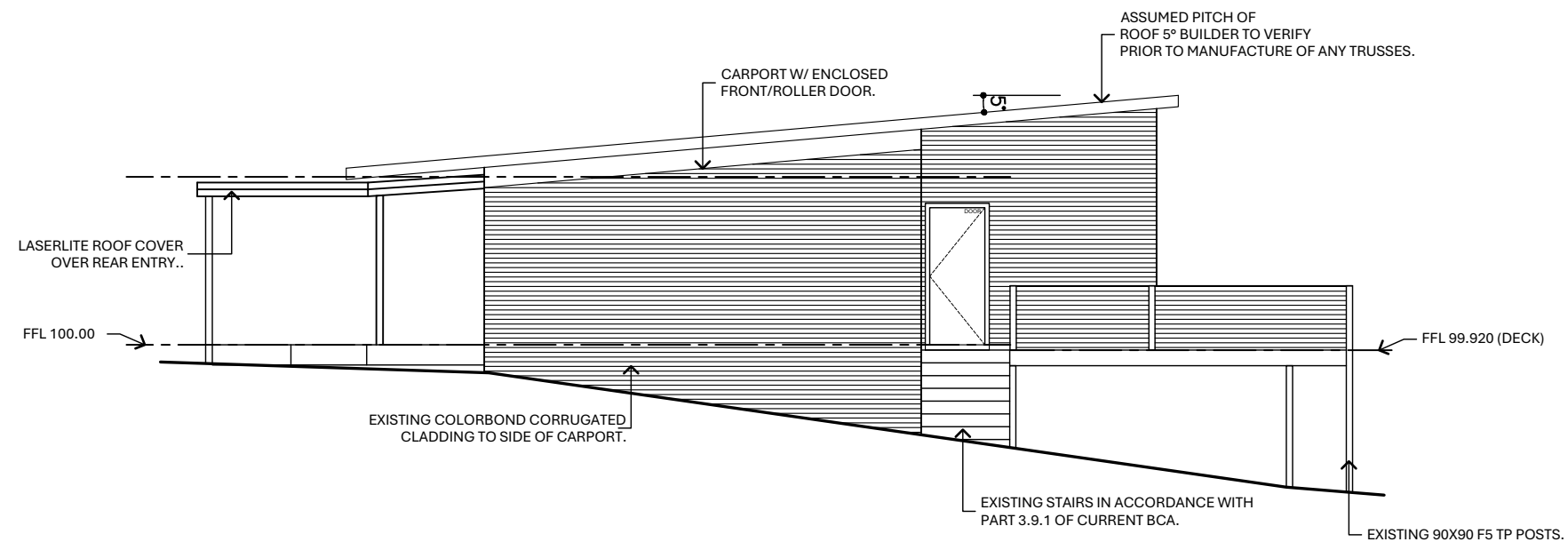
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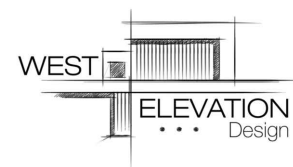


5 EXISTING SOUTH ELEVATION
SCALE 1:100



5 EXISTING EAST ELEVATION
SCALE 1:100

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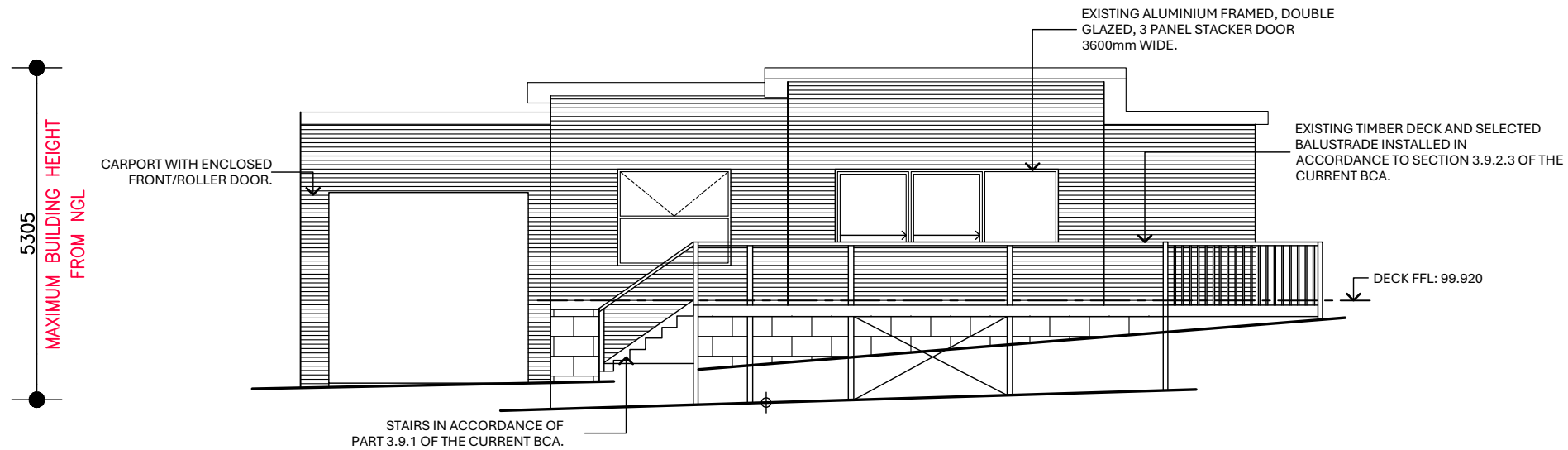
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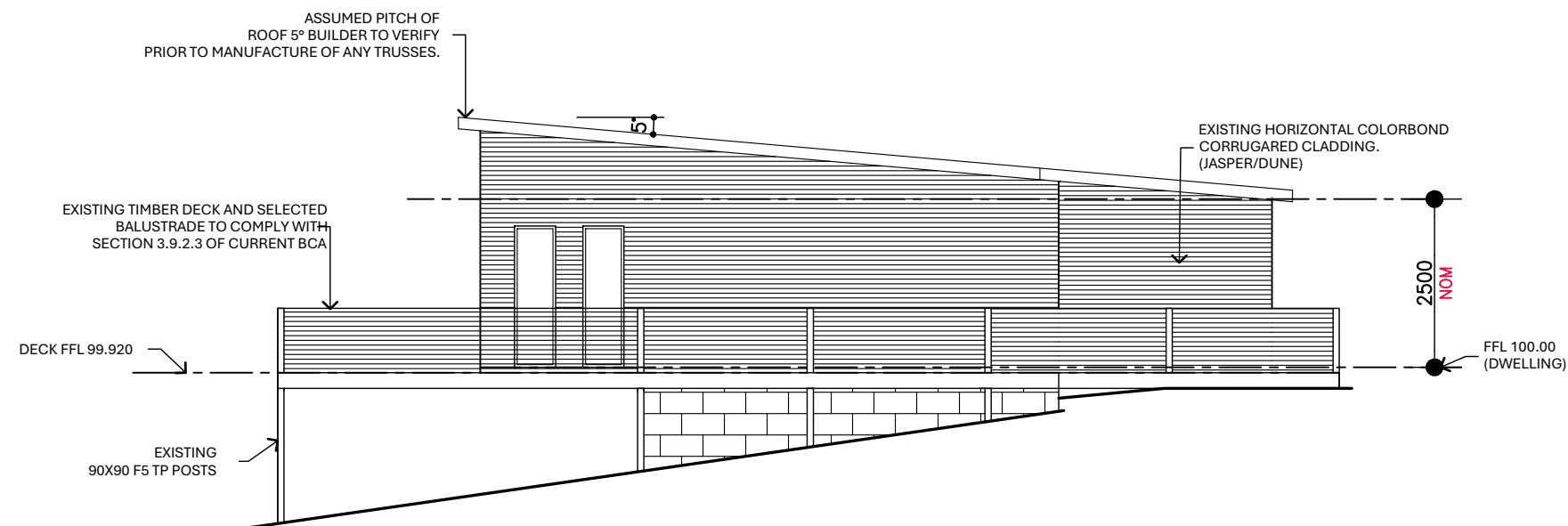


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A05B



6 PROPOSED NORTH ELEVATION
SCALE 1:100



6 PROPOSED WEST ELEVATION
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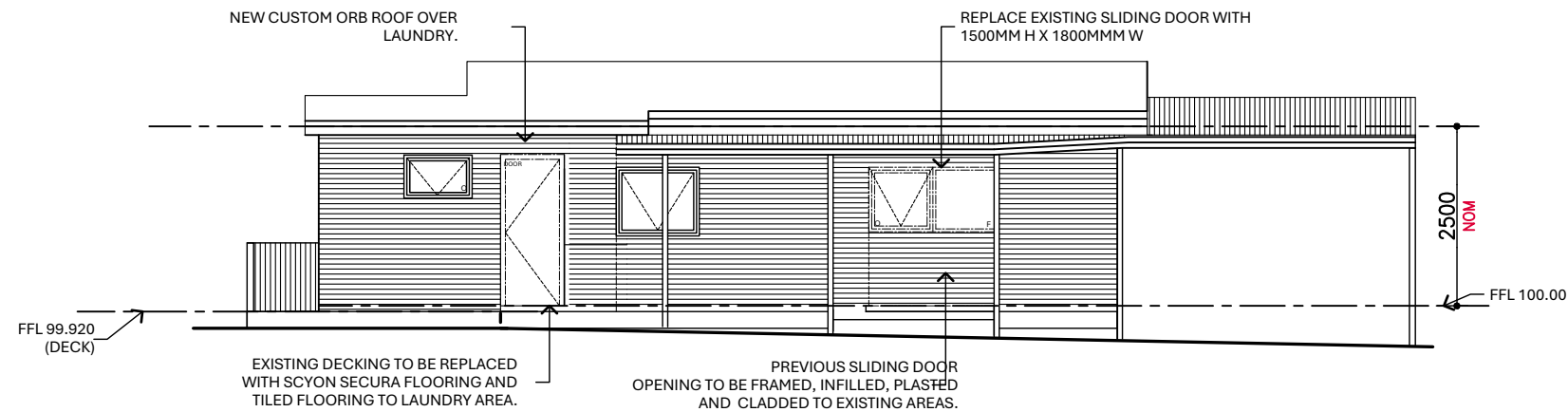
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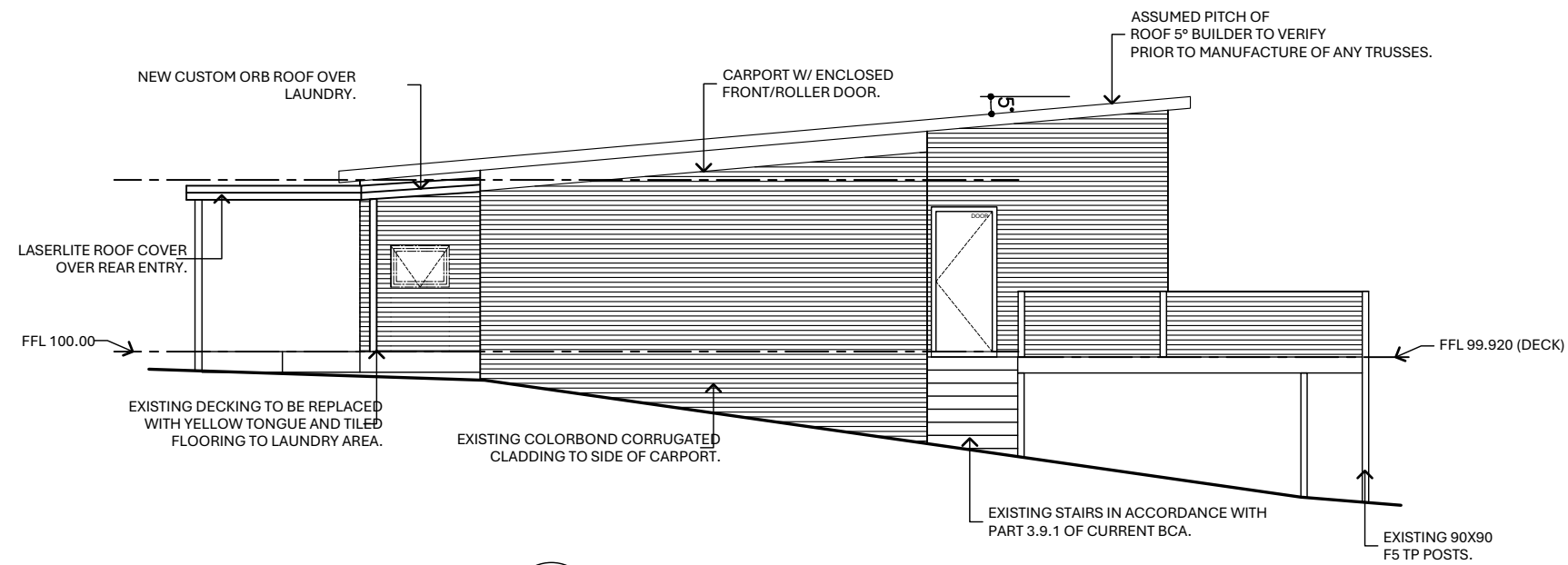
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6

PROPOSED SOUTH ELEVATION

SCALE 1:100

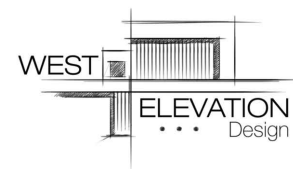


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PROPOSED EAST ELEVATION

SCALE 1:100

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



























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





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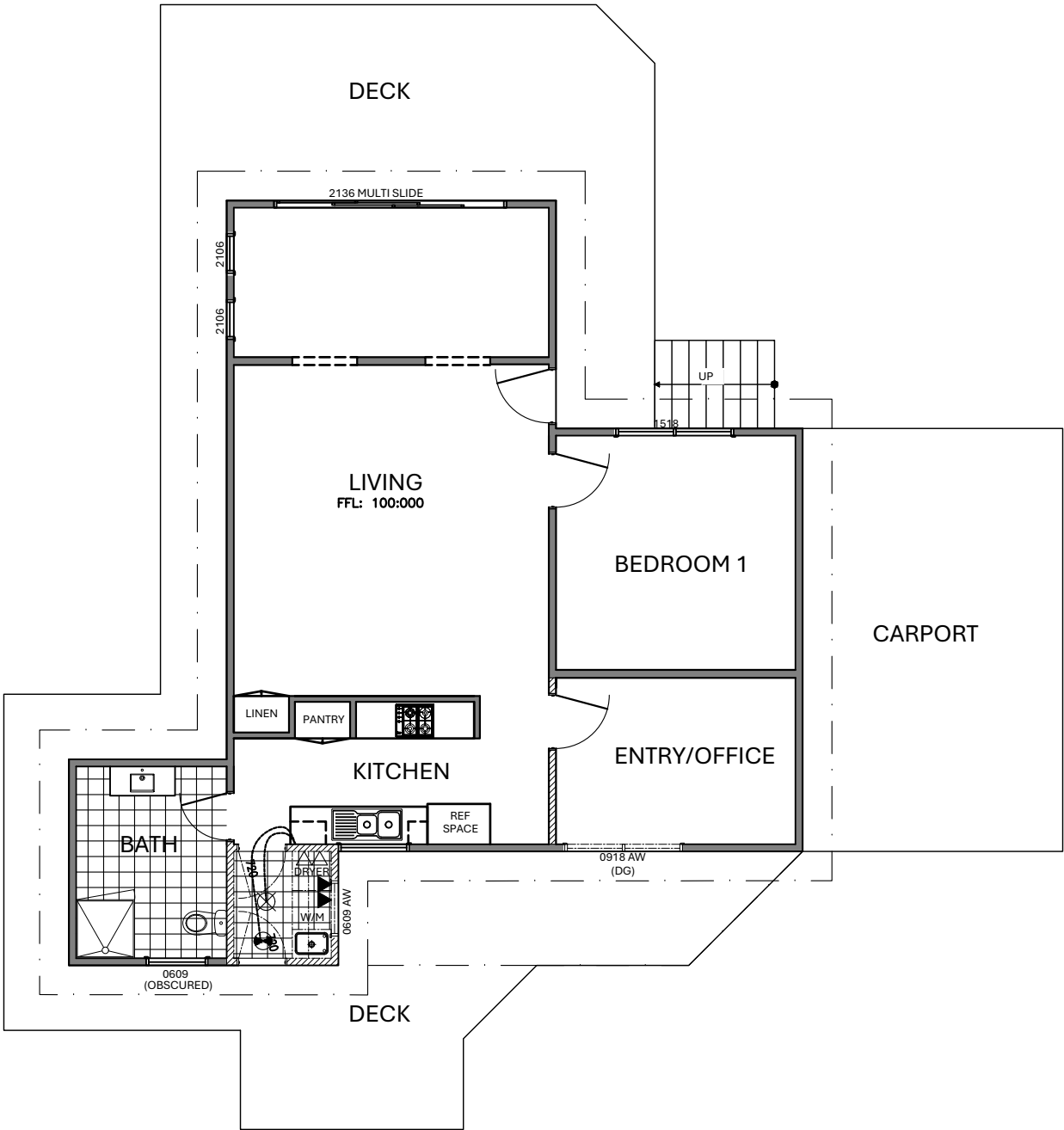
A06B

LEGEND:

- DOUBLE G.P.O (300mm above F.F.L.)
(1100mm above F.F.L.)
- SINGLE G.P.O (300mm above F.F.L.)
(1100mm above F.F.L.)
- DOUBLE G.P.O (@NOMINATED
HEIGHT above F.F.L.)
- EXTERNAL DOUBLE G.P.O
- 2 WAY SWITCH.
- DIMMER SWITCH
- BATTEN HOLDER LIGHT OUTLET.
- DOUBLE SPOT SENSOR WALL LIGHT.
- FLOOD LIGHT.
- INTERNAL WALL LIGHT.
- EXTERNAL WALL LIGHT.
- HALOGEN DOWNLIGHT
- LED DOWNLIGHT
- 1200 DOUBLE FLUORO.
- 1200 SINGLE FLUORO.
- EVAPORATIVE COOLING OUTLET.
- OVERHEAD HEATING DUCTS.
- SPLIT SYSTEM AIRCOND' HEAD LOCATION.
- SPLIT SYSTEM CONDENSER UNIT LOCATION
- EXHAUST FAN.
- IXL TASTIC LIGHT/FAN/HEATER COMBO.
- SMOKE DETECTOR.
- H.W.U. POSITION.
- T.V. POINTS.
- TELEPHONE POINTS.
- DATA POINT
- ALARM SENSOR
- ALARM KEY PAD
- METER BOX.
- INTERCOM CHIME
- INTERCOM RECIEVER
- NATIONAL BROADBAND NETWORK
CONNECTION POINT

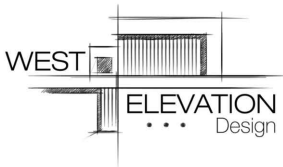
NOTE:
NBN & CO AREA AS REQUIRED
BY DESIGN GUIDELINES

- JUNCTION BOX.
- VACCUIM OUTLET POINT
- VACCUIM PUMP
- ETHERNET POINT
- RADIANT HEATER
- CEILING FAN WITH LIGHT



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Plans Reference: P1
Date Received: 29/07/2025



West Elevation Design

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Email: office@westelevation.com.au
Website: www.westelevation.com.au

BUILDING CLASSIFICATION: 1a- Dwelling

WIND CLASSIFICATION: UNASSIGNED

SOIL CLASSIFICATION: UNASSIGNED

CLIENT: CHRIS FYSH

PROJECT ADDRESS: LOT 101, 2 JETTY ROAD, DODGES FERRY

DATE: 26/05/25

CHECKED:

PAGE NO:



MEMBER
you're in good hands

A07

Development Application

Demo Shed, New Shed

CLASS 10A
SNH25-030

CONTENTS

CLIENT	Chris FYSH
PROPERTY ADDRESS	2 Jetty Road, Dodgers Ferry TAS 7173
PROPERTY TITLE REFERENCE	42067/101
PROPERTY IDENTIFICATION NUMBER	5917715
LOCAL AUTHORITY	Sorell Council
PLANNING ZONE	Low Density Residential
OVERLAYS	Airport Obstacle Limitation Area
BUSHFIRE ATTACK LEVEL	NA
CORROSION ENVIRONMENT	Moderate
SOIL CLASSIFICATION	TBA
WIND CLASSIFICATION	N3
PROPERTY LOT SIZE	795m2
PROPOSED FOOTPRINT	259m2 (32.54%)

Proposal summary		
10.4.2 - Building height	A1	
10.4.3 - Setback	P1	
	P2	
10.4.4 - Site Coverage	P1	
10.4.3	Setback	
P1		The existing dwelling onsite has a setback of approx. 1.6m. The existing dwelling is substantially higher against the frontage setback in comparison to the proposed developemnt. Additionally, there is an abundance of council owned foliage that provide a visual barrier from Carlton Beach Road. The naturally occuring height differential between the road (lower) and the development (higher) will aid to assist The shielding of the development behind the fence. The development is not near to an intersection, nor will impact the safety of road users on Carlton Beach Road. Sight distances will not be impacted by the propsoed development.
P2	(a)	The topography of the site is slightly sloping from the south to the north. The proposed site will require most minimal excavation
	(b)	As above
	(c)	The proposal is consistant with the setbacks of existing buildings onsite and similar buildings in the general vacinity
	(d)	The proposed building height is offset by its lower elevation in repsect to the adjoining lot
	(e)	The privave open space is unaffected by the proposal
	(f)	Sunlight to private open space and windows of a habitable room should remain unaffected on adjoining properties
	(g)	The proposed development is consistant with estabilised development in the area
	(f)	Sunlight to private open space and windows of a habitable room should remain unaffected on adjoining properties
10.4.4	Site Coverage	
P1	(a)	The topography of the site allows for a large grassed area to the north of the existing dwelling Along with large open spaces North of the axillery dwelling and south of the existing dwelling The capacity of the site to absorb runoff is mostly unchanged. A number of small garden sheds and roofed animal shelters are being remved to accomodate the proposal. The use of a water tank to capture rainwater for reuse onsite will assist to capture rainwater runoff
	(c)	As per (a)
	(d)	As per (b)
	(e)	The propsoed development will not prevent future landscaping or impede in the established private open space
	(f)	No vegetation is propsoed to be removed
	(g)	The site coverage is consistant with that within the vacinity of the proposed development

BUILDER TO NOTE

Builder and subcontractors to verify all dimensions and levels prior to the commencement of any work.

Give 24 hours minimum notice where amendments are required to design of working drawings.

These drawings are to be read in conjunction with engineers and surveyors drawings and notes.

Do not scale drawings. Dimensions are to take preference over scale.


Building specification and Engineers drawings shall override architectural drawings.

All construction work shall be carried out in accordance with:
Tasmanian Building Regulations,
Council by-laws,
Australian Building Codes Board (ABCB) National Construction Code (NCC) Vol. 2 2022 and Housing Provisions (HP),
Australian Standards,
Other supporting documentation as referenced

PROPERTY OWNER TO NOTE

The Property Owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance.

Advice for foundation maintenance is contained in theCSIRO Building Technology File 18,and it is the owners responsibility to maintain the site in accordance with this document.



Sorell Council
Development Application: 5.2025.200.1 -
Response to Request For Information - 2 Jetty
Road, Dodges Ferry - P2 .pdf
Plans Reference: P2
Date received: 13/08/2025

DIMENSION NOTE:
Use written diemtnions only. Do no scale from drawings. All figured dimensions are to be used as a guide only. It is imperative that all dimensions, setouts and levels be confirmed onsite by the builder, Surveyor or Sub Contractor prior to the commencement of work, manufacture or installaion; and the Builder, Sub Contractor and/or manufacturer ensures a full set of plans are on hand and reference has been made to the general notes

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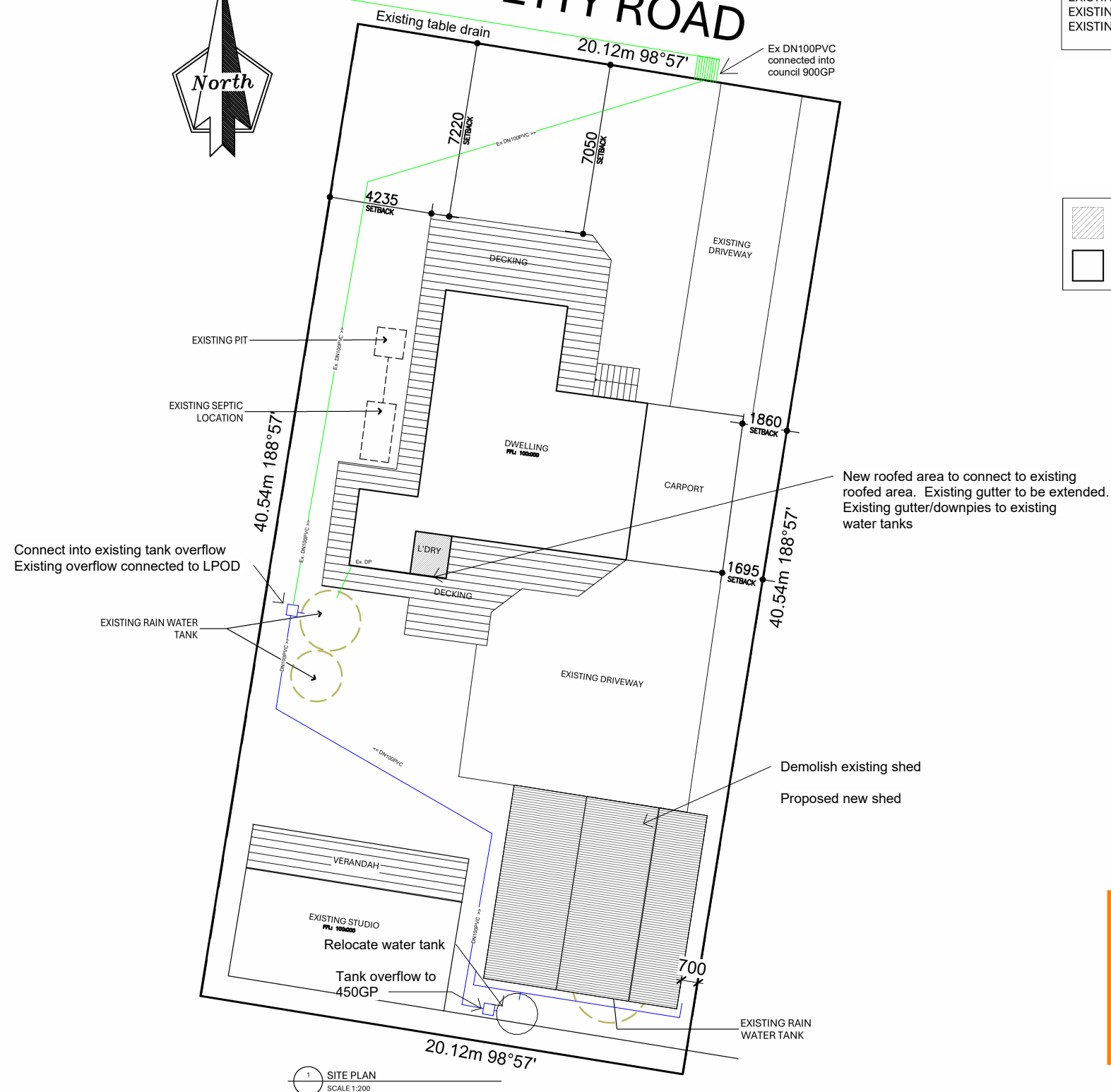
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CLIENT NAME		DRAWING TITLE			
Chris FYSH		COVER PAGE			
PROJECT ADDRESS		DATE	SCALE	DRAWN BY	
2 Jetty Road, Dodgers Ferry TAS 7173		28/07/2025		BH	
PROJECT		REVISION No	SHEET SIZE	JOB No	SHEET No
Demo Shed, New Shed			A3	SNH25-030	A1.0



JETTY ROAD

 PROPOSED CHANGES
 EXISTING DWELLING



Development Application: 5.2025.200.1 -
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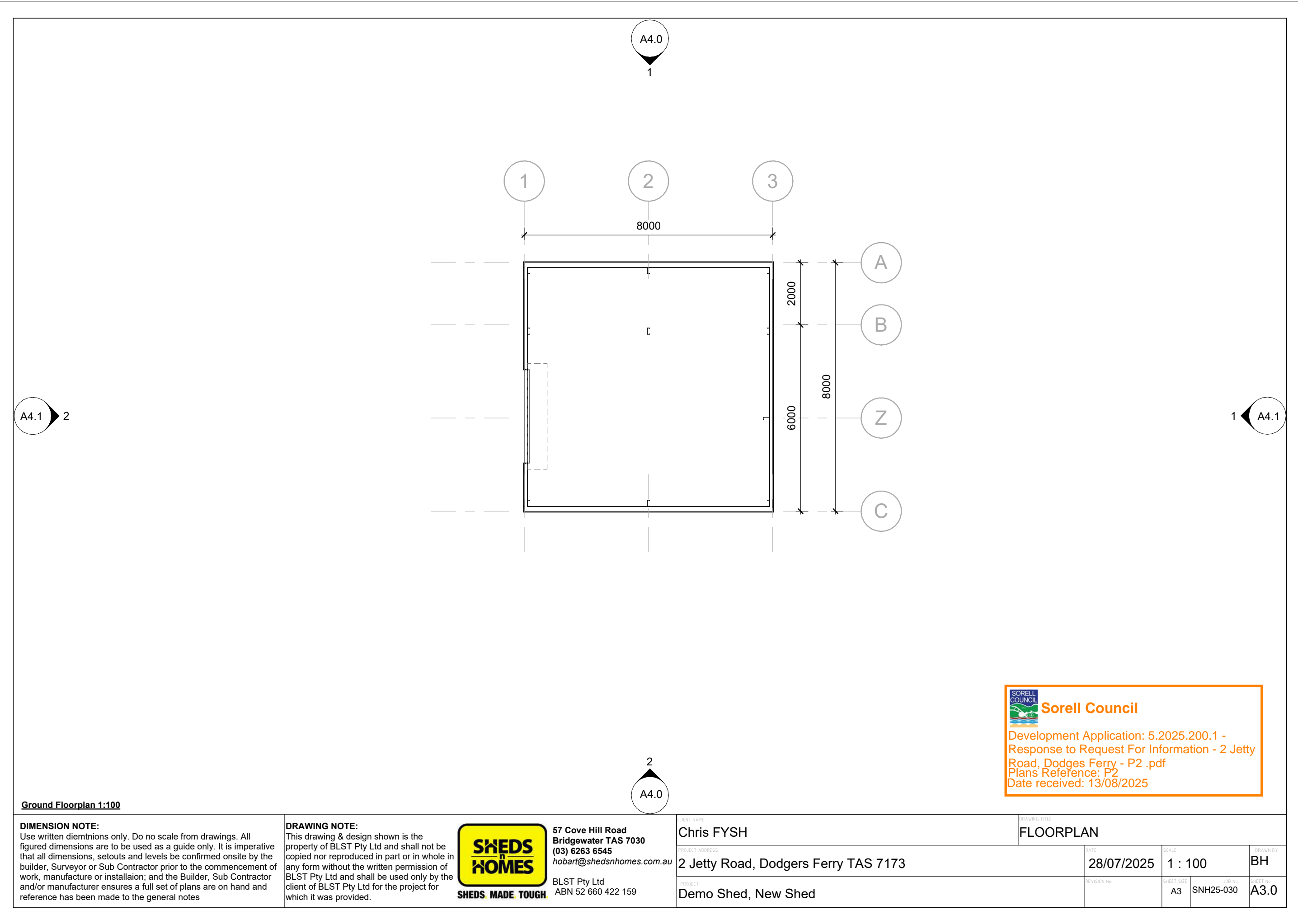
1 Siteplan

1 SITE PLAN
SCALE 1:200

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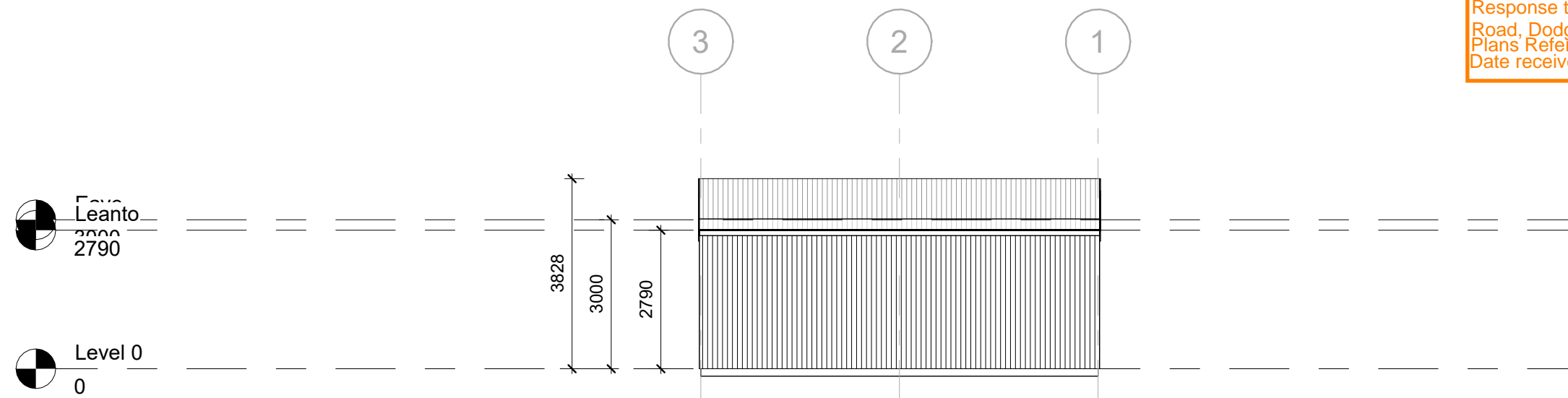


SHEET No:
A2.0



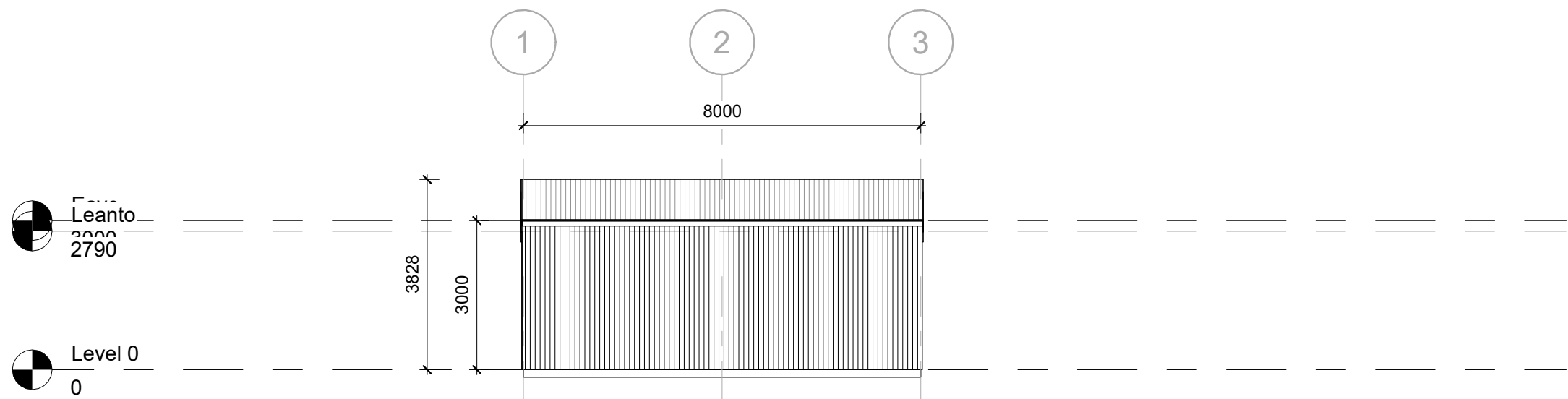


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1

Eastern
1 : 100



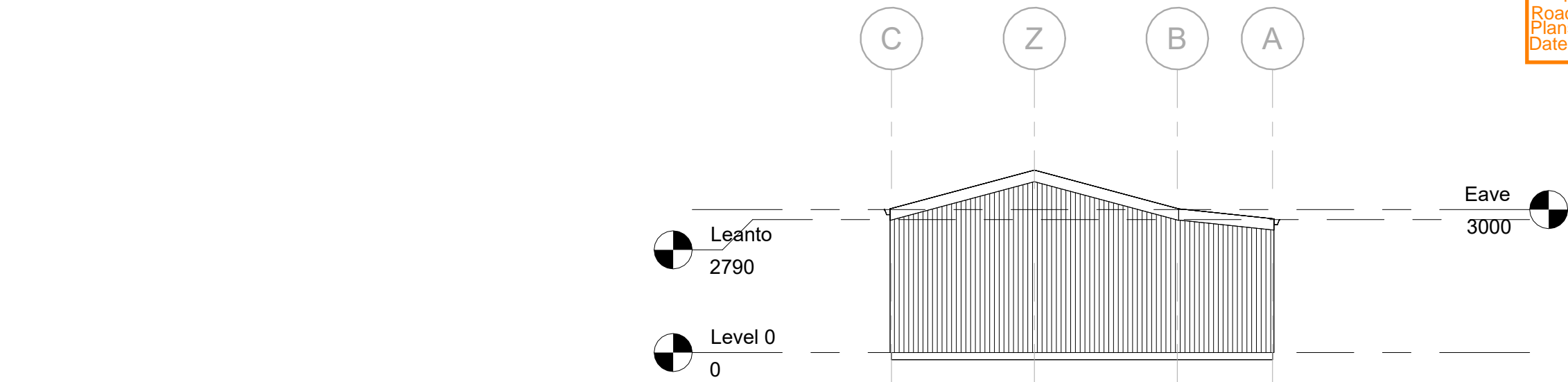
2

Western
1 : 100

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				Chris FYSH		ELEVATIONS					
				PROJECT ADDRESS			DATE	SCALE		DRAWN BY	
				2 Jetty Road, Dodgers Ferry TAS 7173			28/07/2025	1 : 100		BH	
PROJECT			REVISION No	SHEET SIZE	JOB No	SHEET No					
Demo Shed, New Shed				A3	SNH25-030	A4.0					

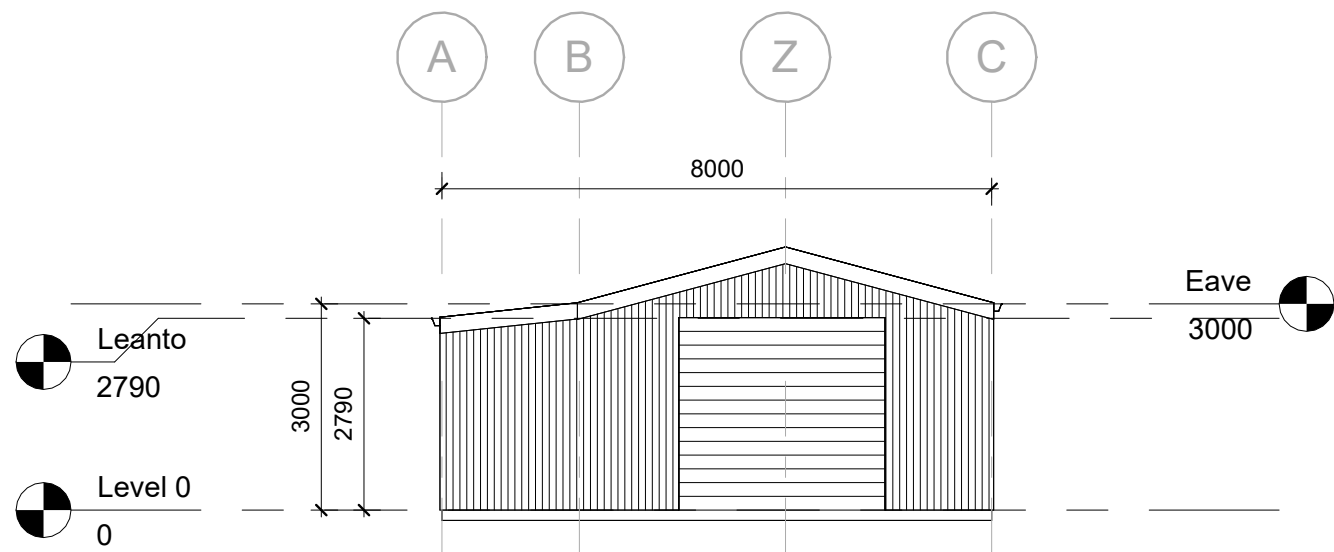


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1

Southern
1 : 100



2

Northern
1 : 100

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PROJECT ADDRESS 2 Jetty Road, Dodgers Ferry TAS 7173		DATE 28/07/2025	SCALE 1 : 100	DRAWN BY BH
PROJECT Demo Shed, New Shed		REVISION No	SHEET SIZE A3	JOB No SNH25-030 SHEET No A4.1