

# NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

**SITE:****39 SUNNINGDALE CLOSE, MIDWAY POINT****PROPOSED DEVELOPMENT:****DWELLING**

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at [www.sorell.tas.gov.au](http://www.sorell.tas.gov.au) until **Monday 25th August 2025**.

Any person may make representation in relation to the proposal by letter or electronic mail ([sorell.council@sorell.tas.gov.au](mailto:sorell.council@sorell.tas.gov.au)) addressed to the General Manager. Representations must be received no later than **Monday 25th August 2025**.

**APPLICATION NO:** 5.2025-198.1  
**DATE:** 06 AUGUST 2025

**Part B: Please note that Part B of this form is publicly exhibited.**

Full description of Proposal:	Use:
	Development:
	<i>Large or complex proposals should be described in a letter or planning report.</i>
Design and construction cost of proposal: \$ .....	

Is all, or some the work already constructed:	No: <input type="checkbox"/> Yes: <input type="checkbox"/>
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Location of proposed works:	Street address: .....
	Suburb: ..... Postcode: .....
	Certificate of Title(s) Volume: ..... Folio: .....

Current Use of Site	.....
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Current Owner/s:	Name(s).....
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Is the Property on the Tasmanian Heritage Register?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Council or Crown land section on page 3</i>

<p><b>If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form</b></p> <p><a href="https://www.sorell.tas.gov.au/services/engineering/">https://www.sorell.tas.gov.au/services/engineering/</a></p>
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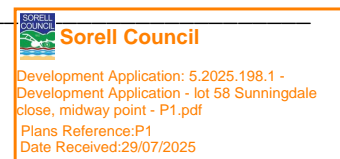


**Sorell Council**

Development Application: 5.2025.198.1 -  
Development Application - lot 58 Sunningdale  
close, midway point - P1.pdf  
Plans Reference: P1  
Date Received: 29/07/2025

Declarations and acknowledgements	
<ul style="list-style-type: none"> <li>I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land.</li> <li>I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council's representatives to enter the land at any time during normal business hours.</li> <li>I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies.</li> <li>I/we declare that, in accordance with s52(1) of the <i>Land Use Planning and Approvals Act 1993</i>, that I have notified the owner(s) of the intention to make this application.</li> <li>I/we declare that the information in this application is true and correct.</li> </ul> <p><i>Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council's Privacy Policy available on the Council website.</i></p>	
<ul style="list-style-type: none"> <li>I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.</li> </ul>	
<ul style="list-style-type: none"> <li>Where the General Manager's consent is also required under s.14 of the <i>Urban Drainage Act 2013</i>, by making this application I/we also apply for that consent.</li> </ul>	
<b>Applicant Signature:</b>	Signature: <u>Mark Page</u> Date: .....

Crown or General Manager Land Owner Consent	
<p>If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the <i>Land Use Planning and Approvals Act 1993</i>).</p> <p>Please note:</p> <ul style="list-style-type: none"> <li>If General Manager consent is required, please first complete the General Manager consent application form available on our website <a href="http://www.sorell.tas.gov.au">www.sorell.tas.gov.au</a></li> <li>If the application involves Crown land you will also need a letter of consent.</li> <li>Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.</li> </ul>	
<p>I _____ being responsible for the administration of land at _____ declare that I have given permission for the making of this application for _____</p>	
<b>Signature of General Manager, Minister or Delegate:</b>	Signature: ..... Date: .....



## SEARCH OF TORRENS TITLE

VOLUME 188745	FOLIO 58
EDITION 1	DATE OF ISSUE 26-May-2025

SEARCH DATE : 25-Jul-2025

SEARCH TIME : 09.46 AM

DESCRIPTION OF LAND

Parish of SORELL Land District of PEMBROKE

Lot 58 on Sealed Plan 188745

Derivation : Part of Lot 306, 120 Acres Gtd. to John Lord

Prior CT 187500/1000

SCHEDULE 1

M871097 TRANSFER to JAC ESTATES PTY LTD Registered  
17-Feb-2021 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP188745 EASEMENTS in Schedule of Easements

SP188745 COVENANTS in Schedule of Easements

SP188745 FENCING COVENANT in Schedule of Easements

SP183934, SP184510, SP184768, SP184962, SP185905, SP186229,  
SP186700 & SP187500 COVENANTS in Schedule of EasementsSP14888, SP184510, SP184768, SP184962, SP185905, SP186229,  
SP186700 & SP187500 FENCING COVENANT in Schedule of  
Easements

SP183934 FENCING PROVISION in Schedule of Easements

SP14888 COUNCIL NOTIFICATION under Section 468(12) of the  
Local Government Act 1962

M871097 FENCING CONDITION in Transfer

**Sorell Council**

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UNREGISTERED DEALINGS AND NOTATIONS


N276935 PRIORITY NOTICE reserving priority for 90 days  
TRANSFER JAC ESTATES PTY LTD to CHRISTOPHER  
TOBIAS

GREGORY YULERIDGE and VALERIE AMELIA YULERIDGE  
REST/COV JAC ESTATES PTY LTD and CHRISTOPHER  
TOBIAS

GREGORY YULERIDGE and VALERIE AMELIA YULERIDGE  
MORTGAGE CHRISTOPHER TOBIAS GREGORY YULERIDGE  
and

VALERIE AMELIA YULERIDGE to COMMONWEALTH BANK OF

AUSTRALIA Lodged by BALDWIN CONVEYANCING on  
18-Jul-2025 BP: N276935

**Sorell Council**

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<b>SCHEDULE OF EASEMENTS</b>	Registered Number
<b>NOTE:</b> THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	<b>SP188745</b>

PAGE 1 OF 7 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

**Taswater**

Lot 1000 are SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'G' 4.00 WIDE (SP 185905) & DRAINAGE EASEMENT 'G' 4.00 WIDE (SP 185905)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'H' VARIABLE WIDTH (SP 185905)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'I' VARIABLE WIDTH (SP 185905)" as shown on the plan ("the Easement Land").

Lots 58 & 1000 are SUBJECT TO a Pipeline & Services Easement gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successor and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP 184768) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP 184768)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'C' VARIABLE WIDTH (SP 185905) & DRAINAGE EASEMENT 'C' VARIABLE WIDTH (SP 185905)" as shown on the plan ("the Easement Land").

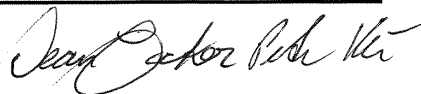
(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: JAC ESTATES PTY LTD	PLAN SEALED BY: SORELL COUNCIL
FOLIO REF: 187500/1000	DATE: 30.4.25
SOLICITOR & REFERENCE:	SA 2020/00006 - 1
Butler McIntyre & Butler (JS:250600)	REF NO. Council Delegate
<b>NOTE:</b> The Council Delegate must sign the Certificate for the purposes of identification.	

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**Sorell Council**

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close, midway point - P1.pdf  
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<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 2 OF 7 PAGES	Registered Number <b>SP1 8 8 7 4 5</b>
SUBDIVIDER: JAC ESTATES PTY LTD FOLIO REFERENCE: 187500/1000	

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'C' 3.50 WIDE (SP 184510) & DRAINAGE EASEMENT 'C' 3.50 WIDE (SP 184510)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'E' 3.00 WIDE (SP 185905) & DRAINAGE EASEMENT 'E' 3.00 WIDE (SP 185905)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT To a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'D' 3.50 WIDE (SP 184510) & DRAINAGE EASEMENT 'D' 3.50 WIDE (SP 184510)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'E' VARIABLE WIDTH (SP 184962) & DRAINAGE EASEMENT 'E' VARIABLE WIDTH (SP 184962)" as shown on the plan ("the Easement Land").

Lots 130 & 1000 are to be SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'E' 3.50 WIDE (SP184510) & DRAINAGE EASEMENT 'E' 3.50 WIDE (SP184510)" as shown on the plan ("the Easement Land").

Lot 77 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'J' VARIABLE WIDTH (SP184510) & DRAINAGE EASEMENT 'J' VARIABLE WIDTH (SP184510)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'F' 2.00 WIDE (SP 185905)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP 184510) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP 184510)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'B' 3.50 WIDE (SP 185905) & DRAINAGE EASEMENT 'B' 3.50 WIDE (SP 185905)" as shown on the plan ("the Easement Land").

Director 

Director 

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 3 OF 7 PAGES	Registered Number <b>SP1 8 8 7 4 5</b>
SUBDIVIDER: JAC ESTATES PTY LTD FOLIO REFERENCE: 187500/1000	

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP185905) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP185905)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP186229) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP186229)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP 187500) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP187500)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'B' 3.50 WIDE (SP 187500) & DRAINAGE EASEMENT 'B' 3.50 WIDE (SP 187500)" as shown on the plan ("the Easement Land").

## Drainage

Lot 1000 are SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'G' 4.00 WIDE (SP 185905) & DRAINAGE EASEMENT 'G' 4.00 WIDE (SP 185905)" as shown on the plan.

Lot 1000 are SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "DRAINAGE EASEMENT 'H' VARIABLE WIDTH (SP 185905)" as shown on the plan.

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP 186229) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP 186229)" as shown on the plan.

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP184510) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP184510)" as shown on the plan.

Lots 58 & 1000 are SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP184768) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP184768)" as shown on the plan.

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'C' VARIABLE WIDTH (SP 185905) & DRAINAGE EASEMENT 'C' VARIABLE WIDTH (SP 185905)" as shown on the plan.

Director 

Director 

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**Sorell Council**

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Development Application - lot 58 Sunningdale  
close, midway point - P1.pdf  
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<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b>  PAGE 4 OF 7 PAGES	Registered Number <b>SP188745</b>
SUBDIVIDER: JAC ESTATES PTY LTD FOLIO REFERENCE: 187500/1000	

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'C' 3.50 WIDE (SP 184510) & DRAINAGE EASEMENT 'C' 3.50 WIDE (SP 184510)" as shown on the plan.

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Lots 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'D' 3.50 WIDE (SP 184510) & DRAINAGE EASEMENT 'D' 3.50 WIDE (SP 184510)" as shown on the plan.

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Lots 130 & 1000 are SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'E' 3.50 WIDE (SP184510) & DRAINAGE EASEMENT 'E' 3.50 WIDE (SP184510)" as shown on the plan.

Lot 77 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'J' VARIABLE WIDTH (SP184510) & DRAINAGE EASEMENT 'J' VARIABLE WIDTH (SP184510)" as shown on the plan.

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP 185905) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP 185905)" as shown on the plan.


Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'B' 3.50 WIDE (SP 185905) & DRAINAGE EASEMENT 'B' 3.50 WIDE (SP 185905)" as shown on the plan.

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP 187500) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP 187500)" as shown on the plan.

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'B' 3.50 WIDE (SP 187500) & DRAINAGE EASEMENT 'B' 3.50 WIDE (SP 187500)" as shown on the plan.

Director 

Director 

 **Sorell Council**  
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<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 5 OF 7 PAGES	Registered Number <b>SP188745</b>
SUBDIVIDER: JAC ESTATES PTY LTD FOLIO REFERENCE: 187500/1000	

## Pipeline

Lot 1000 is SUBJECT TO an easement in favour of Metropolitan Water Board over the area marked "PIPELINE EASEMENT 10.06 WIDE (563/6D)" shown on the plan and fully set forth in sealed plan 14888.

Lot 1000 is SUBJECT TO an easement for pipeline rights in favour of Sorell Council over the area marked "PIPELINE EASEMENT 10.06 WIDE (563/6D)" shown on the plan and fully set forth in transfer B912948.

## Embankment

Lot 1000 is SUBJECT TO an Embankment Easement, as defined in SP185905, in gross in favour of the Sorell Council over the land marked "EMBANKMENT EASEMENT "B" (SP 185905)" as shown on the plan.

Lot 1000 is SUBJECT TO an Embankment Easement, as defined in SP184768, in gross in favour of the Sorell Council over the land marked "EMBANKMENT EASEMENT "B" VARIABLE WIDTH (SP184768)" as shown on the plan.

## COVENANTS

The owner of Lot 1000 on the Plan covenants in gross with the Sorell Council to the intent that the burden of this covenant may run with and bind the covenantors' lot and every part thereof and that the benefit thereof shall be in favour of the said Sorell Council to observe the following stipulation:-

- Not to construct, or allow to be constructed, any habitable room of a dwelling within the area marked A.C.E.D. on the Plan.

The owner of all lots on the Plan covenants in gross with the Sorell Council to the intent that the burden of these covenants may run with and bind the covenantor's lot and each and every part of it and that the benefit of these covenants shall be annexed to and devolve with Sorell Council to observe the following stipulation:

- not to construct on a lot a dwelling without :
  - i) A minimum 5,000 litre rain water tank fitted to collect all roof runoff; and
  - ii) Such tank shall be installed with minimum retention storage of 2000 litres and be plumbed into toilets so that re-use occurs, with top up from the reticulated water supply.

The owner of lot 1000 on the Plan covenant in gross with the Sorell Council to the intent that the burden of these covenants may run with and bind the covenantor's lot and each and every part of it and that the benefit of these covenants shall be annexed to and devolve with Sorell Council to observe the following stipulation:

- not to allow vehicular access to Penna Road.

## FENCING COVENANT

In respect to the lots on the plan, the owners of each lot on the plan covenants <sup>with</sup> the vendor (JAC ESTATES PTY LTD) that the vendor shall not be required to fence.

Director: 

Director: 



**Sorell Council**

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<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 6 OF 7 PAGES	Registered Number <b>SP 188745</b>
SUBDIVIDER: JAC ESTATES PTY LTD FOLIO REFERENCE: 187500/1000	

**Definitions;**

**"Pipeline and Services Easement"** means-

**FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY** for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
  - (a) without doing unnecessary damage to the Easement Land; and
  - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

**SECONDLY**, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

**"Infrastructure"** means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

Director: 

Director: 

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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**Sorell Council**

Development Application: 5.2025.198.1 -  
 Development Application - lot 58 Sunningdale  
 close, midway point - P1.pdf  
 Plans Reference: P1  
 Date Received: 29/07/2025

<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 7 OF 7 PAGES	Registered Number <b>SP 188745</b>
SUBDIVIDER: JAC ESTATES PTY LTD FOLIO REFERENCE: 187500/1000	

**"Right of Drainage"** means a right of drainage as defined within Schedule 8 of the Conveyancing and Law of Property Act 1884 (Tas).

**"Embankment Easement"** means that defined in the respective SPs 185905 and SP184768.

**EXECUTED** by **JAC ESTATES PTY LTD (ACN 638 495 182)** pursuant to section 127(1) of the Corporations Act 2001 (Cth) by:



Director Signature



Director/ Secretary Signature

PETER KRAHL

Director Full Name (print)

DEAN MURRAY COCKER

Director/ Secretary Full Name

**Sorell Council**

Development Application: 5.2025.198.1 -  
Development Application - lot 58 Sunningdale  
close, midway point - P1.pdf

Plans Reference:P1  
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# TASMANIAN LAND TITLES OFFICE

## Instrument Creating Restrictive Covenants

Section 102 Land Titles Act 1980



E336945

DESCRIPTION OF LAND			
Servient		Dominant	
Volume	Folio	Volume	Folio
184768	57	184768	1000

I/We Martina Ann Crerar of Unit 1, 6 Baker Street, New Town, Tasmania 7008 of ..... being the registered proprietor/s of the land comprised in the above servient folio/s of the Register (herein called the servient land) hereby covenant/s with JAC Estates Pty Ltd. (ABN 66 638 495 182) of Level 1, 89 Esplanade, Launceston, Tasmania 7250 of ..... being the registered proprietor of the land comprised in the above dominant folio of the Register (herein called the dominant land) and with the owners for the time being of each and every part of the dominant land to the intent that the burden of the covenant/s may run with, and bind each and every part of the servient land and that the benefit of the covenant may be annexed to, and devolve with, each and every part of the dominant land to observe the following stipulations:- See Annexure

Date: 29 June 2023

See Annexure Page for signing:

**Sorell Council**

Development Application: 5.2025.198.1 -  
Development Application - lot 58 Sunningdale  
close, midway point - P1.pdf  
Plans Reference:P1  
Date Received:29/07/2025

Land Titles Office Use Only

**REGISTERED IN TASMANIA**

**- 9 AUG 2023**

**RECORDER OF TITLES**

Dealing Security Code: null

DUTIES ACT 2001-TAS LICENCE 21361

Document Number 5360462-821

Document Code .....

Lodgement Date 29/07/23

Consideration \$1.00

Duty \$50.00

Interest \$

Initials lar

Duty

THE BACK OF THIS FORM MUST NOT BE USED

Created 21-Jun-2023 08:50AM

**COV**  
Version 1 (TOLD)

PIN OR STAPLE HERE  
DO NOT GUM THIS  
FORM TO THE INSTRUMENT

ANNEXURE PAGE

Page 2 of 5  
Vol 184768 folio 57

Executed as a Deed

Executed by **JAC Estates Pty Ltd** ABN  
66 638 495 182 pursuant to s127 of the  
Corporations Act, by signing by two directors

Signature of directors:

*Dean Cocker Peter Kriz*

Name of signatories: *DEAN MURRAY COCKER PETER KRIZ*

Executed by ..... Pty  
Ltd ACN .....  
pursuant to s127 of the Corporations Act, by  
signing by two directors

Signature of directors:

Name of signatories:

Executed as a deed by the Servient

Tenement. *Martina Ann Crerar*

in the presence of:

*Standing*

**Caroline Jean Harding**  
Legal Secretary

Simmons Wolfhagen

Executed at level 11 by the Servient  
Tenement. *Level 11 by the Servient*  
Hobart TAS 7000

in the presence of:

*MCrerar*



**Sorell Council**

Development Application: 5.2025.198.1 -  
Development Application - lot 58 Sunningdale  
close, midway point - P1.pdf  
Plans Reference: P1  
Date Received: 29/07/2025

Executed by .....

Signature of director:

Pty Ltd ACN .....

pursuant to s127 of the Corporations Act by

signing by its sole director who is also its sole

secretary

Name of signatory:

Executed by the Servient Tenement proprietor ~~as a~~  
~~deed by signing in the presence of:~~

*MCrerar*

Executed as a deed **JAC Estates Pty Ltd** pursuant to  
s127 of the Corporations Act by signing by two  
directors:

*Dean Cocker Peter Kriz*

**NOTE:-** Every annexed page shall be signed by the parties to the dealing, or where the party is a corporate body, be signed by the persons who have attested the affixing of the seal of that body to the dealing.

Version 1

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DEED CREATING RESTRICTIVE COVENANTS

This deed is made the 09 day of June 2023

Between

**JAC Estates Pty Ltd** ABN 66 638 495 182 of Customs House, first floor, 89 Esplanade, Launceston,  
7250 (Dominant Proprietor)

and

The Parties stated on the front page of the Instrument Creating Restrictive Covenants (to which this annex is attached) as the registered proprietors of the land comprised in the above servient folio/s of the Register (Servient Proprietor)


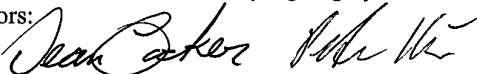
RECITALS

A The Dominant Proprietor is the subdivider of certain land comprised in **Sealed Plan 184768**

B The parties have agreed that the restrictive covenant stipulations set out below be created by this Instrument, and registered on the title to the Servient Proprietor (the Servient Land) referred to above, on the basis set out in this Instrument.

STIPULATIONS

1. Not to erect any building on the lot with outer walls of asbestos cement sheeting;
2. Not to erect any building on the lot other than of brick, stone, masonry block or similar material, rendered insulated concrete forms, timber construction, flat metal cladding or insulated boards that are rendered, painted or pre-coloured, with no more than 60% exposed brick on any side of the dwelling/building;
3. Not to erect on the lot a private house which (exclusive of appurtenant out-buildings thereto) shall have a floor area not less than 165m<sup>2</sup> one hundred and sixty-five square metres;
4. Not to erect a dwelling without at least a single garage or double garage under the roof of the dwelling;
5. Not to erect any dwelling house or residential building on the lot using any roofing material or with roofs other than tiles, slate, shingles or colourbond iron;

Executed by the Servient Tenement proprietor <del>as a</del> <del>deed by signing in the presence of:</del> 	Executed as a deed <b>JAC Estates Pty Ltd</b> pursuant to s127 of the Corporations Act by signing by two directors: 
--	--

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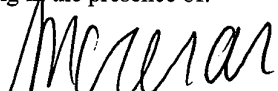
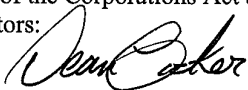
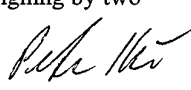


**Sorell Council**

Development Application: 5.2025.198.1 -  
Development Application - lot 58 Sunningdale  
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Date Received: 29/07/2025




6. Not to erect any garage or outbuilding on the lot using any roofing material or with roofs other than tiles, slate, shingles or colourbond iron;
7. Not to erect or place or suffer to be or remain on the lot any temporary building structure or caravan except a shed or workshop used for the purpose of and in connection with and during and in the course of construction of a permanent building or buildings on the lot and not otherwise;
8. Not to construct any hoarding or other structure or station for the purpose of exhibiting any advertisement, bill, poster or sign shall be created or placed or suffered to be upon any part of the lot (except any notice or advertisement in the usual form for the sale or letting of the lot or any building erected thereon);
9. Not to affix or display on any structure, wall or fence upon the lot or any part thereof any posters, bills, hoardings or advertisements (except any notice or advertisement in the usual form for the sale or letting of the lot or any building erected thereon);
10. Not to keep on the lot any dog of a greyhound breed or greyhound cross breed (unless certified by Greyhound Adoption Program Tasmania or similar organization) or any dog of a breed or cross breed which shall be declared or categorized by any Government Department, by any statutory or municipal authority or by any recognized Kennel Control Council or Kennel Club in Tasmania to be a dangerous breed;
11. Not to erect or use on the lot any shop building or erection whatsoever for the purpose of selling offering or exposing for sale therein any articles, services, wares or merchandise whatsoever;
12. Not to erect install or amend any drainage pipes or drainage dissipaters on the lot or any part thereof which will cause or may cause any stormwater to enter or cause damage or erosion to the lot, to any adjoining lot or to any road shown on the plan or any area adjacent to such road or the balance;
13. Not to store, heap or permit to be excavated carried away or removed from the lot or any part thereof any trees, logs, earth, clay, stone, gravel or sand except such as may be necessary for the purposes of road or driveway construction or leveling or filling of the lot or for the formation of any buildings, swimming pool or barbecue area to be constructed thereon;
14. Not to erect on the lot (or any future lots created by subdivision of the lot) any buildings other than one private dwelling house and the usual out-buildings appurtenant thereto.
15. That the main building erected on any portion of the lot shall not be used for any purpose other than a private residential house;
16. That no engine or machinery worked or driven by steam, gas, electricity, petrol or other type of power and used for any business or trade operations shall be erected, affixed or placed on any part of the lot and no trade manufacture or business whatsoever shall be carried on or be permitted or allowed to be carried on any part of the lot;
17. Not to erect any fence along the boundaries of the lot of a height greater than 1.83 metres and the fence must be of no other material than Colorbond Panel construction in monument colour;

Executed by the Servient Tenement proprietor as a deed by signing in the presence of: 	Executed as a deed JAC Estates Pty Ltd pursuant to s127 of the Corporations Act by signing by two directors:  
--	--

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 <b>Sorell Council</b>
Development Application: 5.2025.198.1 - Development Application - lot 58 Sunningdale close, midway point - P1.pdf Plans Reference: P1 Date Received: 29/07/2025

18. Not to erect any boundary fence or wall of any kind or description upon the boundary of any lot with the street onto which the same fronts and not to erect any sideline fence between the street frontage of such lot and the building line to such lots as determined by the appropriate municipal authority but nothing herein contained shall prohibit the erection of a retaining wall upon such street frontage boundary or for the purposes of maintaining the natural level of such lot, or for lots with two or more street frontages, nothing herein contained shall prohibit the erection of a see through fence or decorative fence up to 1.83m on the side boundary street frontage but not forward of the building line to such lots as determined by the appropriate municipal authority(provided the decorative fence has been approved by the said JAC Estates Pty Ltd);

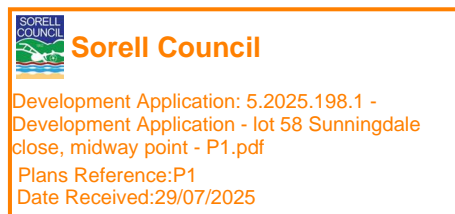
19 Provided that they will not do or permit or suffer to be done in or upon any lot or any part thereof anything which will, may or shall be or become a nuisance, annoyance or disturbance to the said JAC Estates Pty Ltd) or its directors or successors in title or the owner or owners for the time being of the said lots.




PROVIDED THAT it is hereby declared that nothing herein obtained or implied shall

prevent the said JAC Estates Pty Ltd or its directors from; -

(i) Selling any lot free or exempt from any one or more of the restrictive covenants and stipulations contained in the covenants hereinbefore contained; and

(ii) Modifying, waiving or releasing or allowing any departure from any of the said restrictive covenants in relation to any lot or portion of any lot.





Executed by the Servient Tenement proprietor as a <del>deed by signing in the presence of:</del> 	Executed as a deed <b>JAC Estates Pty Ltd</b> pursuant to s127 of the Corporations Act by signing by two directors:  
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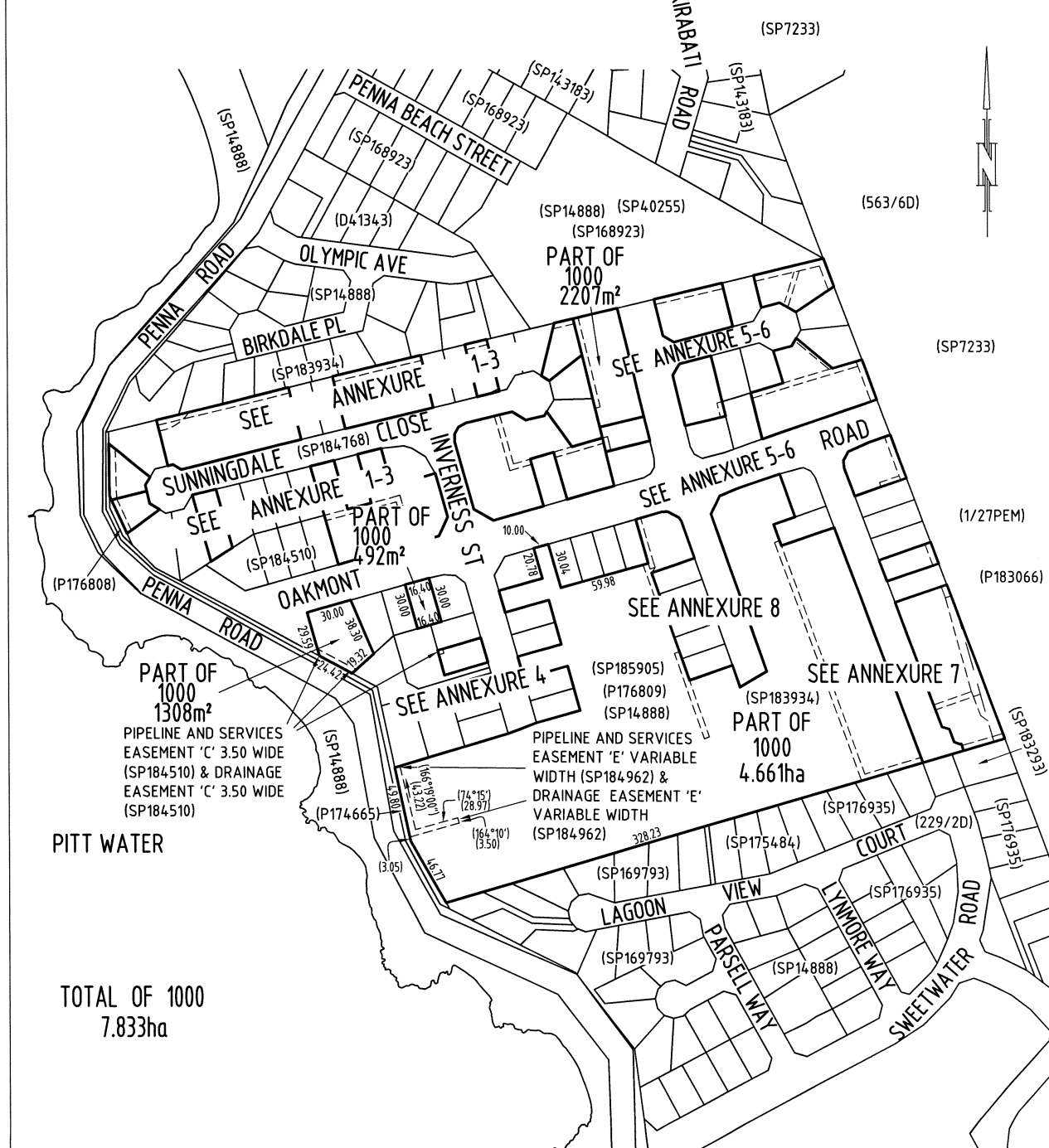
Version 1

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OWNER: JAC ESTATES PTY LTD	<b>PLAN OF SURVEY</b>		REGISTERED NUMBER <b>SP188745</b>
FOLIO REFERENCE: 187500/1000	BY SURVEYOR: M. M. STRATTON of 6 FREEMAN STREET, KINGSTON	 SURVEYORS, ENGINEERS & PLANNERS	
GRANTEE: PART OF LOT 306, 120 ACRES GTD TO JOHN LORD	LOCATION: PEMBROKE-SORELL	APPROVED EFFECTIVE FROM 26 MAY 2025	 Recorder of Titles
SCALE 1: 2500	LENGTHS IN METRES	SURVEYORS REF 54295MS-1	

**INDEX PLAN**  
LOT 1000 IS COMPILED FROM SP187500 & THIS SURVEY

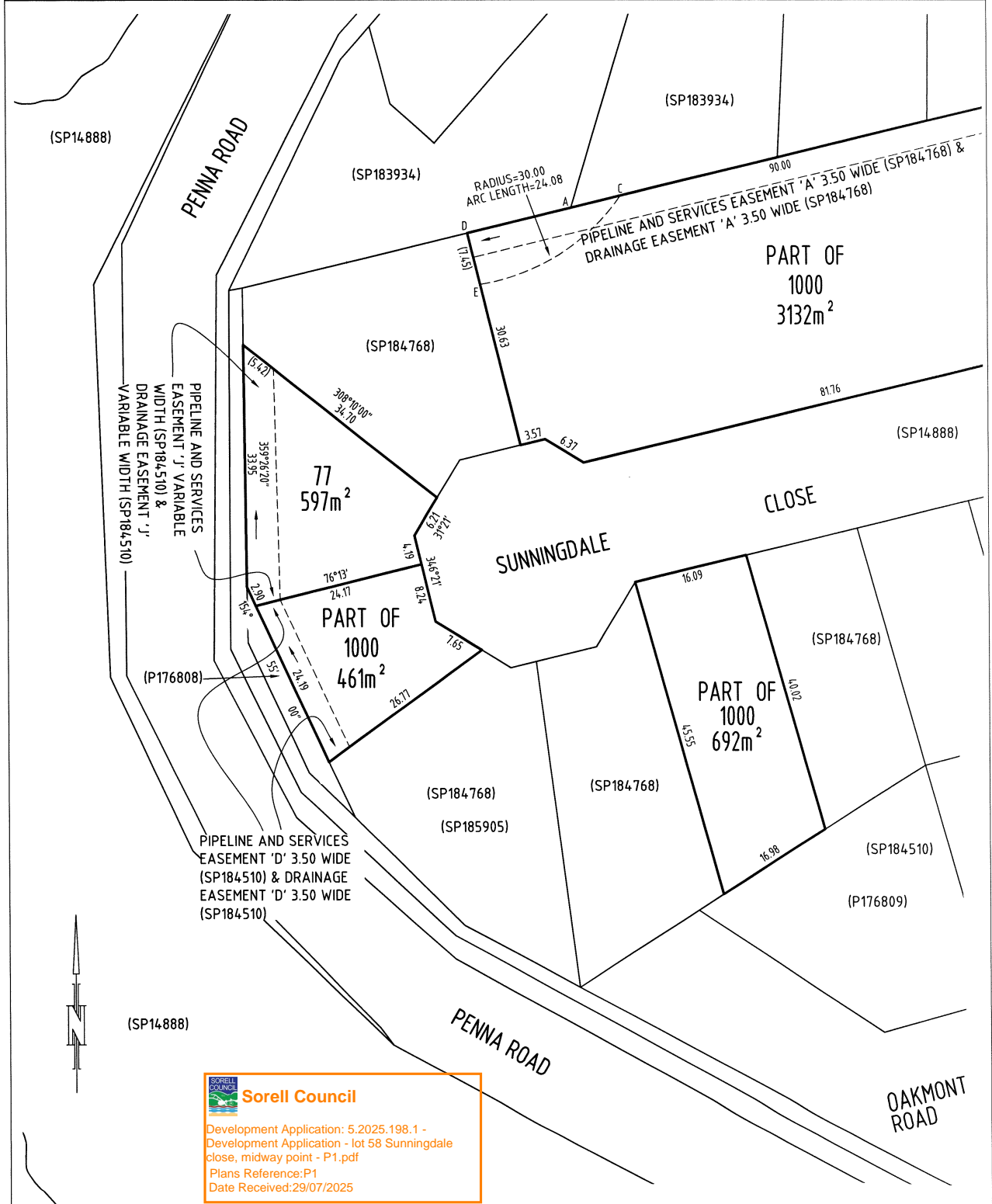
**PRIORITY FINAL PLAN** ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



 Registered Land Surveyor	17/03/2025 Date	 <b>Sorell Council</b>	 Council Delegate	30.4.25 Date
---	--------------------	--	---	-----------------

Development Application: 5.2025.198.1 -  
Development Application - lot 58 Sunningdale  
close, midway point - P1.pdf  
Plans Reference: P1  
Date Received: 29/07/2025

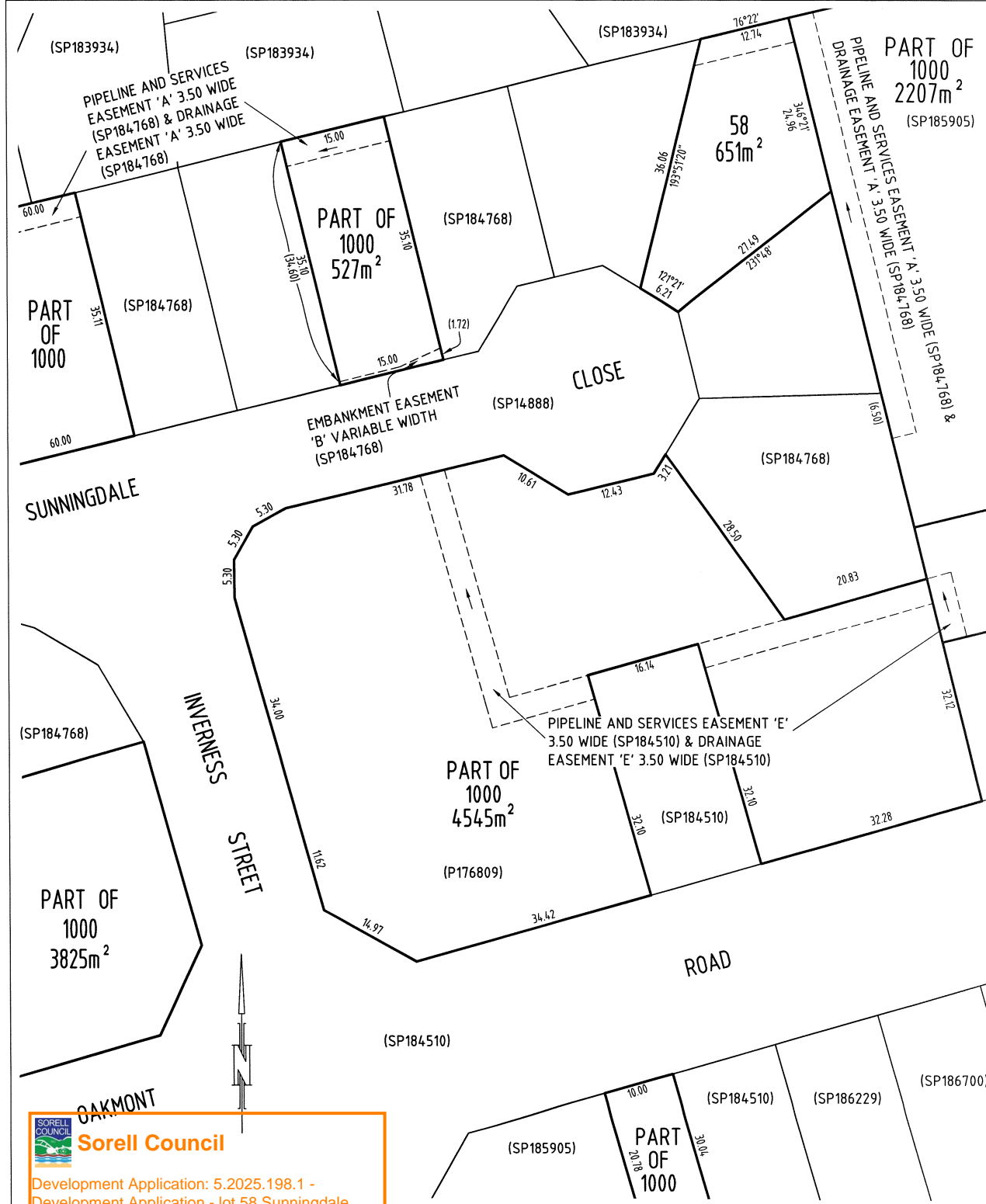
<b>PLAN OF SURVEY</b> <b>ANNEXURE SHEET</b> SHEET 1 OF 8 SHEETS	OWNER: JAC ESTATES PTY LTD FOLIO REFERENCE: 187500/1000 SCALE 1:500    LENGTH IN METRES SURVEYORS REF: 54295MS-1	Registered Number <b>SP 188745</b>
	SIGNED FOR IDENTIFICATION PURPOSES THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.	APPROVED EFFECTIVE FROM 26 MAY 2025
Council Delegate <i>[Signature]</i> Date 30.4.25	Registered Land Surveyor <i>[Signature]</i> Date 17/03/2025	Recorder of Titles <i>[Signature]</i>



**Sorell Council**  
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<p><b>PLAN OF SURVEY ANNEXURE SHEET</b></p> <p>SHEET 3 OF 8 SHEETS</p>	<p>OWNER: JAC ESTATES PTY LTD</p> <p>FOLIO REFERENCE: 187500/1000</p> <p>SCALE 1:500 LENGTH IN METRES SURVEYORS REF: 54295MS-1</p>	<p>Registered Number</p> <p><b>SP 188745</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p><i>[Signature]</i> 30.4.25 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p><i>[Signature]</i> 17/03/2025 Registered Land Surveyor Date</p>	<p><del>APPROVED</del> EFFECTIVE FROM 26 MAY 2025</p> <p><i>[Signature]</i> Recorder of Titles</p>

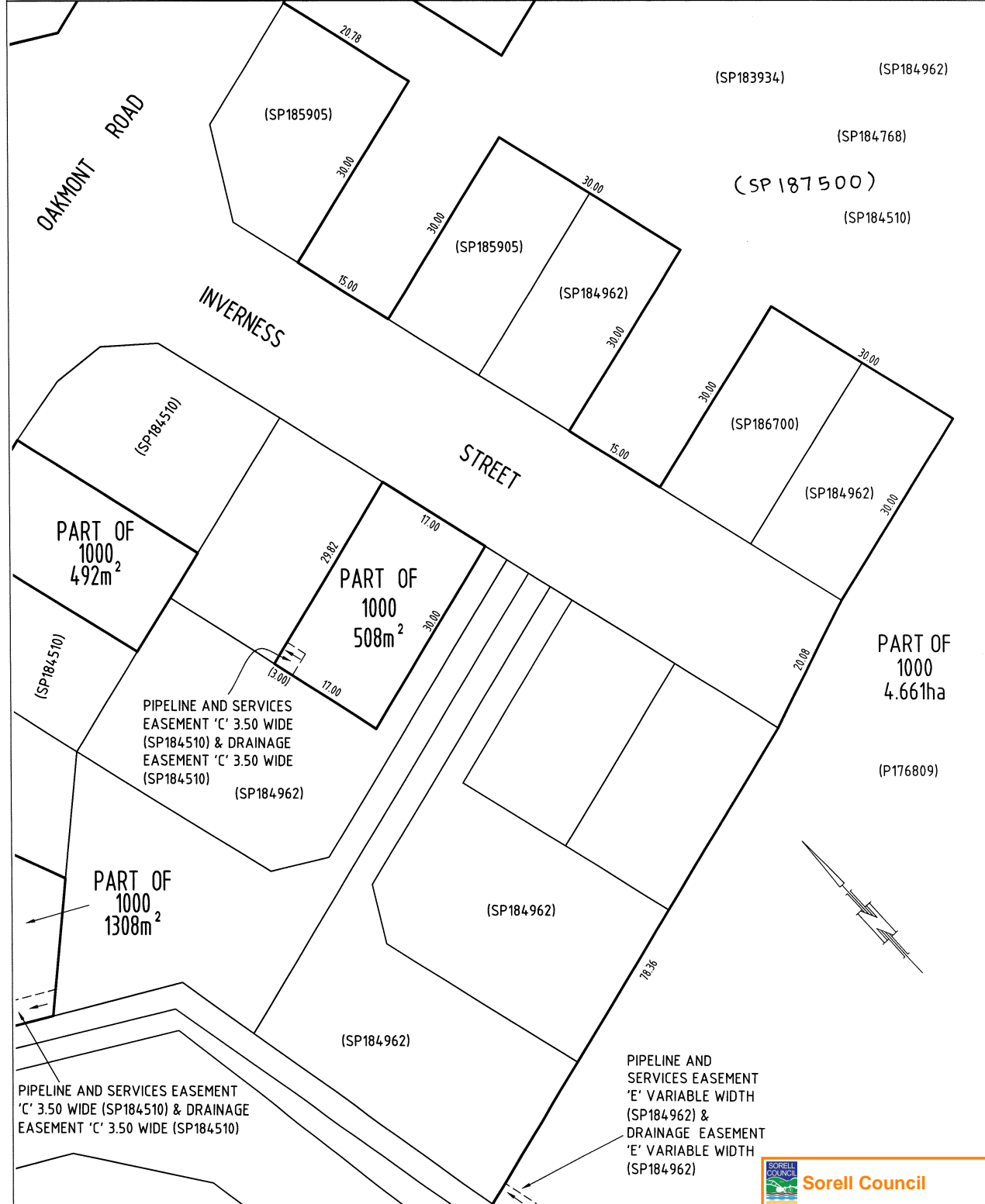


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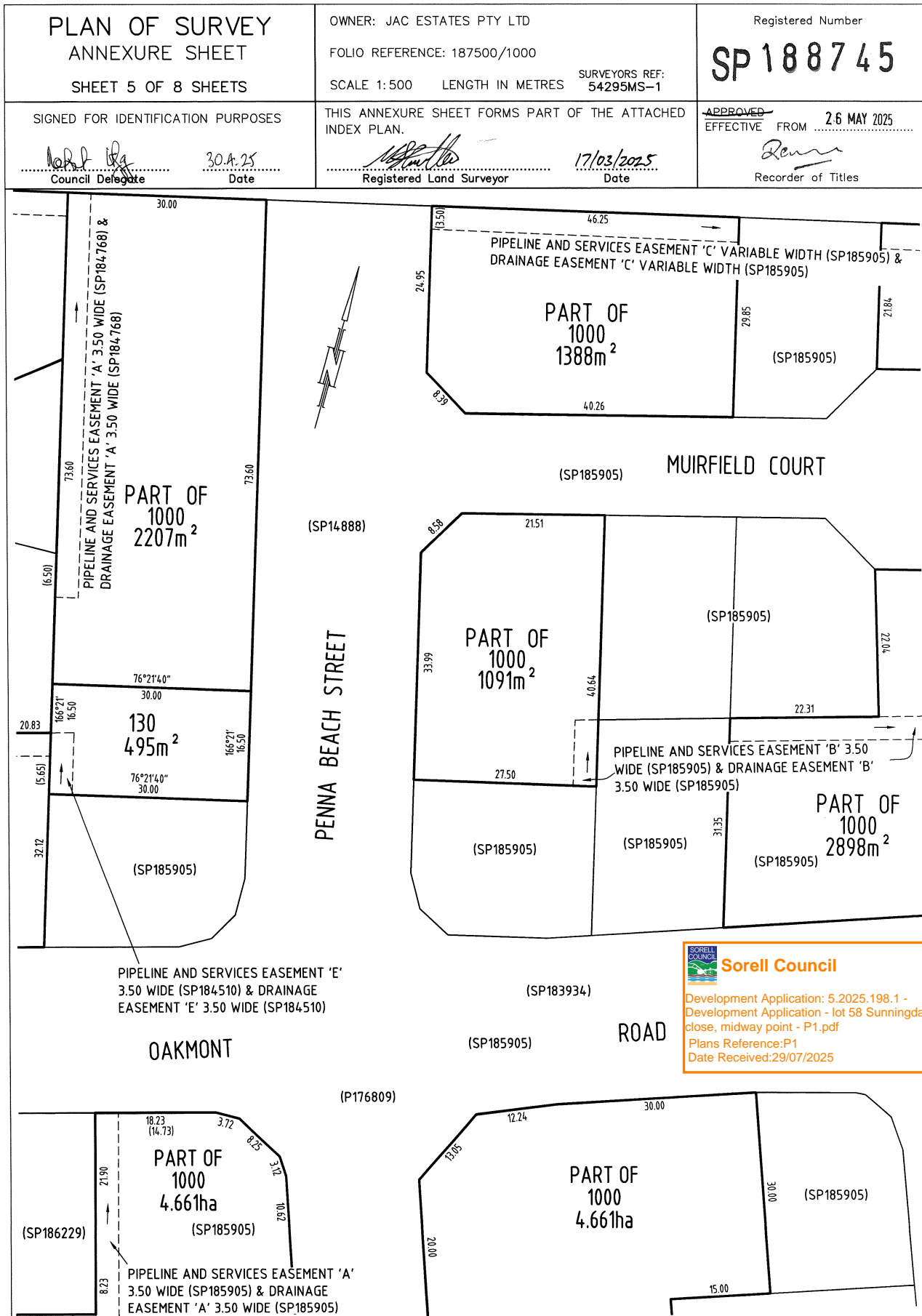
<b>PLAN OF SURVEY ANNEXURE SHEET</b>  SHEET 4 OF 8 SHEETS	OWNER: JAC ESTATES PTY LTD  FOLIO REFERENCE: 187500/1000  SCALE 1:500    LENGTH IN METRES    SURVEYORS REF: 54295MS-1	Registered Number  <b>SP188745</b>
	SIGNED FOR IDENTIFICATION PURPOSES  [Signature] 30.4.25 Council Delegate                      Date	THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.  [Signature] 17/03/2025 Registered Land Surveyor                      Date




**Sorell Council**


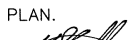
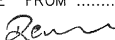
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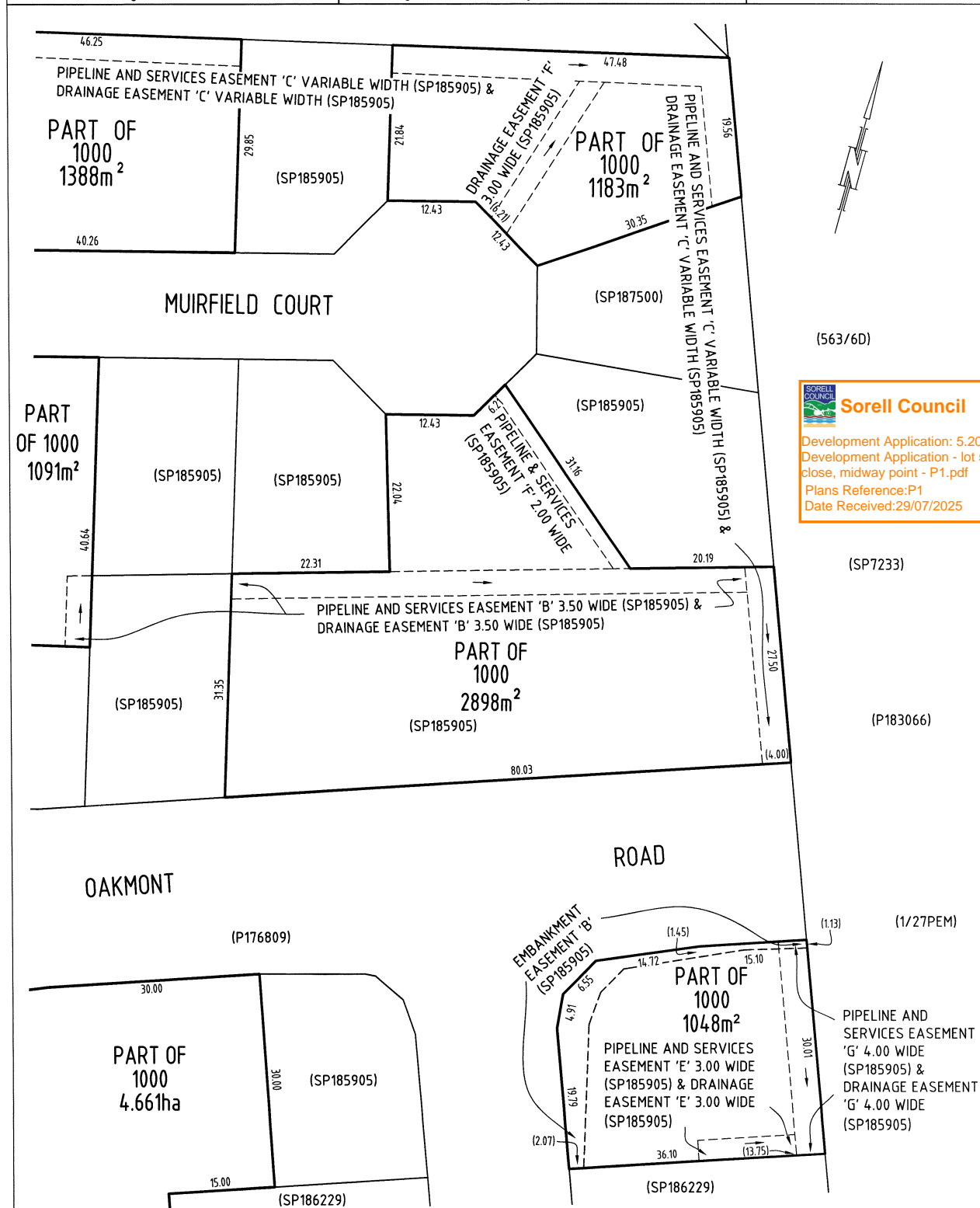


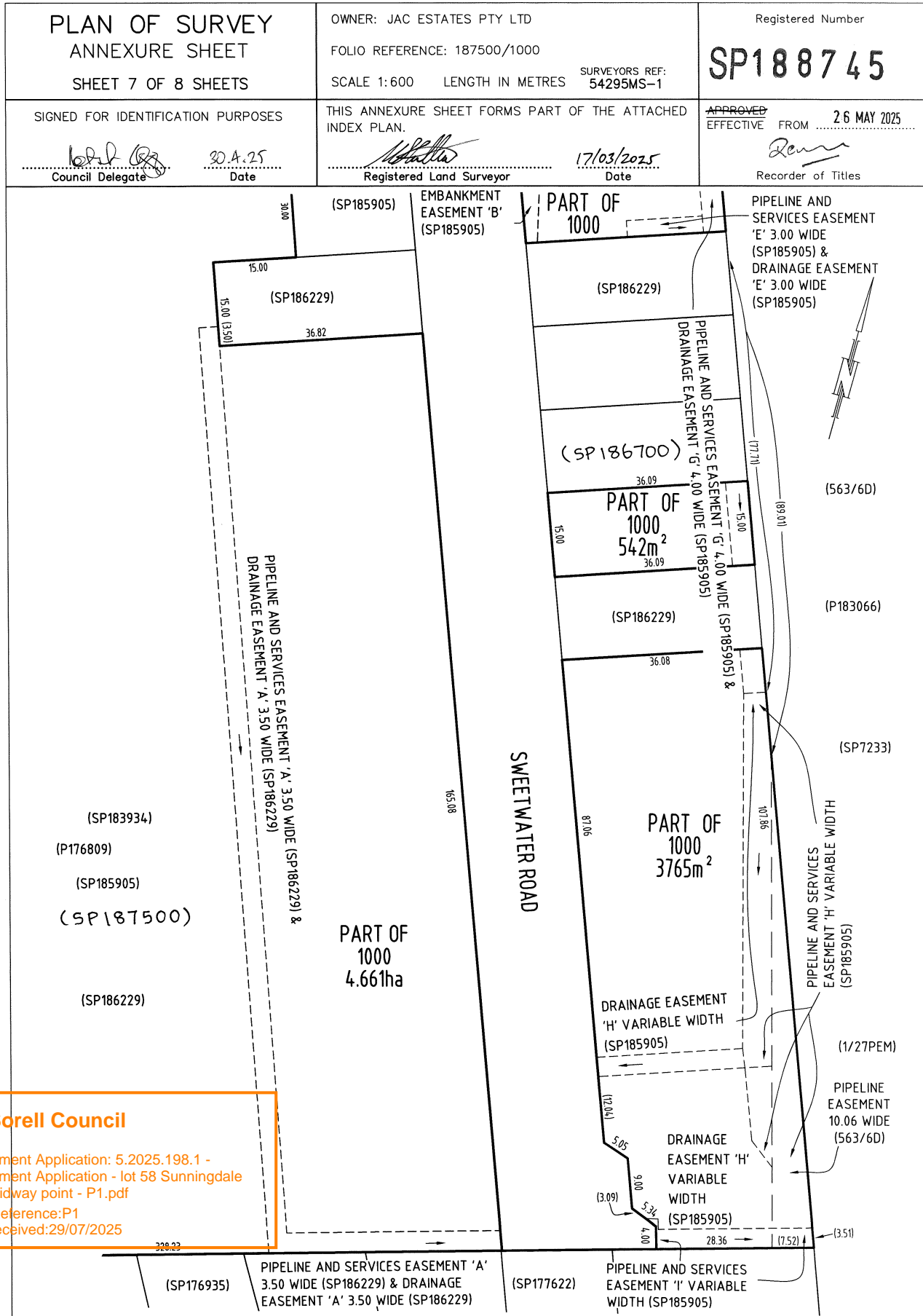


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<p><b>PLAN OF SURVEY</b>  <b>ANNEXURE SHEET</b></p> <p>SHEET 6 OF 8 SHEETS</p>	<p>OWNER: JAC ESTATES PTY LTD</p> <p>FOLIO REFERENCE: 187500/1000</p> <p>SCALE 1:500      LENGTH IN METRES</p> <p>SURVEYORS REF: 54295MS-1</p>	<p>Registered Number</p> <p><b>SP 188745</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p> 20.4.25</p> <p>.....  Council Delegate                      Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p> 17/03/2025</p> <p>.....  Registered Land Surveyor                      Date</p>	<p><del>APPROVED</del>  EFFECTIVE FROM 26 MAY 2025</p> <p></p> <p>Recorder of Titles</p>

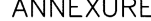




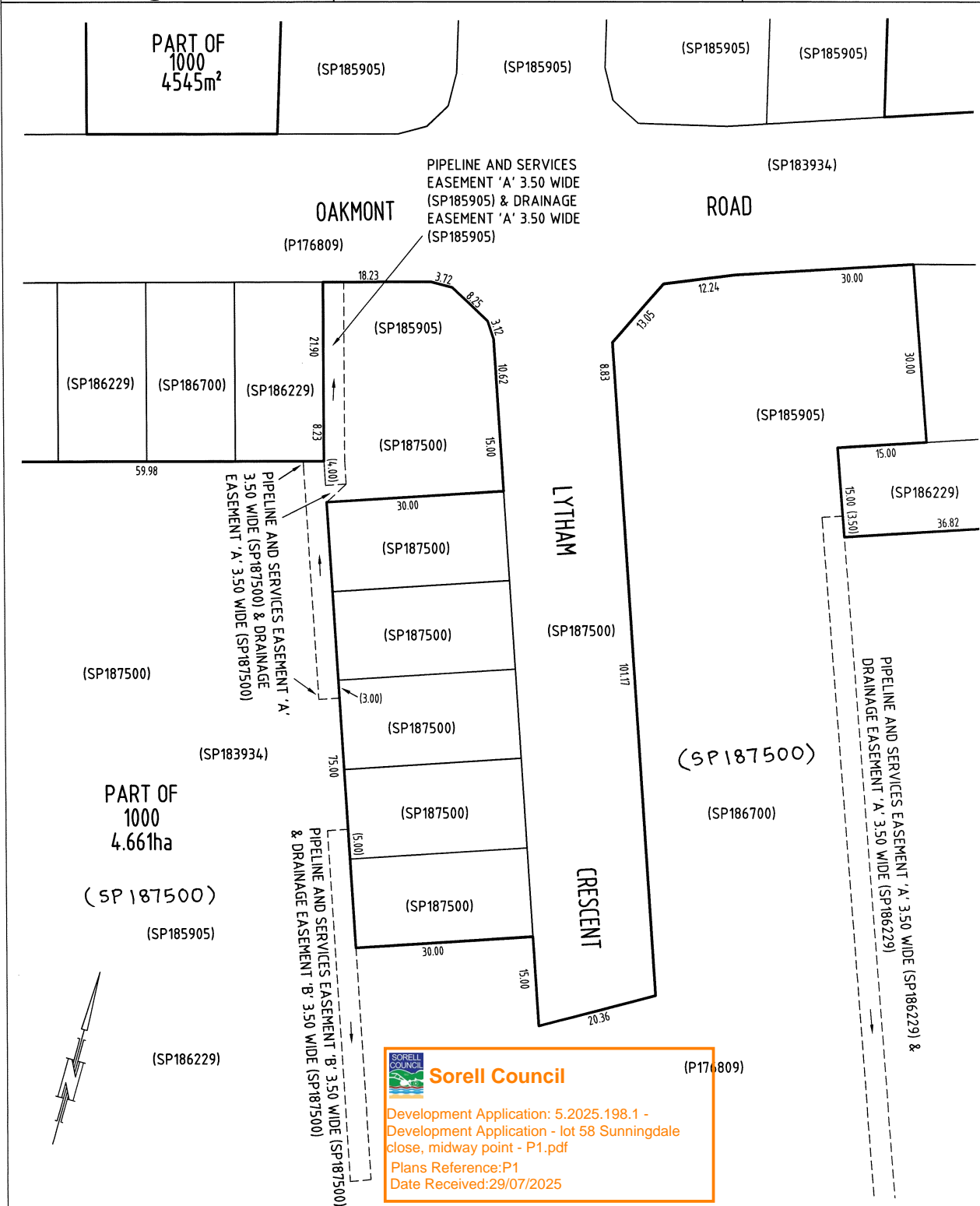


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<p><b>PLAN OF SURVEY</b> <b>ANNEXURE SHEET</b></p> <p>SHEET 8 OF 8 SHEETS</p>	<p>OWNER: JAC ESTATES PTY LTD</p> <p>FOLIO REFERENCE: 187500/1000</p> <p>SCALE 1:600      LENGTH IN METRES</p> <p>SURVEYORS REF: 54295MS-1</p>	<p>Registered Number</p> <p><b>SP188745</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p> 30.4.25</p> <p>..... Council Delegate      Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p> 17/03/2025</p> <p>..... Registered Land Surveyor      Date</p>	<p><del>APPROVED</del> 26 MAY 2025</p> <p>EFFECTIVE FROM .....</p> <p></p> <p>Recorder of Titles</p>



# ***DISPERSIVE SOIL ASSESSMENT***

***Lot 58 Sunningdale Close***

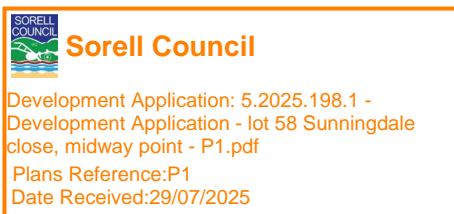
***Midway Point***

***March 2025***

***Wilson Homes Reference: 714234***



GEO-ENVIRONMENTAL  
SOLUTIONS



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## **Investigation Details**

<b>Client:</b>	Wilson Homes
<b>Site Address:</b>	Lot 58 Sunningdale Close, Midway Point
<b>Date of Inspection:</b>	25/03/2025
<b>Proposed Works:</b>	New house
<b>Investigation Method:</b>	Geoprobe 540UD - Direct Push
<b>Inspected by:</b>	C. Cooper

## **Site Details**

<b>Certificate of Title (CT):</b>	TBA
<b>Title Area:</b>	Approx. 663 m <sup>2</sup>
<b>Applicable Planning Overlays:</b>	Bushfire-prone areas, Airport obstacle limitation area
<b>Slope &amp; Aspect:</b>	7° NW facing slope
<b>Vegetation:</b>	Grass & Weeds
<b>Ground Surface:</b>	Disturbed

## **Background Information**

<b>Geology Map:</b>	MRT
<b>Geological Unit:</b>	Triassic Sandstone
<b>Climate:</b>	Annual rainfall 400mm
<b>Water Connection:</b>	Mains
<b>Sewer Connection:</b>	Serviced-Mains
<b>Testing and Classification:</b>	AS2870:2011, AS1726:2017 & AS4055:2021

## **Investigation**

A number of bore holes were completed to identify the distribution and variation of the soil materials at the site, bore hole locations are indicated on the site plan. See soil profile conditions presented below. Tests were conducted across the site to obtain bearing capacities of the material at the time of this investigation.

### ***Soil Profile Summary***

<b>BH 1 Depth (m)</b>	<b>BH 2 Depth (m)</b>	<b>USCS</b>	<b>Description</b>
0.00-0.30	0.00-0.40	SM	<b>Silty SAND:</b> grey, dry, loose
0.30-1.00	0.40-0.90	CI	<b>Sandy CLAY:</b> medium plasticity, grey, pale brown, slightly moist, stiff,
1.00-1.10	0.90-1.00	GC	<b>Clayey GRAVEL:</b> yellow, brown, slightly moist, very dense, refusal

## **Site Notes**

The soil on site has formed from Triassic sandstone. The subsoil was tested for dispersion using the Emerson Test and was found to be slightly dispersive Class 2(2) -obvious milkiness, <50% of the aggregate affected.

## **Dispersive Soil Assessment**

The dispersive soil assessment of the property considers the proposed construction area.

### **Potential for dispersive soils**

The site has been identified as an area subject to a tunnel erosion hazard according to 'Dispersive Soils and Their Management: Technical Reference Manual'. This is due to the soils present on site that developed from Triassic Sandstone that contain considerable fine sand/silt content and medium plastic clays. Triassic Sandstone in the local area is known to produce soils with an excess of sodium on the soil exchange complex, which can cause soil dispersion. Under some circumstances the presence of dispersive soils can also lead to significant erosion, and in particular tunnel erosion. Based upon field survey of the property, no visible tunnel or gully erosion was identified. However, a soil sampling program was undertaken to identify the presence of dispersive soils in the proposed development areas.

### **Soil sampling and testing**

Samples were taken at the site for assessment of dispersion. An Emerson (1968) Dispersion test was conducted to determine if these samples were dispersive.

The soil samples taken from site were found to be Slightly dispersive Class 2(2) -obvious milkiness, <50% of the aggregate affected.



## **Management Recommendations**

A number of site and soil management measures are recommended for development on the site.

The proposed site cut/fill and driveway areas must be managed by:

- Applying a geo-fabric, jute mesh or similar material to the exposed batters of any cutting on site and revegetating the slope
- Applying a surface layer of at least 50mm of suitable crushed rock/gravel to the driveway surface (and any proposed house pad), with adequate compaction to ensure a relatively impervious surface to maintain site surface stability
- Vegetation on any fill batters must be established and maintained, if any bare area of soil on the batter develops then it must be top-dressed with suitable topsoil and additional vegetation planted

The risk of erosion and tunnel erosion associated with construction must be minimized by:

- Any new water, power, or other service trenches within the property must ensure recommendations for dispersive soils are followed:
  - o Where possible trenches to be placed shallow in topsoil and mounded over to achieve the required cover depth
  - o If buried the trench must be backfilled in layers of no more than 200mm with clay with 5% by weight gypsum added (the clay must be sufficiently moist to allow good compaction).
  - o The trench must be finished with at least 150mm depth of non-dispersive suitable topsoil and finished to a level at least 75mm above natural ground to allow for possible settlement
- Vegetation cover must be maintained wherever possible on the property
- Foundations may be placed into the natural soil; however, care must be taken to ensure all exposed soil in the foundation area is compacted and 1Kg/m<sup>2</sup> of gypsum is applied. Excavated fill from the construction area is not recommended for reuse on site in landscaping unless it is appropriately treated with gypsum, compacted, and capped with topsoil with natural soil and gypsum
- All stormwater runoff from the dwelling to be directed to mains connection (all the drains are to be adequately treated with gypsum)
- Drainage of any site cut must not employ conventional rock drain construction; it must adhere to recommendations for dispersive soils (unless founded entirely in rock)
- All excavation works on site should be monitored for signs of soil dispersion and remedial action taken as required – any excavated fill from the construction area is not recommended for reuse on site in landscaping unless it is appropriately treated with gypsum, compacted, and capped with topsoil

## **Conclusions**

There is a low risk associated with dispersive soils and potential erosion on the site provided the recommendations in this report are adhered to. Efforts should be made to cover all exposed soils on cut/fill batters with topsoil and seeded with well suited pasture species to avoid rainwater, runoff, surface water flows from intercepting exposed subsoils.

A number of site management recommendations have been made in this report and further information can also be found in the publication “Dispersive soils and their management – Technical manual” (DPIWE Tas 2009)

It is recommended that during construction that GES be notified of any variation to the soil conditions as outlined in this report.

A handwritten signature in blue ink, appearing to be 'J.P. Cumming', with a long horizontal stroke extending to the right.

Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD  
Environmental and Engineering Soil Scientist

## Appendix 1– Soil test results

# Laboratory Test Results

**Sample Submitted By:** C Cooper

**Date Submitted:** 25/03/2025

**Sample Identification:** 2 samples – Lot 58 Sunningdale Close, Midway Point

**Soil to be tested:** Emerson soil dispersion test

**Result:**

Sample	Texture	Emerson class	Description
Sample 1	clay	Class 2 (2)	Some dispersion <50% affected
Sample 2	clay	Class 2 (2)	Some dispersion <50% affected

Notes: Some dispersion with obvious milkiness affecting <50% of the aggregate.

**Sample Tested by:** C Cooper  
26/03/2025

## **Disclaimer**

This Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the Client. To the best of GES's knowledge, the information presented herein represents the client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that discussed in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organizations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

The scope of this study does not allow for the review of every possible geotechnical parameter or the soil conditions over the whole area of the site. Soil and rock samples collected from the investigation area are assumed to be representative of the areas from where they were collected and not indicative of the entire site. The conclusions discussed within this report are based on observations and/or testing at these investigation points.

This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required.

No responsibility is accepted for the use of any part of this report in any other context or for any other purpose by a third party.

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BUILDING INFORMATION

GROUND FLOOR TOP OF WALL HEIGHT(S): 2745mm  
(CEILING HEIGHT 45mm LOWER THAN TOP OF WALL)  
ROOF PITCH (U.N.O.): 23.0°  
ELECTRICITY SUPPLY: SINGLE PHASE  
GAS SUPPLY: NONE

ROOF MATERIAL: SHEET METAL  
ROOF COLOUR: N/A  
  
WALL MATERIAL: BRICK VENEER, CLADDING

INSULATION

INSULATION TO BE INSTALLED IN ACCORDANCE WITH N.C.C. AND RELEVANT AUSTRALIAN STANDARDS

MIN. 60mm FOIL FACED BLANKET UNDER ROOFING  
CEILING: R4.1 BATTS (EXCL. GARAGE, ALFRESCO)

EXTERIOR WALLS: R2.0 BATTS (EXCL. GARAGE)  
WALL WRAP TO ENTIRE HOUSE  
INTERIOR WALLS: R2.0 BATTS WHERE SHOWN ON PLANS AND WHERE ADJACENT TO GARAGE / SUBFLOOR / ROOF SPACES / SKYLIGHTS

BIAX SLAB R0.60

SITE & ENGINEERING INFORMATION

DESIGN WIND CLASSIFICATION: N3  
CLIMATE ZONE: ZONE 7 - COOL TEMPERATE  
WIND REGION: A  
TERRAIN CATEGORY: TC2  
SHIELDING FACTOR: PS - PARTIAL SHIELDING  
TOPOGRAPHIC CLASSIFICATION: T1  
DESIGN WIND SPEED: 50 m/sec

SITE CLASSIFICATION: M  
SLAB CLASSIFICATION: TBC

SLAB TO BE IN ACCORDANCE WITH AS 2870. REFER TO ENGINEER'S DRAWINGS FOR ALL SLAB DETAILS.

PROVIDE BRICK CONTROL JOINTS IN ACCORDANCE WITH N.C.C.

ALL TIMBER FRAMING TO BE DESIGNED TO AS1684-2010

BAL-19 BUSHFIRE REQUIREMENTS

THE BUILDER USES MATERIALS THAT HAVE BEEN TESTED TO AS1530.8.1 IN ACCORDANCE WITH AS3959-2018 (CLAUSE 3.8).

- PROVIDE FOIL FACED BLANKET INSULATION TO COLORBOND SHEET ROOFING
- PROVIDE SARKING TO TILED ROOF WITH PRESTITE TO VALLEYS
- PROVIDE FLYSCREENS WITH CORROSION RESISTANT MESH TO ALL OPERABLE WINDOW SASHES (NO REQUIREMENT TO SCREEN BI-FOLD/FRENCH/SLIDING/STACKER DOORS)
- PROVIDE BAL-19 RATED ALUMINIUM WINDOWS AND EXTERNAL GLASS SLIDING/STACKER DOORS
- SPECIFIED ALUMINIUM FRENCH DOORS HAVE BEEN TESTED TO AS1530.8.1 WITHOUT SCREENS
- SPECIFIED ALUMINIUM WINDOWS HAVE BEEN TESTED TO AS1530.8.1 WITHOUT SCREENS TO FIXED PANELS
- PROVIDE ALUMINIUM DOOR JAMBS TO ALL EXTERNAL TIMBER DOORS
- PROVIDE SPARK ARRESTORS TO EXTERNAL BRICKWORK
- PROVIDE SEAL TO GARAGE DOOR
- EXTERNAL TIMBER POSTS TO BE FIRE RETARDANT
- PROVIDE COPPER WATER PIPES FROM WATER TANK TO HOUSE

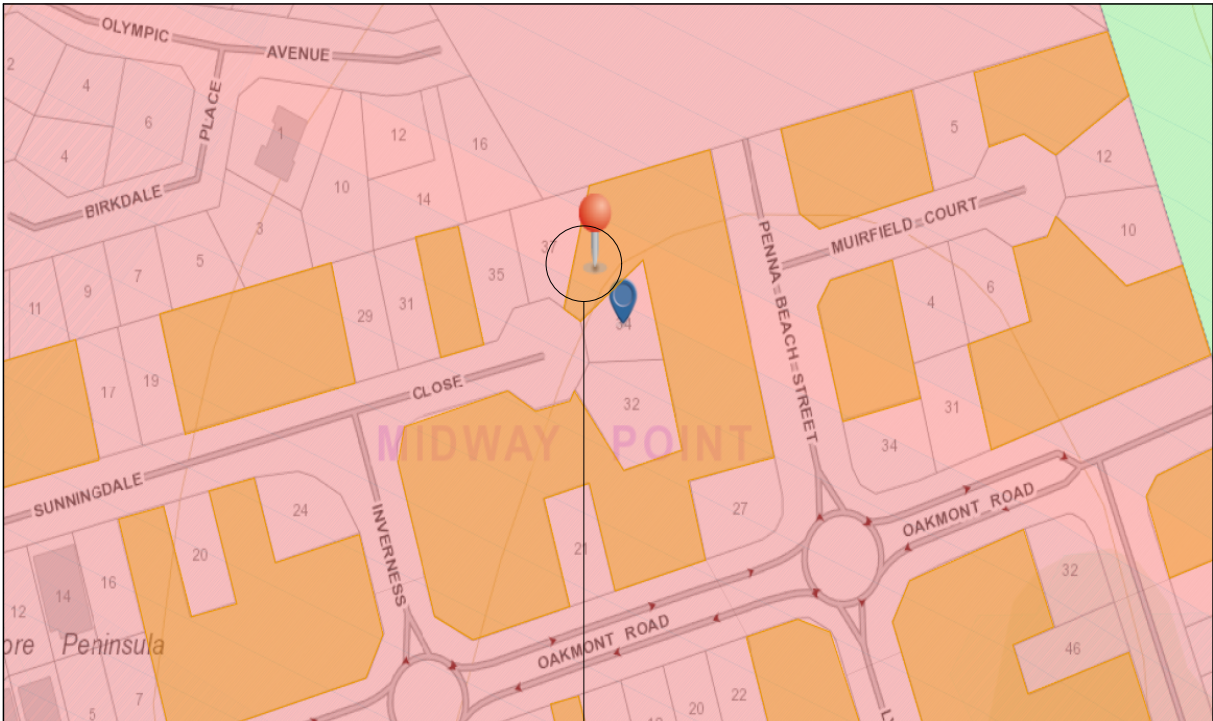
- (IF REQUIRED)
- PROVIDE MERBAU TIMBER POSTS AND EXPOSED BEAMS TO PATIO
  - PROVIDE SAFETY SCREENS WITH CORROSION RESISTANT MESH TO TIMBER EXTERNAL DOORS

NCC 2022 LIVABLE HOUSING COMPLIANCE

ACCESSIBLE SANITARY COMPARTMENT: TBA  
ACCESSIBLE SHOWER LOCATION: TBA

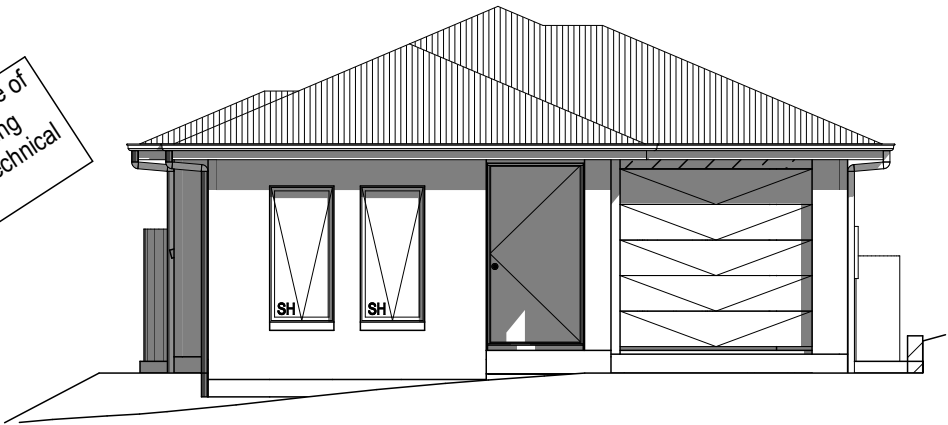
GENERAL NOTES:

- THRESHOLD OF ACCESSIBLE SHOWER ENTRY TO BE MAX.5MM
- 1 EXTERIOR DOOR NOMINATED AS 870 OR GREATER TO ACHIEVE MIN 820MM CLEAR OPENING
- REFER TO APPLICABLE WET AREA PLANS AND INTERIOR ELEVATIONS OR LOCATIONS OF REQUIRED WALL REINFORCEMENT FOR FUTURE GRAB RAIL INSTALLATION.



SITE LOCATION

LOCATION MAP



This Plan has been prepared prior to the receipt of one or more of the following documents:- Certificate of Title inclusive of lot specific zoning, easement and covenant documents, BAL report and rating, approved subdivision plans providing crossover locations and service connection points, power and communications connection point information, Geotechnical Site Investigation, Contour Survey, Dial Before You Dig Information, Planning Approval.

THE OWNERS ACKNOWLEDGE THAT THESE CONTRACT PLANS MAY NOT REFLECT ALL THE SELECTIONS THAT HAVE BEEN MADE OR CHANGES REQUESTED. THE OWNERS AGREE THAT FOLLOWING THE COLOUR SELECTIONS VARIATION OR UPDATING OF PLANS, THEY WILL BE PROVIDED WITH CONSTRUCTION PLANS FOR SIGNATURE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SIGNATURE: DATE:

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

PRELIMINARY PLAN SET

7	PRELIMINARY PLAN SET - INITIAL ISSUE	ALL	2025.07.21	TNG	-
No.	AMENDMENT	SHEET	DATE	DRAWN	CHECK

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4	DRAFT SALES - CT2	STL 2025.06.05
5	DRAFT SALES - UPDATE	STL 2025.06.20
6	DRAFT SALES - CORRECTION	STL 2025.07.03
7	PRELIM PLANS - INITIAL ISSUE	TNG 2025.07.21

CLIENT: VALERIE AMELIA YULERIDGE & CHRISTOPHER TOBIAS G YULER	
ADDRESS: SUNNINGDALE CLOSE, MIDWAY POINT TAS 7171	
LOT / SECTION / CT: 58 / - / TBC	COUNCIL: SORELL COUNCIL

HOUSE DESIGN: MADRID
FACADE DESIGN: CLASSIC
SHEET TITLE: COVER SHEET
SHEET No.: 1 / 14

HOUSE CODE: H-WDNMDR10SB
FACADE CODE: F-WDNMDR10CLASA
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ZONE: 8.0 GENERAL RESIDENTIAL  
0.3km DISTANCE FROM BREAKING SURF (PENNA BEACH)

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
- SUSTAINABILITY REQUIREMENTS  
- SITE CLASSIFICATION  
- GENERAL BUILDING INFORMATION

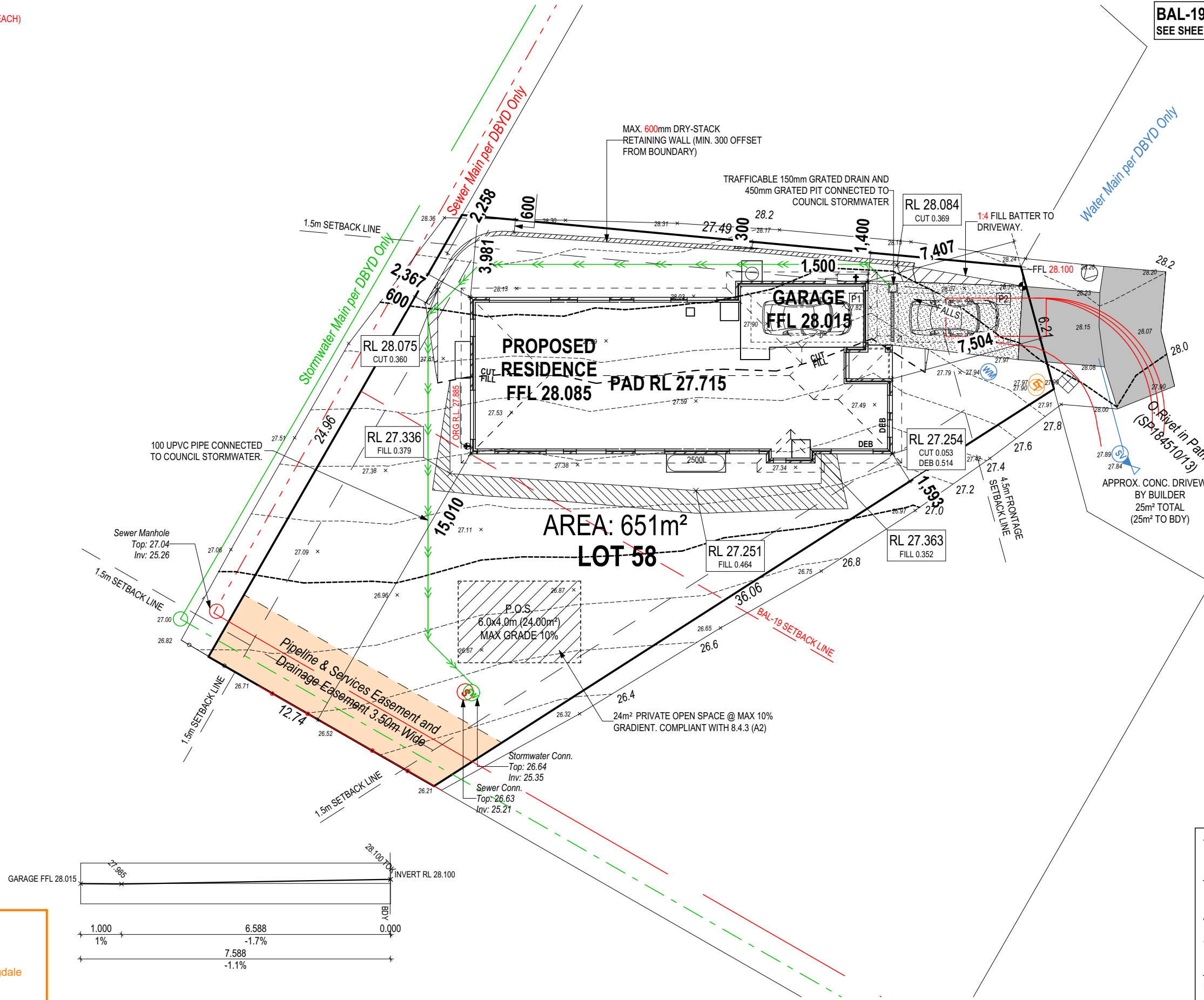
WIND CLASSIFICATION	N3
WITHIN 1 KM. OF BREAKING SALT WATER	NO
WITHIN 100 M. OF SALT WATER	NO
MINIMUM AHD FLOOR LEVEL APPLICABLE	NO
SURVEY AREA	NEW
LATITUDE	0° 00' 00" S
LONGITUDE	0° 00' 00" E


APPROX. IMPORT/EXPORT FILL	
CUT VOLUME	35.82m³
FILL VOLUME	29.66m³
DIFFERENCE	6.16m³
TONNAGE: 6.16m³ x 2.25 = 13.86t 14 TONNES OF EXPORT FILL	

DRY STACK WALLS <1m HIGH:  
ISLAND BLOCK & PAVING FREESTONE  
ECO RETAINING WALL INSTALLATION TO  
MANUFACTURER'S SPECIFICATION AND  
DETAILS

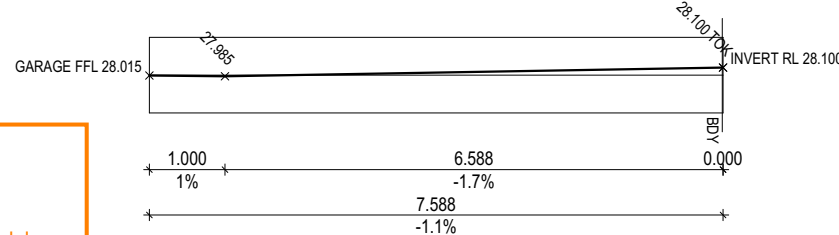
LOT SIZE: 651m²  
HOUSE (COVERED AREA): 161.93m²  
SITE COVERAGE: 24.87%

BAL-19 BUSHFIRE REQUIREMENTS  
SEE SHEET 1 (COVER SHEET) FOR DETAILS



**Sorell Council**

Development Application: 5.2025.198.1 -  
Development Application - lot 58 Sunningdale  
close, midway point - P1.pdf  
Plans Reference:P1  
Date Received:29/07/2025



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LOT / SECTION / CT:	58 / - / TBC
COUNCIL:	SORELL COUNCIL

HOUSE DESIGN:	MADRID
FACADE DESIGN:	CLASSIC
SHEET TITLE:	SITE PLAN

HOUSE CODE:	H-WDNMDR10SB
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ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

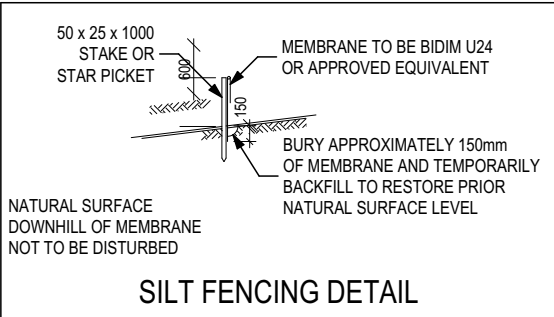
OWNER TO STABILISE THE SITE ON COMPLETION OF THE BUILD WITH TURF LAWNS, GRASS SEEDS, NATIVE GROUND COVERS AND/ OR MULCH SPREAD TO A DEPTH OF 75-100mm

THE FOLLOWING IS A STANDARD APPROACH. SEDIMENT AND EROSION CONTROL MEASURES WILL BE REVIEWED PRIOR TO COMMENCING WORK AND INSTALLED BASED ON THE OUTCOME OF THAT REVIEW.

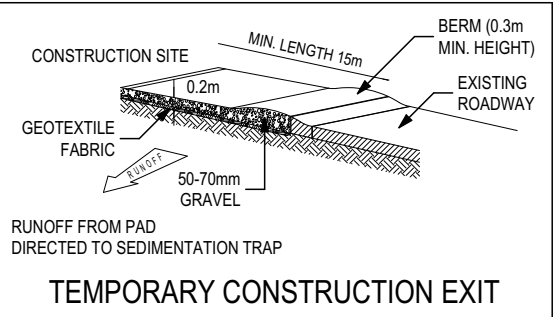
- NOTES:
1. ALL EROSION AND SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY AND MAINTAINED IN GOOD WORKING ORDER.
  2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING THE BUILDING PHASE.
  3. ALL EROSION AND SEDIMENT CONROL MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
  4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET.
  5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE PERMAMENT UNDERGROUND STORMWATER DRAINAGE SYSTEM AS SOON AS PRACTICAL AFTER THE ROOF IS LAID.
  6. DIVERSION DRAINS ARE TO BE CONNECTED TO A LEAGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM, WATERCOURSE OR ROAD DRAIN).
  7. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS.



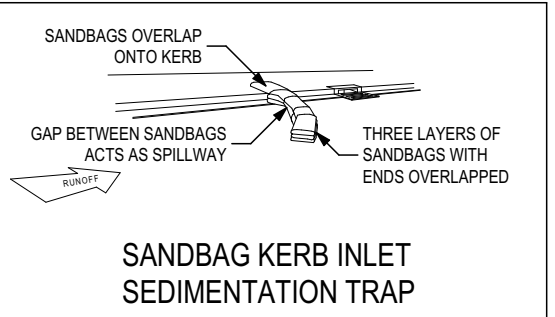
Development Application: 5.2025.198.1 -  
Development Application - lot 58 Sunningdale  
close, midway point - P1.pdf  
Plans Reference:P1  
Date Received:29/07/2025



SILT FENCING DETAIL



TEMPORARY CONSTRUCTION EXIT



SANDBAG KERB INLET  
SEDIMENTATION TRAP

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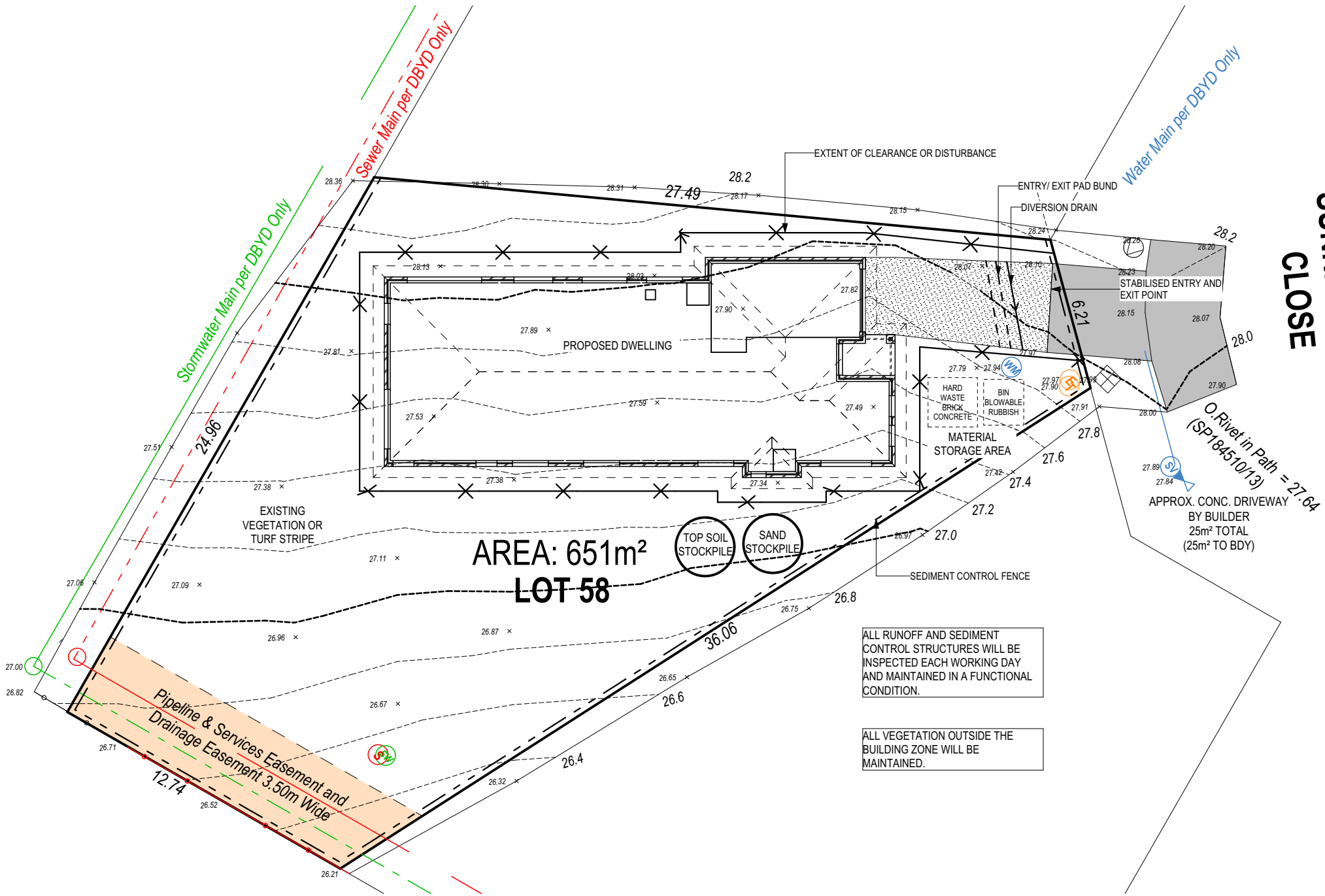
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ADDRESS:	SUNNINGDALE CLOSE, MIDWAY POINT TAS 7171
LOT / SECTION / CT:	58 / - / TBC
COUNCIL:	SORELL COUNCIL

HOUSE DESIGN:	MADRID
FACADE DESIGN:	CLASSIC
SHEET TITLE:	SOIL & WATER MANAGEMENT PLAN
SHEET No.:	3 / 14

HOUSE CODE:	H-WDNMDR10SB
FACADE CODE:	F-WDNMDR10CLASA
SCALES:	1:200

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SUNNINGDALE  
CLOSE



ALL RUNOFF AND SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED EACH WORKING DAY AND MAINTAINED IN A FUNCTIONAL CONDITION.

ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE  
ACCEPTED ON THIS PLAN AFTER SIGNING  
SIGNATURE:

DATE:



REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

CDP CHARGED DOWNPIPE DIRECTED TO TANK  
SDP STANDARD DOWNPIPE DIRECTED TO STORMWATER DISCHARGE

REFER 'BRICK COURSING AND WINDOW FLASHING DETAIL' AND W-BRIC-001 FOR BRICK COURSING & WINDOW FLASHING DETAILS.

ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2455 ABOVE FFL UNLESS NOTED OTHERWISE

ALL GROUND FLOOR INTERNAL DOORS TO BE 2340 HIGH UNLESS NOTED OTHERWISE (EXCLUDES CAVITY SLIDING DOORS)

REFER TO WINDOW & DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS

FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:

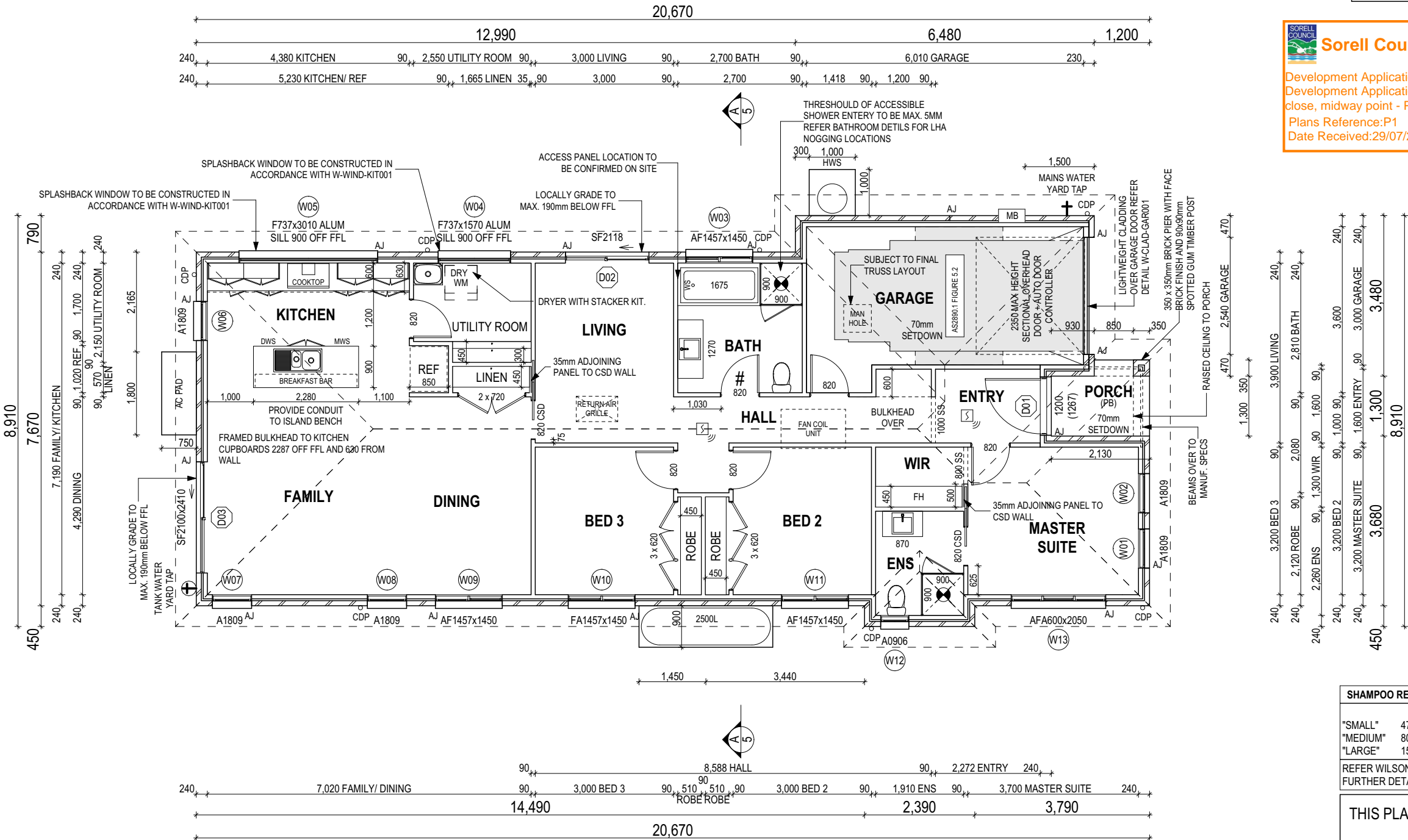


## BAL-19 BUSHFIRE REQUIREMENTS

SEE SHEET 1 (COVER SHEET) FOR DETAILS

## TOTAL FLOOR AREAS

GARAGE 21.48  
LIVING 137.26  
PORCH 3.19  
**161.93 m<sup>2</sup>**



PROVIDE AND INSTALL SINGLE PHASE REVERSE CYCLE AIR CONDITIONING SYSTEM. NUMBER AND POSITIONING OF OUTLETS AND THE FINAL LOCATION OF THE RETURN AIR GRILLE WILL BE DETERMINED ON SITE BY THE AIR CONDITIONING CONTRACTOR AND IS SUBJECT TO TRUSS LAYOUT AND ANY OTHER CONSTRUCTION CONSTRAINTS.

FRAME MANUFACTURER TO PROVIDE CLEARANCE FOR PASSAGE OF FAN COIL UNIT FROM RETURN AIR OPENING TO FINAL FAN COIL LOCATION.



**Sorell Council**

Development Application: 5.2025.198.1 -  
Development Application - lot 58 Sunningdale close, midway point - P1.pdf  
Plans Reference:P1  
Date Received:29/07/2025

## FLOOR PLAN LEGEND

- HS / WS HOB SPOUT / WALL SPOUT
- FACE BRICK / COMMON BRICK
- RENDER
- SOUND INSULATION
- AJ BRICK ARTICULATION JOINT
- 3D DENOTES DRAWER SIDE
- MECHANICAL VENTILATION
- L.B.W LOAD BEARING WALL
- PB PLASTERBOARD
- FC FIBRE CEMENT
- THIS DOOR OPENS FIRST
- SMOKE ALARM
- LIFT OFF HINGE
- WATER POINT
- FLOOR WASTE
- CLEAN OUT POINT
- GAS BAYONET

## ALL DIMENSIONS ARE FRAME DIMENSIONS

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LOT / SECTION / CT:  
**58 / - / TBC**

COUNCIL:  
**SORELL COUNCIL**

HOUSE DESIGN:  
**MADRID**

FACADE DESIGN:  
**CLASSIC**

SHEET TITLE:  
**GROUND FLOOR PLAN**

HOUSE CODE:  
**H-WDNMDR10SB**

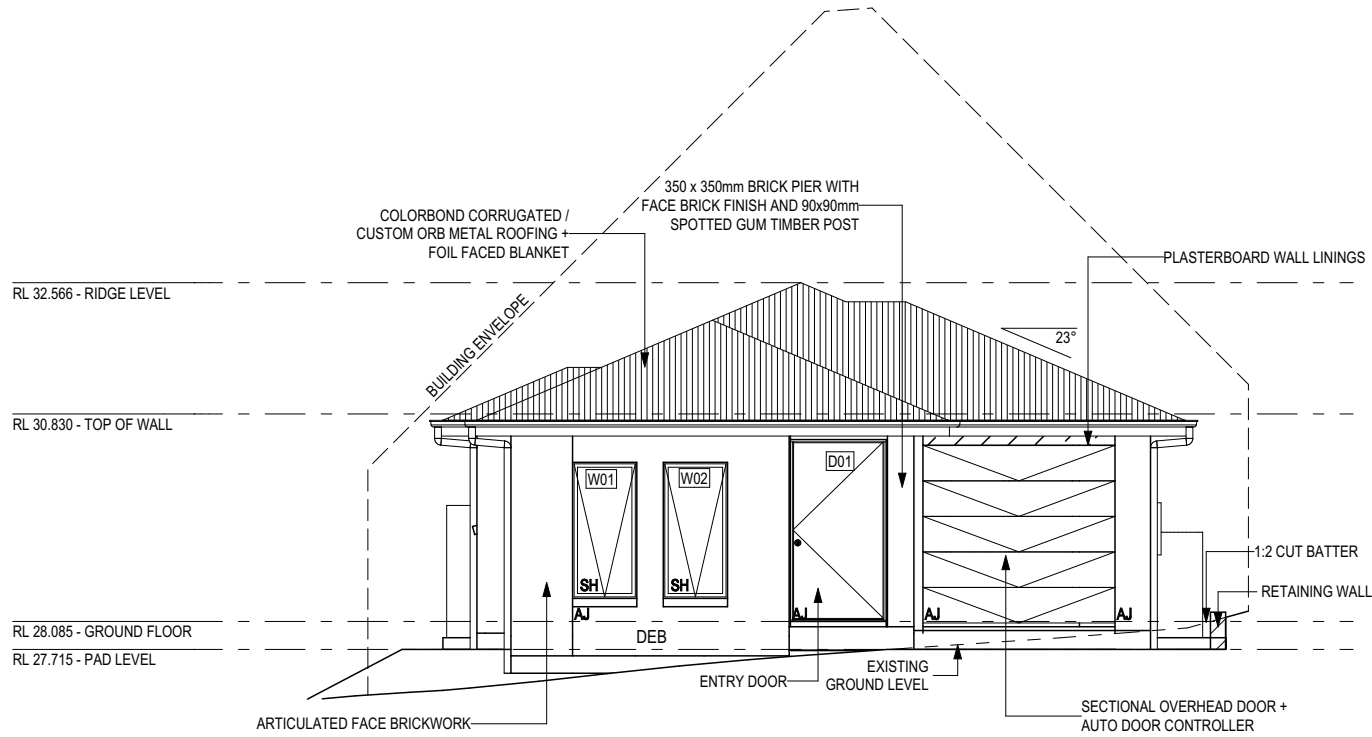
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**F-WDNMDR10CLASA**

SCALES:  
**1:100**

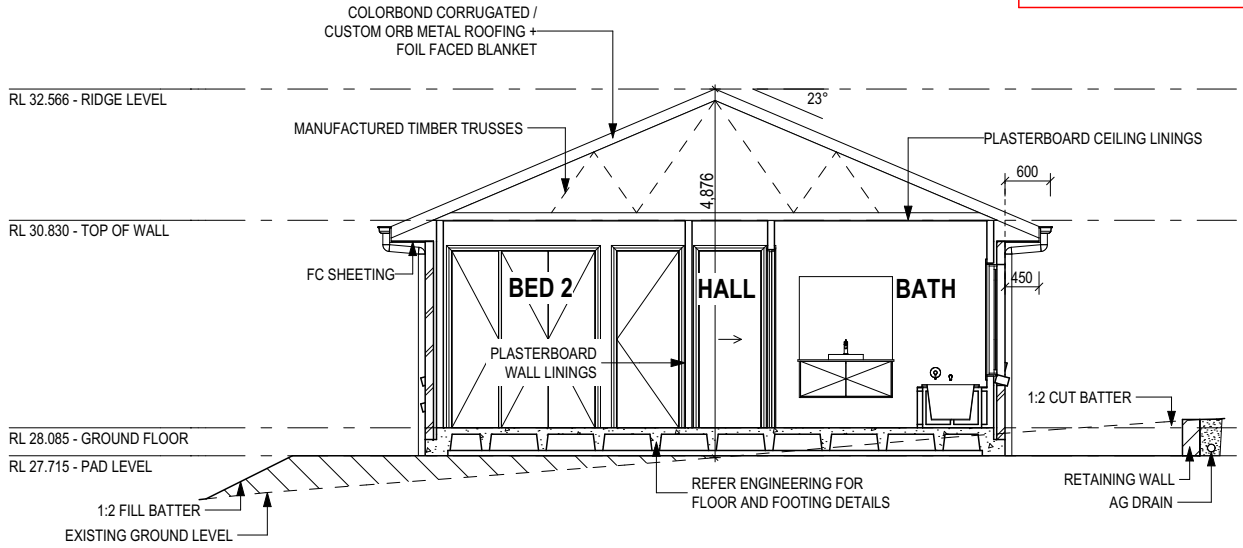
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**714234**

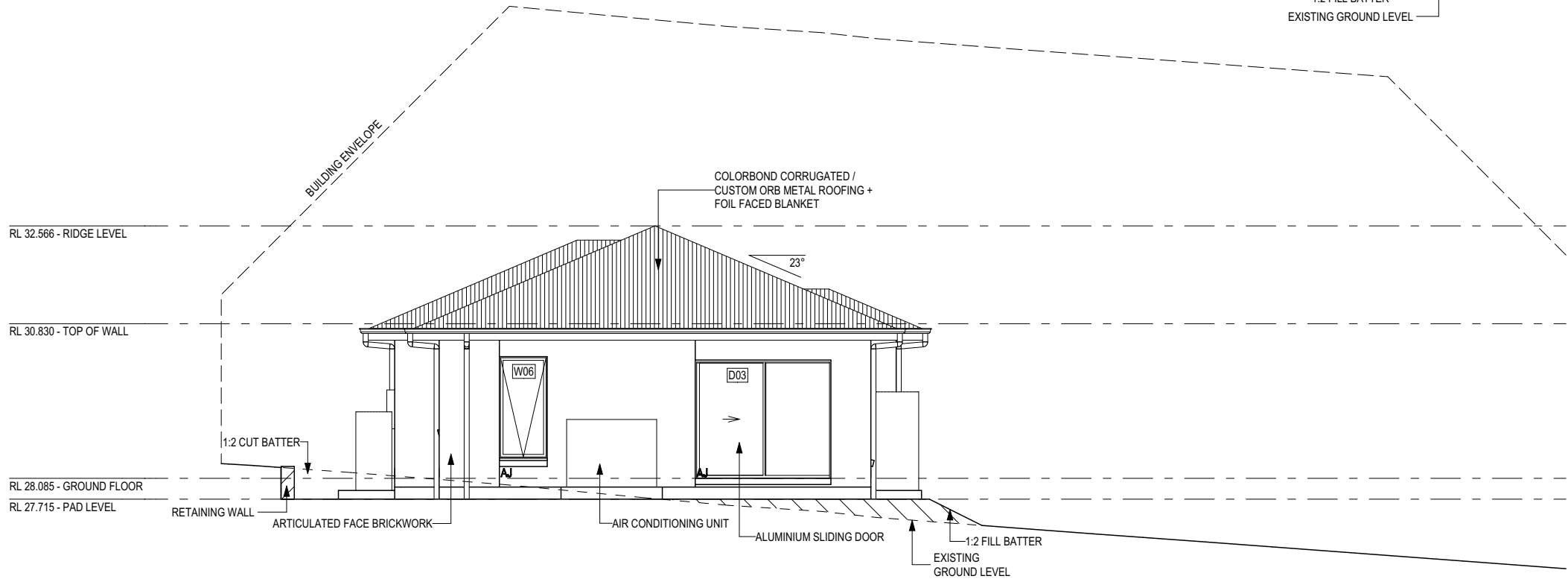
BAL-19 BUSHFIRE REQUIREMENTS  
SEE SHEET 1 (COVER SHEET) FOR DETAILS



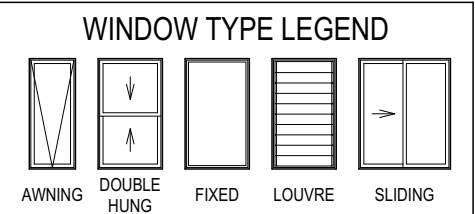
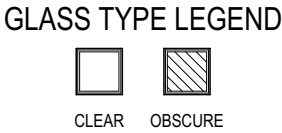
SOUTH WEST ELEVATION  
Scale: 1:100



SECTION A-A  
Scale: 1:100



NORTH EAST ELEVATION  
Scale: 1:100



REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

SH = SNAP HEADER SILL

BEDROOM WINDOW OPENINGS ABOVE 2m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

ROOMS OTHER THAN BEDROOM WINDOW OPENINGS ABOVE 4m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

REFER TO THE FOLLOWING DETAILS:  
BRICK COURSING W-BRIC-001



Sorell Council

Development Application: 5.2025.198.1 -  
Development Application - lot 58 Sunningdale  
close, midway point - P1.pdf  
Plans Reference:P1  
Date Received:29/07/2025

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE  
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SIGNATURE:

DATE:

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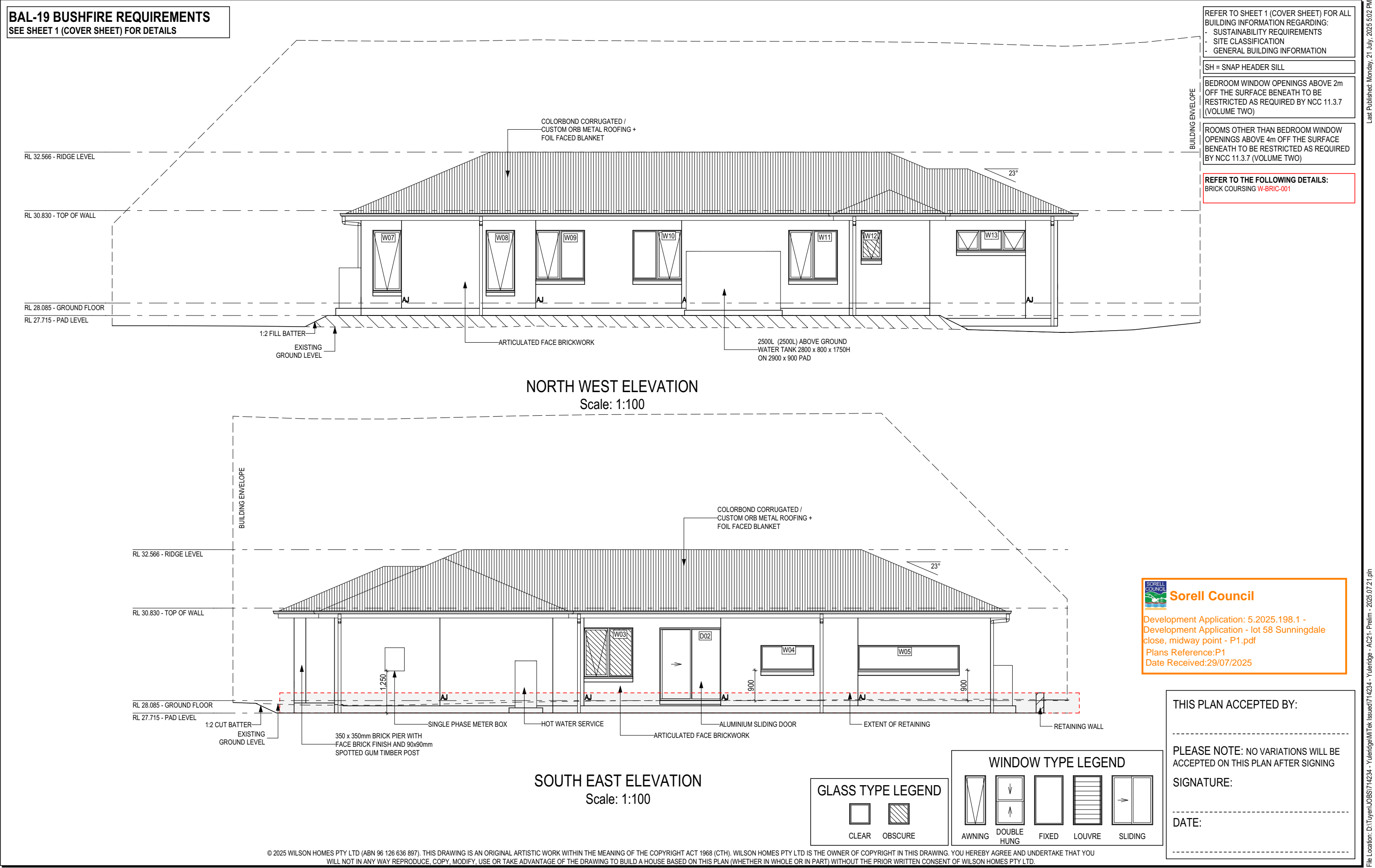
REVISION	DRAWN
3 DRAFT SALE PLAN - CT1	HMI 2025.05.15
4 DRAFT SALES - CT2	STL 2025.06.05
5 DRAFT SALES - UPDATE	STL 2025.06.20
6 DRAFT SALES - CORRECTION	STL 2025.07.03
7 PRELIM PLANS - INITIAL ISSUE	TNG 2025.07.21

CLIENT:	VALERIE AMELIA YULERIDGE & CHRISTOPHER TOBIAS G YULER
ADDRESS:	SUNNINGDALE CLOSE, MIDWAY POINT TAS 7171
LOT / SECTION / CT:	58 / - / TBC
COUNCIL:	SORELL COUNCIL

HOUSE DESIGN:	MADRID
FACADE DESIGN:	CLASSIC
SHEET TITLE:	ELEVATIONS / SECTION

HOUSE CODE:	H-WDNMDR10SB
FACADE CODE:	F-WDNMDR10CLASA
SCALES:	1:100

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WINDOW SCHEDULE

<sup>0, 3</sup> ASSUME LOOKING FROM OUTSIDE <sup>1, 2</sup> ASSUME LOOKING FROM INSIDE

ID	CODE <sup>0</sup>	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m²)	GLAZING TYPE	ADDITIONAL INFORMATION¹
W01	A1809	MASTER SUITE	1,800	850	5,300	1.53	ALUMINIUM	BAL-19	SNAP HEADER	SW	1.21	CLEAR, DOUBLE GLAZED	
W02	A1809	MASTER SUITE	1,800	850	5,300	1.53	ALUMINIUM	BAL-19	SNAP HEADER	SW	1.21	CLEAR, DOUBLE GLAZED	
W03	AF1457x1450	BATH	1,457	1,450	5,814	2.11	ALUMINIUM	BAL-19	ANGLED	SE	1.70	OBSCURE, DOUBLE GLAZED, TOUGHENED	MP 725
W04	F737x1570	UTILITY ROOM	737	1,570	4,614	1.16	ALUMINIUM	BAL-19	ANGLED	SE	1.00	CLEAR, DOUBLE GLAZED	
W05	F737x3010	KITCHEN	737	3,010	7,494	2.22	ALUMINIUM	BAL-19	ANGLED	SE	1.95	CLEAR, DOUBLE GLAZED	
W06	A1809	KITCHEN	1,800	850	5,300	1.53	ALUMINIUM	BAL-19	ANGLED	NE	1.21	CLEAR, DOUBLE GLAZED	
W07	A1809	FAMILY	1,800	850	5,300	1.53	ALUMINIUM	BAL-19	ANGLED	NW	1.21	CLEAR, DOUBLE GLAZED	
W08	A1809	FAMILY	1,800	850	5,300	1.53	ALUMINIUM	BAL-19	ANGLED	NW	1.21	CLEAR, DOUBLE GLAZED	
W09	AF1457x1450	DINING	1,457	1,450	5,814	2.11	ALUMINIUM	BAL-19	ANGLED	NW	1.70	CLEAR, DOUBLE GLAZED	MP 725
W10	FA1457x1450	BED 3	1,457	1,450	5,814	2.11	ALUMINIUM	BAL-19	ANGLED	NW	1.70	CLEAR, DOUBLE GLAZED	MP 725
W11	AF1457x1450	BED 2	1,457	1,450	5,814	2.11	ALUMINIUM	BAL-19	ANGLED	NW	1.70	CLEAR, DOUBLE GLAZED	MP 725
W12	A0906	ENS	860	610	2,940	0.52	ALUMINIUM	BAL-19	ANGLED	NW	0.35	OBSCURE, DOUBLE GLAZED, TOUGHENED	
W13	AFA600x2050	MASTER SUITE	600	2,050	5,300	1.23	ALUMINIUM	BAL-19	ANGLED	NW	0.85	CLEAR, DOUBLE GLAZED	MP 683-683
						21.22							
							17.00						

NOTE:  
Provide BAL-19 rated aluminium windows and external glass sliding doors in lieu of standard.

Provide flyscreens with corrosion resistant mesh to all opening window sashes only.

Manufacturer - Clark Windows			
Window Type	Glazing	U-Value	SHGC
Awning	Single	6.5	0.67
	Double	4.1	0.57
Fixed	Single	5.9	0.75
	Double	3.2	0.67
Sliding	Single	6.4	0.76
	Double	4.2	0.59
Fixed Pane	Single	5.9	0.75
	Double	3.2	0.67
Fixed Glass Panel Hinged Door	Single	6.0	0.62
	Double	4.3	0.55
Sliding Door	Single	6.1	0.74
	Double	3.6	0.66
Stacking Door	Single	6.3	0.74
	Double	3.8	0.66
135 deg. Awning Bay Window	Single	6.5	0.67
	Double	4.1	0.57
135 deg. Sliding Bay Window	Single	6.5	0.76
	Double	4.2	0.59
90 deg. Awning Bay Window	Single	6.5	0.67
	Double	4.1	0.57
90 deg. Sliding Bay Window	Single	6.5	0.76
	Double	4.2	0.59
Bifold Doors	Single	6.1	0.61
	Double	4.4	0.53

NOTE:  
Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Restricted windows to have their openability restricted as per N.C.C 11.3.6.

EXTERIOR DOOR SCHEDULE

<sup>0, 1</sup> ASSUME LOOKING FROM OUTSIDE

ID	CODE <sup>0</sup>	ROOM	HEIGHT	WIDTH	AREA (m²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING TYPE	DOOR TYPE	ADDITIONAL INFORMATION¹
D01	1200	ENTRY	2,406	1,267	3.05	TIMBER	BAL-19	SNAP HEADER	SW	DOOR(S): N/A - SIDELIGHT(S): N/A	SWINGING	LEAF SIZE: 2340 x 1200mm
D02	SF2118	LIVING	2,158	1,810	3.91	ALUMINIUM	BAL-19	SNAP HEADER	SE	CLEAR, TOUGHENED	SLIDING	
D03	SF2100x2410	FAMILY	2,100	2,410	5.06	ALUMINIUM	BAL-19	SNAP HEADER	NE	CLEAR, TOUGHENED	SLIDING	
					12.02 m²							

INTERIOR DOOR SCHEDULE

NOTE: INTERNAL DOORS TO WET AREAS WITH MECHANICAL VENTILATION TO BE UNDERCUT 20mm

QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING	ADDITIONAL INFORMATION
1	1000 SS	SQUARE SET OPENING	2,455	1,000	N/A	
1	2 x 720	SWINGING	2,340	1,440	N/A	
2	3 x 620	SWINGING	2,340	1,894	N/A	
1	800 SS	SQUARE SET OPENING	2,455	800	N/A	
5	820	SWINGING	2,340	820	N/A	
1	820	SWINGING	2,340	820	N/A	LIFT-OFF HINGES
2	820 CSD	CAVITY SLIDING	2,340	820	N/A	

PICTURE / TV RECESS & SQUARE SET WINDOW SCHEDULE

QTY	TYPE	HEIGHT	WIDTH	AREA (m²)
-----	------	--------	-------	-----------

SINGLE GLAZING U.N.O.  
REFER TO GENERAL NOTES FOR FURTHER  
DETAIL AND REQUIREMENTS.

REFER TO SHEET 1 (COVER SHEET) FOR ALL  
BUILDING INFORMATION REGARDING:  
- SUSTAINABILITY REQUIREMENTS  
- SITE CLASSIFICATION  
- GENERAL BUILDING INFORMATION

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE  
ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

BAL-19 BUSHFIRE REQUIREMENTS  
SEE SHEET 1 (COVER SHEET) FOR DETAILS

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	REVISION	DRAWN
3	DRAFT SALE PLAN - CT1	HMI 2025.05.15
4	DRAFT SALES - CT2	STL 2025.06.05
5	DRAFT SALES - UPDATE	STL 2025.06.20
6	DRAFT SALES - CORRECTION	STL 2025.07.03
7	PRELIM PLANS - INITIAL ISSUE	TNG 2025.07.21

CLIENT: VALERIE AMELIA YULERIDGE & CHRISTOPHER TOBIAS G YULER	
ADDRESS: SUNNINGDALE CLOSE, MIDWAY POINT TAS 7171	
LOT / SECTION / CT: 58 / - / TBC	COUNCIL: SORELL COUNCIL

HOUSE DESIGN: MADRID	
FACADE DESIGN: CLASSIC	
SHEET TITLE: WINDOW & DOOR SCHEDULES	SHEET No.: 7 / 14

HOUSE CODE: H-WDNMDR10SB
FACADE CODE: F-WDNMDR10CLASA
SCALES:

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WHERE DOWNPIPES ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO N.C.C. 7.3.5(2)

POSITION AND QUALITY OF DOWNPIPES ARE NOT TO BE ALTERED WITHOUT CONSULTATION WITH DESIGNER.

AREA'S SHOWN ARE SURFACE AREAS/ CATCHMENT AREAS, NOT PLAN AREAS

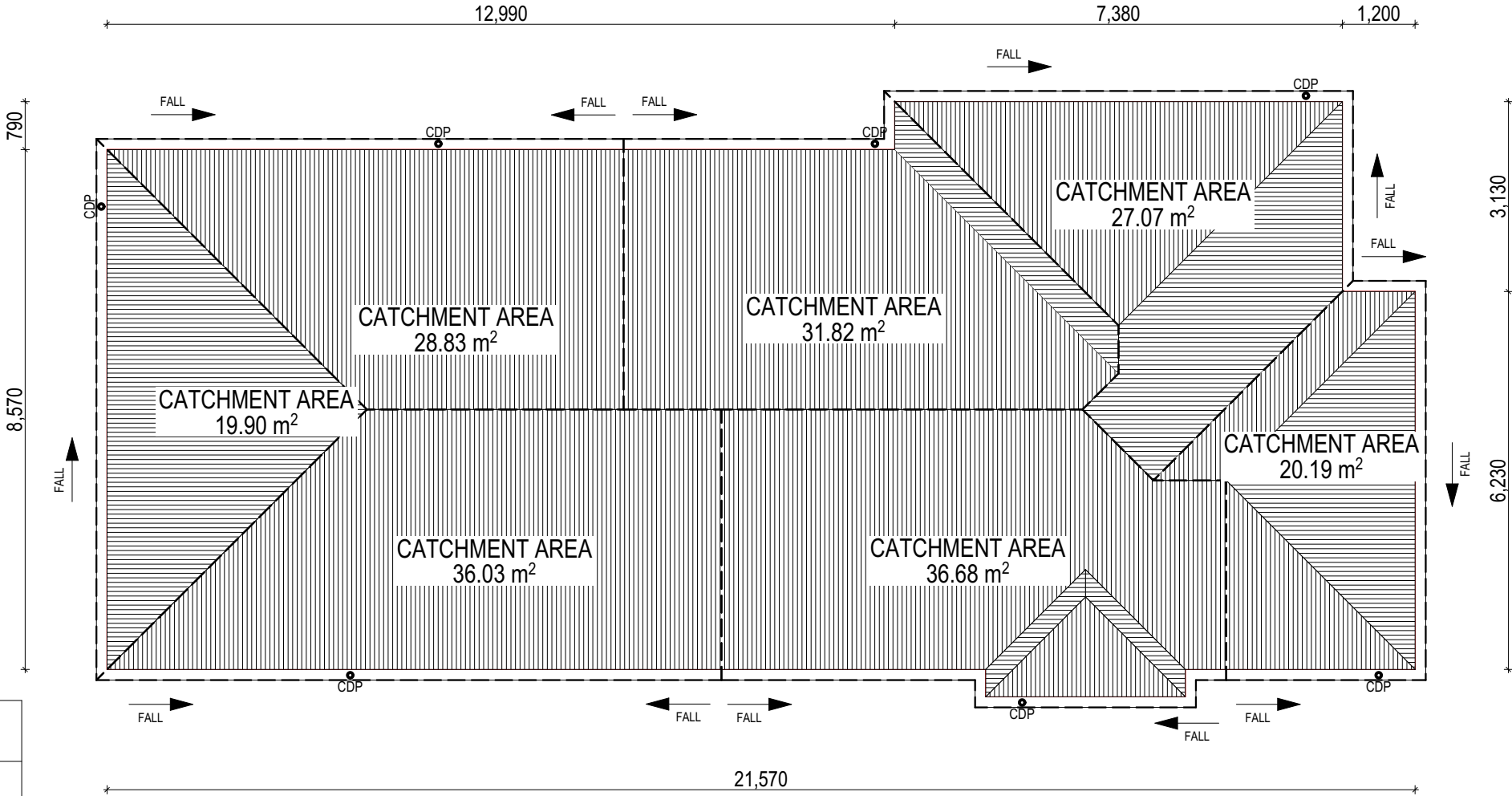
Roofing Data		
	189.36	Flat Roof Area (excluding gutter and slope factor) (m <sup>2</sup> )
	205.70	Roof Surface Area (includes slope factor, excludes gutter) (m <sup>2</sup> )
Downpipe roof calculations (as per AS/NZA3500.3:2021)		
Ah	200.52	Area of roof catchment (including 115mm Slotted Quad Gutter) (m <sup>2</sup> )
Ac	242.63	Ah x Catchment Area Multiplier for slope (Table 3.4.3.2 from AS/NZS 3500.3:2021)(1.21 for 23° pitch) (m <sup>2</sup> )
Ae	6300	Cross sectional area of 57 x 115 Slotted Quad Gutter (mm <sup>2</sup> )
DRI	86	Design Rainfall Intensity (determined from Table E1 from AS/NZS 3500.3:2021)
Acdp	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2021) (m <sup>2</sup> )
Required Downpipes	3.8	Ac / Acdp
Downpipes Provided	7	

**Sorell Council**

Development Application: 5.2025.198.1 - Development Application - lot 58 Sunningdale close, midway point - P1.pdf

Plans Reference:P1

Date Received:29/07/2025



EV SOFFIT EAVE VENT PROPOSED LOCATION TO BE MIN. 1M FROM CORNER JOINT

THIS PLAN ACCEPTED BY:

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SIGNATURE:

DATE:

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5 DRAFT SALES - UPDATE	STL 2025.06.20
6 DRAFT SALES - CORRECTION	STL 2025.07.03
7 PRELIM PLANS - INITIAL ISSUE	TNG 2025.07.21

CLIENT:	VALERIE AMELIA YULERIDGE & CHRISTOPHER TOBIAS G YULER
ADDRESS:	SUNNINGDALE CLOSE, MIDWAY POINT TAS 7171
LOT / SECTION / CT:	58 / - / TBC
COUNCIL:	SORELL COUNCIL

HOUSE DESIGN:	MADRID
FACADE DESIGN:	CLASSIC
SHEET TITLE:	ROOF DRAINAGE PLAN
SHEET No.:	8 / 14

HOUSE CODE:	H-WDNMDR10SB
FACADE CODE:	F-WDNMDR10CLASA
SCALES:	1:100

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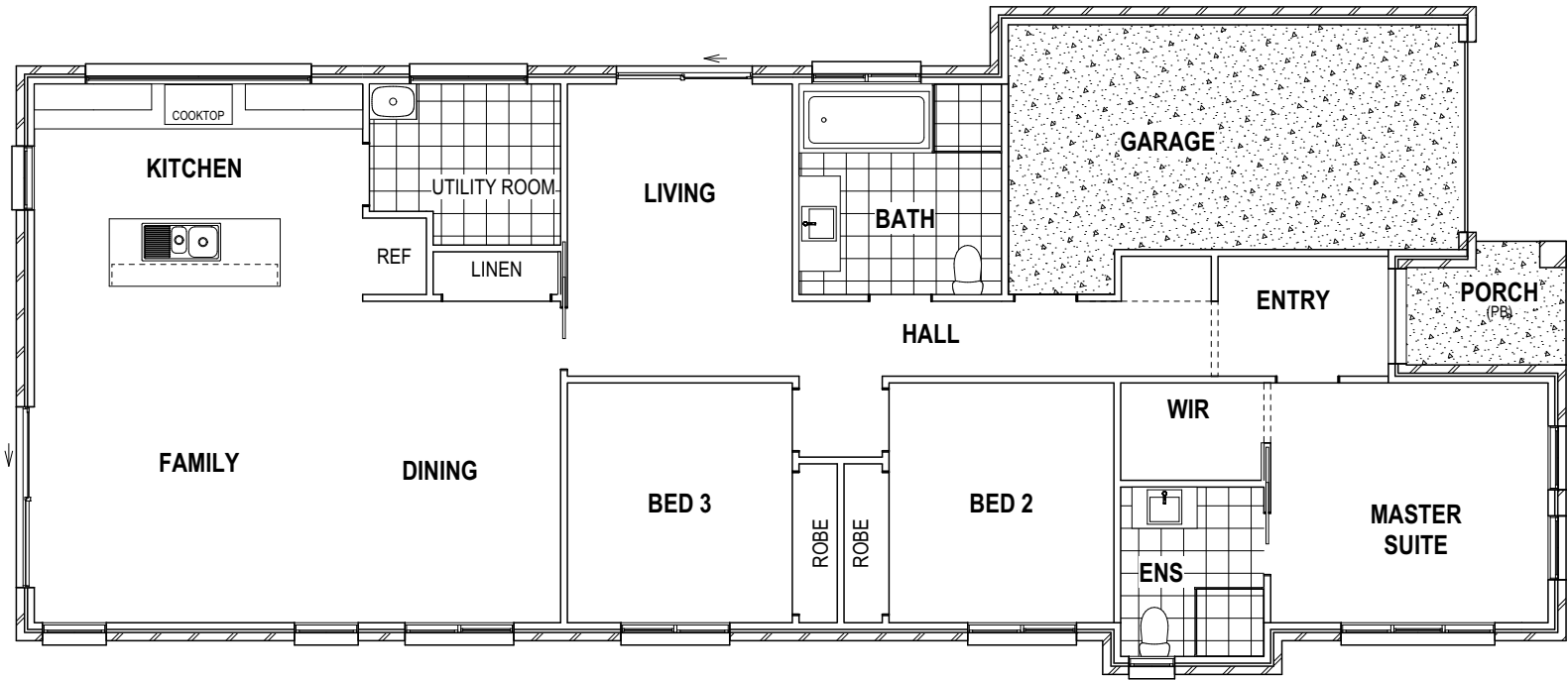
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.  
TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

- NO COVERING
- COVER GRADE CONCRETE
- CARPET
- LAMINATE
- TILE (STANDARD WET AREAS)
- TILE (UPGRADED AREAS)



Development Application: 5.2025.198.1 -  
Development Application - lot 58 Sunningdale  
close, midway point - P1.pdf  
Plans Reference:P1  
Date Received:29/07/2025

BAL-19 BUSHFIRE REQUIREMENTS  
SEE SHEET 1 (COVER SHEET) FOR DETAILS

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5	DRAFT SALES - UPDATE	STL 2025.06.20
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7	PRELIM PLANS - INITIAL ISSUE	TNG 2025.07.21

CLIENT:	VALERIE AMELIA YULERIDGE & CHRISTOPHER TOBIAS G YULER
ADDRESS:	SUNNINGDALE CLOSE, MIDWAY POINT TAS 7171
LOT / SECTION / CT:	58 / - / TBC
COUNCIL:	SORELL COUNCIL

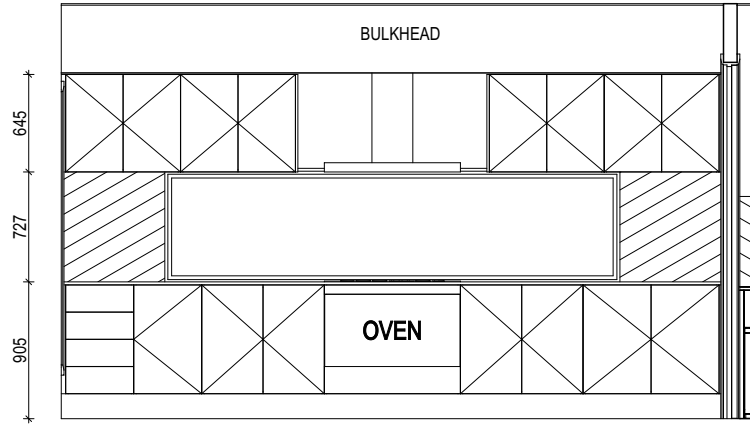
HOUSE DESIGN:	MADRID
FACADE DESIGN:	CLASSIC
SHEET TITLE:	FLOOR COVERINGS
SHEET No.:	9 / 14

HOUSE CODE:	H-WDNMDR10SB
FACADE CODE:	F-WDNMDR10CLASA
SCALES:	

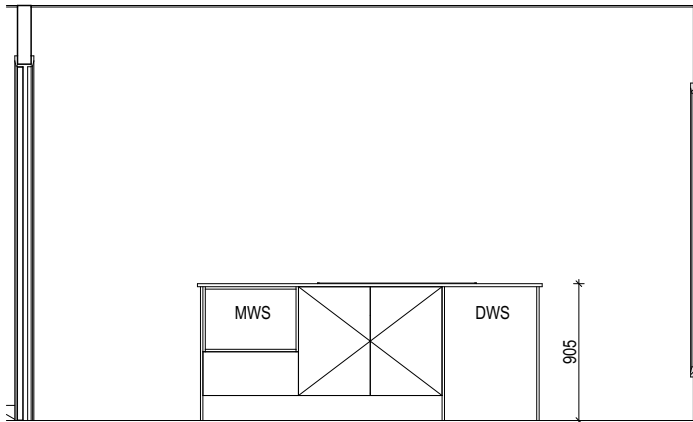
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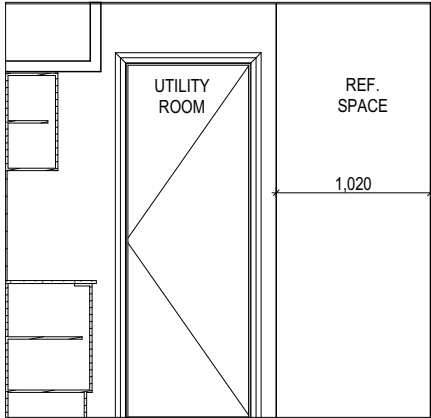
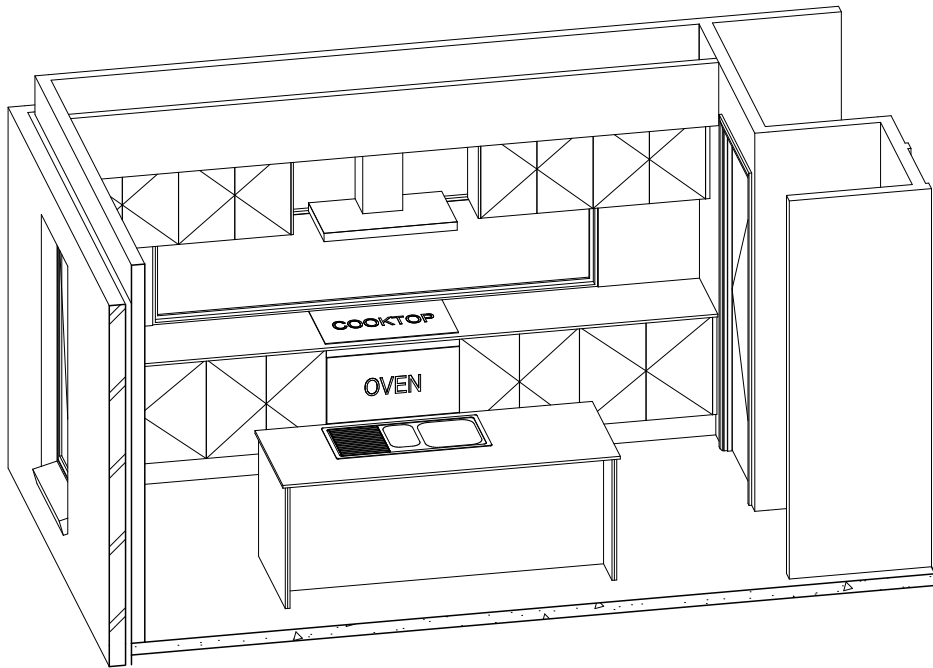
BAL-19 BUSHFIRE REQUIREMENTS  
SEE SHEET 1 (COVER SHEET) FOR DETAILS



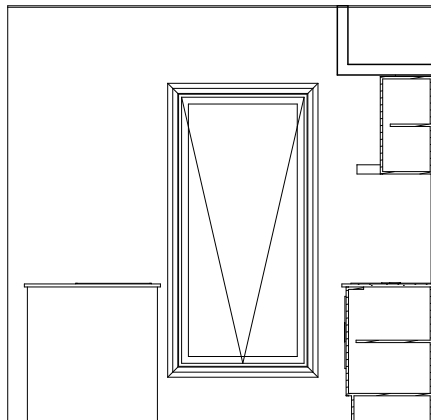
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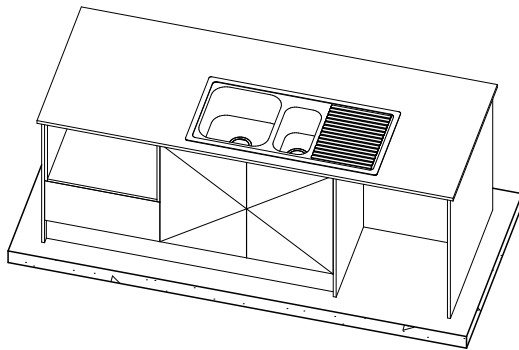
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ELEVATION B  
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ELEVATION D  
Scale: 1:50

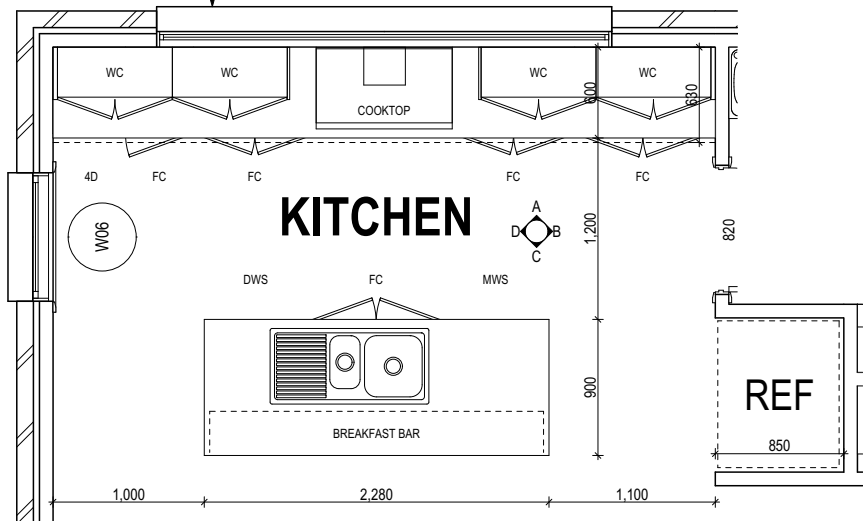


**Sorell Council**  
Development Application: 5.2025.198.1 -  
Development Application - lot 58 Sunningdale  
close, midway point - P1.pdf  
Plans Reference:P1  
Date Received:29/07/2025

REFER TO SHEET 1 (COVER SHEET) FOR  
ALL BUILDING INFORMATION REGARDING:  
- SUSTAINABILITY REQUIREMENTS  
- SITE CLASSIFICATION  
- GENERAL BUILDING INFORMATION

DETAILS DEPICTED ON THIS SHEET ARE A  
REPRESENTATION ONLY. JOINER MAY  
ADJUST CABINETRY AS REQUIRED.


SPLASHBACK WINDOW TO BE CONSTRUCTED IN  
ACCORDANCE WITH W-WIND-KIT001



KITCHEN PLAN  
Scale: 1:50

ALL DIMENSIONS ARE FRAME DIMENSIONS

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	SPECIFICATION: DESIGNER		REVISION		DRAWN		CLIENT: VALERIE AMELIA YULERIDGE & CHRISTOPHER TOBIAS G YULER				HOUSE DESIGN: MADRID		HOUSE CODE: H-WDNMDR10SB		DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.  <b>714234</b>
	COPYRIGHT: © 2025		3	DRAFT SALE PLAN - CT1	HMI	2025.05.15	ADDRESS: SUNNINGDALE CLOSE, MIDWAY POINT TAS 7171				FACADE DESIGN: CLASSIC		FACADE CODE: F-WDNMDR10CLASA		
			4	DRAFT SALES - CT2	STL	2025.06.05	LOT / SECTION / CT: 58 / - / TBC		COUNCIL: SORELL COUNCIL		SHEET TITLE: KITCHEN DETAILS		SHEET No.: 10 / 14	SCALES: 1:50	
			5	DRAFT SALES - UPDATE	STL	2025.06.20									
			6	DRAFT SALES - CORRECTION	STL	2025.07.03									
		7	PRELIM PLANS - INITIAL ISSUE	TNG	2025.07.21										

BAL-19 BUSHFIRE REQUIREMENTS  
SEE SHEET 1 (COVER SHEET) FOR DETAILS



Sorell Council

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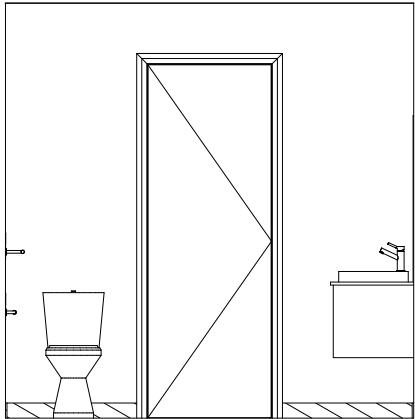
DETAILS DEPICTED ON THIS SHEET ARE A  
REPRESENTATION ONLY

REFER TO THE FOLLOWING DETAILS:  
VANITY DETAILS G-VANI-001  
WINDOW OVER BATH HOB D-WIND-ALU001  
STANDARD BATH HOB D-WETA-BATH003  
WET AREA TILING LAYOUTS D-WETA-TILE002  
SQUARE SET WINDOWS G-WIND-SSET02  
FULL HEIGHT TILING D-LINI-WETA

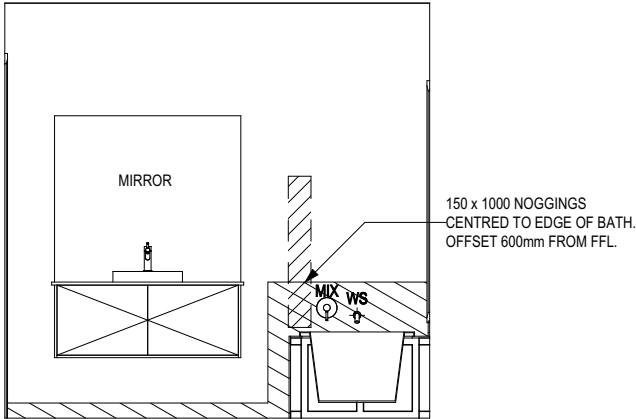


ELEVATION A  
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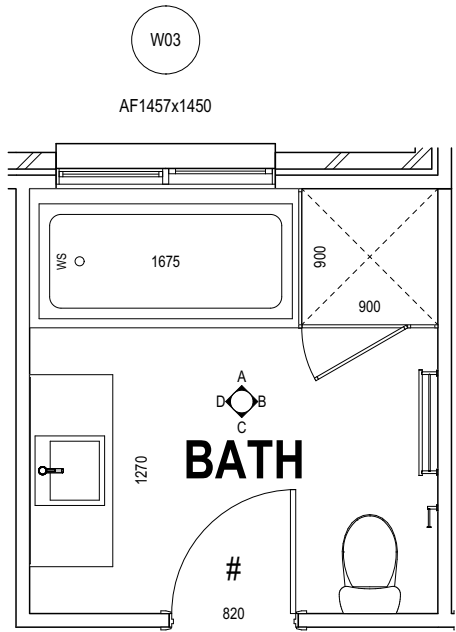
ELEVATION B  
Scale: 1:50



ELEVATION C  
Scale: 1:50



ELEVATION D  
Scale: 1:50



BATHROOM PLAN  
Scale: 1:50

LEGEND

RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER

SHAMPOO RECESS SIZE		STRUCTURAL DIMENSIONS	
"SMALL"	470 x 380mm	WIDTH	HEIGHT
"MEDIUM"	800 x 380mm	548mm	446mm
"LARGE"	1500 x 380mm	878mm	446mm
		1578mm	446mm

REFER WILSON HOMES' DETAIL G-WETA-TILE01 FOR FURTHER DETAIL PRIOR TO INSTALLATION.

THIS PLAN ACCEPTED BY:

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SIGNATURE:

DATE:

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REVISION	DRAWN
3 DRAFT SALE PLAN - CT1	HMI 2025.05.15
4 DRAFT SALES - CT2	STL 2025.06.05
5 DRAFT SALES - UPDATE	STL 2025.06.20
6 DRAFT SALES - CORRECTION	STL 2025.07.03
7 PRELIM PLANS - INITIAL ISSUE	TNG 2025.07.21

CLIENT:	VALERIE AMELIA YULERIDGE & CHRISTOPHER TOBIAS G YULER
ADDRESS:	SUNNINGDALE CLOSE, MIDWAY POINT TAS 7171
LOT / SECTION / CT:	58 / - / TBC
COUNCIL:	SORELL COUNCIL

HOUSE DESIGN:	MADRID
FACADE DESIGN:	CLASSIC
SHEET TITLE:	BATHROOM DETAILS

HOUSE CODE:	H-WDNMDR10SB
FACADE CODE:	F-WDNMDR10CLASA
SHEET No.:	11 / 14
SCALES:	1:50

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714234

BAL-19 BUSHFIRE REQUIREMENTS  
SEE SHEET 1 (COVER SHEET) FOR DETAILS



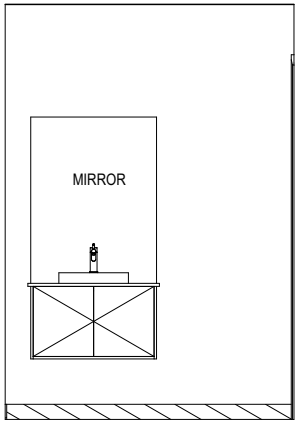
Sorell Council

Development Application: 5.2025.198.1 -  
Development Application - lot 58 Sunningdale  
close, midway point - P1.pdf  
Plans Reference:P1  
Date Received:29/07/2025

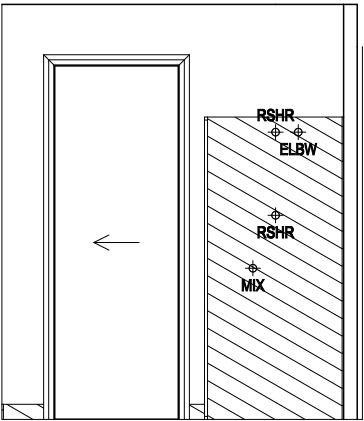
REFER TO SHEET 1 (COVER SHEET) FOR ALL  
BUILDING INFORMATION REGARDING:  
- SUSTAINABILITY REQUIREMENTS  
- SITE CLASSIFICATION  
- GENERAL BUILDING INFORMATION

DETAILS DEPICTED ON THIS SHEET ARE A  
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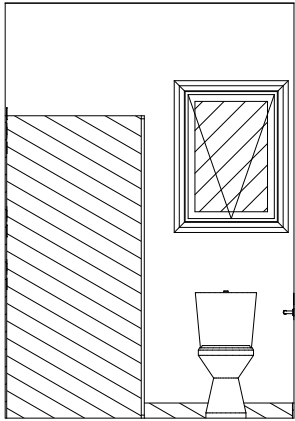
REFER TO THE FOLLOWING DETAILS:  
VANITY DETAILS G-VANI-001  
WINDOW OVER BATH HOB D-WIND-ALU001  
STANDARD BATH HOB D-WETA-BATH003  
WET AREA TILING LAYOUTS D-WETA-TILE002  
SQUARE SET WINDOWS G-WIND-SSET02  
FULL HEIGHT TILING D-LINI-WETA



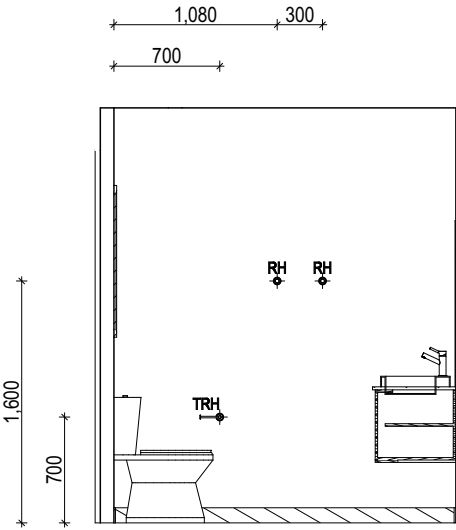
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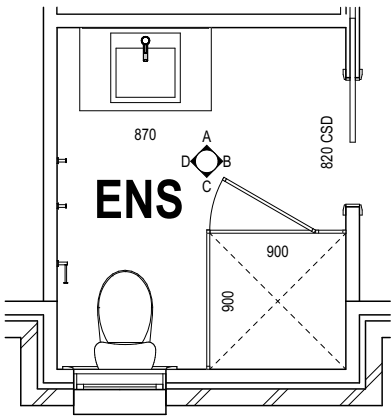
ELEVATION B  
Scale: 1:50



ELEVATION C  
Scale: 1:50



ELEVATION D  
Scale: 1:50



ENSUITE PLAN  
Scale: 1:50

LEGEND

- RSHR RAIL SHOWER  
ROSE SHOWER ROSE  
ELBW SHOWER ELBOW  
CONNECTION  
MIX MIXER TAP  
HT HOT TAP  
CT COLD TAP  
HS HOB SPOUT  
WS WALL SPOUT  
SC STOP COCK  
TRH TOILET ROLL HOLDER  
TR-S TOWEL RAIL - SINGLE  
TR-D TOWEL RAIL - DOUBLE  
TL TOWEL LADDER  
TH TOWEL HOLDER  
TR TOWEL RACK  
TMB TUMBLER HOLDER  
RNG TOWEL RING  
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REVISION		DRAWN	
3	DRAFT SALE PLAN - CT1	HMI	2025.05.15
4	DRAFT SALES - CT2	STL	2025.06.05
5	DRAFT SALES - UPDATE	STL	2025.06.20
6	DRAFT SALES - CORRECTION	STL	2025.07.03
7	PRELIM PLANS - INITIAL ISSUE	TNG	2025.07.21

CLIENT: VALERIE AMELIA YULERIDGE & CHRISTOPHER TOBIAS G YULER	
ADDRESS: SUNNINGDALE CLOSE, MIDWAY POINT TAS 7171	
LOT / SECTION / CT: 58 / - / TBC	COUNCIL: SORELL COUNCIL

HOUSE DESIGN: MADRID		HOUSE CODE: H-WDNMDR10SB	
FACADE DESIGN: CLASSIC		FACADE CODE: F-WDNMDR10CLASA	
SHEET TITLE: ENSUITE DETAILS	SHEET No.: 12 / 14	SCALES: 1:50	

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BAL-19 BUSHFIRE REQUIREMENTS  
SEE SHEET 1 (COVER SHEET) FOR DETAILS

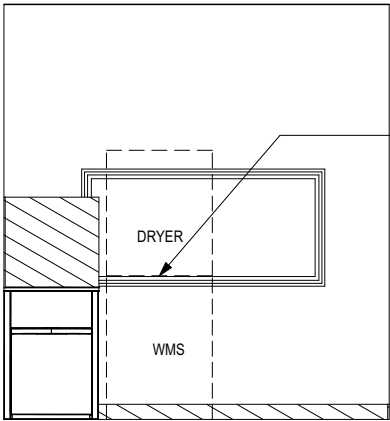


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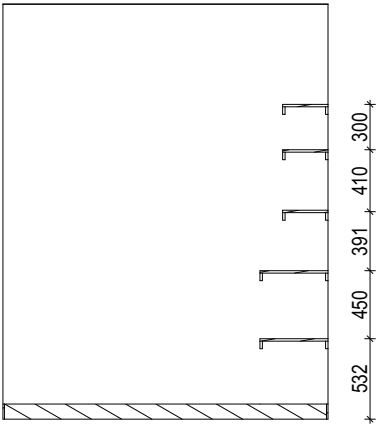
Development Application: 5.2025.198.1 -  
Development Application - lot 58 Sunningdale  
close, midway point - P1.pdf  
Plans Reference:P1  
Date Received:29/07/2025

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- SITE CLASSIFICATION  
- GENERAL BUILDING INFORMATION

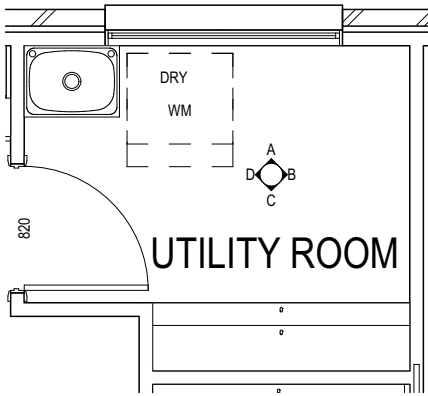
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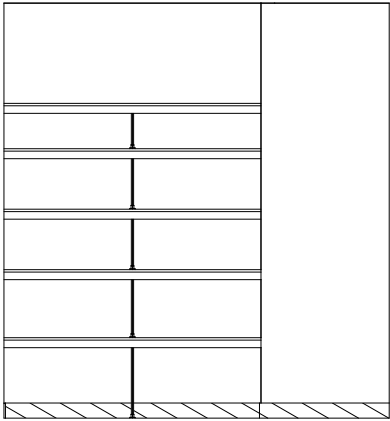
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Scale: 1:50



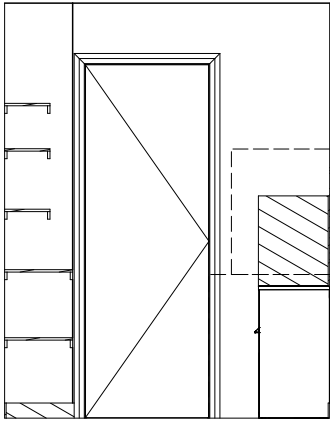
ELEVATION B  
Scale: 1:50



UTILITY ROOM PLAN  
Scale: 1:50



ELEVATION C  
Scale: 1:50



ELEVATION D  
Scale: 1:50

PRELIMINARY

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3	DRAFT SALE PLAN - CT1	HMI 2025.05.15
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CLIENT:	VALERIE AMELIA YULERIDGE & CHRISTOPHER TOBIAS G YULER
ADDRESS:	SUNNINGDALE CLOSE, MIDWAY POINT TAS 7171
LOT / SECTION / CT:	58 / - / TBC
COUNCIL:	SORELL COUNCIL

HOUSE DESIGN:	MADRID	HOUSE CODE:	H-WDNMDR10SB
FACADE DESIGN:	CLASSIC	FACADE CODE:	F-WDNMDR10CLASA
SHEET TITLE:	UTILITY ROOM DETAILS	SHEET No.:	13 / 14
		SCALES:	1:50

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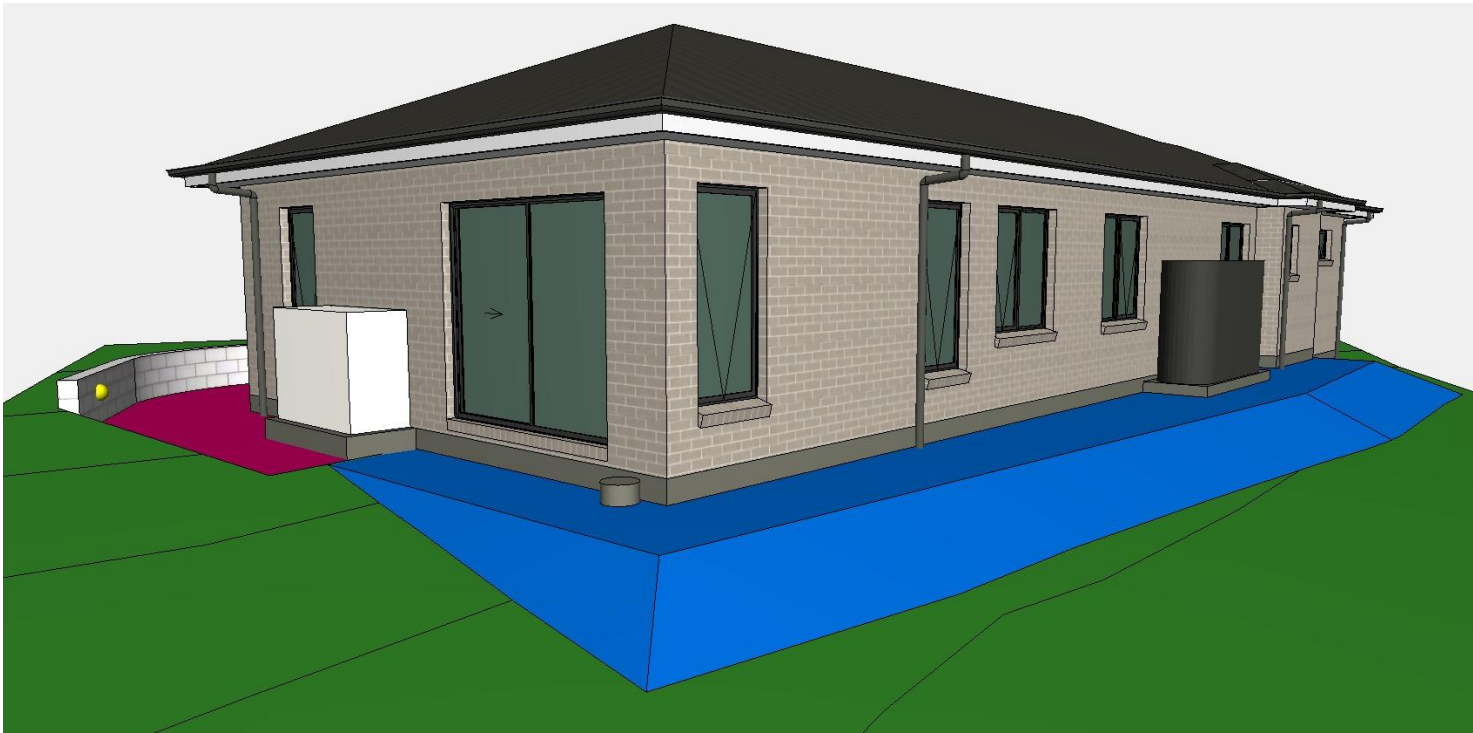




FRONT LEFT 3D




FRONT RIGHT 3D



REAR LEFT 3D



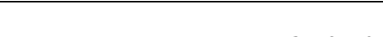
REAR RIGHT 3D

**Sorell Council**

Development Application: 5.2025.198.1 -  
Development Application - lot 58 Sunningdale  
close, midway point - P1.pdf  
Plans Reference:P1  
Date Received:29/07/2025

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	COPYRIGHT: © 2025		3	DRAFT SALE PLAN - CT1	HMI	2025.05.15	ADDRESS: SUNNINGDALE CLOSE, MIDWAY POINT TAS 7171		FACADE DESIGN: CLASSIC		FACADE CODE: F-WDNMDR10CLASA		
			4	DRAFT SALES - CT2	STL	2025.06.05	LOT / SECTION / CT: 58 / - / TBC		SHEET TITLE: 3D VIEWS		SHEET No.: 14 / 14		
			5	DRAFT SALES - UPDATE	STL	2025.06.20	COUNCIL: SORELL COUNCIL		SCALES:				
			6	DRAFT SALES - CORRECTION	STL	2025.07.03							
		7	PRELIM PLANS - INITIAL ISSUE	TNG	2025.07.21								