

## NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

### SITE:

23 PARNELLA ROAD, DODGES FERRY

## PROPOSED DEVELOPMENT: ANCILLARY DWELLING AND OUTBUILDING (CARPORT)

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Monday 15**th **September 2025.** 

Any person may make representation in relation to the proposal by letter or electronic mail (<u>sorell.council@sorell.tas.gov.au</u>) addressed to the General Manager. Representations must be received no later than **Monday 15<sup>th</sup> September 2025**.

**APPLICATION NO: 5.2025.121.1** 

DATE: 29 AUGUST 2025

Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	On Use: Residence			
	Development: Proposed New Ancillary Dwelling & Carport			
Large or complex proposals should be described in a letter or planning report.				
Design and cons	struction cost of proposal:		\$ 200,000	0
Is all, or some th	e work already constructed:		No: 🗵	Yes: L
Location of proposed works:  Street address: 23 Parnella Road Suburb: Dodges Ferry.  Certificate of Title(s) Volume:78			Posto	code: . <b>7173</b>
Current Use of Site	Existing Residence			
Current Owner/s:	Name(s) <b>Sven Frijlink &amp; Ag</b>	nes De	Boer	
Is the Property of Register?	on the Tasmanian Heritage	No: 🗵	Yes: □	If yes, please provide written advice from Heritage Tasmania
Is the proposal t than one stage?	o be carried out in more	No: 🗵	Yes: □	If yes, please clearly describe in plans
Have any potent been undertakei	cially contaminating uses n on the site?	No: 🗷	Yes: □	If yes, please complete the Additional Information for Non-Residential Use
Is any vegetation	proposed to be removed?	No: X	Yes: □	If yes, please ensure plans clearly show area to be impacted
or Council?	owned by either the Crown		Yes: □	If yes, please complete the Council or Crown land section on page 3
complete the Ve	hicular Crossing (and Associa	ted Wo	orks) appli	cation for Sorell Council
iittps://www.sor	ell.tas.gov.au/services/engin	<u>eering/</u>		Development Application: 5.2025.121.1 - Development Application 23 Parnella Road Dodges Ferry P1.pdf

(03) 6269 0000

sorell.council@sorell.tas.gov.au

47 Cole Street Sorell TAS 7172 PO Box 126 Sorell TAS 7172



Plans Reference:P1 Date Received:9/05/2025

#### Declarations and acknowledgements

- I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land.
- I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council's representatives to enter the land at any time during normal business hours.
- I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies.
- I/we declare that, in accordance with s52(1) of the Land Use Planning and Approvals Act 1993, that I have notified the owner(s) of the intention to make this application.
- I/we declare that the information in this application is true and correct.

Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council's Privacy Policy available on the Council website.

- I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.
- Where the General Manager's consent is also required under s.14 of the Urban Drainage Act 2013, by making this application I/we also apply for that consent.

Applicant Signature:	Signature:	09-05-23
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#### Crown or General Manager Land Owner Consent

If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the Land Use Planning and Approvals Act 1993).

#### Please note:

- If General Manager consent if required, please first complete the General Manager consent application form available on our website www.sorell.tas.gov.au
- If the application involves Crown land you will also need a letter of consent.
- Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.

I		being responsible for the
administration of land at		Sorell Council
declare that I have given permiss	sion for the making of this application for	Development Application: 5.2025.121.1 - Development Application 23 Parnella Road, Dodges Ferry P1.pdf Plans Reference:P1 Date Received:9/05/2025
Signature of General Manager, Minister or Delegate:	Signature:	Date:







## **RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



#### SEARCH OF TORRENS TITLE

VOLUME	FOLIO
78432	1
EDITION	DATE OF ISSUE
6	15-Jun-2024

SEARCH DATE : 09-May-2025 SEARCH TIME : 02.30 PM

#### DESCRIPTION OF LAND

Parish of FORCETT, Land District of PEMBROKE Lot 1 on Diagram 78432 (formerly being 313-23D) Derivation: Part of 547 Acs. Gtd. to T Macdowell Prior CT 3079/71

#### SCHEDULE 1

C373413 TRANSFER to SVEN DAVID FRIJLINK Registered 17-May-2002 at 12.01 PM

#### SCHEDULE 2

Reservations and conditions in the Crown Grant if any A45316 FENCING CONDITION in Transfer E379707 MORTGAGE to Westpac Banking Corporation Registered 15-Jun-2024 at 12.02 PM

#### UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



Development Application: 5.2025.121.1 Development Application 23 Parnella Road,
Dodges Ferry P1.pdf
Plans Reference:P1
Date Received:9/05/2025

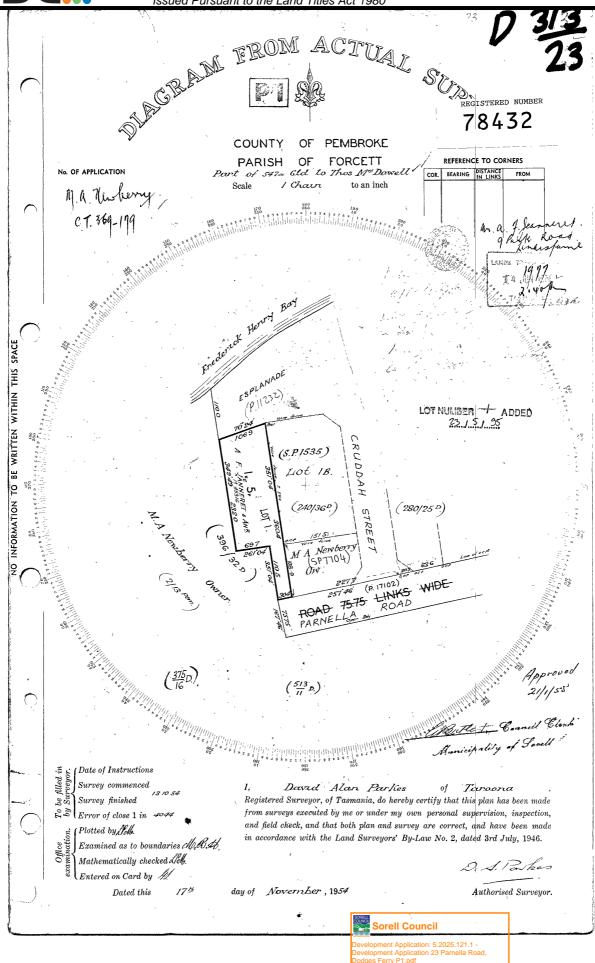


## **FOLIO PLAN**

RECORDER OF TITLES



Issued Pursuant to the Land Titles Act 1980



Search Date: 09 May 2025

Search Time: 02:30 PM

Volume Number: 78432

Revision Number: 01

Page 1 of 1



## PROPOSED ANCILLARY DWELLING & CARPORT FOR: DE BOER & FRIJLINK

23 PARNELLA ROAD, DODGES FERRY TAS 7173

VOLUME: 78432 FOLIO: 1 LOT NO: 1

WIND CLASS: N3/4 CLIMATE ZONE: 7 SITE AREA: 1138 m<sup>2</sup> BUILDING CLASS: 1a

BAL: N/A ALPINE AREA: N/A BCA FIGURE 3.7.5.2

SOIL CLASS: TBC

CORROSION ENVIRONMENT: N/A - FOR STEEL SUBJECT TO THE INFLUENCE OF SALT WATER, BREAKING SURF OR HEAVY INDUSTRIAL AREAS, REFER TO BCA SECTION 3.4.2.2 & BCA TABLE 3.4.4.2 CLADDING AND FIXINGS TO MANUFACTURER'S RECOMMENDATIONS

OTHER HAZARDS: N/A - HIGH WIND, EARTHQUAKE, FLOODING, LANDSLIP, DISPERSIVE SOILS, SAND DUNES, MINE SUBSIDENCE, LANDFILL, SNOW & ICE OR OTHER RELEVANT FACTORS

1 COVER PAGE

#### COMPLIANCE SET

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Development Application: 5.2025.121.1 - Development Application 23 Parnella Road, Dodges Ferry P1.pdf Plans Reference:P1 Date Received:9/05/2025

## **DE BOER & FRIJLINK**

NEW ANCILLARY DWELLING & CARPORT 23 PARNELLA ROAD,

**DODGES FERRY, TAS 7173** DATE: 9/5/2025 SIZE: A2 SCALE: JOB: #ATT1646 DRAWN: N VALENTINE



## LOW DENSITY RESIDENTIAL TASMANIAN PLANNING SCHEME USE STANDARDS

10.3.1 Disc	iscretionary Use	Services or Ro (a) 8.00am t (b) 9.00am t (c) nil on Su  A2 External lighting	eration for a use listed as Discretionary, excluding Emergency Residential use, must be within: to 6.00pm Monday to Friday; to 12.00 noon Saturday; and sunday and public holidays.	Services or adjacent se (a) the tin	peration for a use listed as Discretionary, excluding Emergency r Residential use, must not cause an unreasonable loss of amenity to ensitive uses, having regard to:	COMPLIES	The proposal complies given the exclusion of the ancillary dwelling (residence) and carport.
				(b) noise	ming, duration or extent of vehicle movements; and or other emissions.		
		security lighting	lighting must be baffled so that direct light does not extend into the	adjacent se  (a) the int  (b) the en  (c) the typ  (d) the im	d as Discretionary must not cause an unreasonable loss of amenity to ensitive uses, having regard to: tensity and scale of the use; missions generated by the use; pe and intensity of traffic generated by the use; apact on the character of the area; and seed for the use in that location.	COMPLIES	The proposal complies given the exclusion of the ancillary dwelling (residence) and carport.
		vehicles for a Residential us (a) 7:00am t (b) 9:00am t	vehicle movements and the unloading and loading of commercial a use listed as Discretionary, excluding Emergency Services or use, must be within the hours of:  to 5:00pm Monday to Friday;  to 12 noon Saturday; and sunday and public holidays.	vehicles for Residential sensitive us (a) the tin (b) the nu (c) the siz (d) manor reversing a (e) any expression of the control of the contr	al vehicle movements and the unloading and loading of commercial r a use listed as Discretionary, excluding Emergency Services or I use, must not cause an unreasonable loss of amenity to adjacent ses, having regard to: me and duration of commercial vehicle movements; umber and frequency of commercial vehicle movements; ze of commercial vehicles involved; neuvring required by the commercial vehicles, including the amount of and associated warning noise; xisting or proposed noise mitigation measures between the vehicle areas and sensitive use; tial conflicts with other traffic; and ng levels of amenity.	COMPLIES	The proposal complies given the exclusion of the ancillary dwelling (residence) and carport.
		A4 No Acceptable	le Solution.	adjacent se  (a) the int  (b) the en  (c) the typ  (d) the im	d as Discretionary must not cause an unreasonable loss of amenity to ensitive uses, having regard to: tensity and scale of the use; missions generated by the use; pe and intensity of traffic generated by the use; and the character of the area; and the use in that location.	PERFORMANCE CRITERIA APPLIES	(a) The proposed new ancillary dwelling will be of similar proportions to the existing structure on site and therefore will not cause any loss of amenity to the neighbouring dwellings.  The proposed new carport will be located on the boundary, but given the setback of the adjacent property, there will be no significant impact onto the adjoining property / neighbour  (b) No emissions will be generated by the use of either the carport or the ancillary dwelling, other than those normal to a residence.  (c) The intensity of the traffic generated by the use will only be marginally increased with the new ancillary dwelling, but given this can only house 1 person, it's not expected that this will have any significant impact on the traffic in the area.  (d) There will be no perceived impact on the character of the area, by way of this new development, given that this development is in line with many other properties within the immediate and local neighbourhood area.  (e) There is a significant need for an ancillary dwelling within the local area, given the shortage of houses. the proposed carport is required to protect our clients cars from the prevailing weather, given the exposed area of this location.  Sorell Council  Development Application: 5.2025.121.1 - Development Application: 23 Parnella Road, Dodges Ferry P1.pdf Plans Reference.P1 Date Received:9/05/2025
							DE BOER & FRIJL  NEW ANCILLARY DWELLING & CARPORT

23 PARNELLA ROAD, DODGES FERRY, TAS 7173

DATE: 9/5/2025 SIZE: A2 SCALE:
JOB: #ATT1646 DRAWN: N VALENTINE
EMAIL: NIK@THEATTIC.NET.AU

## LOW DENSITY RESIDENTIAL TASMANIAN PLANNING SCHEME DEVELOPMENT STANDARDS FOR BUILDINGS AND WORKS

ME PROVISION	ACCEPTABLE SOLUTION	PERFORMANCE CRITERIA	COMPLIANCE	DEVELOPMENT RESPONSE
Building Height	A1 A dwelling must have a building height not more than 8.5m.	P1 The height of dwellings must be compatible with the streetscape and not cause an unreasonable loss of amenity to adjoining properties having regard to:  (a) the topography of the site;  (b) the height of buildings on the site and adjacent properties;  (c) the bulk and form of existing and proposed buildings;  (d) sunlight to habitable rooms and private open space of dwellings; and  (e) any overshadowing of adjoining properties.	COMPLIES	The proposed structure will be under 8m the required height limit of 8.5m.
.3 Setback	A1 Dwellings, excluding protrusions that extend not more than 0.9m into the front setback, must have a setback from a frontage not less than 8m.	P1 The siting of a dwelling must be compatible with the streetscape and character of development existing on established properties in the area, having regard to:  (a) the topography of the site;  (b) the setbacks of surrounding buildings;  (c) the height, bulk and form of existing and proposed buildings;  (d) the appearance when viewed from roads and public open space adjacent to the site; and  (e) the safety of road users.	PERFORMANCE CRITERIA APPLIES	The proposed new carport and ancillary dwelling extension will not alter the existing front setback, however given this is technically considered an internal lot and the carport will be the most front facing structure, a variation will be required.  The proposed new carport will be set back significantly from the main street, so we believe a variation should be granted on this basis, given that an attempt has been made to ensure that this carport is further away from the road, without causing a significant impact onto the existing dwelling or the adjoining properties.  (a) The topography of the site is such that it will reduce the any visible impact of the new carport (b) The setbacks of the surrounding buildings will not have any bearing / impact on the new carport. (c) The new carport and ancillary dwelling will be significantly recessed from the street frontage, due to the slope of the block, so any increase in setback (from the internal lot frontage) will be mitigated. (d) The new carport and ancillary dwelling will be visually recessed and therefore the height, bulk and form of these structures will not pose an issue.  (e) The proposed carport and ancillary dwelling will not post any safety risks to road users.
	Dwellings, excluding outbuildings with a building height of not more than 2.4m protrusions that extend not more than 0.9m horizontally from the building, mus have a setback from side and rear boundaries of not less than 5m.	,		The proposed carport and ancillary dwelling will be located closer than 5m to the side boundaries, primarily due to constraints (size) and slope of the block. A variation is therefore required.  (a) The proposed carport has been placed on the boundary, due to the significant topography of the site, as any alternate location would require even more fill and excavation to occur, in addition to more impermeable landscaping, to support the traffic and navigation of these cars on site. This would result in a worse outcome for the permeability of the site, along with causing a significant increase in costs.  The proposed ancillary dwelling will be occupying the same general area of the existing structure on site, so it is not felt that the minor increase in floor area will result in any significant impact to the adjoining properties, despite the existing structure already being located less than 5m to the boundary.  (b) As above, the size shape and orientation of the site dictates that the new carport would be best placed on the boundary at the end of the current driveway, as currently proposed.  Likewise, the proposed ancillary dwelling is best placed in the current position of the exiting structure on site, as any alternate location would result in significant changes to the site.  (c) The are many buildings located within the surrounding area that are located either on the boundary, or within close proximity to the boundary, so we do not feel that the proposed will have any material impact on the character of the neighbourhood.  (d) The height of the proposed buildings has been minimised as much as possible, however given the significant slope of the block, it is noted that the height of the carport (for example) is higher than the standard height of 2.4m, given that we are required to account for the natural slope of the block, when retaining the carport slab and structure. The proposed ancillary dwelling height will not have any major impact on the adjoining properties and the minor increase in height is again d
	Development Application: 5.2025.121.1 - Development Application 23 Parnella Road, Dodges Ferry P1.pdf Plans Reference:P1 Date Received:9/05/2025			NEW ANCILLARY DWELLING & CARPORT 23 PARNELLA ROAD, DODGES FERRY, TAS 7173  DATE: 9/5/2025 SIZE: A2 SCALE: JOB: #ATT1646 DRAWN: N VALENTINE

## LOW DENSITY RESIDENTIAL TASMANIAN PLANNING SCHEME DEVELOPMENT STANDARDS FOR BUILDINGS AND WORKS

СНЕМЕ	PROVISION	ACCEPTABLE SOLUTION	PERFORMANCE CRITERIA	COMPLIANCE	DEVELOPMENT RESPONSE
4	Site Coverage	A1 Dwellings must have a site coverage of not more than 30%.	P1 The site coverage of dwellings must be consistent with that existing on established properties in the area, having regard to:  (a) the topography of the site;  (b) the capacity of the site to absorb runoff;  (c) the size and shape of the site;  (d) the existing buildings and any constraints imposed by existing development;  (e) the provision for landscaping and private open space;  (f) the need to remove vegetation; and  (g) the site coverage of adjacent properties.	COMPLIES	The proposed new carport and ancillary dwelling extension will take the total site coverage up to approx 314sqm, which equals an approximate site coverage of 28%, so this development will therefore comply.
5	Frontage Fences	A1 No Acceptable Solution.	P1 A fence (including a free-standing wall) for a dwelling within 4.5m of a frontage must:  (a) provide for security and privacy, while allowing for passive surveillance of the road; and (b) be consistent with the height and transparency of fences in the street, having regard to: (i) the topography of the site; and (ii) traffic volumes on the adjoining road.	NOT APPLICABLE	Sorell Council  Development Application: 5.2025.121.1 - Development Application: 23 Parmella Road, Dodges Ferry P1.pdf Plans Reference:P1 Date Received:P05/02/25
					DE BOER & FRIJ  NEW ANCILLARY DWELLING & CARPORT 23 PARNELLA ROAD,

23 PARNELLA ROAD, DODGES FERRY, TAS 7173

EMAIL: NIK@THEATTIC.NET.AU

DATE: 9/5/2025 SIZE: A2 SCALE: JOB: #ATT1646 DRAWN: N VALENTINE

## CODE OVERLAY - NATURAL ASSETS CODE WATERWAY AND COSTAL PROTECTION AREA & BUSHFIRE PRONE AREAS TASMANIAN PLANNING SCHEME

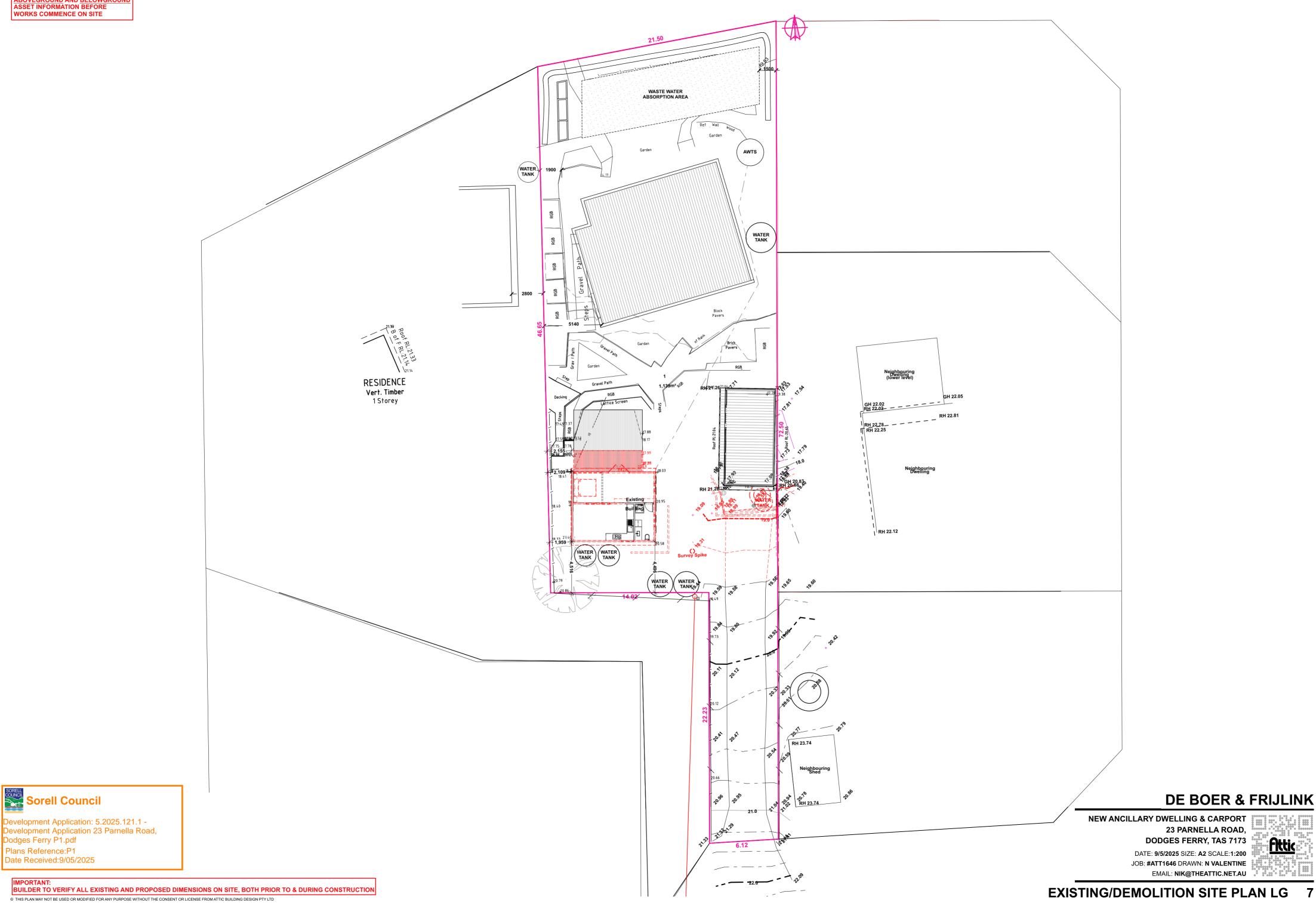
CODE	PROVISION	ACCEPTABLE SOL	LUTION	PERFORMANCE CRITERIA	COMPLIANCE	DEVELOPMENT RESPONSE
7.6	Development Standards	(a) be within a bui scheme; (b) in relation to a than 5m in width; or (c) if within the sparamp, car park, jetty	s within a waterway and coastal protection area must: Iding area on a sealed plan approved under this planning Class 4 watercourse, be for a crossing or bridge not more atial extent of tidal waters, be an extension to an existing boat at marina, marine farming shore facility or slipway that is not the area of the facility existing at the effective date.		COMPLIES	NOT APPLICABLE
			s within a future coastal refugia area must be located within a ealed plan approved under this planning scheme.		COMPLIES	NOT APPLICABLE
		· ·	a waterway and coastal protection area or a future coastal ot involve a new stormwater point discharge into a and or lake.		COMPLIES	NOT APPLICABLE
		A4 Dredging or reclamate area or a future coast	ation must not occur within a waterway and coastal protection stal refugia area.		COMPLIES	NOT APPLICABLE
		· ·	vorks or watercourse erosion or inundation protection works in a waterway and coastal protection area or a future coastal		COMPLIES	NOT APPLICABLE
13.6.1	Development Standards	, ,	dited person certifies that there is an insufficient increase in warrant the provision of hazard management areas as part of	P1 A proposed plan of subdivision shows adequate hazard management areas in relation to the building areas shown on lots within a bushfire-prone area, having	PENDING BAL ASSESSMNT	A BAL assessment will be completed once planning approval has been obtained, however we have no reason to believe that any special construction requirements will be imposed, other than those in line with the existing dwelling.
	Standards	a subdivision; or  (b) The proposed plate  (i) shows all lots that those developed at a subdivision (iii) shows the buildir (iii) shows hazard meach building area to distances required for Construction of build (iv) is accompanied individual lots and the hazard management required for BAL 19 of buildings in bushfor (c) if hazard management proposed subdivision owner of that land to be registered on the	an of subdivision: t are within or partly within a bushfire-prone area, including each stage of a staged subdivision;	regard to:  (a) the dimensions of hazard management areas; (b) a bushfire risk assessment of each lot at any stage of staged subdivision; (c) the nature of the bushfire-prone vegetation including the type, fuel load, structure and flammability; (d) the topography, including site slope; (e) any other potential forms of fuel and ignition sources; (f) separation distances from the bushfire-prone vegetation not unreasonably restricting subsequent development; (g) an instrument that will facilitate management of fuels located on land external to the subdivision; and (h) any advice from the TFS.	AGGEGGMINT	Measures have also been taken to specify bushfire resistant materials  Sorell Council  Development Application: 5.2025.121.1 - Development Application 23 Parnella Road, Dodges Ferry P1.pdf Plans Reference:P1 Date Received:9/05/2025  DE BOER & FRIJLIN  NEW ANCILLARY DWELLING & CARPORT 23 PARNELLA ROAD,
						DODGES FERRY, TAS 7173  DATE: 9/5/2025 SIZE: A2 SCALE:  JOB: #ATT1646 DRAWN: N VALENTINE

JOB: #ATT1646 DRAWN: N VALENTINE

## **CODE OVERLAY - NATURAL ASSETS CODE** LOW COASTAL EROSION HAZARD BAND & AIRPORT OBSTACLE LIMITATION AREA TASMANIAN PLANNING SCHEME

CODE	PROVISION	ACCEPTABLE SOLUTION	PERFORMANCE CRITERIA	COMPLIANCE	DEVELOPMENT RESPONSE
10.6.1	Development Standards	A1 No Acceptable Solution.	Buildings and works, excluding coastal protection works, within a coastal erosion hazard area must have a tolerable risk, having regard to:  (a)  whether any increase in the level of risk from coastal erosion requires any specific hazard reduction or protection measures;  (b)  any advice from a State authority, regulated entity or a council; and  (c)  the advice contained in a coastal erosion hazard report.  P1.2  A coastal erosion hazard report demonstrates that:  (a)  the building and works:  (i)  do not cause or contribute to any coastal erosion on the site, on adjacent land or public infrastructure; and  (ii)  can achieve and maintain a tolerable risk from a coastal erosion event in 2100 for the intended life of the use without requiring any specific coastal erosion protection works;  (b)  buildings and works are not located on actively mobile landforms, unless for engineering or remediation works to protect land, property and human life.	COMPLIES	The proposed development will not be located within this hazard band and therefore this development should comply.
16.6	Development Standards	A1 Buildings and works within an airport obstacle limitation area associated with a Commonwealth-leased airport that exceed the specified height limit shown on the airport obstacle limitation area overlay applicable for the site of the development must have approval from the relevant Commonwealth department under the Airports Act 1996 (Commonwealth).	P1 No Performance Criterion.	COMPLIES	The proposed development will not exceed the relevant height limit and therefore this will comply.
		A2 No Acceptable Solution.	P1 Buildings and works within an airport obstacle limitation area associated with a non-Commonwealth-leased airport that exceed the specified height limit shown on the airport obstacle limitation area overlay applicable for the site of the development must not create an obstruction or hazard for the operation of aircraft, having regard to any advice from:  (a) Airservices Australia;  (b) the Civil Aviation Safety Authority; and  (c) the airport operator.	COMPLIES	The proposed development will not exceed the relevant height limit and therefore this will comply.  Sorell Council  Development Application: 5.2025.121.1 - Development Application: 23 Parnella Road, Dodges Ferry P1, pdf Plans Reference:P1 Date Received:9/05/2025  DE BOER & FRIJLINK  NEW ANCILLARY DWELLING & CARPORT 23 PARNELLA ROAD, DODGES FERRY, TAS 7173 DATE: 9/5/2025 SIZE: A2 SCALE: JOB: #ATT1646 DRAWN: N VALENTINE EMAIL: NIK@THEATTIC.NET.AU

ALL CONTRACTORS TO OBTAIN ABOVEGROUND AND BELOWGRO ASSET INFORMATION BEFORE WORKS COMMENCE ON SITE

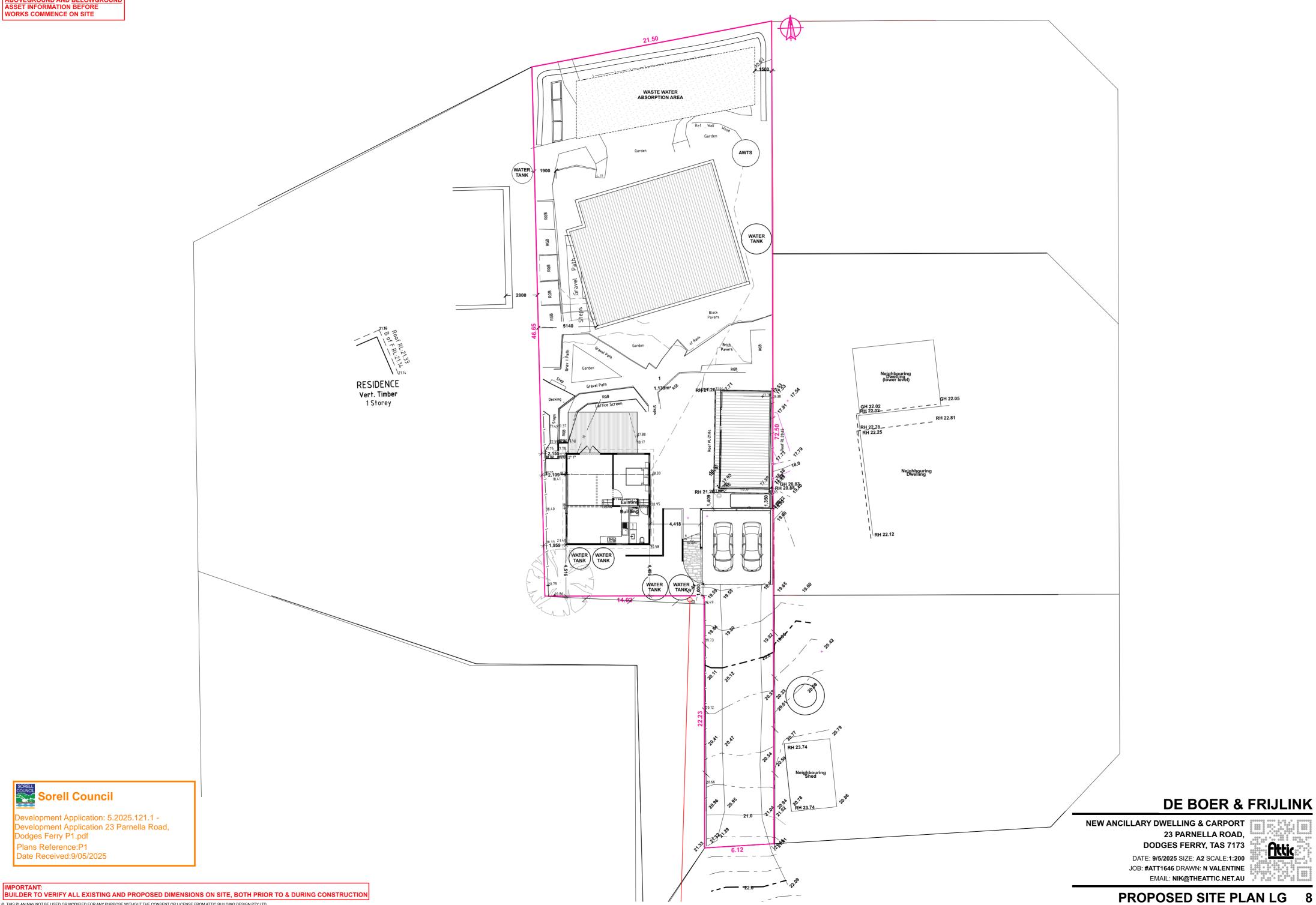


Dodges Ferry P1.pdf

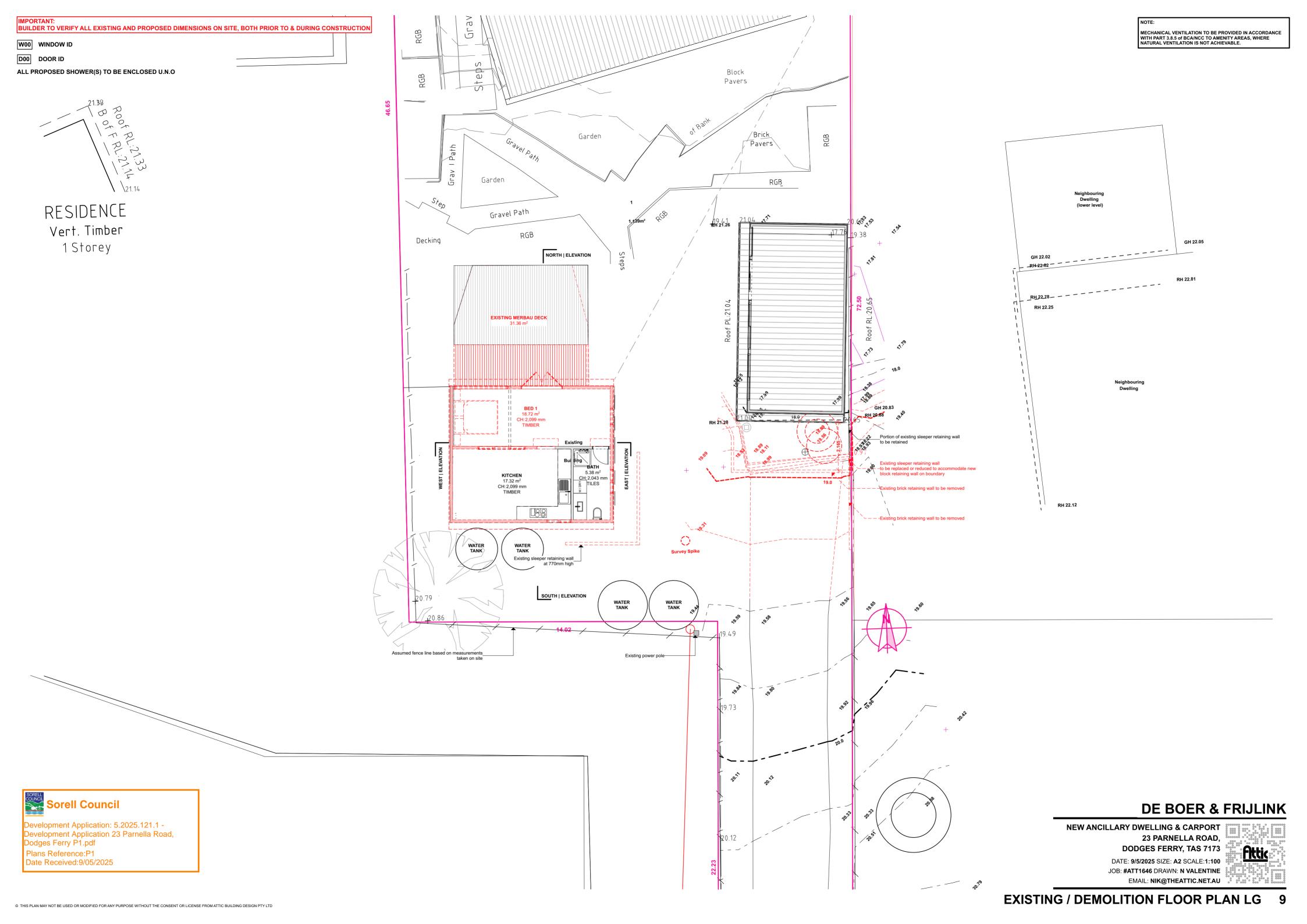
Plans Reference:P1

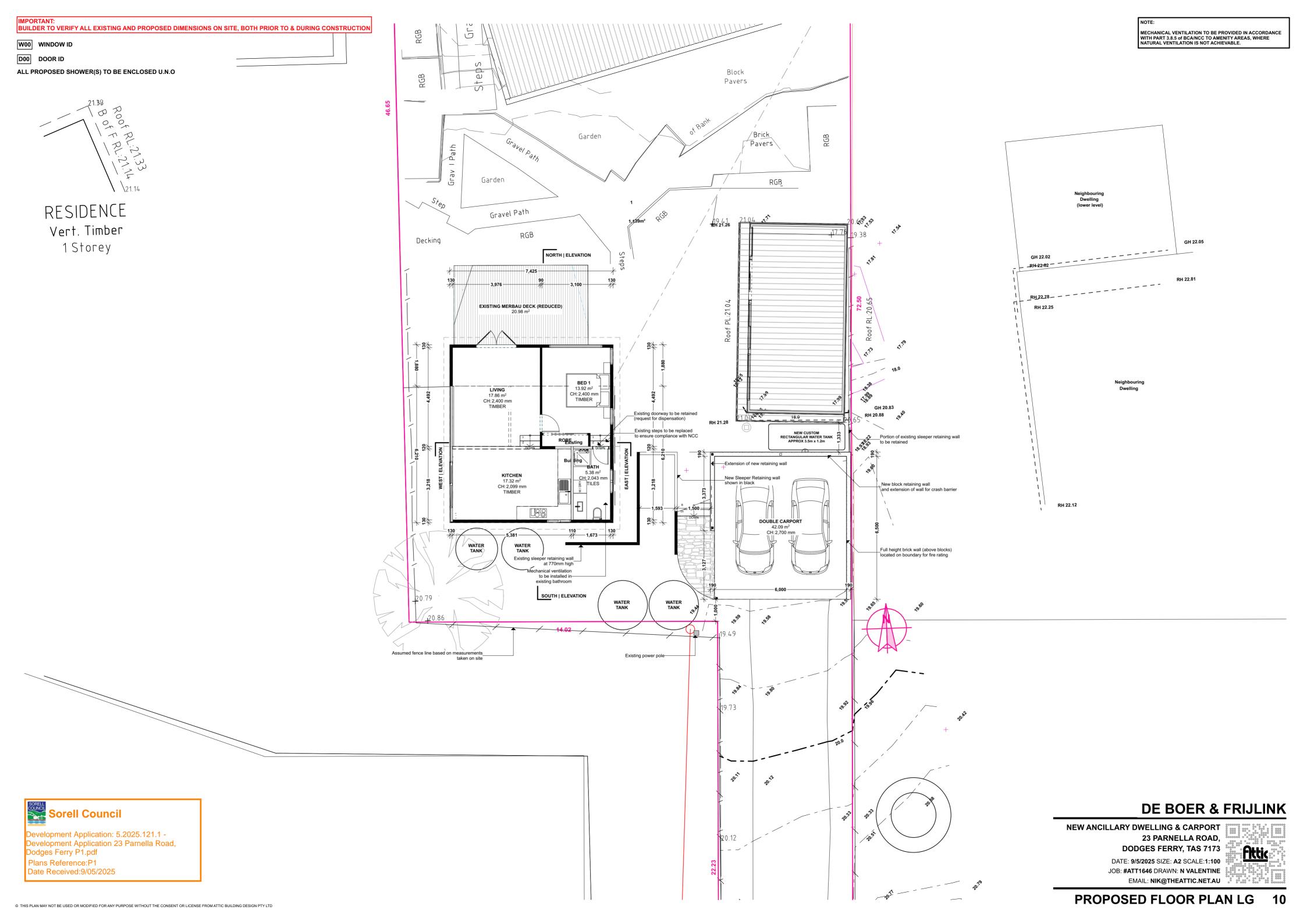
Date Received:9/05/2025

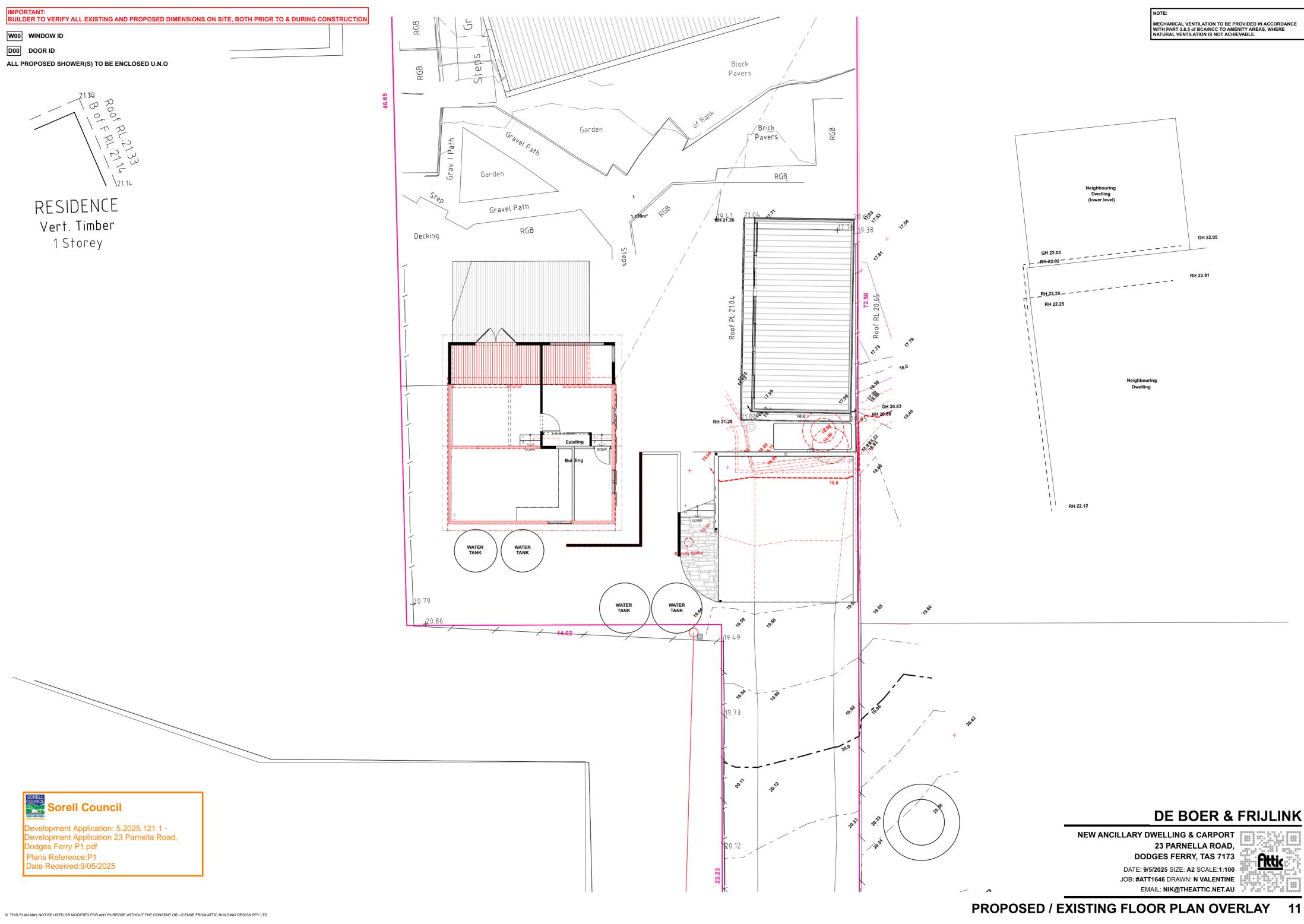
Sorell Council

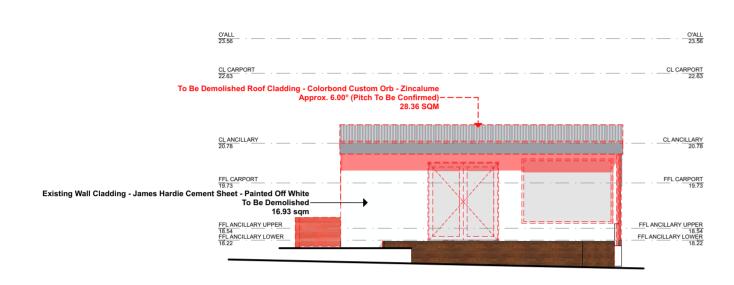


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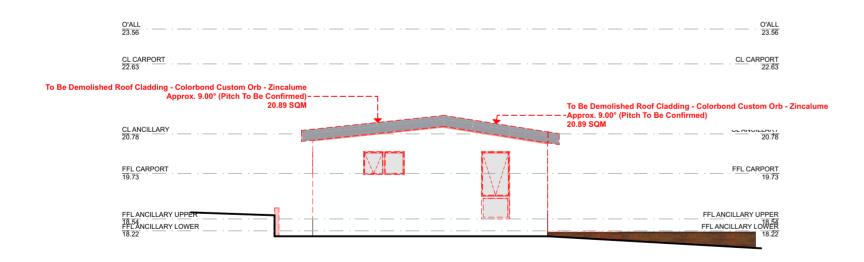








#### NORTH | ELEVATION

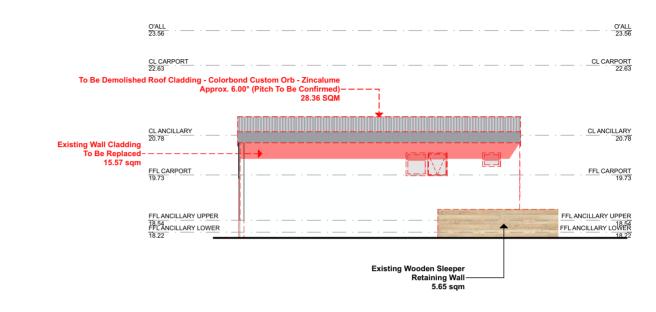


\* DECALS : MIN. 20mm HIGH DECALS TO FULL HEIGHT GLAZING LOCATED BETWEEN 700MI AND 1200MM HIGH FROM FINISHED FLOOR LEVEL

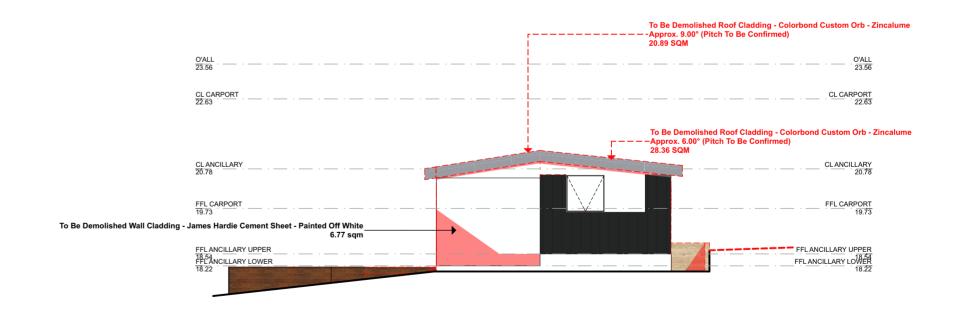
REFER TO APPROVED ENERGY REPORT FOR GLAZING U-VALUES & SHGC

REFER TO ELEVATIONS FOR SPECIFICATION OF OBCURE GLAZING

#### EAST | ELEVATION



SOUTH | ELEVATION



WEST | ELEVATION



## **DE BOER & FRIJLINK**

**NEW ANCILLARY DWELLING & CARPORT** 23 PARNELLA ROAD, **DODGES FERRY, TAS 7173** 

DATE: 9/5/2025 SIZE: A2 SCALE:1:100

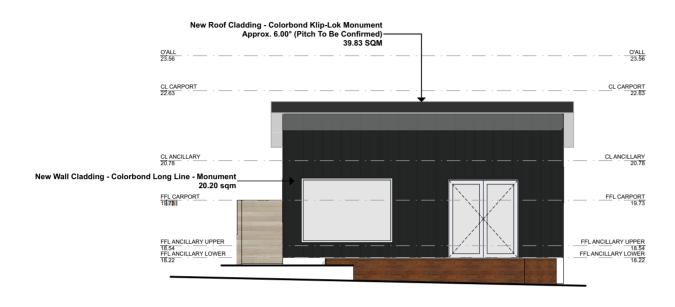
JOB: #ATT1646 DRAWN: N VALENTINE EMAIL: NIK@THEATTIC.NET.AU

MPORTANT: LLL WINDOWS LOCATED 2.0m ABOVE THE SURFACE BENEATH ARE TO BE PROVIDED WITH WINDOW RESTRICTORS TO REFLECT A IAXIMUM OPENING OF 124mm, TO RESIST AN OUTWARD HORIZONTAL ACTION OF 250N IN ACCORDANCE WITH NCC PART 3.9.2.5

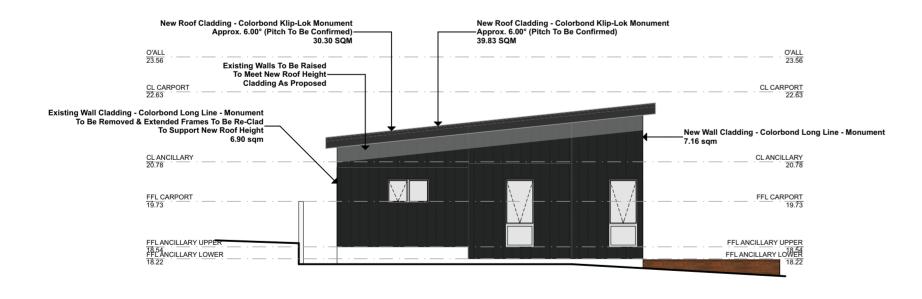
WHERE THE RESTRICTING DEVICE OR SCREEN CAN BE REMOVED, UNLOCKED OR OVERRIDDEN, A PERMANENT BARRIER WITH A HEIGHT NOT LESS THAN 865m ABOVE THE FLOOR IS REQUIRED TO THE OPENABLE WINDOW, IN ADDITION TO WINDOW PROTECTION. THE BARRIER MUST NOT HAVE ANY HORIZONTAL OR NEAR HORIZONTAL ELEMENTS BETWEEN 150mm AND 760mm ABOVE THE FLOOR THAT FACILITATE CLIMBING.

GRADE 'A' SAFETY GLAZING IS REQUIRED TO ALL WINDOWS WITHIN 500mm OFF THE FLOOR, WITHIN 300mm OF A DOOR, WITHIN 2000mm OFF THE FLOOR IN ALL WET AREAS AND IS SUSCEPTIBLE TO HUMAN IMPACT.

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### NORTH | ELEVATION

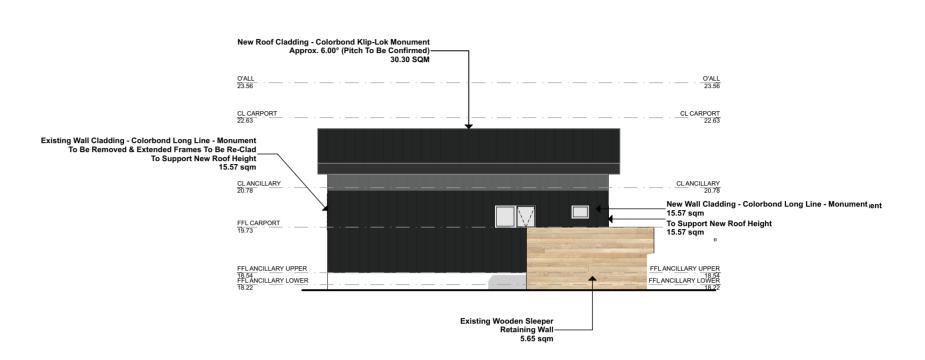


\* DECALS : MIN. 20mm HIGH DECALS TO FULL HEIGHT GLAZING LOCATED BETWEEN 700MM AND 1200MM HIGH FROM FINISHED FLOOR LEVEL

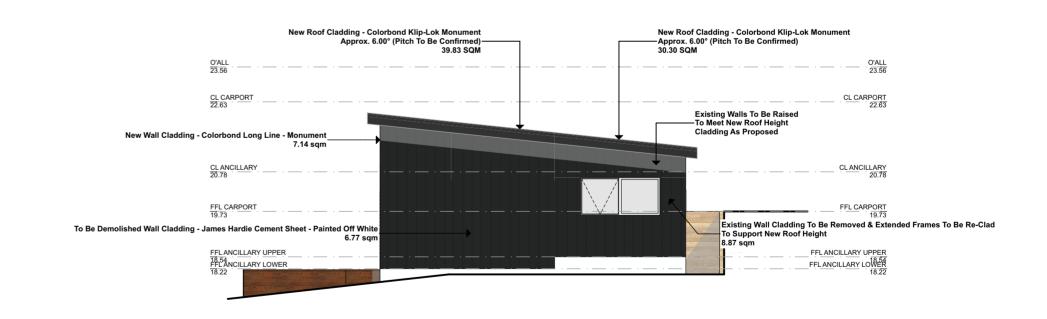
REFER TO APPROVED ENERGY REPORT FOR GLAZING U-VALUES & SHGC

REFER TO ELEVATIONS FOR SPECIFICATION OF OBCURE GLAZING

### EAST | ELEVATION



#### SOUTH | ELEVATION



WEST | ELEVATION

## Sorell Council Dodges Ferry P1.pdf

Development Application: 5.2025.121.1 - Development Application 23 Parnella Road, Plans Reference:P1 Date Received:9/05/2025

**DE BOER & FRIJLINK** 

**NEW ANCILLARY DWELLING & CARPORT** 23 PARNELLA ROAD, **DODGES FERRY, TAS 7173** 

DATE: 9/5/2025 SIZE: A2 SCALE:1:100 JOB: #ATT1646 DRAWN: N VALENTINE EMAIL: NIK@THEATTIC.NET.AU



IPORTANT: LL WINDOWS LOCATED 2.0m ABOVE THE SURFACE BENEATH ARE TO BE PROVIDED WITH WINDOW RESTRICTORS TO REFLECT A AXIMUM OPENING OF 124mm, TO RESIST AN OUTWARD HORIZONTAL ACTION OF 250N IN ACCORDANCE WITH NCC PART 3.9.2.5

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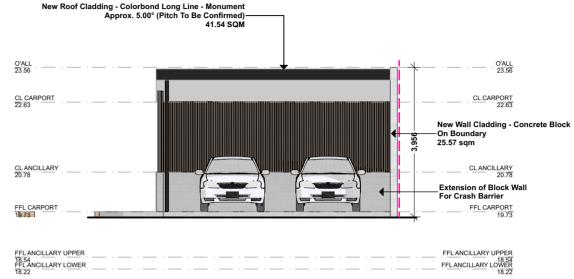
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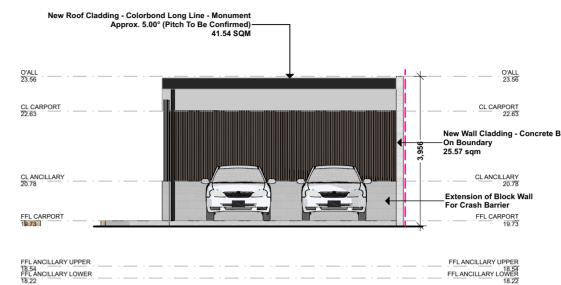
**PROPOSED ELEVATIONS - ANCILLARY DWELLING** 

**Sorell Council** 

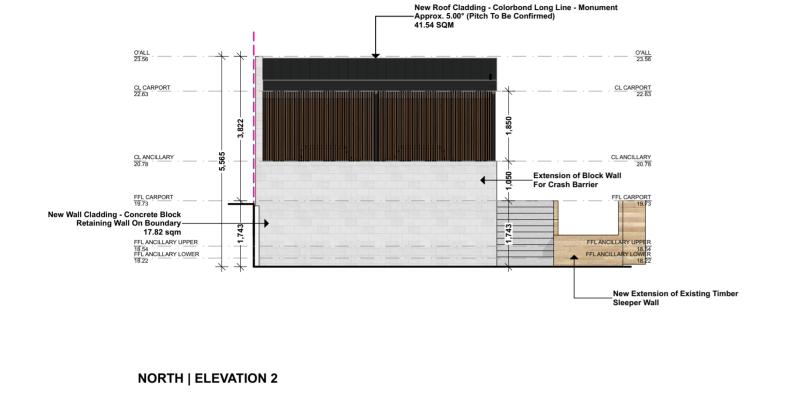
Development Application: 5.2025.121.1 - Development Application 23 Parnella Road, Dodges Ferry P1.pdf

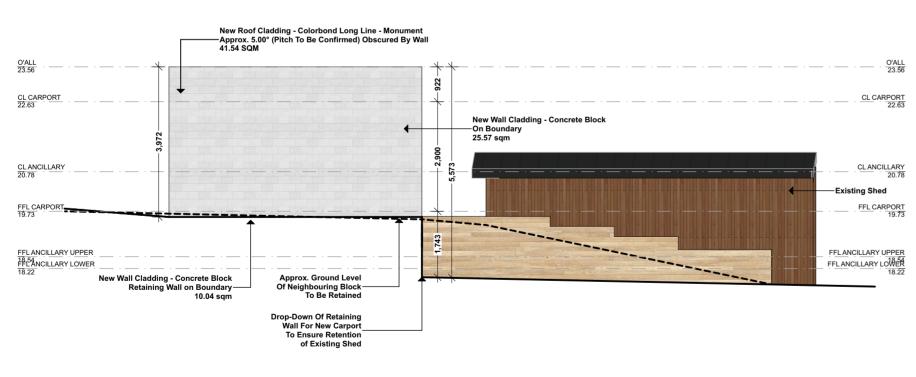
Plans Reference:P1 Date Received:9/05/2025





SOUTH | ELEVATION 2





EAST | ELEVATION 2



WEST | ELEVATION 2

## **DE BOER & FRIJLINK**

**NEW ANCILLARY DWELLING & CARPORT** 23 PARNELLA ROAD, **DODGES FERRY, TAS 7173** 

> DATE: 9/5/2025 SIZE: A2 SCALE:1:100 JOB: #ATT1646 DRAWN: N VALENTINE EMAIL: NIK@THEATTIC.NET.AU



PORTANT: L. WINDOWS LOCATED 2.0m ABOVE THE SURFACE BENEATH ARE TO BE PROVIDED WITH WINDOW RESTRICTORS TO REFLECT A AXIMUM OPENING OF 124mm, TO RESIST AN OUTWARD HORIZONTAL ACTION OF 250N IN ACCORDANCE WITH NCC PART 3.9.2.5

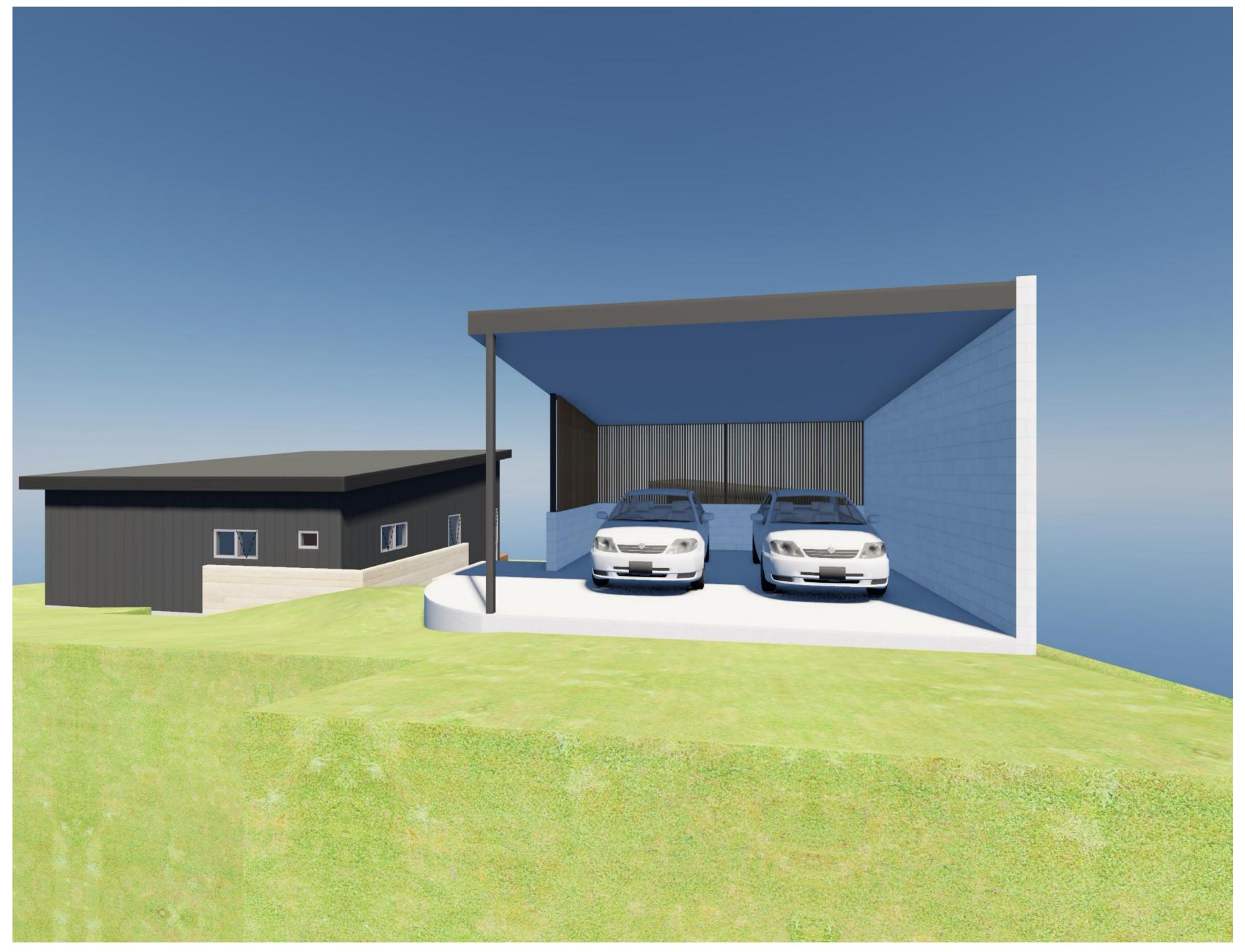
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\* DECALS : MIN. 20mm HIGH DECALS TO FULL HEIGHT GLAZING LOCATED BETWEEN 700M AND 1200MM HIGH FROM FINISHED FLOOR LEVEL REFER TO APPROVED ENERGY REPORT FOR GLAZING U-VALUES & SHGC REFER TO ELEVATIONS FOR SPECIFICATION OF OBCURE GLAZING

PROPOSED ELEVATIONS - CARPORT





Development Application: 5.2025.121.1 Development Application 23 Parnella Road,
Dodges Ferry P1.pdf
Plans Reference:P1
Date Received:9/05/2025

## DE BOER & FRIJLINK

NEW ANCILLARY DWELLING & CARPORT
23 PARNELLA ROAD,
DODGES FERRY, TAS 7173

DATE: 9/5/2025 SIZE: A2 SCALE:

JOB: #ATT1646 DRAWN: N VALENTINE

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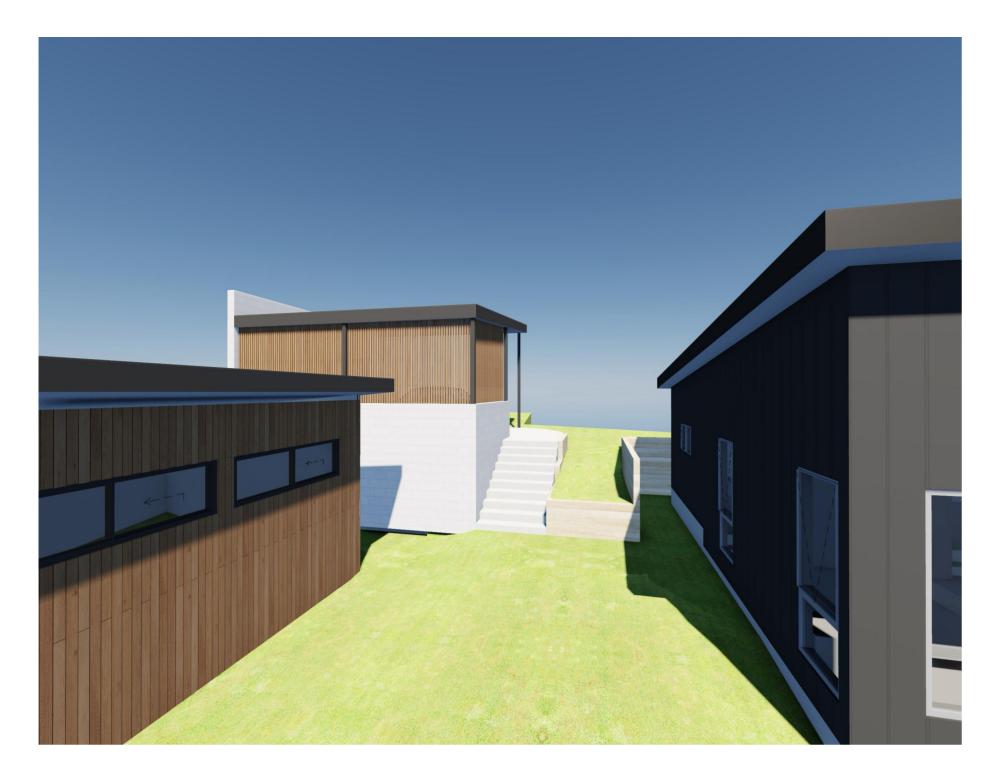








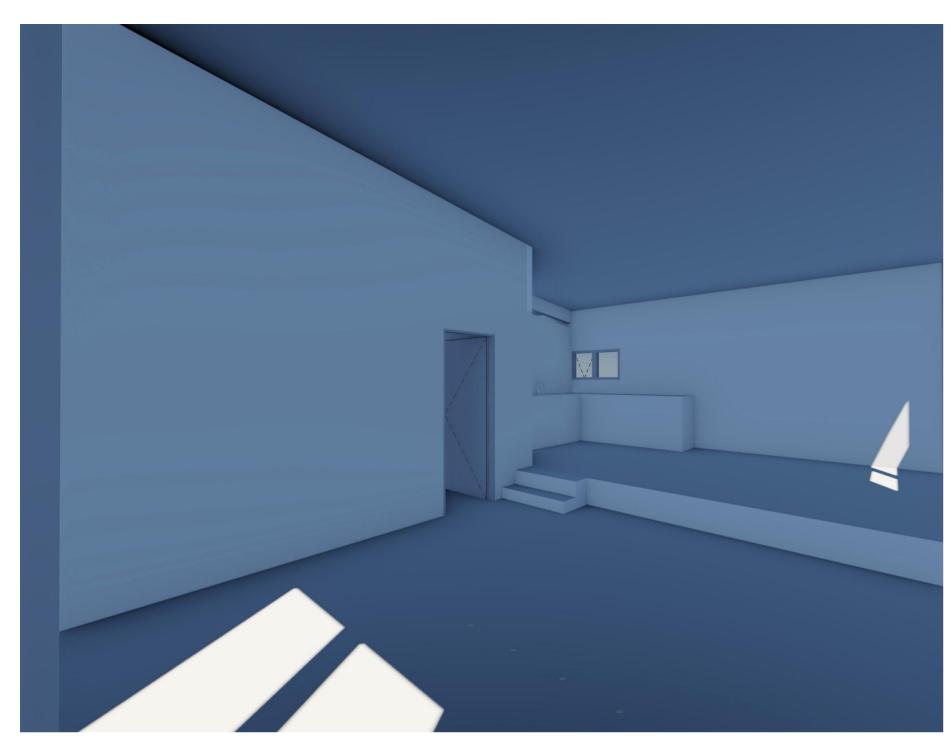
Development Application: 5.2025.121.1 -Development Application 23 Pamella Road, Dodges Ferry P1.pdf Plans Reference:P1 Date Received:9/05/2025

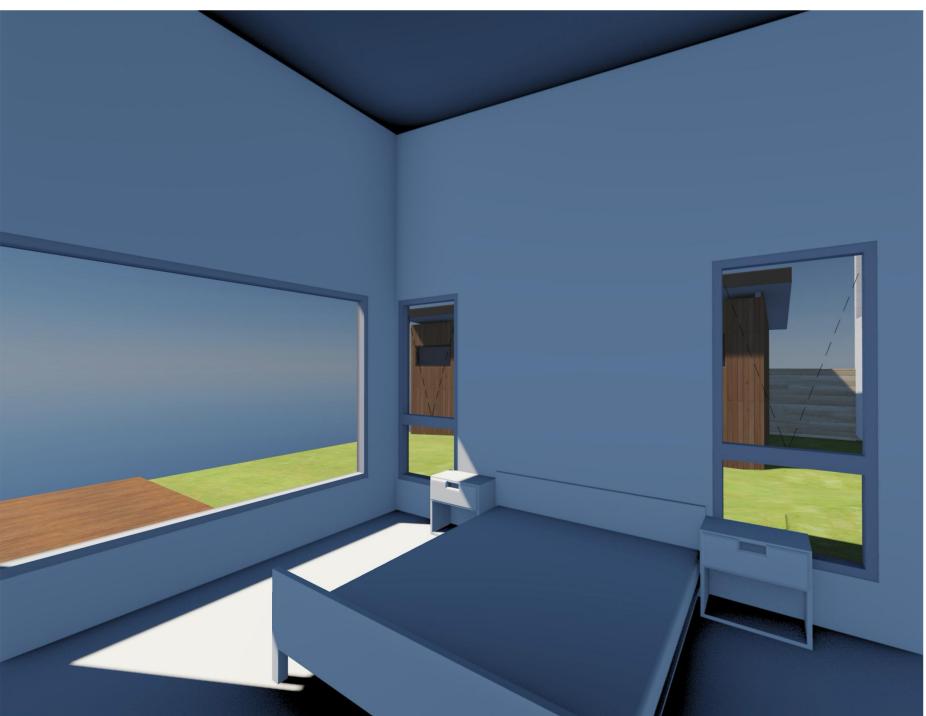


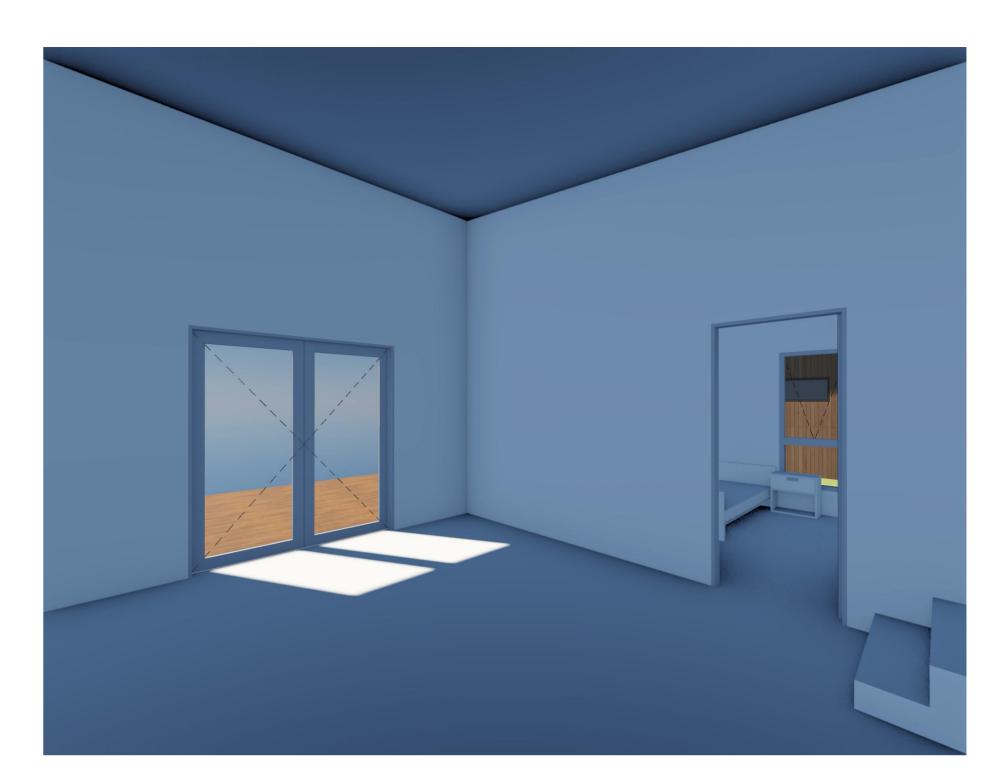














Plans Reference:P1 Date Received:9/05/2025



## PROPOSED ANCILLARY DWELLING & CARPORT FOR: DE BOER & FRIJLINK

23 PARNELLA ROAD, DODGES FERRY TAS 7173

VOLUME: 78432 FOLIO: 1 LOT NO: 1 WIND CLASS: N3/4 BAL: N/A CLIMATE ZONE: 7 ALPINE AREA: N/A BCA FIGURE 3.7.5.2 BUILDING CLASS: 1a SITE AREA: 1138 m<sup>2</sup>

CORROSION ENVIRONMENT: N/A - FOR STEEL SUBJECT TO THE INFLUENCE OF SALT WATER, BREAKING SURF OR HEAVY INDUSTRIAL AREAS, REFER TO BCA SECTION 3.4.2.2 & BCA TABLE 3.4.4.2 CLADDING AND FIXINGS TO MANUFACTURER'S RECOMMENDATIONS

OTHER HAZARDS: N/A - HIGH WIND, EARTHQUAKE, FLOODING, LANDSLIP, DISPERSIVE SOILS, SAND DUNES, MINE SUBSIDENCE, LANDFILL, SNOW & ICE OR OTHER RELEVANT FACTORS

1 COVER PAGE

SOIL CLASS: TBC

#### COMPLIANCE SET

- 2 PLANNING SCHEME ASSESSMENT
- 3 PLANNING SCHEME ASSESSMENT
- 4 PLANNING SCHEME ASSESSMENT
- 5 CODE OVERLAY ASSESSMENTS 6 CODE OVERLAY ASSESSMENTS

### STAGE 1

- 7 EXISTING/DEMOLITION SITE PLAN LG
- 8 PROPOSED SITE PLAN LG
- 9 EXISTING / DEMOLITION FLOOR PLAN LG
- 10 PROPOSED FLOOR PLAN LG
- 11 PROPOSED / EXISTING FLOOR PLAN OVERLAY

#### STAGE 2

- 12 EXISTING / DEMOLITION ELEVATIONS 1
- 13 PROPOSED ELEVATIONS ANCILLARY DWELLING
- 14 PROPOSED ELEVATIONS CARPORT
- 16 3D PERSPECTIVE
- 17 3D PERSPECTIVE 18 3D PERSPECTIVE
- 19 3D PERSPECTIVE (NEIGHBOURING PROPERTIES)
- 20 3D PERSPECTIVE (NEIGHBOURING PROPERTIES)
- 21 PHOTOMONTAGE



Development Application: 5.2025.121.1 Response to Request For Information - 23 Parnella Street, Dodges Ferry -P3.pdf Plans Reference: P3 Date Received: 22/08/2025

## **DE BOER & FRIJLINK**

**NEW ANCILLARY DWELLING & CARPORT** 23 PARNELLA ROAD,

> DATE: **22/8/2025** SIZE: **A2** SCALE: JOB: #ATT1646 DRAWN: N VALENTINE



## LOW DENSITY RESIDENTIAL TASMANIAN PLANNING SCHEME **USE STANDARDS**

SCHEME	PROVISION	ACCEPTABLE SOLUTION	PERFORMANCE CRITERIA	COMPLIANCE	DEVELOPMENT RESPONSE
10.3.1	Discretionary Use	A1 Hours of operation for a use listed as Discretionary, excluding Emergency Services or Residential use, must be within:  (a) 8.00am to 6.00pm Monday to Friday;  (b) 9.00am to 12.00 noon Saturday; and  (c) nil on Sunday and public holidays.	P1 Hours of operation for a use listed as Discretionary, excluding Emergency Services or Residential use, must not cause an unreasonable loss of amenity to adjacent sensitive uses, having regard to:  (a) the timing, duration or extent of vehicle movements; and  (b) noise or other emissions.	COMPLIES	The proposal complies given the exclusion of the ancillary dwelling (residence) and carport.
		A2 External lighting for a use listed as Discretionary, excluding Residential use:  (a) must not operate within the hours of 7.00pm to 7.00am, excluding any security lighting; and  (b) security lighting must be baffled so that direct light does not extend into the adjoining property.	P2 A use listed as Discretionary must not cause an unreasonable loss of amenity to adjacent sensitive uses, having regard to:  (a) the intensity and scale of the use;  (b) the emissions generated by the use;  (c) the type and intensity of traffic generated by the use;  (d) the impact on the character of the area; and  (e) the need for the use in that location.	COMPLIES	The proposal complies given the exclusion of the ancillary dwelling (residence) and carport.
		A3 Commercial vehicle movements and the unloading and loading of commercial vehicles for a use listed as Discretionary, excluding Emergency Services or Residential use, must be within the hours of:  (a) 7:00am to 5:00pm Monday to Friday;  (b) 9:00am to 12 noon Saturday; and  (c) nil on Sunday and public holidays.	P3 Commercial vehicle movements and the unloading and loading of commercial vehicles for a use listed as Discretionary, excluding Emergency Services or Residential use, must not cause an unreasonable loss of amenity to adjacent sensitive uses, having regard to:  (a) the time and duration of commercial vehicle movements;  (b) the number and frequency of commercial vehicle movements;  (c) the size of commercial vehicles involved;  (d) manoeuvring required by the commercial vehicles, including the amount of reversing and associated warning noise;  (e) any existing or proposed noise mitigation measures between the vehicle movement areas and sensitive use;  (f) potential conflicts with other traffic; and  (g) existing levels of amenity.	COMPLIES	The proposal complies given the exclusion of the ancillary dwelling (residence) and carport.
		A4 No Acceptable Solution.	A use listed as Discretionary must not cause an unreasonable loss of amenity to adjacent sensitive uses, having regard to:  (a) the intensity and scale of the use; (b) the emissions generated by the use; (c) the type and intensity of traffic generated by the use; (d) the impact on the character of the area; and (e) the need for the use in that location.	PERFORMANCE CRITERIA APPLIES	(a) The proposed new ancillary dwelling will be of similar proportions to the existing structure on site and therefore will not cause any loss of amenity to the neighbouring dwellings.  The proposed new carport will be located on the boundary, but given the setback of the adjacent property, there will be no significant impact onto the adjoining property / neighbour  (b) No emissions will be generated by the use of either the carport or the ancillary dwelling, other than those normal to a residence.  (c) The intensity of the traffic generated by the use will only be marginally increased with the new ancillary dwelling, but given this can only house 1 person, it's not expected that this will have any significant impact on the traffic in the area.  (d) There will be no perceived impact on the character of the area, by way of this new development, given that this development is in line with many other properties within the immediate and local neighbourhood area.  (e) There is a significant need for an ancillary dwelling within the local area, given the shortage of houses. the proposed carport is required to protect our clients cars from the prevailing weather, given the exposed area of this location.  Sorell Council  Development Application: 5.2025.121.1  Response to Request For Information - 23  Parnella Street, Dodges Ferry -P3.pdf  Plans Reference: P3  Date Received: 22/08/2025  DE BOER & FRIJLINK  NEW ANCILLARY DWELLING & CARPORT 23 PARNELLA ROAD,
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## LOW DENSITY RESIDENTIAL TASMANIAN PLANNING SCHEME DEVELOPMENT STANDARDS FOR BUILDINGS AND WORKS

EME   PROVISION	ACCEPTABLE SOLUTION	PERFORMANCE CRITERIA	COMPLIANCE	DEVELOPMENT RESPONSE
2 Building Height	A1 A dwelling must have a building height not more than 8.5m.	P1 The height of dwellings must be compatible with the streetscape and not cause an unreasonable loss of amenity to adjoining properties having regard to:  (a) the topography of the site;  (b) the height of buildings on the site and adjacent properties;  (c) the bulk and form of existing and proposed buildings;  (d) sunlight to habitable rooms and private open space of dwellings; and  (e) any overshadowing of adjoining properties.	COMPLIES	The proposed structure will be under 8m the required height limit of 8.5m.
1.3 Setback	A1 Dwellings, excluding protrusions that extend not more than 0.9m into the front setback, must have a setback from a frontage not less than 8m.	P1 The siting of a dwelling must be compatible with the streetscape and character of development existing on established properties in the area, having regard to:  (a) the topography of the site;  (b) the setbacks of surrounding buildings;  (c) the height, bulk and form of existing and proposed buildings;  (d) the appearance when viewed from roads and public open space adjacent to the site; and  (e) the safety of road users.	PERFORMANCE CRITERIA APPLIES	The proposed new carport and ancillary dwelling extension will not alter the existing front setback, however given this is technically considered an internal lot and the carport will be the most front facing structure, a variation will be required.  The proposed new carport will be set back significantly from the main street, so we believe a variation should be granted on this basis, given that an attempt has been made to ensure that this carport is further away from the road, without causing a significant impact onto the existing dwelling or the adjoining properties.  (a) The topography of the site is such that it will reduce the any visible impact of the new carport (b) The setbacks of the surrounding buildings will not have any bearing / impact on the new carport.  (c) The new carport and ancillary dwelling will be significantly recessed from the street frontage, due to the slope of the block, so any increase in setback (from the internal lot frontage) will be mitigated.  (d) The new carport and ancillary dwelling will be visually recessed and therefore the height, bulk and form of these structures will not pose an issue.  (e) The proposed carport and ancillary dwelling will not post any safety risks to road users.
	A2 Dwellings, excluding outbuildings with a building height of not more than 2.4m protrusions that extend not more than 0.9m horizontally from the building, mus have a setback from side and rear boundaries of not less than 5m.			The proposed carport and ancillary dwelling will be located closer than 5m to the side boundaries, primarily due to constraints (size) and slope of the block. A variation is therefore required.  (a) The proposed carport has been placed on the boundary, due to the significant topography of the site, as any alternate location would require even more fill and excavation to occur, in addition to more impermeable landscaping, to support the traffic and navigation of these cars on site. This would result in a worse outcome for the permeability of the site, along with causing a significant increase in costs.  The proposed ancillary dwelling will be occupying the same general area of the existing structure on site, so it is not felt that the minor increase in floor area will result in any significant impact to the adjoining properties, despite the existing structure already being located less than 5m to the boundary.  (b) As above, the size shape and orientation of the site dictates that the new carport would be best placed on the boundary at the end of the current driveway, as currently proposed.  Likewise, the proposed ancillary dwelling is best placed in the current position of the exiting structure on site, as any alternate location would result in significant changes to the site.  (c) The are many buildings located within the surrounding area that are located either on the boundary, or within close proximity to the boundary, so we do not feel that the proposed will have any material impact on the character of the neighbourhood.  (d) The height of the proposed buildings has been minimised as much as possible, however given the significant slope of the block, it is noted that the height of the carport (for example) is higher than the standard height of 2.4m, given that we are required to account for the natural slope of the block, when retaining the carport slab and structure.  The proposed ancillary dwelling height will not have any major impact on the adjoining properties and the minor increase in height is again
	Sorell Council  Development Application: 5.2025.121.1			impacted, due to the location of the neighbouring dwellings, in relation to the proposed new structures.  (g) The character of the development existing on established properties within the area is unlikely to be altered by the proposed new development as the proposed development is largely in line with similar developments that have been recently completed in the area.  DE BOER & FRIJLIN
	Response to Request For Information - 23 Parnella Street, Dodges Ferry -P3.pdf Plans Reference: P3 Date Received: 22/08/2025			NEW ANCILLARY DWELLING & CARPORT 23 PARNELLA ROAD, DODGES FERRY, TAS 7173  DATE: 22/8/2025 SIZE: A2 SCALE: JOB: #ATT1646 DRAWN: N VALENTINE EMAIL: NIK@THEATTIC.NET.AU

## LOW DENSITY RESIDENTIAL TASMANIAN PLANNING SCHEME DEVELOPMENT STANDARDS FOR BUILDINGS AND WORKS

IEME   PRO	OVISION	ACCEPTABLE SOLUTION	PERFORMANCE CRITERIA	COMPLIANCE	DEVELOPMENT RESPONSE
.4 Site	e Coverage	A1 Dwellings must have a site coverage of not more than 30%.	P1 The site coverage of dwellings must be consistent with that existing on established properties in the area, having regard to:  (a) the topography of the site; (b) the capacity of the site to absorb runoff; (c) the size and shape of the site; (d) the existing buildings and any constraints imposed by existing development; (e) the provision for landscaping and private open space; (f) the need to remove vegetation; and (g) the site coverage of adjacent properties.	COMPLIES	The proposed new carport and ancillary dwelling extension will take the total site coverage up to approx 314sqm, which equals an approximate site coverage of 28%, so this development will therefore comply.
5 From	entage Fences	A1 No Acceptable Solution.	P1 A fence (including a free-standing wall) for a dwelling within 4.5m of a frontage must:  (a) provide for security and privacy, while allowing for passive surveillance of the road; and  (b) be consistent with the height and transparency of fences in the street, having regard to:  (i) the topography of the site; and  (ii) traffic volumes on the adjoining road.	NOT APPLICABLE	
					Sorell Council  Development Application: 5.2025.121.1 Response to Request For Information - 23 Parnella Street, Dodges Ferry -P3.pdf Plans Reference: P3 Date Received: 22/08/2025  DE BOER & FRIJL  NEW ANCILLARY DWELLING & CARPORT 23 PARNELLA ROAD,

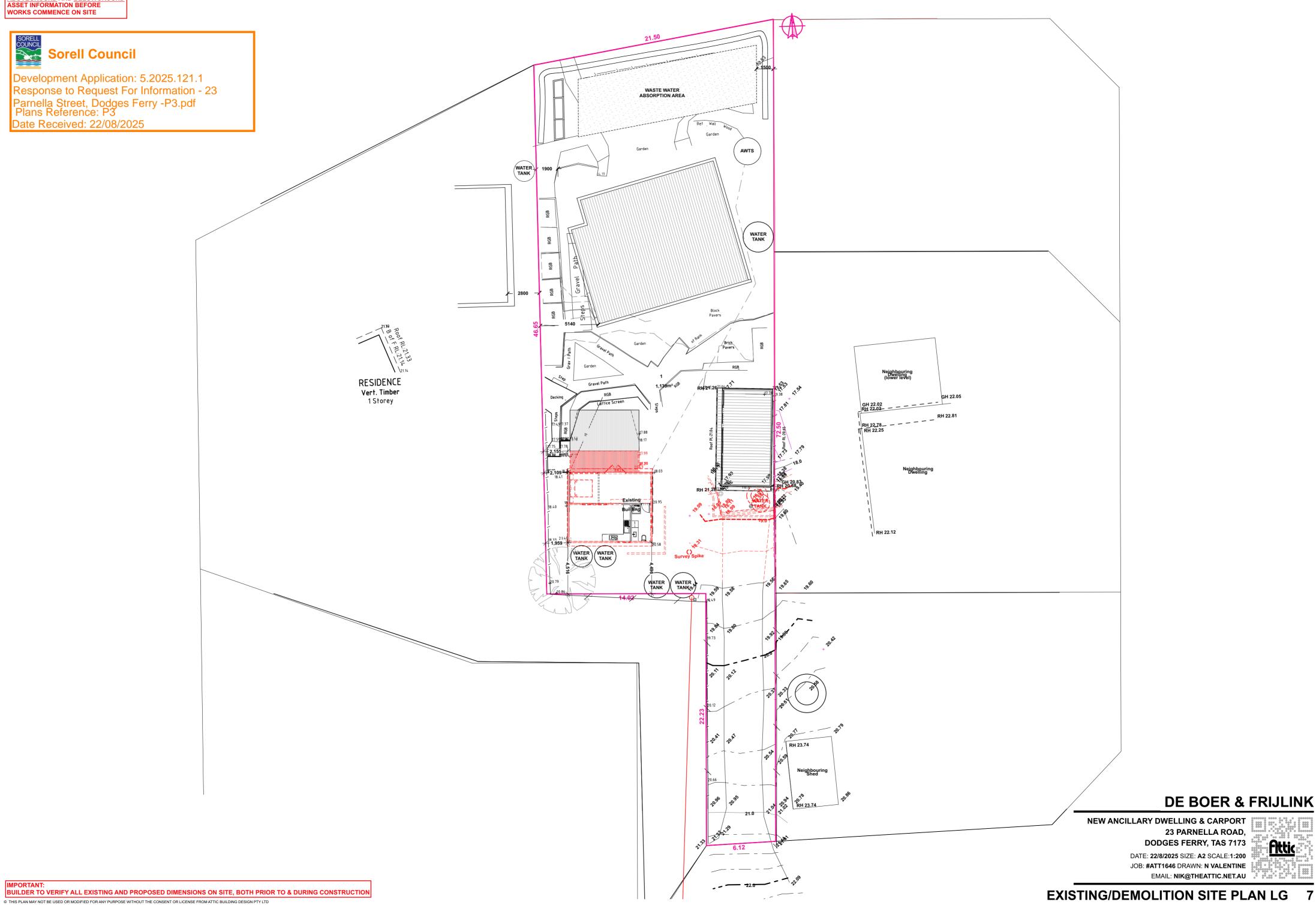
## **CODE OVERLAY - NATURAL ASSETS CODE** WATERWAY AND COSTAL PROTECTION AREA & BUSHFIRE PRONE AREAS TASMANIAN PLANNING SCHEME

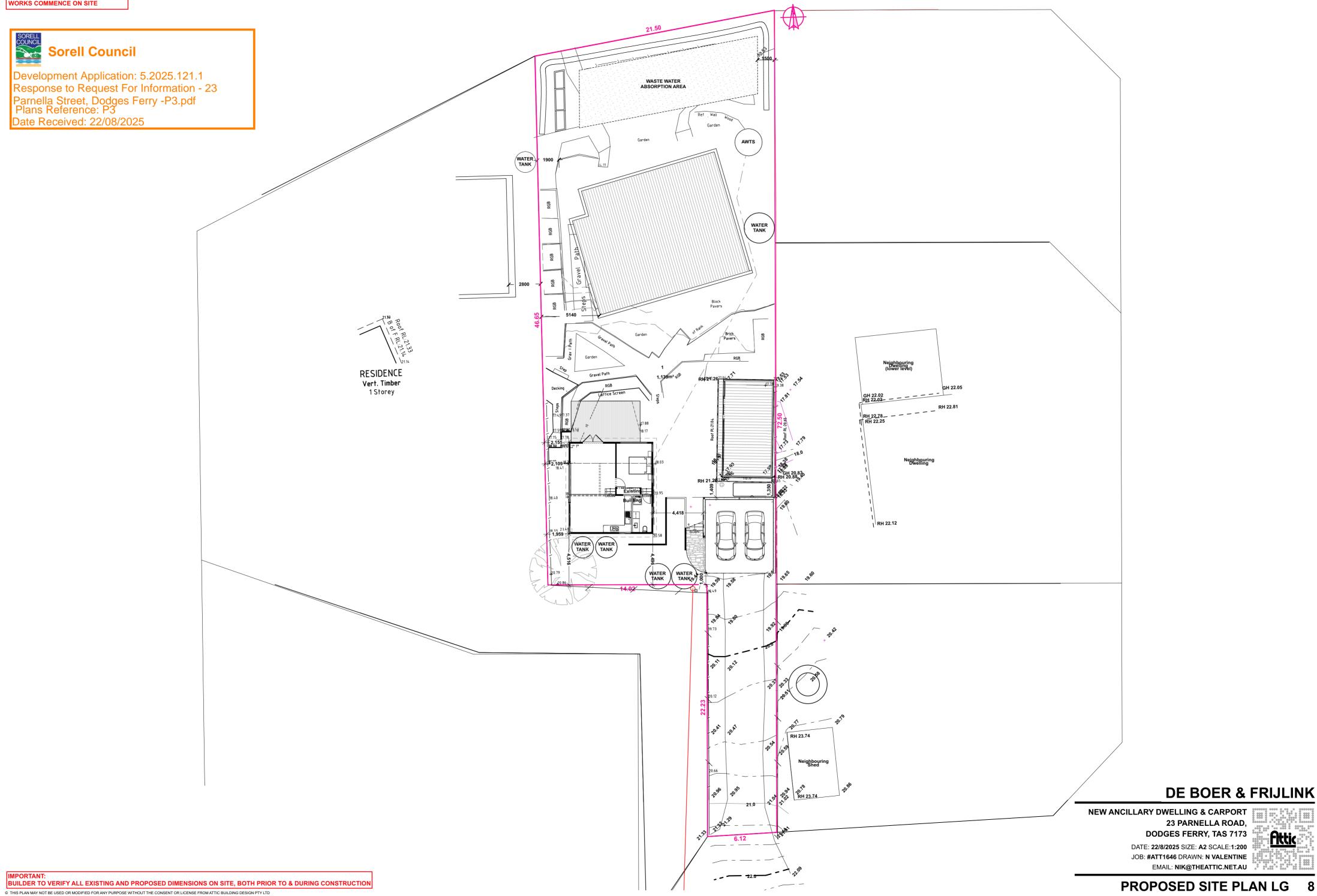
CODE	PROVISION		ACCEPTABLE SOLUTION	PERFORMANCE CRITERIA	COMPLIANCE	DEVELOPMENT RESPONSE
7.6	Development Standards	A1	Buildings and works within a waterway and coastal protection area must:  (a) be within a building area on a sealed plan approved under this planning scheme;  (b) in relation to a Class 4 watercourse, be for a crossing or bridge not more than 5m in width; or  (c) if within the spatial extent of tidal waters, be an extension to an existing boat ramp, car park, jetty, marina, marine farming shore facility or slipway that is not more than 20% of the area of the facility existing at the effective date.		COMPLIES	NOT APPLICABLE
		A2	Buildings and works within a future coastal refugia area must be located within a building area on a sealed plan approved under this planning scheme.		COMPLIES	NOT APPLICABLE
		А3	Development within a waterway and coastal protection area or a future coastal refugia area must not involve a new stormwater point discharge into a watercourse, wetland or lake.		COMPLIES	NOT APPLICABLE
		A4	Dredging or reclamation must not occur within a waterway and coastal protection area or a future coastal refugia area.		COMPLIES	NOT APPLICABLE
		A5	Coastal protection works or watercourse erosion or inundation protection works must not occur within a waterway and coastal protection area or a future coastal refugia area.		COMPLIES	NOT APPLICABLE
13.6.1	Development Standards	A1	<ul> <li>(a) TFS or an accredited person certifies that there is an insufficient increase in risk from bushfire to warrant the provision of hazard management areas as part of a subdivision; or</li> <li>(b) The proposed plan of subdivision:</li> <li>(i) shows all lots that are within or partly within a bushfire-prone area, including those developed at each stage of a staged subdivision;</li> <li>(ii) shows the building area for each lot;</li> <li>(iii) shows hazard management areas between bushfire-prone vegetation and each building area that have dimensions equal to, or greater than, the separation distances required for BAL 19 in Table 2.6 of Australian Standard AS3959:2018 Construction of buildings in bushfire-prone areas; and</li> <li>(iv) is accompanied by a bushfire hazard management plan that addresses all the individual lots and that is certified by the TFS or accredited person, showing hazard management areas equal to, or greater than the separation distances required for BAL 19 in Table 2.6 of Australian Standard AS3959:2018 Construction of buildings in bushfire-prone Areas; and</li> <li>(c) if hazard management areas are to be located on land external to the proposed subdivision the application is accompanied by the written consent of the owner of that land to enter into an agreement under section 71 of the Act that will be registered on the title of the neighbouring property providing for the affected land to be managed in accordance with the bushfire hazard management plan.</li> </ul>	P1 A proposed plan of subdivision shows adequate hazard management areas in relation to the building areas shown on lots within a bushfire-prone area, having regard to:  (a) the dimensions of hazard management areas;  (b) a bushfire risk assessment of each lot at any stage of staged subdivision;  (c) the nature of the bushfire-prone vegetation including the type, fuel load, structure and flammability;  (d) the topography, including site slope;  (e) any other potential forms of fuel and ignition sources;  (f) separation distances from the bushfire-prone vegetation not unreasonably restricting subsequent development;  (g) an instrument that will facilitate management of fuels located on land external to the subdivision; and  (h) any advice from the TFS.	PENDING BAL ASSESSMNT	A BAL assessment will be completed once planning approval has been obtained, however we have no reason to believe that any special construction requirements will be imposed, other than those in line with the existing dwelling.  Measures have also been taken to specify bushfire resistant materials  Sorell Council  Development Application: 5.2025.121.1  Response to Request For Information - 23  Parmella Street, Dodges Ferry -P3.pdf  Plans Reference: P3  Date Received: 22/08/2025  DE BOER & FRIJLINK  NEW ANCILLARY DWELLING & CARPORT  23 PARNELLA ROAD  DODGES FERRY, TAS 7173  DATE: 228/2025 EAS SCALE  JOB: #ATTIGATE DRAWN: N VALENTINE  EMAIL: NIK@THEATTIC.NETAU

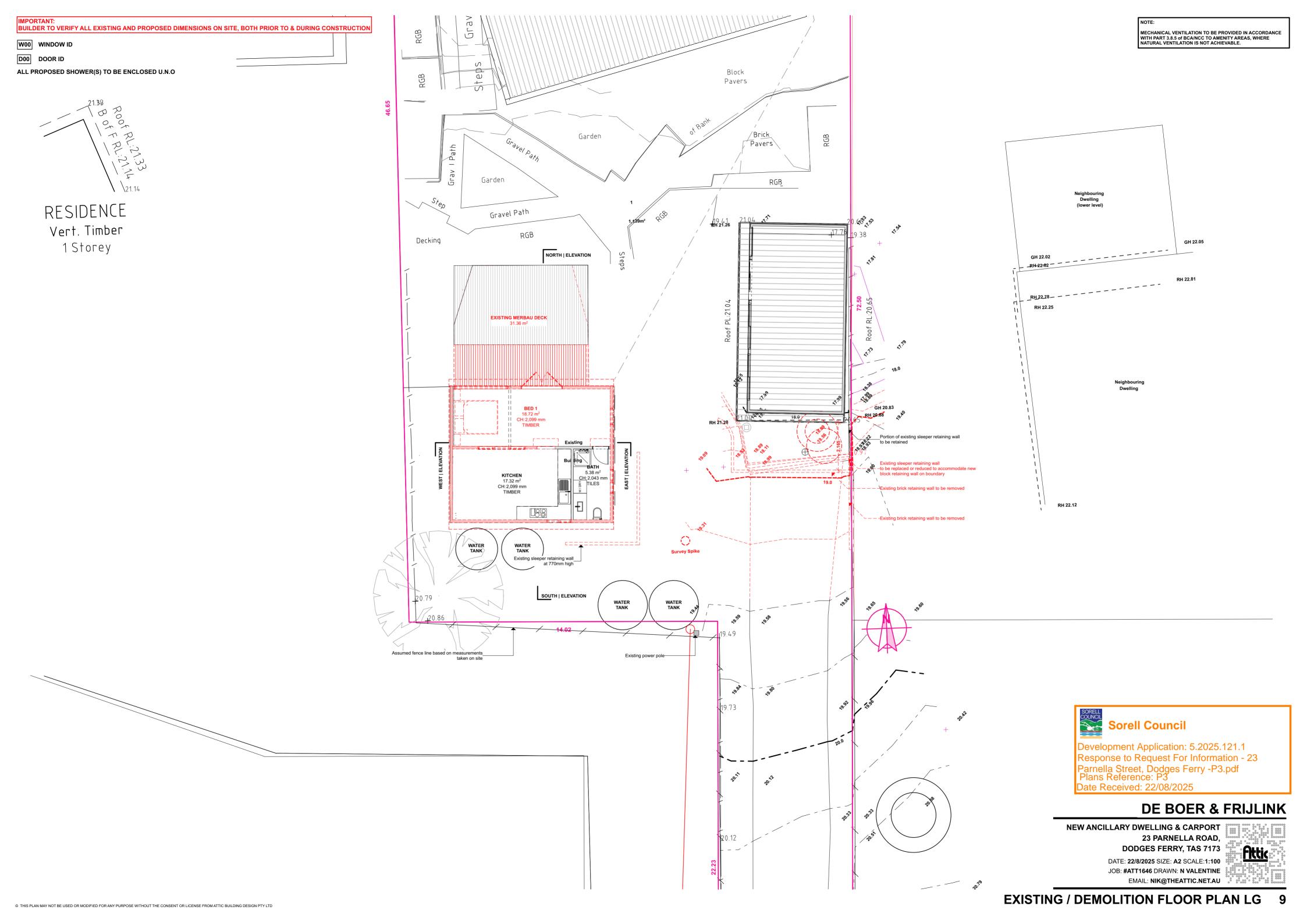
## **CODE OVERLAY - NATURAL ASSETS CODE** LOW COASTAL EROSION HAZARD BAND & AIRPORT OBSTACLE LIMITATION AREA TASMANIAN PLANNING SCHEME

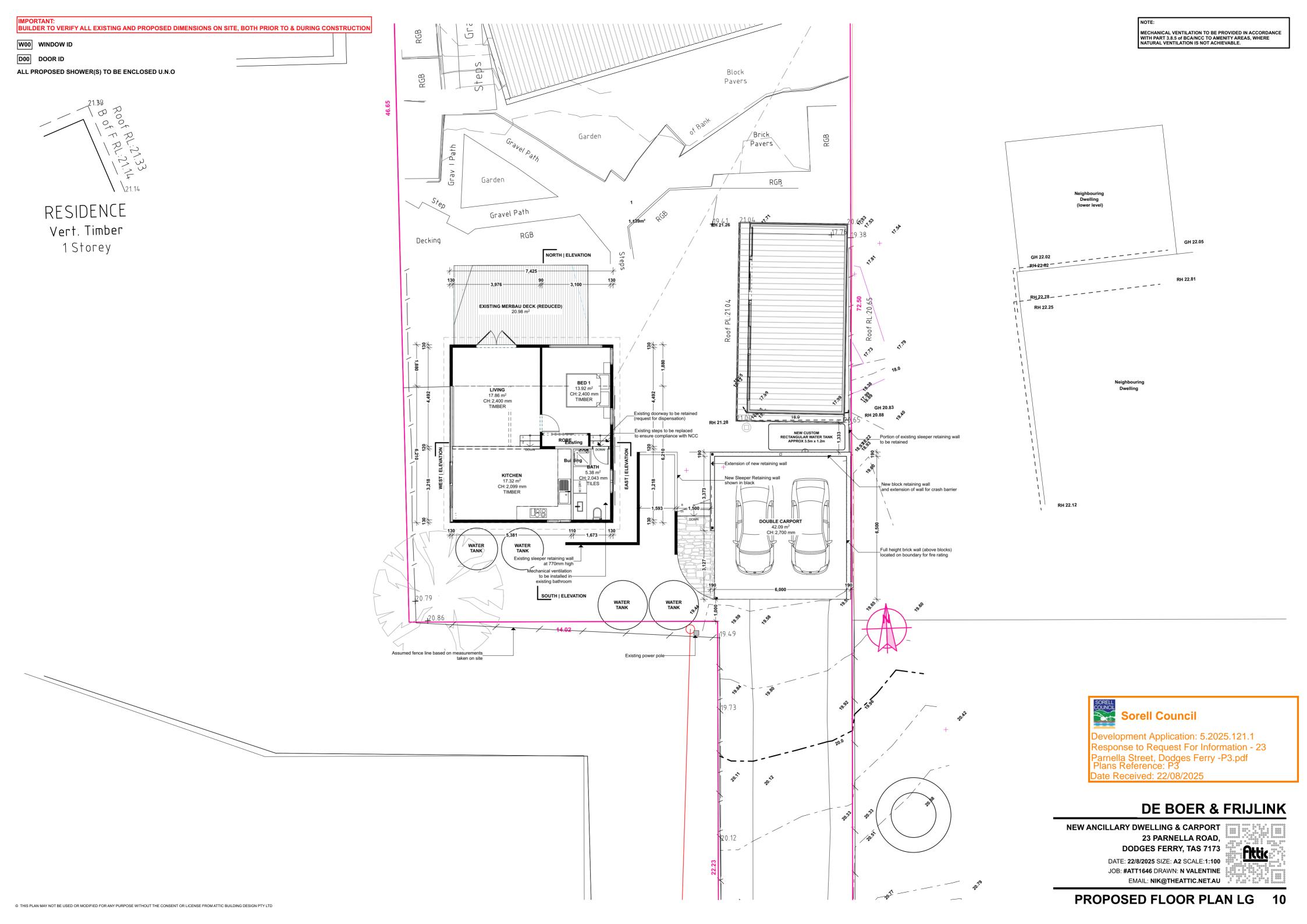
CODE	PROVISION	ACCEPTABLE SOLUTION	PERFORMANCE CRITERIA	COMPLIANCE	DEVELOPMENT RESPONSE
10.6.1	Development Standards	A1 No Acceptable Solution.	Buildings and works, excluding coastal protection works, within a coastal erosion hazard area must have a tolerable risk, having regard to:  (a)  whether any increase in the level of risk from coastal erosion requires any specific hazard reduction or protection measures;  (b)  any advice from a State authority, regulated entity or a council; and  (c)  the advice contained in a coastal erosion hazard report.  P1.2  A coastal erosion hazard report demonstrates that:  (a)  the building and works:  (i)  do not cause or contribute to any coastal erosion on the site, on adjacent land or public infrastructure; and  (ii)  can achieve and maintain a tolerable risk from a coastal erosion event in 2100 for the intended life of the use without requiring any specific coastal erosion protection works;  (b)  buildings and works are not located on actively mobile landforms, unless for engineering or remediation works to protect land, property and human life.	COMPLIES	The proposed development will not be located within this hazard band and therefore this development should comply.
16.6	Development Standards	A1 Buildings and works within an airport obstacle limitation area associated with a Commonwealth-leased airport that exceed the specified height limit shown on the airport obstacle limitation area overlay applicable for the site of the development must have approval from the relevant Commonwealth department under the Airports Act 1996 (Commonwealth).	P1 No Performance Criterion.	COMPLIES	The proposed development will not exceed the relevant height limit and therefore this will comply.
		A2 No Acceptable Solution.	P1 Buildings and works within an airport obstacle limitation area associated with a non-Commonwealth-leased airport that exceed the specified height limit shown on the airport obstacle limitation area overlay applicable for the site of the development must not create an obstruction or hazard for the operation of aircraft, having regard to any advice from:  (a) Airservices Australia;  (b) the Civil Aviation Safety Authority; and  (c) the airport operator.	COMPLIES	The proposed development will not exceed the relevant height limit and therefore this will comply.
					Development Application: 5.2025.121.1 Response to Request For Information - 23 Parnella Street, Dodges Ferry -P3.pdf Plans Reference: P3 Date Received: 22/08/2025
					DE BOER & FRIJLINK  NEW ANCILLARY DWELLING & CARPORT  23 PARNELLA ROAD, DODGES FERRY, TAS 7173  DATE: 22/8/2025 SIZE: A2 SCALE:

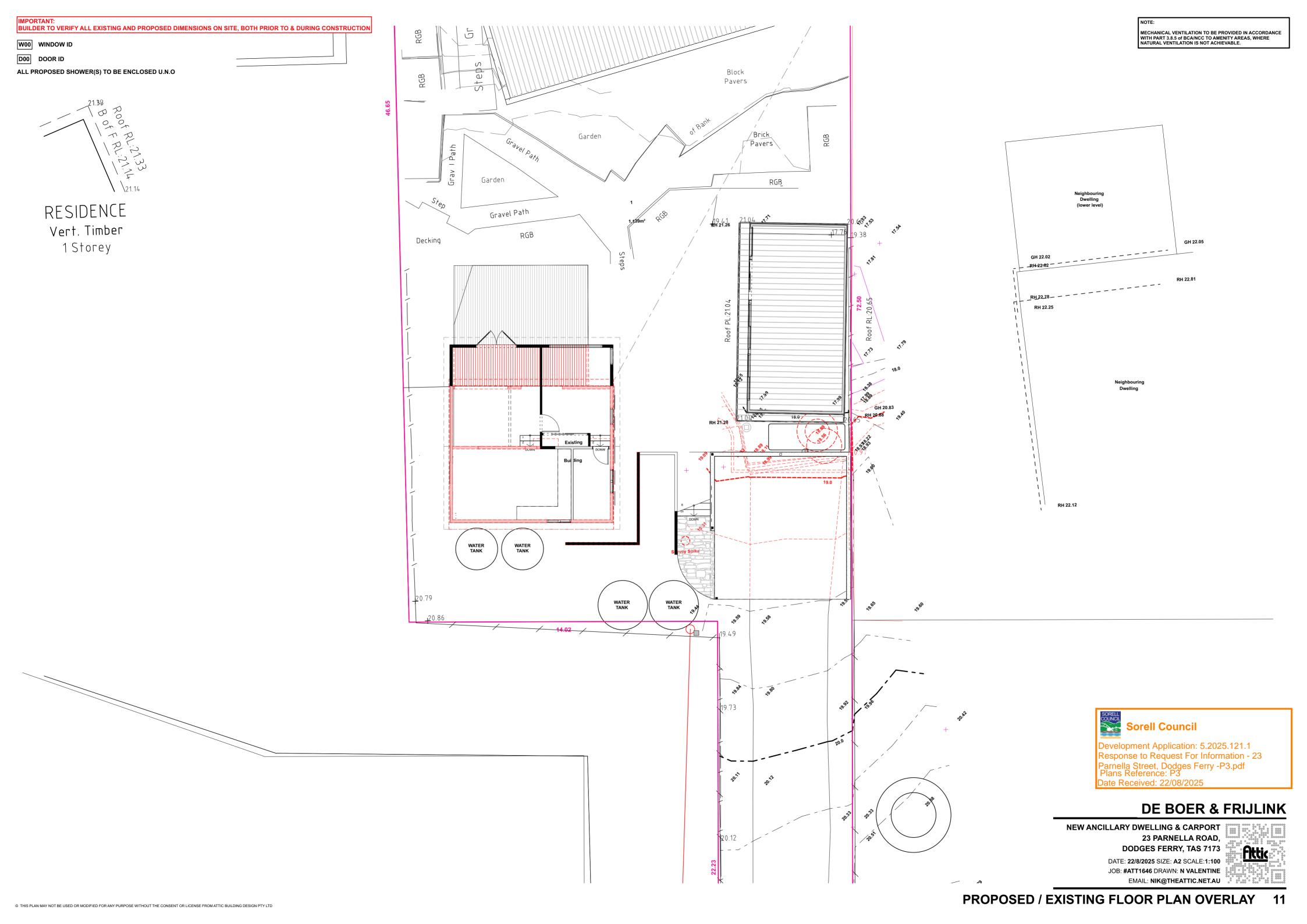
DATE: 22/8/2025 SIZE: A2 SCALE: JOB: #ATT1646 DRAWN: N VALENTINE

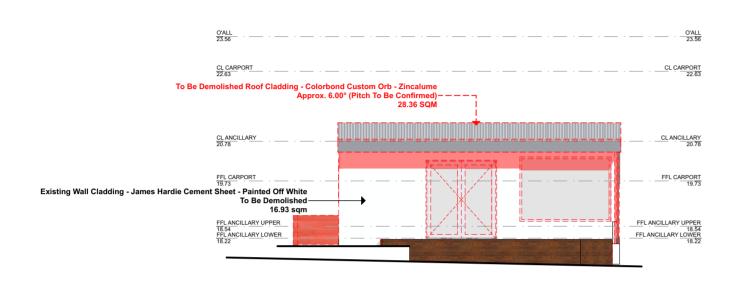




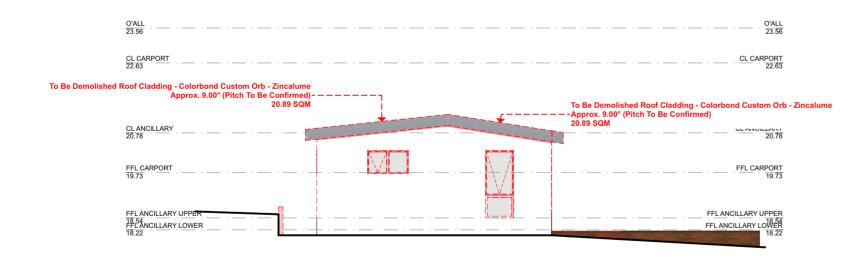




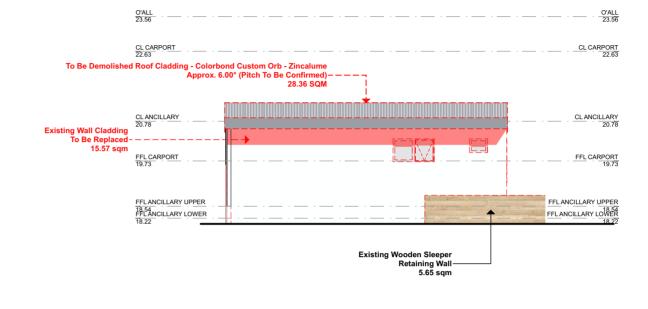




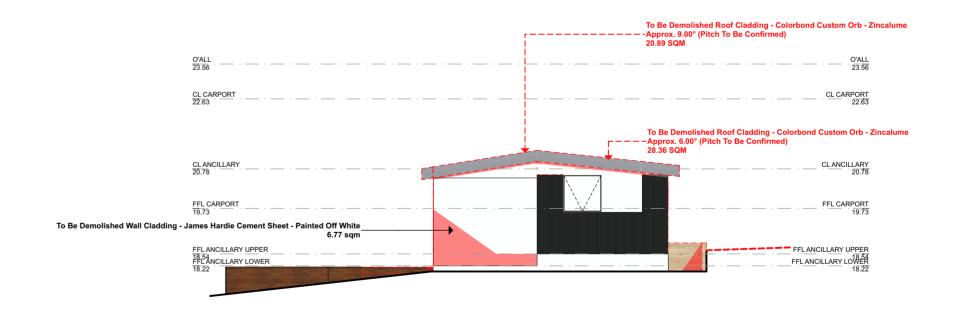
NORTH | ELEVATION



EAST | ELEVATION



SOUTH | ELEVATION



WEST | ELEVATION



Development Application: 5.2025.121.1 Response to Request For Information - 23 Parnella Street, Dodges Ferry -P3.pdf Plans Reference: P3 Date Received: 22/08/2025

## **DE BOER & FRIJLINK**

**NEW ANCILLARY DWELLING & CARPORT** 23 PARNELLA ROAD, **DODGES FERRY, TAS 7173** 

DATE: 22/8/2025 SIZE: A2 SCALE:1:100 JOB: #ATT1646 DRAWN: N VALENTINE

EMAIL: NIK@THEATTIC.NET.AU

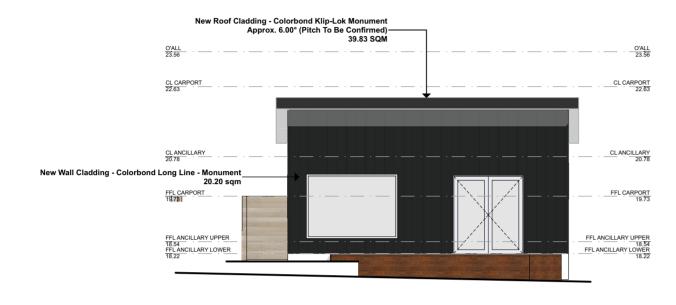
WHERE THE RESTRICTING DEVICE OR SCREEN CAN BE REMOVED, UNLOCKED OR OVERRIDDEN, A PERMANENT BARRIER WITH A LEIGHT NOT LESS THAN 865m ABOVE THE FLOOR IS REQUIRED TO THE OPENABLE WINDOW, IN ADDITION TO WINDOW ROTECTION. THE BARRIER MUST NOT HAVE ANY HORIZONTAL OR NEAR HORIZONTAL ELEMENTS BETWEEN 150mm AND 760mm BOVE THE FLOOR THAT FACILITATE CLIMBING. GRADE 'A' SAFETY GLAZING IS REQUIRED TO ALL WINDOWS WITHIN 500mm OFF THE FLOOR, WITHIN 300mm OF A DOOR, WITHIN 2000mm OFF THE FLOOR IN ALL WET AREAS AND IS SUSCEPTIBLE TO HUMAN IMPACT.

IPORTANT: LL WINDOWS LOCATED 2.0m ABOVE THE SURFACE BENEATH ARE TO BE PROVIDED WITH WINDOW RESTRICTORS TO REFLECT A AXIMUM OPENING OF 124mm, TO RESIST AN OUTWARD HORIZONTAL ACTION OF 250N IN ACCORDANCE WITH NCC PART 3.9.2.5

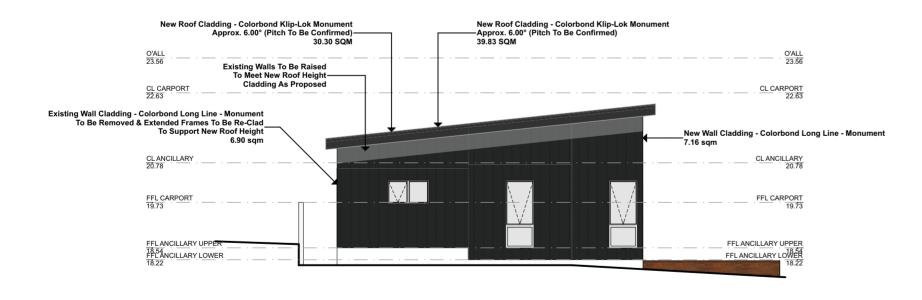
© THIS PLAN MAY NOT BE USED OR MODIFIED FOR ANY PURPOSE WITHOUT THE CONSENT OR LICENSE FROM ATTIC BUILDING DESIGN PTY LTD

\* DECALS: MIN. 20mm HIGH DECALS TO FULL HEIGHT GLAZING LOCATED BETWEEN 700MM AND 1200MM HIGH FROM FINISHED FLOOR LEVEL REFER TO APPROVED ENERGY REPORT FOR GLAZING U-VALUES & SHGC

REFER TO ELEVATIONS FOR SPECIFICATION OF OBCURE GLAZING



### NORTH | ELEVATION



### EAST | ELEVATION

# \* LIFT OF HINGES TO WATER CLOSETS LOCATED WITHIN 1.2M OF THE DOORWAY SWING \* DECALS: MIN. 20mm HIGH DECALS TO FULL HEIGHT GLAZING LOCATED BETWEEN 700MM AND 1200MM HIGH FROM FINISHED FLOOR LEVEL \* REFER TO APPROVED ENERGY REPORT FOR GLAZING U-VALUES & SHGC \* REFER TO ELEVATIONS FOR SPECIFICATION OF OBCURE GLAZING

New Roof Cladding - Colorbond Klip-Lok Monument
Approx. 6.00° (Pitch To Be Confirmed)
30.30 SQM

CALL
23.56

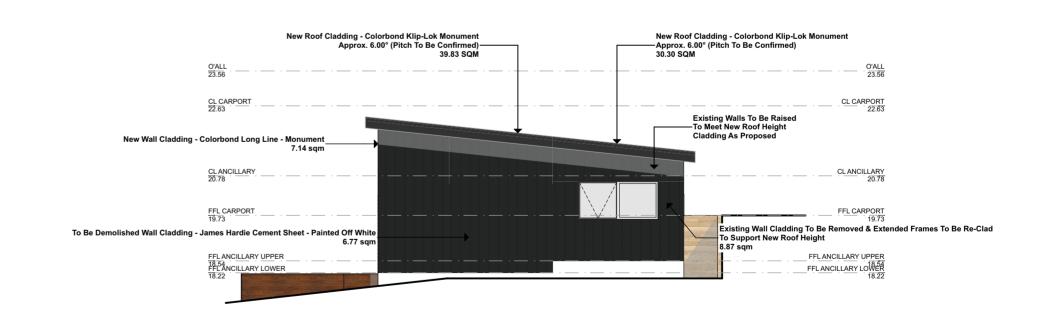
CL CARPORT
22.55

CL CARPORT
22.55

Existing Wall Cladding - Colorbond Long Line - Monument
To Be Removed & Extended Frames To Be Re-Clad
To Support New Roof Height
15.57 sqm
CL ANCILLARY
20.76

New Wall Cladding - Colorbond Long Line - Monument
15.57 sqm
To Support New Roof Height
15.57 sqm
FFL ANCILLARY UPPER
15.57 sqm
FFL ANCILLARY UPPER
15.57 sqm
FFL ANCILLARY UPPER
15.55 sqm

#### SOUTH | ELEVATION



WEST | ELEVATION



## DE BOER & FRIJLINK

NEW ANCILLARY DWELLING & CARPORT 23 PARNELLA ROAD, DODGES FERRY, TAS 7173

DATE: 22/8/2025 SIZE: A2 SCALE:1:100

JOB: #ATT1646 DRAWN: N VALENTINE

EMAIL: NIK@THEATTIC.NET.AU

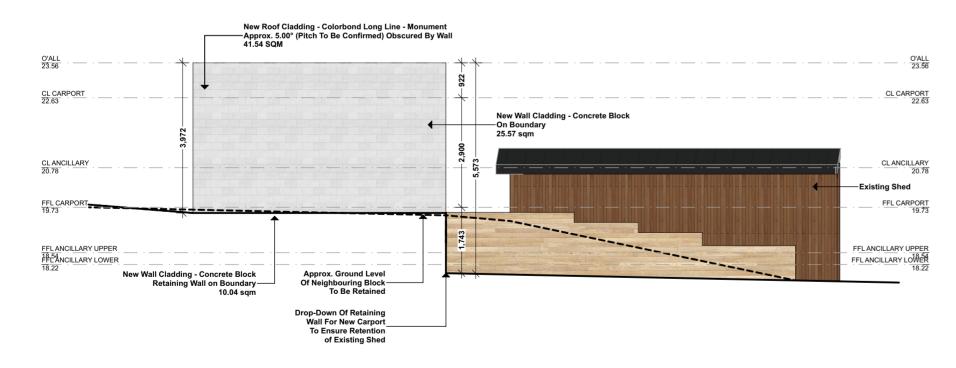


IPORTANT: LL WINDOWS LOCATED 2.0m ABOVE THE SURFACE BENEATH ARE TO BE PROVIDED WITH WINDOW RESTRICTORS TO REFLECT A AXIMUM OPENING OF 124mm, TO RESIST AN OUTWARD HORIZONTAL ACTION OF 250N IN ACCORDANCE WITH NCC PART 3.9.2.5

PHERE THE RESTRICTING DEVICE OR SCREEN CAN BE REMOVED, UNLOCKED OR OVERRIDDEN, A PERMANENT BARRIER WITH A EIGHT NOT LESS THAN 865m ABOVE THE FLOOR IS REQUIRED TO THE OPENABLE WINDOW, IN ADDITION TO WINDOW ROTECTION. THE BARRIER MUST NOT HAVE ANY HORIZONTAL OR NEAR HORIZONTAL ELEMENTS BETWEEN 150mm AND 760mm BOVE THE FLOOR THAT FACILITATE CLIMBING.

New Roof Cladding - Colorbond Long Line - Monument —Approx. 5.00° (Pitch To Be Confirmed) 41.54 SQM O'ALL 23.56 New Wall Cladding - Concrete Block Retaining Wall On Boundary – 17.82 sqm

#### NORTH | ELEVATION 2



## EAST | ELEVATION 2

IPORTANT: LL WINDOWS LOCATED 2.0m ABOVE THE SURFACE BENEATH ARE TO BE PROVIDED WITH WINDOW RESTRICTORS TO REFLECT A AXIMUM OPENING OF 124mm, TO RESIST AN OUTWARD HORIZONTAL ACTION OF 250N IN ACCORDANCE WITH NCC PART 3.9.2.5 WHERE THE RESTRICTING DEVICE OR SCREEN CAN BE REMOVED, UNLOCKED OR OVERRIDDEN, A PERMANENT BARRIER WITH A LEIGHT NOT LESS THAN 865m ABOVE THE FLOOR IS REQUIRED TO THE OPENABLE WINDOW, IN ADDITION TO WINDOW ROTECTION. THE BARRIER MUST NOT HAVE ANY HORIZONTAL OR NEAR HORIZONTAL ELEMENTS BETWEEN 150mm AND 760mm BOVE THE FLOOR THAT FACILITATE CLIMBING. \* DECALS: MIN. 20mm HIGH DECALS TO FULL HEIGHT GLAZING LOCATED BETWEEN 700MM AND 1200MM HIGH FROM FINISHED FLOOR LEVEL REFER TO APPROVED ENERGY REPORT FOR GLAZING U-VALUES & SHGC

REFER TO ELEVATIONS FOR SPECIFICATION OF OBCURE GLAZING

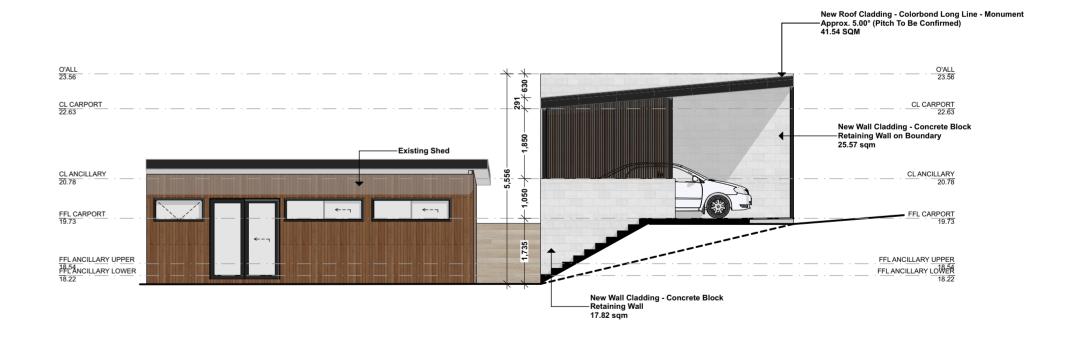
# New Roof Cladding - Colorbond Long Line - Monument Approx. 5.00° (Pitch To Be Confirmed) 41.54 SQM New Wall Cladding - Concrete Block On Boundary 25.57 sqm FFL CARPORT

#### SOUTH | ELEVATION 2

Sorell Council

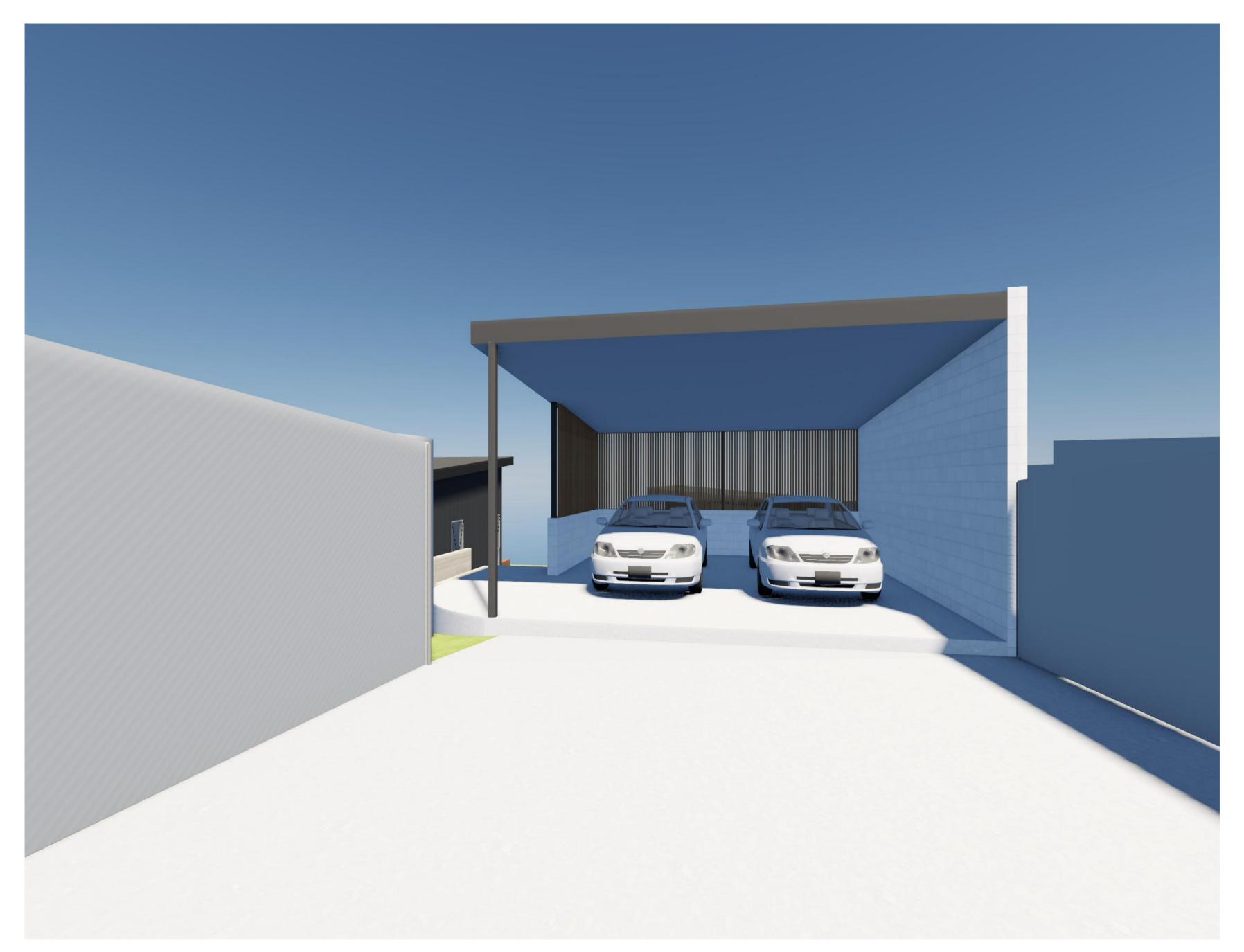
Date Received: 22/08/2025

Parnella Street, Dodges Ferry -P3.pdf Plans Reference: P3



### WEST | ELEVATION 2







## **DE BOER & FRIJLINK**

NEW ANCILLARY DWELLING & CARPORT
23 PARNELLA ROAD,
DODGES FERRY, TAS 7173
DATE: 22/8/2025 SIZE: A2 SCALE:

JOB: #ATT1646 DRAWN: N VALENTINE EMAIL: NIK@THEATTIC.NET.AU











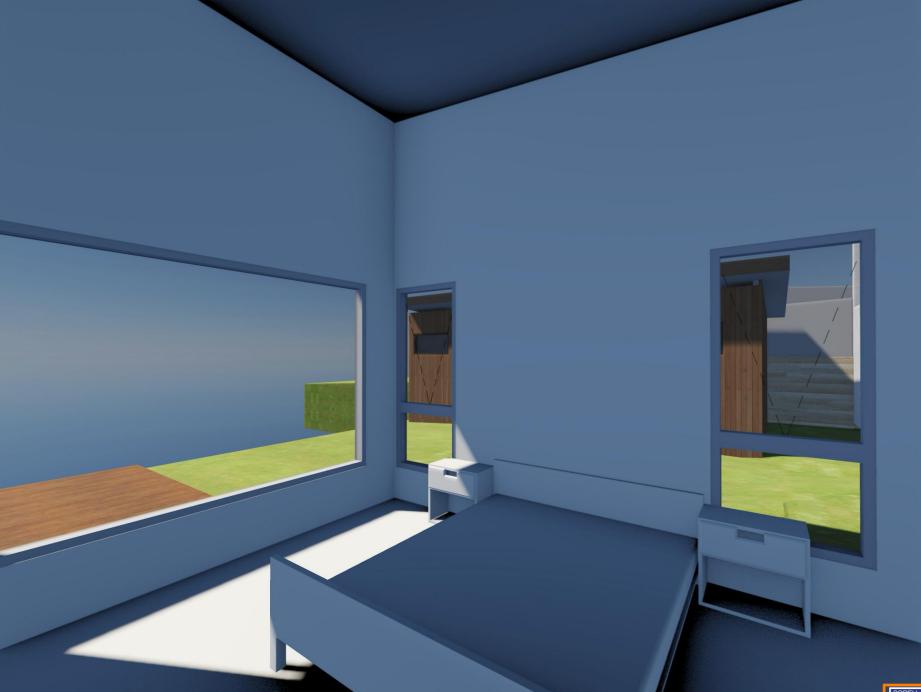
















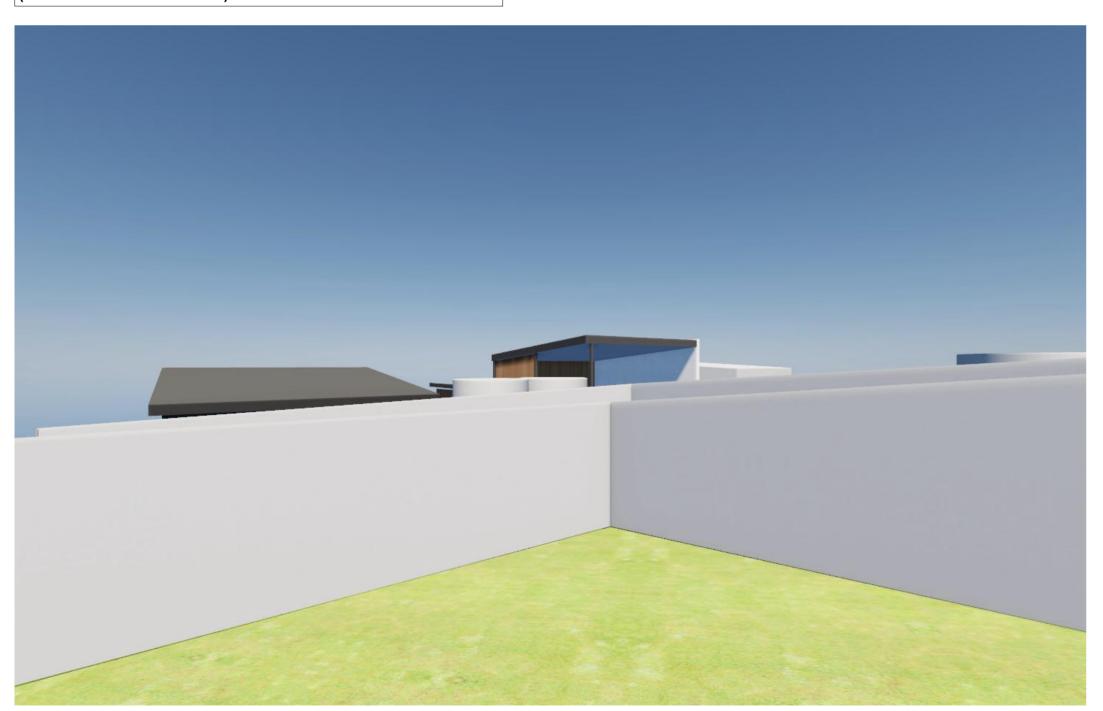
Sorell Council

Development Application: 5.2025.121.1 Response to Request For Information - 23 Parnella Street, Dodges Ferry -P3.pdf Plans Reference: P3 Date Received: 22/08/2025

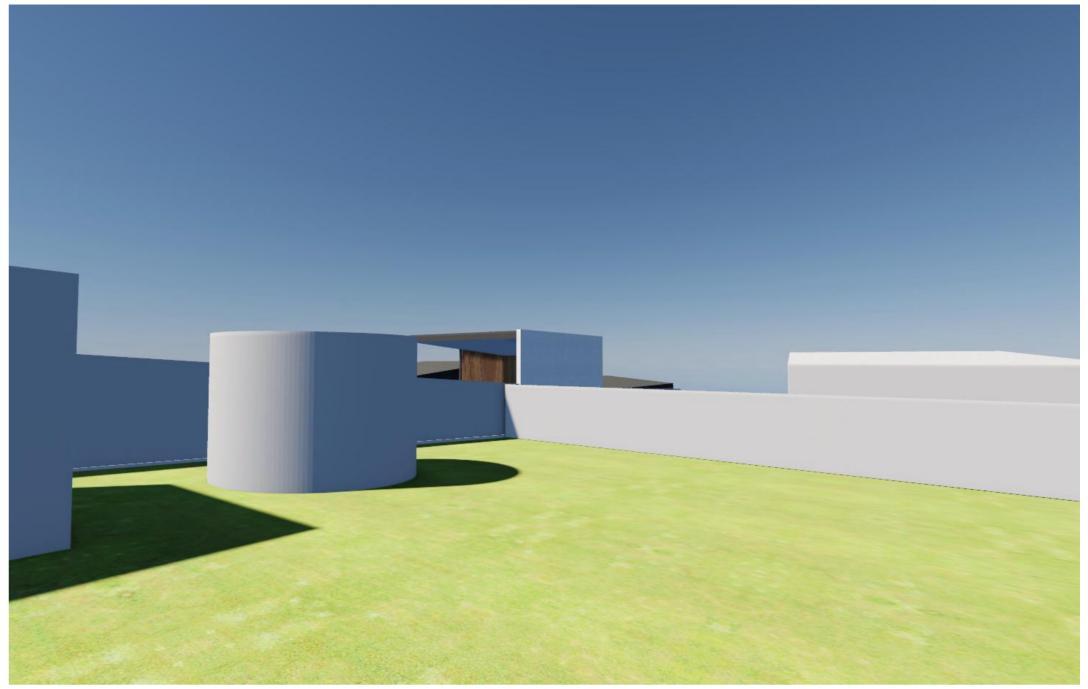
DATE: 22/8/2025 SIZE: A2 SCALE:
JOB: #ATT1646 DRAWN: N VALENTINE



APPROX. 3D PERSPECTIVE TAKEN FROM 2 CRUDDAH STREET (VEGETATION NOT SHOWN)



APPROX. 3D PERSPECTIVE TAKEN FROM 27 PARNELLA ROAD (VEGETATION NOT SHOWN)



APPROX. 3D PERSPECTIVE TAKEN FROM 21 PARNELLA ROAD (VEGETATION NOT SHOWN)



## **DE BOER & FRIJLINK**

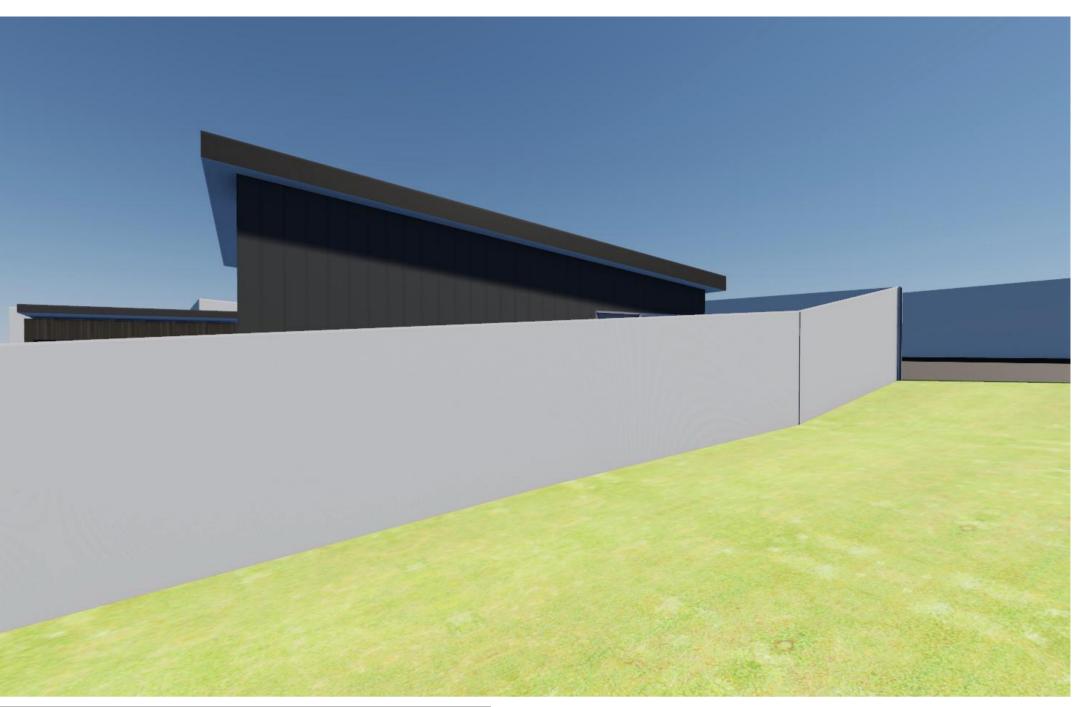
**NEW ANCILLARY DWELLING & CARPORT** 23 PARNELLA ROAD, **DODGES FERRY, TAS 7173** 

> DATE: **22/8/2025** SIZE: **A2** SCALE: JOB: #ATT1646 DRAWN: N VALENTINE EMAIL: NIK@THEATTIC.NET.AU





APPROX. 3D PERSPECTIVE TAKEN FROM 25A PARNELLA ROAD (VEGETATION NOT SHOWN)



APPROX. 3D PERSPECTIVE TAKEN FROM 25A PARNELLA ROAD (VEGETATION NOT SHOWN)



## **DE BOER & FRIJLINK**

NEW ANCILLARY DWELLING & CARPORT 23 PARNELLA ROAD, **DODGES FERRY, TAS 7173** 

DATE: **22/8/2025** SIZE: **A2** SCALE: JOB: #ATT1646 DRAWN: N VALENTINE



APPROX. PHOTOMONTAGE TAKEN FROM PARNELLA ROAD

APPROX. PHOTOMONTAGE TAKEN FROM PARNELLA ROAD



## DE BOER & FRIJLINK

NEW ANCILLARY DWELLING & CARPORT 23 PARNELLA ROAD, DODGES FERRY, TAS 7173 DATE: **22/8/2025** SIZE: **A2** SCALE:

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