

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE:

24 PENNA ROAD, MIDWAY POINT

PROPOSED DEVELOPMENT: TWO ASSISTED LIVING UNITS

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until Monday 18th August 2025.

Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the General Manager. Representations must be received no later than **Monday 18th August 2025**.

APPLICATION NO: 5.2025-118.1

DATE: 01 AUGUST 2025

Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	Use:			
or roposur.	Development:			
	Large or complex proposals s	hould be descri	bed i	n a letter or planning report.
Design and con	struction cost of proposal:	\$		
Is all, or some th	ne work already constructed	: No: [Yes: □
,		1131		
Location of	Street address:			
proposed works:	Suburb:	Po	ostco	ode:
WOTKS.	Certificate of Title(s) Volum	ıe:		. Folio:
Current Use of Site				
Current Owner/s:	Name(s)			
Is the Property of Register?	on the Tasmanian Heritage	No: ☐ Yes:		If yes, please provide written advice from Heritage Tasmania
Is the proposal to be carried out in more than one stage?		No: ☐ Yes:		If yes, please clearly describe in plans
Have any potentially contaminating uses been undertaken on the site?		No: ☐ Yes:		If yes, please complete the Additional Information for Non-Residential Use
Is any vegetation proposed to be removed?		No: ☐ Yes:		If yes, please ensure plans clearly show area to be impacted
Does the proposal involve land administered or owned by either the Crown or Council?		No: ☐ Yes:		If yes, please complete the Council or Crown land section on page 3
If a new or upgraded vehicular crossing is required from Council to the front boundary please				
<u> </u>	hicular Crossing (and Associa rell.tas.gov.au/services/engir	, ,	plica	ation form
TILLPS.// WWW.SU	ien.tas.gov.au/seivices/engii	icciiig/		

Sorell Council

Development Application: 5.2025.118.1 -Development Application - 24 Penna Road, Midway Point - P1.pdf Plans Reference:P1 Date Received:7/05/2025

Declarations and acknowledgements

- I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land.
- I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council's representatives to enter the land at any time during normal business hours.
- I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies.
- I/we declare that, in accordance with s52(1) of the Land Use Planning and Approvals Act 1993, that I have notified the owner(s) of the intention to make this application.
- I/we declare that the information in this application is true and correct.

Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council's Privacy Policy available on the Council website.

- I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.
- Where the General Manager's consent is also required under s.14 of the *Urban Drainage Act 2013*, by making this application I/we also apply for that consent.

Applicant Signature:	Signatura.
	Signature: Date:

Crown or General Manager Land Owner Consent

If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the *Land Use Planning and Approvals Act 1993*).

Please note:

- If General Manager consent if required, please first complete the General Manager consent application form available on our website www.sorell.tas.gov.au
- If the application involves Crown land you will also need a letter of consent.
- Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.

1		being responsible for the
administration of land at		Sorell Council
declare that I have given permission for the making of this application for		Development Application: 5.2025.118.1 - Development Application - 24 Penna Road, Midway Point - P1.pdf Plans Reference:P1 Date Received:7/05/2025
Signature of General Manager, Minister or Delegate:	Signature:	Date:



RESULT OF SEARCH

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SEARCH OF TORRENS TITLE

VOLUME	FOLIO
75172	3
EDITION	DATE OF ISSUE
2	09-Jan-1997

SEARCH DATE : 26-Feb-2025 SEARCH TIME : 12.06 PM

DESCRIPTION OF LAND

Parish of SORELL, Land District of PEMBROKE Lot 3 on Diagram 75172 (formerly being 219-11D) Derivation: Part of 310 acres Gtd to A Laing Prior CT 2611/3

SCHEDULE 1

B22597 TRANSFER to DAVID ROBIN REYNOLDS and PATRICIA FRANCES REYNOLDS as tenants in common in equal shares

SCHEDULE 2

Reservations and conditions in the Crown Grant if any 130167 FENCING CONDITION in Transfer B996503 MORTGAGE to Trust Bank Registered 09-Jan-1997 at 12. 01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



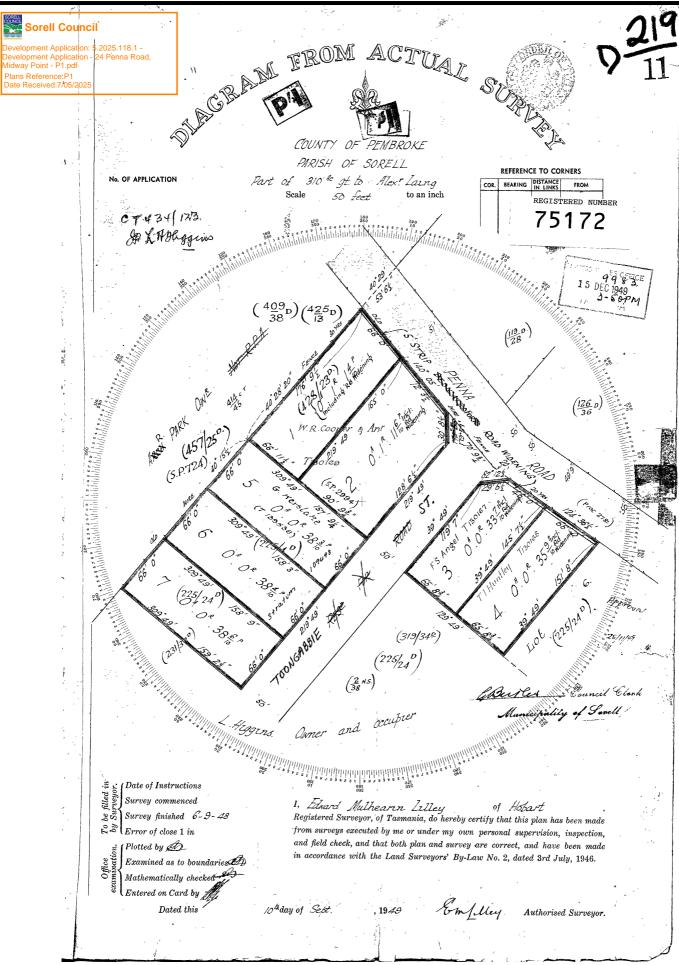


FOLIO PLAN

RECORDER OF TITLES



Issued Pursuant to the Land Titles Act 1980



Search Date: 26 Feb 2025 Search Time: 12:06 PM Volume Number: 75172 Revision Number: 01 Page 1 of 1





PO Box 126 47 Cole Street ABN 12 690 767 695

Telephone 03 6269 0000 Fax 03 6269 0014 SORELL TAS 7172 sorell.council@sorell.tas.gov.au www.sorell.tas.gov.au

GENERAL MANAGER LANDOWNER CONSENT FORM

This form is to request consent to lodge the attached development application that proposes the use of Council owned or administered land in accordance with Section 52(1B) of the Land Use Planning and Approvals Act 1993.

Applicant Name:	Kunama Construction Group Pty Ltd by their agent Michela Fortini at Ireneinc Planning and Urban Design
Applicant Address:	
Applicant Contact Details:	Phone c/0 62349281 Email c/o michela@ireneinc.com.au
Location of Council owned/administered land:	24 Penna Road, Midway Point

State the purpose of the use or development on the Council land

widen existing crossovers along Penna Road (x1) and Toongabbie Street (x1)

State what part of the Council land is to be used or developed

road reservation - please refer to accompanying cover letter

State the reason why the use or development needs to be located on Council land and cannot be contained solely within private property

widening vehicular crossover - please refer to accompanying cover letter

State the alternatives (if any) have been considered to avoid the Council land

please refer to accompanying cover letter



Declaration:	In making this application I acknowledge that:
	 This consent request is for the lodging of the development application only and if the consent request is supported it does not imply or form any approval of the application nor approval to occupy the council owned or administered land which is the subject of the request; and If council subsequently approves the application for permit, then the occupancy of the subject council owned or administered land may be conditional on an agreement with council being placed on the land title for the principal development pursuant to Part 5 of the Land Use Planning and Approvals Act 1993 and may be subject to a lease or annual licence and fee.
	Note: This request must be signed by the owner(s) of the property upon which the principal development is or is proposed to be undertaken.
Applicant's	I declare that the information in this application is true and correct.
Signature:	Signature: Date 07/05/25



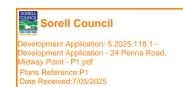
24 PENNA ROAD, MIDWAY POINT



Development Application: 5.2025.118.1 -Development Application - 24 Penna Road, Midway Point - P1.pdf

Midway Point - P1.pdf
Plans Reference:P1
Date Received:7/05/2025

ireneinc & smithstreetstudio
PLANNING & URBAN DESIGN



24 PENNA ROAD, MIDWAY POINT

Development application for assisted housing

Last Updated - May 2025 Author - Michela Fortini

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TASMANIA

49 Tasma Street, North Hobart, TAS 7000 Tel (03) 6234 9281 Fax (03) 6231 4727 Mob 0418 346 283 Email planning@ireneinc.com.au

1 INTRODUCTION

Ireneinc Planning & Urban Design has been engaged to provide the following assessment against the relevant provisions of *the Tasmanian Planning Scheme - Sorell*, to accompany a planning application for multiple dwellings at the above site.

1.1 SITE

The site is located at 24 Penna Road, Midway Point, and comprises of the following title:

• CT 75172/3



Figure 1: Aerial image of site (purple) (source: the listmap, 2025)

The total land area is 855.9m2 with primary frontage to Penna Road and secondary frontage to Toongabbie Street. The site currently hosts two large sheds.

2 PROPOSAL

The proposal is for the demolition of all existing structures onsite, as demonstrated in the accompanying demolition plan.

This proposal seeks to provide two new dwellings on the site which will be utilised as a Specialist Disability Accommodation, designed to comply with the applicable Australian standards for disability housing under the NDIS.

The front dwelling (UNIT 1) is proposed to be a three-bedroom, three-bathroom residence. One bedroom is designated for a carer onsite. The rear dwelling (UNIT 2) will feature one bedroom, two bathrooms, and a carers office. Both homes are designed as NDIS High Physical Support Houses, fully compliant with relevant Australian Standards for disability housing.

It is intended that this proposal, across both buildings, will provide for up to 3 NDIS participants and who rely on 24hr a day support provided through carers, with 1-2 carers anticipated to be on site at one time.

It is intended that the one-bedroom unit at the rear of the site would function much like a secondary residence in that it will be appurtenant to a single dwelling and shares with that single dwelling water, sewerage, gas, electricity and telecommunications connections and meters. However, as the size of the rear unit exceeds 60m^2 , it cannot be categorised as a secondary residence.

Associated works include:

- Widen the existing crossovers along Penna Road and Toongabbie Street to accommodate additional parking.
- A total of 4 parking spaces will be provided
- A timber fence and retaining wall to a maximum of 1.8m high.

3 PLANNING SCHEME REQUIREMENTS - ZONE

3.1 ZONE

The site is located within the General Residential Zone. The following provides assessment against the relevant provisions under the *Tasmanian Planning Scheme - Sorell*.

3.1.1 USE CLASS

The proposal, which is to provide specialist disability accommodation, is best described as a assisted housing which under the planning scheme means:

means housing provided by an organisation for higher needs tenants or residents, including those with physical or intellectual disabilities, and may include associated support services

Under the planning scheme, assisted housing is described within the residential use class.

In the General Residential Zone, assisted housing is categorised as permitted.

3.1.2 USE STANDARDS

The following provisions are not applicable:

- 8.3.1 Discretionary Uses
- 8.3.2 Visitor Accommodation

3.1.3 DEVELOPMENT STANDARDS

8.4.1 Residential density for multiple dwellings

OBJECTIVE That the density of multiple dwellings:

- (a) makes efficient use of land for housing; and
- (b) optimises the use of infrastructure and community services.

PLANNING SCHEME REQUIREMENTS

A1

Multiple dwellings must have a site area per dwelling of not less than 325m2.

COMMENTS

A1

This provision is not applicable as the proposal seeks approval for assisted housing.

Nonetheless, the proposal is able to comply. Site area is defined by the scheme as:

the area of a site, excluding any access strip, divided by the number of dwellings on that site.

The total site area is 855.9m2, each dwelling is able to retain a site area of 428m2, thereby complying.

8.4.2 Setbacks and building envelope for all dwellings

OBJECTIVE The siting and scale of dwellings:

- (a) provides reasonably consistent separation between dwellings and their frontage within a street;
- (b) provides consistency in the apparent scale, bulk, massing and proportion of dwellings;
- (c) provides separation between dwellings on adjoining properties to allow reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space; and
- (d) provides reasonable access to sunlight for existing solar energy installations.

PLANNING SCHEME REQUIREMENTS

A1

Unless within a building area on a sealed plan, a dwelling, excluding garages, carports and protrusions that extend not more than 0.9m into the frontage setback, must have a setback from a frontage that is:

- (a) if the frontage is a primary frontage, not less than 4.5m, or, if the setback from the primary frontage is less than 4.5m, not less than the setback, from the primary frontage, of any existing dwelling on the site;
- (b) if the frontage is not a primary frontage, not less than 3m, or, if the setback from the frontage is less than 3m, not less than the setback, from a frontage that is not a primary frontage, of any existing dwelling on the site;
- (c) if for a vacant site and there are existing dwellings on adjoining properties on the same street, not more than the greater, or less than the lesser, setback for the equivalent frontage of the dwellings on the adjoining sites on the same street; or (d) if located above a non-residential use at ground floor level, not less than the setback from the frontage of the ground floor level.
- (d) if located above a non-residential use at ground floor level, not less than the setback from the frontage of the ground floor level.

P1

A dwelling must have a setback from a frontage that is compatible with the streetscape, having regard to any topographical constraints.

COMMENTS

A1

Whilst the buildings both retain a setback of 4.5m from Penna Street and 3m from Toongabbie Street, the deck area encroaches within this area, thereby requiring assessment against the performance criteria.

P1

The site is mostly flat with a slight downward slope from north to south, necessitating a graded entry that extends around the buildings. Contiguous outdoor circulation space, suitable for wheelchair access, is required to ensure accessibility for tenants.

The dwellings are appropriately setback in accordance with frontage requirements, with only a small portion of the deck extending within 3m of Toongabbie Street. This deck, functioning primarily as a circulation space, is elevated at 0.5m above NGL, resulting in minimal visual impact on adjoining properties. Importantly, the dwelling, including the roofed covering for the

deck, maintains the required 3m setback, preserving compatibility with the existing streetscape. As the deck functions more like a walkway—similar to a path around a house—it is considered not to impact the streetscape or be inconsistent with surrounding setbacks.

A2

A garage or carport for a dwelling must have a setback from a primary frontage of not less than:

- (a) 5.5m, or alternatively 1m behind the building line;
- (b) the same as the building line, if a portion of the dwelling gross floor area is located above the garage or carport; or
- (c) 1m, if the existing ground level slopes up or down at a gradient steeper than 1 in 5 for a distance of 10m from the frontage.

COMMENTS

A2

a) The carport is setback 5.5m from Toongabbie Street and over 33m from the primary frontage along Penna Street and therefore complies.

A3

A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions that extend not more than 0.9m horizontally beyond the building envelope, must:

- (a) be contained within a building envelope (refer to Figures 8.1, 8.2 and 8.3) determined by:
- (i) a distance equal to the frontage setback or, for an internal lot, a distance of 4.5m from the rear boundary of a property with an adjoining frontage; and
- (ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above existing ground level at the side and rear boundaries to a building height of not more than 8.5m above existing ground level; and
- (b) only have a setback of less than 1.5m from a side or rear boundary if the dwelling:
- (i) does not extend beyond an existing building built on or within 0.2m of the boundary of the adjoining property; or
- (ii) does not exceed a total length of 9m or one third the length of the side boundary (whichever is the lesser).

P3

The siting and scale of a dwelling must:

- (a) not cause an unreasonable loss of amenity to adjoining properties, having regard to:
- (i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property;
- (ii) overshadowing the private open space of a dwelling on an adjoining property;
- (iii) overshadowing of an adjoining vacant property; and

- (iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property;
- (b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area; and
- (c) not cause an unreasonable reduction in sunlight to an existing solar energy installation on:
- (i) an adjoining property; or
- (ii) another dwelling on the same site.

COMMENTS

A3

Whilst the building is able to be contained primarily within the building envelope aside from some minor protrusions, the dwellings do not retain the required setback of 1.5m from side boundaries, thereby requiring assessment against the performance criteria.

Р3

This provision specifically applies to the adjoining properties at 2 Toongabbie Street and 22 Penna Road.

a)

- i) No overshadowing of the habitable rooms at 2 Toongabbie Street will occur. The proposal will cause minor overshadowing at 22 Penna Road, though it is difficult to determine if habitable rooms will be affected as there are no floorplans available to view. This overshadowing occurs between 12pm and 3pm, allowing for three hours of sunlight during the midwinter solstice.
- ii) The private open space at 2 Toongabbie Street will be partially shadowed between 9am and 12pm. However, this affects only a small portion of the site's frontage, with the majority of the POS still receiving full sunlight. At 20 Penna Road, approximately 50% of the POS will be overshadowed between 12pm and 3pm, with the remainder of the land unaffected.
- iii) Not applicable.
- (iv) The proposal comprises of two single-storey dwellings, predominantly at natural ground level, and will visually present as two modest-scale units. Site coverage complies with the planning scheme, and the buildings fall within the Acceptable Solutions for height, with only minor encroachments outside the building envelope near the south-western and south-eastern side boundaries.

Despite the proximity to the southern boundaries, visual bulk is mitigated through careful design. The adjoining dwellings at 2 Toongabbie and 22 Penna Road benefit from substantial setbacks, particularly adjacent to Unit 2, which significantly reduces any sense of enclosure or dominance. From 2 Toongabbie Street, the development will largely appear as a single dwelling due to the orientation and siting. The dwelling at 2 Toongabbie is located towards the rear of its lot, approximately 14 metres away from Unit 2, further reducing visual impact through distance and separation.

Additionally, the pitched roof design, which slopes down toward the boundaries, further minimises the perceived mass when viewed from these adjoining properties.

b) The following separation between properties are observed:



This range is between 3.3m and 30m. The proposal will result in a setback of 6.8m between unit 1 and the dwelling at 22 Penna Road at its nearest point. As this is within the range, it is therefore considered to comply.

The setback between Unit 2 and the adjoining properties is approximately 14 meters from the dwelling at 2 Toongabbie Street and 14 meters from the dwelling at 22 Penna Road. These setbacks fall within the required range and are therefore considered to be compatible.

c) The adjoining solar installation on 2 Toongabbie Street will not be affected by the proposal.

8.4.3 Site coverage and private open space for all dwellings

OBJECTIVE That dwellings are compatible with the amenity and character of the area and provide: (a) for outdoor recreation and the operational needs of the residents;

- (b) opportunities for the planting of gardens and landscaping; and
- (c) private open space that is conveniently located and has access to sunlight.

PLANNING SCHEME REQUIREMENTS

A1

Dwellings must have:

- (a) a site coverage of not more than 50% (excluding eaves up to 0.6m wide); and
- (b) for multiple dwellings, a total area of private open space of not less than 60m2 associated with each dwelling, unless the dwelling has a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer).

COMMENTS

A1

a) Site coverage is defined by the scheme as:

means the proportion of a site, excluding any access strip, covered by roofed buildings.

The proposal will result in a site coverage of approx. 384m² (including eaves up to 0.6m wide) equating to approximately 46%, thereby complying.

b) This provision is not applicable as the proposal is for assisted housing, not multiple dwellings.

A2

A dwelling must have private open space that:

- (a) is in one location and is not less than:
- (i) 24m2; or
- (ii) 12m2, if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer);
- (b) has a minimum horizontal dimension of not less than:
- (i) 4m; or
- (ii) 2m, if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer);
- (c) is located between the dwelling and the frontage only if the frontage is orientated between 30 degrees west of true north and 30 degrees east of true north; and
- (d) has a gradient not steeper than 1 in 10.

P2

A dwelling must have private open space that includes an area capable of serving as an extension of the dwelling for outdoor relaxation, dining, entertaining and children's play and is:

- (a) conveniently located in relation to a living area of the dwelling; and
- (b) orientated to take advantage of sunlight.

COMMENTS

A2

UNIT 1

Unit 1 features POS with an area of 4x6m in one location with a flat gradient. The POS is positioned between the dwelling and the truncated frontage, which is oriented within 30 degrees of true north to the northwest.

UNIT 2

Unit 2 features POS measuring 6x4 meters in one location, with a flat gradient. However, this POS is not located within 30 degrees of true north, therefore requiring assessment against the performance criteria.

P2

Unit 2 includes a private open space area that complies with the acceptable solution for size (26m2), is directly accessible from the living area, and is oriented to maximise north-western sunlight.

8.4.4 Sunlight to private open space of multiple dwellings

OBJECTIVE That the separation between multiple dwellings provides reasonable opportunity for sunlight to private open space for dwellings on the same site.

PLANNING SCHEME REQUIREMENTS

A1

A multiple dwelling, that is to the north of the private open space of another dwelling on the same site, required to satisfy A2 or P2 of clause 8.4.3, must satisfy (a) or (b), unless excluded by (c):

- (a) the multiple dwelling is contained within a line projecting (see Figure 8.4):
- (i) at a distance of 3m from the northern edge of the private open space; and
- (ii) vertically to a height of 3m above existing ground level and then at an angle of 45 degrees from the horizontal;
- (b) the multiple dwelling does not cause 50% of the private open space to receive less than 3 hours of sunlight between 9.00am and 3.00pm on 21st June; and
- (c) this Acceptable Solution excludes that part of a multiple dwelling consisting of:
- (i) an outbuilding with a building height not more than 2.4m; or
- (ii) protrusions that extend not more than 0.9m horizontally from the multiple dwelling

P1

A multiple dwelling must be designed and sited to not cause an unreasonable loss of amenity by overshadowing the private open space, of another dwelling on the same site, which is required to satisfy A2 or P2 of clause 8.4.3 of this planning scheme.

COMMENTS

A1

This provision is not applicable as the proposal is for assisted housing. Nonetheless, the following assessment is provided.

- a) Not applicable.
- b) Whilst some overshadowing is anticipated to occur to the POS of unit 2, the area is able to retain sunlight to more than 50% of its area between 10am and 3pm on June 21st, thereby complying.
- c) Not applicable.

8.4.5 Width of openings for garages and carports for all dwellings

OBJECTIVE To reduce the potential for garage or carport openings to dominate the primary frontage.

PLANNING SCHEME REQUIREMENTS

A1

A garage or carport for a dwelling within 12m of a primary frontage, whether the garage or carport is free-standing or part of the dwelling, must have a total width of openings facing the primary frontage of not more than 6m or half the width of the frontage (whichever is the lesser).

COMMENTS

Α1

The only proposed carport is not within 12m of the primary frontage along Penna Road. The carport facing Toongabbie Street is not a primary frontage, therefore this provision does not apply.

8.4.6 Privacy for all dwellings

OBJECTIVE To provide a reasonable opportunity for privacy for dwellings.

PLANNING SCHEME REQUIREMENTS

A1

A balcony, deck, roof terrace, parking space, or carport for a dwelling (whether freestanding or part of the dwelling), that has a finished surface or floor level more than 1m above existing ground level must have a permanently fixed screen to a height of not less than 1.7m above the finished surface or floor level, with a uniform transparency of not more than 25%, along the sides facing a:

- (a) side boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 3m from the side boundary;
- (b) rear boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 4m from the rear boundary; and
- (c) dwelling on the same site, unless the balcony, deck, roof terrace, parking space, or carport is not less than 6m:
- (i) from a window or glazed door, to a habitable room of the other dwelling on the same site; or
- (ii) from a balcony, deck, roof terrace or the private open space of the other dwelling on the same site.

Р1

A balcony, deck, roof terrace, parking space or carport for a dwelling (whether freestanding or part of the dwelling) that has a finished surface or floor level more than 1m above existing ground level, must be screened, or otherwise designed, to minimise overlooking of:

- (a) a dwelling on an adjoining property or its private open space; or
- (b) another dwelling on the same site or its private open space.

COMMENTS

Α1

A portion of the deck facing the southeastern boundary is greater than 1m above NGL.

- a) The deck is setback greater than 3m from the side boundary, thereby complying with (a).
- b) Given the configuration of the lot, it can be reasonably argued that there is no rear boundary. Instead, the two boundaries perpendicular to and interfacing with the street frontages function as side boundaries, effectively resulting in a lot with intersecting side boundaries rather than a rear boundary.
- c) The portion of the deck that is greater than 1m above NGL is not within 6m of Unit 2.

A2

A window or glazed door to a habitable room of a dwelling, that has a floor level more than 1m above existing ground level, must satisfy (a), unless it satisfies (b):

- (a) the window or glazed door:
- (i) is to have a setback of not less than 3m from a side boundary;
- (ii) is to have a setback of not less than 4m from a rear boundary;
- (iii) if the dwelling is a multiple dwelling, is to be not less than 6m from a window or glazed door, to a habitable room, of another dwelling on the same site; and
- (iv) if the dwelling is a multiple dwelling, is to be not less than 6m from the private open space of another dwelling on the same site.
- (b) the window or glazed door:
- (i) is to be offset, in the horizontal plane, not less than 1.5m from the edge of a window or glazed door, to a habitable room of another dwelling;
- (ii) is to have a sill height of not less than 1.7m above the floor level or have fixed obscure glazing extending to a height of not less than 1.7m above the floor level; or
- (iii) is to have a permanently fixed external screen for the full length of the window or glazed door, to a height of not less than 1.7m above floor level, with a uniform transparency of not more than 25%.

COMMENTS

A2

- a) The following window has a FFL greater than 1m:
 - Unit 1 living room

The window is setback greater than 3m from all side boundaries and, as discussed above, there are no rear boundaries. The window is greater than 6m from the other dwelling onsite.

A3

A shared driveway or parking space (excluding a parking space allocated to that dwelling) must be separated from a window, or glazed door, to a habitable room of a multiple dwelling by a horizontal distance of not less than:

(a) 2.5m; or

- (b) 1m if:
- (i) it is separated by a screen of not less than 1.7m in height; or
- (ii) the window, or glazed door, to a habitable room has a sill height of not less than 1.7m above the shared driveway or parking space, or has fixed obscure glazing extending to a height of not less than 1.7m above the floor level.

COMMENTS

A3

The proposed development is for assisted housing rather than multiple dwellings, and as such, this provision does not strictly apply. Nonetheless, the design ensures that driveways and parking spaces for Units 1 and 2 can be designated exclusively to their respective dwellings, avoiding the need for shared spaces.

8.4.8 Waste storage for multiple dwellings

OBJECTIVE: To provide for the storage of waste and recycling bins for multiple dwellings

PLANNING SCHEME REQUIREMENTS

A1

A multiple dwelling must have a storage area, for waste and recycling bins, that is not less than $1.5m^2$ per dwelling and is within one of the following locations:

- (a) an area for the exclusive use of each dwelling, excluding the area in front of the dwelling; or
- (b) a common storage area with an impervious surface that:
- (i) has a setback of not less than 4.5m from a frontage;
- (ii) is not less than 5.5m from any dwelling; and
- (iii) is screened from the frontage and any dwelling by a wall to a height not less than 1.2m above the finished surface level of the storage area.

COMMENTS

A1

Each dwelling has a waste storage area that is:

- a) For the exclusive use of each dwelling, located behind each units parking area.
- b) Not applicable.

The bin storage area will satisfy the required dimensions of 1.5m².

The following are not applicable to this proposal:

- 8.4.7 Frontage fences for all dwellings, as all fences proposed are exempt under 4.6.3 of the scheme.
- Development standards for non-dwellings
- Development standards for subdivision.



3.2 DISPERSIVE SOILS SPECIFIC AREA PLAN

The site is mapped as a dispersive soils specific area plan. Please refer to Dispersive Soil Assessment provided by GES.

4 PLANNING SCHEME REQUIREMENTS - CODES

4.1 ROAD AND RAILWAY ASSETS CODE

4.1.1 USE STANDARDS

C3.5.1 Traffic generation at a vehicle crossing, level crossing or new junction

OBJECTIVE To minimise any adverse effects on the safety and efficiency of the road or rail network from vehicular traffic generated from the site at an existing or new vehicle crossing or level crossing or new junction.

PLANNING SCHEME REQUIREMENTS

A1.1

For a category 1 road or a limited access road, vehicular traffic to and from the site will not require:

- (a) a new junction;
- (b) a new vehicle crossing; or
- (c) a new level crossing.

A1.2

For a road, excluding a category 1 road or a limited access road, written consent for a new junction, vehicle crossing, or level crossing to serve the use and development has been issued by the road authority.

A1.3

For the rail network, written consent for a new private level crossing to serve the use and development has been issued by the rail authority.

A1.4

Vehicular traffic to and from the site, using an existing vehicle crossing or private level crossing, will not increase by more than:

- (a) the amounts in Table C3.1; or
- (b) allowed by a licence issued under Part IVA of the Roads and Jetties Act 1935 in respect to a limited access road.

A1.5

Vehicular traffic must be able to enter and leave a major road in a forward direction..

COMMENTS

A1.1

Not applicable.

A1.2

No new junction or access is proposed. However, upgrades (including widening) are required to the existing accesses. General Managers Consent is sought as part of this application.

A1.3

Not applicable.

A1.4

As per table C3.1 - vehicular movements over crossings cannot increase by more than 20% of 40 VMPD.

As per the NSW RTA guide for traffic-generating developments, the following vehicle trip rates are applicable:

- · Residential Use: 9 daily vehicle trips per dwelling
- Housing for Aged and Disabled Persons: 1-2 daily vehicle trips per dwelling

With two dwellings, the maximum VMPD across the site is estimated at 18, with the minimum at 2-4 VMPD. Since the proposal falls below the required threshold of 40 vmpd, it complies with the guidelines.

A1.5

Penna Road and Toongabbie Road are not major roads.

The following provisions are not applicable:

- C3.6.1 Habitable buildings for sensitive uses within a road or railway attenuation area
- C3.7 Development Standards for Subdivision

4.2 SAFEGUARDING OF AIRPORTS CODE

The site is within an airport obstacle limitation area (47m). This code will not be applicable to the proposal.

4.3 PARKING AND SUSTAINABLE TRANSPORT CODE

4.3.1 USE STANDARDS

C2.5.1 Car parking numbers

OBJECTIVE That an appropriate level of car parking spaces are provided to meet the needs of the use

PLANNING SCHEME REQUIREMENTS

A1

The number of on-site car parking spaces must be no less than the number specified in Table C2.1, less the number of car parking spaces that cannot be provided due to the site including container refund scheme space, excluding if:

- (a) the site is subject to a parking plan for the area adopted by council, in which case parking provision (spaces or cash-in-lieu) must be in accordance with that plan;
- (b) the site is contained within a parking precinct plan and subject to Clause C2.7;
- (c) the site is subject to Clause C2.5.5; or
- (d) it relates to an intensification of an existing use or development or a change of use where:

- (i) the number of on-site car parking spaces for the existing use or development specified in Table C2.1 is greater than the number of car parking spaces specified in Table C2.1 for the proposed use or development, in which case no additional on-site car parking is required; or
- (ii) the number of on-site car parking spaces for the existing use or development specified in Table C2.1 is less than the number of car parking spaces specified in Table C2.1 for the proposed use or development, in which case on-site car parking must be calculated as follows: N = A + (C-B) N = Number of on-site car parking spaces required A = Number of existing on site car parking spaces B = Number of on-site car parking spaces required for the existing use or development specified in Table C2.1 C = Number of on-site car parking spaces required for the proposed use or development specified in Table C2.1.

P1.1

The number of on-site car parking spaces for uses, excluding dwellings, must meet the reasonable needs of the use, having regard to:

- (a) the availability of off-street public car parking spaces within reasonable walking distance of the site;
- (b) the ability of multiple users to share spaces because of:
- (i) variations in car parking demand over time; or
- (ii) efficiencies gained by consolidation of car parking spaces;
- (c) the availability and frequency of public transport within reasonable walking distance of the site;
- (d) the availability and frequency of other transport alternatives;
- (e) any site constraints such as existing buildings, slope, drainage, vegetation and landscaping;
- (f) the availability, accessibility and safety of on-street parking, having regard to the nature of the roads, traffic management and other uses in the vicinity;
- (g) the effect on streetscape; and
- (h) any assessment by a suitably qualified person of the actual car parking demand determined having regard to the scale and nature of the use and development.

P1.2

The number of car parking spaces for dwellings must meet the reasonable needs of the use, having regard to:

- (a) the nature and intensity of the use and car parking required;
- (b) the size of the dwelling and the number of bedrooms; and
- (c) the pattern of parking in the surrounding area.

COMMENTS

Α1

As per table C2.1, the following parking is required:

If a 2 or more bedroom dwelling in the General Residential Zone (including all rooms capable of being used as a bedroom)	2 spaces per dwelling
Visitor parking for multiple dwellings in the General Residential Zone	1 dedicated space per 4 dwellings (rounded up to the nearest whole number); or if on an internal lot or located at the head of a cul-de-sac, 1 dedicated space per 3 dwellings (rounded up to the nearest whole number)
Other Residential use in the General Residential Zone	1 space per bedroom or 2 spaces per 3 bedrooms + 1 visitor space for every 10 bedrooms (rounded up to the nearest whole number)

The proposal has 4 bedrooms, generating a requirement of 3 resident spaces (calculated as: 2 spaces for 3 bedrooms, 1 space for the remaining bedroom) and 1 visitor parking space.

The proposal includes two carport spaces, two DDA-compliant spaces, and an additional area within the driveway circulation that can accommodate a visitor parking space. With capacity for up to five parking spaces, the proposal is considered to satisfy the Acceptable Solution requirements.

The following provisions not applicable:

- C2.5.2 Bicycle parking numbers
- C2.5.3 Motorcycle parking numbers
- C2.5.4 Loading Bays
- C2.5.5 Number of car parking spaces within the General Residential Zone and Inner Residential Zone

4.3.2 DEVELOPMENT STANDARDS

C2.6.1 Construction of parking areas

OBJECTIVE That parking areas are constructed to an appropriate standard.

PLANNING SCHEME REQUIREMENTS

A1

All parking, access ways, manoeuvring and circulation spaces must:

- (a) be constructed with a durable all weather pavement;
- (b) be drained to the public stormwater system, or contain stormwater on the site; and
- (c) excluding all uses in the Rural Zone, Agriculture Zone, Landscape Conservation Zone, Environmental Management Zone, Recreation Zone and Open Space Zone, be surfaced by a spray seal, asphalt, concrete, pavers or equivalent material to restrict abrasion from traffic and minimise entry of water to the pavement.

COMMENTS

Α1

All parking and driveway spaces will:

- a) be constructed with a durable all weather pavement;
- b) be drained to the public stormwater system, or contain stormwater on the site; and
- c) be surfaced with concrete.

C2.6.2 Design and layout of parking areas

OBJECTIVE That parking areas are designed and laid out to provide convenient, safe and efficient parking.

PLANNING SCHEME REQUIREMENTS

A1.1

Parking, access ways, manoeuvring and circulation spaces must either:

- (a) comply with the following:
- (i) have a gradient in accordance with Australian Standard AS 2890 Parking facilities, Parts 1-6;
- (ii) provide for vehicles to enter and exit the site in a forward direction where providing for more than 4 parking spaces;
- (iii) have an access width not less than the requirements in Table C2.2;
- (iv) have car parking space dimensions which satisfy the requirements in Table C2.3;
- (v) have a combined access and manoeuvring width adjacent to parking spaces not less than the requirements in Table C2.3 where there are 3 or more car parking spaces;
- (vi) have a vertical clearance of not less than 2.1m above the parking surface level; and
- (vii) excluding a single dwelling, be delineated by line marking or other clear physical means; or
- (b) comply with Australian Standard AS 2890- Parking facilities, Parts 1-6.

A1.2

Parking spaces provided for use by persons with a disability must satisfy the following:

- (a) be located as close as practicable to the main entry point to the building;
- (b) be incorporated into the overall car park design; and
- (c) be designed and constructed in accordance with Australian/New Zealand Standard AS/NZS 2890.6:2009 Parking facilities, Off-street parking for people with disabilities.

COMMENTS

A1.1

All parking and driveway areas will be designed to comply with the required standards.

A1.2

All DDA parking and driveway areas will be designed to meet the required standards.

C2.6.3 Number of accesses for vehicles

OBJECTIVE

That:

- (a) access to land is provided which is safe and efficient for users of the land and all road network users, including but not limited to drivers, passengers, pedestrians and cyclists by minimising the number of vehicle accesses;
- (b) accesses do not cause an unreasonable loss of amenity of adjoining uses; and
- (c) the number of accesses minimise impacts on the streetscape.

PLANNING SCHEME REQUIREMENTS

A1

The number of accesses provided for each frontage must:

- (a) be no more than 1; or
- (b) no more than the existing number of accesses, whichever is the greater.

COMMENTS

Α1

No additional accesses are proposed. The existing accesses are proposed to be widened along Penna Road and Toongabbie Street. GM consent is sought as part of this application.

A2

Within the Central Business Zone...

COMMENTS

A2

Not applicable.

The following provisions are not applicable to the proposal:

- C2.6.4 Lighting of parking areas within the General Business Zone and Central Business
 Zone
- C2.6.5 Pedestrian access
- C2.6.6 Loading bays
- C2.6.7 Bicycle parking and storage facilities within the General Business Zone and Central Business Zone
- C2.6.8 Siting of parking and turning areas

5 CONCLUSION

This application seeks approval for a assisted housing (involving 2 dwellings) at 24 Penna Road, Midway Point.

This proposal seeks to provide two new dwellings on the site which will be utilised as a Specialist Disability Accommodation, designed to comply with the applicable Australian standards for disability housing under the NDIS. The two dwellings will include:

- Three-bedroom, three-bathroom residence, one of which is designated to the carer;
- One-bedroom, two-bathroom residence with carers office.

It is intended that the one-bedroom villa at the rear of the site would function much like an secondary residence in that it will be appurtenant to a single dwelling and shares with that single dwelling, water, sewerage, gas, electricity and telecommunications connections and meters. One carer will reside onsite at any one time who will provide care for the three residents across the two dwellings.

Associated works include:

- A timber fence and retaining wall at the sides and rear to a maximum height of 1.8m above existing natural ground level.
- Widen the existing crossovers along Toongabbie Street and Penna Road to 5.5m. General managers consent forms part of this application.

The site is within the General Residential Zone under the *Tasmanian Planning Scheme - Sorell*. The site is subject to various codes, including the Parking and Sustainable Transport Code, the Dispersive Soils Code, and the Road and Railway Assets code. It is considered that the proposal can sufficiently satisfy the requirements of the planning scheme.

AS2870:2011 SITE ASSESSMENT

24 Penna Road

Midway Point

October 2024









GEO-ENVIRONMENTAL

SOLUTIONS

Disclaimer: The author does not warrant the information contained in this document is free from errors or omissions. The author shall not in any way be liable for any loss, damage or injury suffered by the User consequent upon, or incidental to, the existence of errors in the information.



Investigation Details

Client: Kunama Architects

Site Address: 24 Penna Road, Midway Point

Date of Inspection: 08/10/2024

Proposed Works: New Unit(s)

Investigation Method: Geoprobe 540UD - Direct Push

Inspected by: C. Cooper

Site Details

Certificate of Title (CT): 75172/3

Title Area: Approx. 855.9 m²

Applicable Planning Overlays: Airport obstacle limitation area

Slope & Aspect: 1° NE facing slope

Vegetation: Grass & Weeds Disturbed

Background Information

Geology Map: MRT

Geological Unit: Triassic Sandstone

Climate: Annual rainfall 400mm

Water Connection: Mains

Sewer Connection: Serviced-Mains

Testing and Classification: AS2870:2011, AS1726:2017 & AS4055:2021



Investigation

A number of bore holes were completed to identify the distribution and variation of the soil materials at the site, bore hole locations are indicated on the site plan. See soil profile conditions presented below. Tests were conducted across the site to obtain bearing capacities of the material at the time of this investigation.

Soil Profile Summary

BH 1 Depth (m)	BH 2 Depth (m)	uscs	Description
0.00-0.20		SM	Silty SAND: with gravel, grey, dry, medium dense
0.20-1.40	0.00-1.00	SW	Silty SAND: trace of clay, dark grey, dark brown, moist, very dense
1.40-2.10		CL	Sandy CLAY: medium plasticity, grey, brown, slightly moist, stiff,
2.10-3.00	1.00-2.00	CI	Sandy CLAY: medium plasticity, pale grey mottled pale brown, slightly moist, stiff, no refusal

Site Notes

Soils on the site are developing from Triassic Sandstone. The clay fraction is likely to show moderate ground surface movement.

Site Classification

The site has been assessed and classified in accordance with AS2870:2011 "Residential Slabs and Footings".

The site has been classified as:

Class M

Y's range: **20-40mm**

Notes: that is a moderately reactive clay.



Wind Loading Classification

According to "AS4055:2021 - Wind Loads for Housing" the house site is classified below:

Wind Classification:	N3
Region:	Α
Terrain Category:	1.0
Shielding Classification:	PS
Topographic Classification:	T1
Wind Classification:	N3
Design Wind Gust Speed – m/s (V _{h,u}):	50

Construction Notes & Recommendations

The site has been classified as **Class M** - Moderately reactive clay or silt site, which may experience moderate ground movement from moisture changes.

It is recommended that all footings be founded in the natural material with bearing capacities >100kPa.

All earthworks on site must comply with AS3798:2012, and I further recommend that consideration be given to drainage and sediment control on site during and after construction. Care should also be taken to ensure there is adequate drainage in the construction area to avoid the potential for weak bearing and foundation settlement associated with excessive soil moisture.

I also recommend that during construction that I and/or the design engineer be notified of any major variation to the foundation conditions as predicted in this report.

 $\hbox{Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD}$

Director



Explanatory Notes

1 Scope of Works

The methods of description and classification of soils used in this report are based largely on Australian Standard 1726 – Geotechnical Site Investigations (AS1726:2017), with reference to Australian Standard 1289 – Methods for testing soils for engineering purposes (AS1289), for eventual Site Classification according to Australian Standard 2870 (AS2870:2011) – Residential Slabs and Footings and Australian Standard 1547 (AS1547:2012) On-site domestic wastewater management.

1.1 Site Classification AS2870:2011

Site classification with reference to the above Australian Standards are based on site reactivity.

Class	Foundation Conditions	Characteristic Surface Movement
Α	Most sand and rock sites with little or no ground movement from moisture changes.	0mm
S	Slightly reactive clay sites, which may experience only slight ground movement from moisture changes.	0 – 20mm
М	Moderately reactive clay or silt sites, which may experience moderate ground movement from moisture changes.	20 – 40mm
H-1	Highly reactive clay sites, which may experience high ground movement from moisture changes.	40 – 60mm
H-2	Highly reactive clay sites, which may experience very high ground movement from moisture changes.	60 – 75mm
Е	Extremely reactive sites, which may experience extreme ground movement from moisture changes.	>75mm

Note: Soils where foundation performance may be significantly affected by factors other than reactive soil movement are classified as **Class P**.

A site is classified as Class P when:

- The bearing capacity of the soil profile in the foundation zone is generally less than 100kpa
- If excessive foundation settlement may occur due to loading on the foundation.
- The site contains uncontrolled fill greater than 0.8m in depth for sandy sites and 0.4m in depth for other soil materials.
- The site is subject to mine subsistence, landslip, collapse activity or coastal erosion.
- The site is underlain by highly dispersive soils with significant potential for erosion
- If the site is subject to abnormal moisture conditions which can affect foundation performance



1.2 Soil Characterisation

This information explains the terms of phrase used within the soil description area of the report.

It includes terminology for cohesive and non-cohesive soils and includes information on how the Unified Soil Classification Scheme (USCS) codes are determined.

NON COHESIVE – SAND & GRAVEL				
Consistency Description	Field Test	Dynamic Cone Penetrometer blows/100 mm		
Very loose (VL)	Easily penetrated with 13 mm reinforcing rod pushed by hand.	0 - 1		
Loose (L)	Easily penetrated with 13 mm reinforcing rod pushed by hand. Can be excavated with a spade; 50 mm wooden peg can be easily driven.	1 - 3		
Medium dense (MD)	Penetrated 300 mm with 13 mm reinforcing rod driven with 2 kg hammer, - hard shovelling.	3 - 8		
Dense (D)	Penetrated 300 mm with 13 mm reinforcing rod driven with 2 kg hammer, requires pick for excavation: 50 mm wooden peg hard to drive.	8 - 15		
Very dense (VD)	Penetrated only 25 - 50 mm with 13 mm reinforcing rod driven with 2 kg hammer.	>15		

COHESIVE - SILT & CLAY				
Consistency Description	Field Test	Indicative undrained shear strength kPa		
Very soft	Easily penetrated >40 mm by thumb. Exudes between thumb and fingers when squeezed in hand.	<12		
Soft	Easily penetrated 10 mm by thumb. Moulded by light finger pressure	>12 and <25		
Firm	Impression by thumb with moderate effort. Moulded by strong finger pressure	>25 and <50		
Stiff	Slight impression by thumb cannot be moulded with finger.	>50 and <100		
Very Stiff	Very tough. Readily indented by thumbnail.	>100 and <200		
Hard	Brittle. Indented with difficulty by thumbnail.	>200		







1.3 USCS Material Descriptions

Soils for engineering purposes are the unconsolidated materials above bedrock, they can be residual, alluvial, colluvial or aeolian in origin.

Major Divisions		Particle size mm	USCS Group Symbol	Typical Names	Laboratory Classification							
COARSE GRAINED SOILS (more than half of material less than 63 mm is larger than 0.075 mm)	BOULDERS	200			%<	0.075 mm (2)	Plasticity of fine fraction	$C_{ii} = \frac{D_{ii}}{D_{i0}}$	$C_{+} = \frac{(D_{\infty})^{3}}{(D_{\infty})(D_{\infty})}$	NOTES		
	COBBLES	7777										
	GRAVELS (more than half of coarse fraction is larger than 2.36 mm)	63 coarse20 medium6 fine2.36 coarse0.6 medium0.2 fine0.075	GW	Well graded gravels and gravel-sand mixtures, little or no fines	J.Su	0-5	0 -1 0	>4	Between 1 and 3	(1) Identify fines by the method give for fine-grained soils. (2) Borderline classifications occur when the percentage of fines (fraction		
			GP	Poorly graded gravels and gravel-sand mixtures, little or no fines, uniform gravels		0-5	y ar y.		comply with			
			GM	Silty gravels, gravel-sand-silt mixtures (1)	'Wajor	12-50	Below 'A' line or PI<4	200				
			GC	Clayey gravels, gravel-sand- clay mixtures (1)	given in	12-50	Above 'A' line and PI>7	-	7576			
	SANDS (more than half of coarse fraction is smaller than 2.36 mm)		sw	Well graded sands and gravelly sands, little or no fines	he cateda	0-5	S=33	>6	Between 1 and 3			
			SP	Poorly graded sands and gravelly sands, little or no fines	according to the	0-5			comply with	smaller than 0.075 mm size) is greater than		
			SM	Silty sands, sand silt mixtures (1)	ons acc	12-50	Below 'A' line or PI<4	122	=	5% and less than 12%. Borderline classifications require the use of SP-SM, GW- GC.		
			SC	Clayey sands, sand-clay mixtures (1)	n of fractions	12-50	Above 'A' line and PI>7	-	-			
FINE GRANED SOILS more than half of material less than 63 mm is smaller than 0.075 mm	SILTS & CLAYS (Liquid Limit ≤50%)		ML	Inorganic silts, very fine sands, rock flour, silty or clayey fine sands or clayey silts with slight plasticity	Plasticity Chart For classification of fine grained soils							
			CL CI	Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clays	g 63 mm for	2 8 1 1 1 1 1						
			OL	Organic silts and clays of low plasticity	of passing (%)				10.10			
			МН	Inorganic silts, mic- aceous or diato-maceous fine sands or silts, elastic silts	gradation curve of material	Plastic Index (%)				Side Rattilla		
	SILTS & CLAYS (Liquid Limit >50%)		СН	Inorganic clays of high plasticity, fat clays	Plastic	5.00	a a	MILEC	24			
			ОН	Organic silts and clays of high plasticity	radation		Zen	-	4 CL			
	HIGHLY ORGANIC SOILS		PT	Peat and other highly organic soils	E 0 10 20 30 40 50 60 70 60 90 30 50 50 50 50 50 50 50 50 50 50 50 50 50							



Grain size analysis is performed by two processes depending on particle size. Sand silt and clay particles are assessed using a standardised hydrometer test, and coarse sand and larger is assessed through sieving by USCS certified sieves. For more detail see the following section.

Soil Classification	Particle Size			
Clay	Less than 0.002mm			
Silt	0.002 – 0.06mm			
Fine/Medium Sand	0.06 – 2.0mm			
Coarse Sand	2.0mm – 4.75mm			
Gravel	4.75mm – 60.00mm			

1.4 Bearing Capacities and DCP testing.

DCP and PSP weighted penetrometer tests – Dynamic Cone Penetrometer (DCP) and Perth Sand Penetrometer (PSP) tests are carried out by driving a rod into the ground with a falling weight hammer and measuring the blows for successive 100mm increments of penetration. Normally, there is a depth limitation of 1.2m but this may be extended in certain conditions by the use of extension rods. The methods for the two tests are quite similar.

- Dynamic Cone Penetrometer a 16mm rod with a 20mm diameter cone end is driven with a 9kg hammer dropping 510mm (AS 1289, Test 6.3.2).
- Perth Sand Penetrometer a 16mm diameter flat-ended rod is driven with a 9kg hammer, dropping 600mm (AS 1289 Test 6.3.3). This test was developed for testing the density of sands and is mainly used in granular soils and filling.

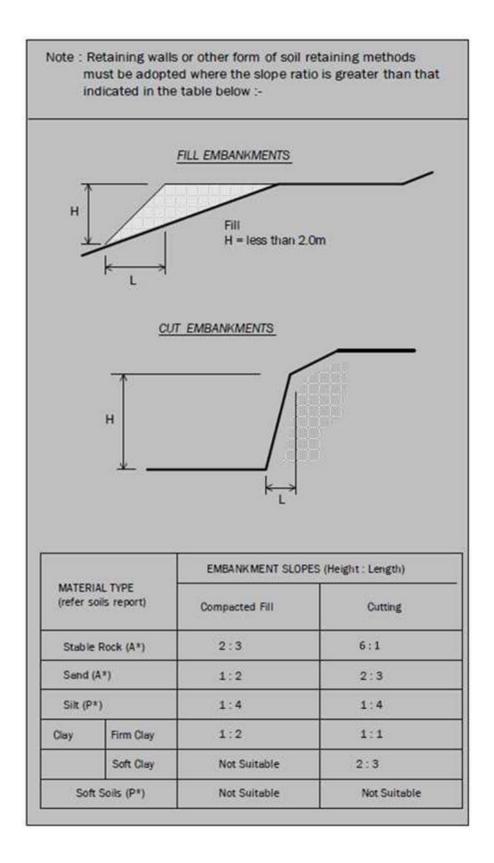
Site Anomalies – During construction GES will need to be notified of any major variation to the foundation conditions as predicted in this report.







1.5 Batter Angles for Embankments (Guide Only)





Glossary of Terms

Bearing Capacity – Maximum bearing pressure that can be sustained by the foundation from the proposed footing system under service loads which should avoid failure or excessive settlement.

Clay – (Mineral particles less than 0.002mm in diameter). Fine grained cohesive soil with plastic properties when wet. Also includes sandy clays, silty clays, and gravelly clays.

Dynamic Cone Penetrometer (DCP) – Field equipment used to determine underlying soil strength and therefore bearing capacity (kPa) by measuring the penetration of the device into the soil after each hammer blow.

Dispersive soil – A soil that has the ability to pass rapidly into suspension in water.

Footing – Construction which transfers the load from the building to the foundation.

Foundation – Ground which supports the building

Landslip – Foundation condition on a sloping site where downhill foundation movement or failure is a design consideration.

Qualified Engineer – A professional engineer with academic qualifications in geotechnical or structural engineering who also has extensive experience in the design of the footing systems for houses or similar structures.

Reactive Site – Site consisting of clay soil which swells on wetting and shrinks on drying by an amount that can damage buildings on light strip footings or unstiffened slabs. Includes sites classified as S, M, H-1, H-2 & E in accordance with AS2870-2011.

Sand – (Mineral particles greater than 0.02mm in diameter). Granular non-cohesive, non-plastic soil that may contain fines including silt or clay up to 15%.

Services – Means all underground services to the site including but not limited to power, telephone, sewerage, water & storm water.

Silt – (Mineral particles 0.002 - 0.02mm in diameter). Fine grained non-cohesive soil, non-plastic when wet. Often confers a silky smoothness of field texture, regularly includes clay and sand to form clayey silts, sandy silts and gravelly silts.

Site – The site title, as denoted by address, lot number, or Certificate of Title (CT) number, or Property Identification Number (PID).

Surface Movement (Ys) – Design movement (mm) at the surface of a reactive site caused by moisture changes.



Disclaimer

This Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the Client. To the best of GES's knowledge, the information presented herein represents the client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that discussed in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organisations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

The scope of this study does not allow for the review of every possible geotechnical parameter or the soil conditions over the whole area of the site. Soil and rock samples collected from the investigation area are assumed to be representative of the areas from where they were collected and not indicative of the entire site. The conclusions discussed within this report are based on observations and/or testing at these investigation points.

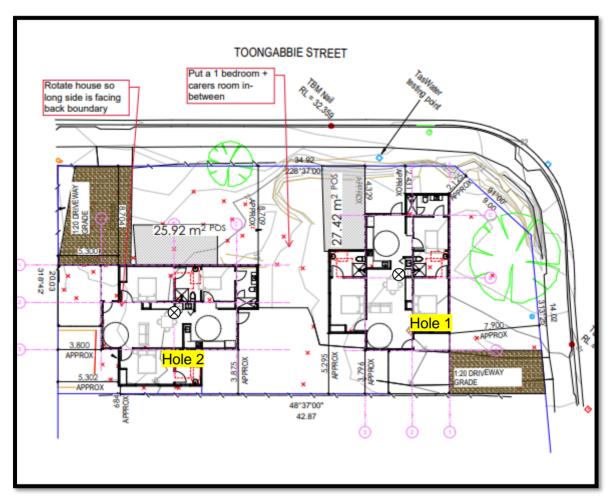
This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required.

No responsibility is accepted for use of any part of this report in any other context or for any other purpose by third a party.



Site Plan







APPENDIX 1 - DCP Results Table

Dynamic Cone Penetration (DCP) Conversion to Californian Bearing Ratio (ref: Australian Standard AS 1289.6.3.2 - 1997)

DCP Location BH1

Depth (mm)	DCP	DCP	DCP Resistance	Allowable Bearing Capacity	CBR (Rounded Up)
	(Blows/100mm)	(mm/Blow)	(mPa)	(kPa)	
0-100	1	100.0	0.3	35	2
100-200	1	100.0	0.3	35	2
200-300	6	16.7	1.9	208	13
300-400	8	12.5	2.5	278	17
400-500	10	10.0	3.1	347	22
500-600	7	14.3	2.2	243	15
600-700	6	16.7	1.9	208	13
700-800	6	16.7	1.9	208	13
800-900	6	16.7	1.9	208	13
900-1000	9	11.1	2.8	313	20
1000-1100	10	10.0	3.1	347	22
1100-1200	20	5.0	6.3	694	48
1200-1300	20	5.0	6.3	694	48
1300-1400	25	4.0	7.8	868	62

CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

To:	Kunama Architects			Owner /Agent		E E	
	2/5 Bayfield Street			Address	Form	55	
	Rosny Park	Suburb/postcode					
Qualified perso	on details:						
Qualified person:	John-Paul Cumming]					
Address:	29 Kirksway Place			Phone No:	03	6223 1839	
	Battery Point	70	004	Fax No:			
Licence No:	AO999 Email address:			ı ı@geosolutio	ns.net	.au	
Qualifications and Insurance details:	Certified Professional Soil Scientist (CPSS stage 2)	Certified Professional Soil (description of the Chiracter)					
Speciality area of expertise:	AS2870-2011 Foundation Classification	Director'					
Details of work							
Address:	24 Penna Road				Lot No:		
	Midway Point	71	71	Certificate of	title No:	75172/3	
The assessable item related to this certificate:	according to AS2870-2011	Classification of foundation Conditions according to AS2870-2011					
Certificate deta	ils:						
Certificate type: F	ertificate type: Foundation Classification (description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)						
This certificate is in	relation to the above assessable iten	n, at an	ıy stage	e, as part of - <i>(tid</i>	ck one)		
	building work, plumbing work o	or plum	bing ins	stallation or der	nolition	work 🛛	
or a building, temporary structure or plumbing installation: \Box							

In issuing this certificate the following matters are relevant -

Documents: The attached soil report for the address detailed above in 'details of

work'

Relevant

calculations:

Reference the above report.

References: AS2870:2011 residential slabs and footings

AS1726:2017 Geotechnical site investigations

CSIRO Building technology file - 18.

Substance of Certificate: (what it is that is being certified)

Site Classification consistent with AS2870-2011.

Scope and/or Limitations

The classification applies to the site as inspected and does not account for future alteration to foundation conditions as a result of earth works, drainage condition changes or variations in site maintenance.

I, John-Paul Cumming certify the matters described in this certificate.

Qualified person:

Signed:

d:

Certificate No:

J10925

Date:

09/10/2024



Director of Building Control - Date Approved 1 July 2017

DISPERSIVE SOIL ASSESSMENT

24 Penna Road Midway Point October 2024



Development Application: 5.2025.118.1 Development Application - 24 Penna Road,
Midway Point - P1.pdf
Plans Reference:P1
Date Received:7/05/2025







GEO-ENVIRONMENTAL

SOLUTIONS

Disclaimer: The author does not warrant the information contained in this document is free from errors or omissions. The author shall not in any way be liable for any loss, damage or injury suffered by the User consequent upon, or incidental to, the existence of errors in the information.



Investigation Details

Client: Ireneinc Planning & Urban Design

Site Address: 24 Penna Road, Midway Point

Date of Inspection: 08/10/2024

Proposed Works: New House + Villa

Investigation Method: Geoprobe 540UD - Direct Push

Inspected by: C. Cooper

Site Details

Certificate of Title (CT): 75172/3

Title Area: Approx. 855.9 m²

Applicable Planning Overlays: Airport obstacle limitation area

Slope & Aspect: 1° NE facing slope

Vegetation: Grass & Weeds Disturbed

Background Information

Geology Map: MRT

Geological Unit: Triassic Sandstone

Climate: Annual rainfall 400mm

Water Connection: Mains

Sewer Connection: Serviced-Mains

Testing and Classification: AS2870:2011, AS1726:2017 & AS4055:2021



Investigation

A number of bore holes were completed to identify the distribution and variation of the soil materials at the site, bore hole locations are indicated on the site plan. See soil profile conditions presented below. Tests were conducted across the site to obtain bearing capacities of the material at the time of this investigation.

Soil Profile Summary

BH 1 Depth (m)	BH 2 Depth (m)	uscs	Description
0.00-0.20		SM	Silty SAND: with gravel, grey, dry, medium dense
0.20-1.40	0.00-1.00	SW	Silty SAND: trace of clay, dark grey, dark brown, moist, very dense
1.40-2.10		CL	Sandy CLAY: medium plasticity, grey, brown, slightly moist, stiff,
2.10-3.00	1.00-2.00	CI	Sandy CLAY: medium plasticity, pale grey mottled pale brown, slightly moist, stiff, no refusal

Site Notes

The soil on site has formed from Triassic sandstone. The subsoil was tested for dispersion using the Emerson Test and was found to be slightly dispersive Class 2(2) -obvious milkiness, <50% of the aggregate affected.

Dispersive Soil Assessment

The dispersive soil assessment of the property considers the proposed construction area.

Potential for dispersive soils

The site has been identified as an area subject to a tunnel erosion hazard according to 'Dispersive Soils and Their Management: Technical Reference Manual'. This is due to the soils present on site that developed from Triassic Sandstone that contain considerable fine sand/silt content and medium plastic clays. Triassic Sandstone in the local area is known to produce soils with an excess of sodium on the soil exchange complex, which can cause soil dispersion. Under some circumstances the presence of dispersive soils can also lead to significant erosion, and in particular tunnel erosion. Based upon field survey of the property, no visible tunnel or gully erosion was identified. However, a soil sampling program was undertaken to identify the presence of dispersive soils in the proposed development areas.



Soil sampling and testing

Samples were taken at the site for assessment of dispersion. An Emerson (1968) Dispersion test was conducted to determine if these samples were dispersive.

The soil samples taken from site were found to be Slightly dispersive Class 2(2) -obvious milkiness, <50% of the aggregate affected.

Management Recommendations

A number of site and soil management measures are recommended for development on the site.

The proposed site cut/fill and driveway areas must be managed by:

- Applying a geo-fabric, jute mesh or similar material to the exposed batters of any cutting on site and revegetating the slope
- Applying a surface layer of at least 50mm of suitable crushed rock/gravel to the driveway surface (and any proposed house pad), with adequate compaction to ensure a relatively impervious surface to maintain site surface stability
- Vegetation on any fill batters must be established and maintained, if any bare area of soil on the batter develops then it must be top-dressed with suitable topsoil and additional vegetation planted

The risk or erosion and tunnel erosion associated with construction must be minimized by:

- Any new water, power, or other service trenches within the property must ensure recommendations for dispersive soils are followed:
- o Where possible trenches to be placed shallow in topsoil and mounded over to achieve the required cover depth
- o If buried the trench must be backfilled in layers of no more than 200mm with clay with 5% by weight gypsum added (the clay must be sufficiently moist to allow good compaction).
- o The trench must be finished with at least 150mm depth of non-dispersive suitable topsoil and finished to a level at least 75mm above natural ground to allow for possible settlement
- Vegetation cover must be maintained wherever possible on the property
- Foundations may be placed into the natural soil; however, care must be taken to ensure all exposed soil in the foundation area is compacted and 1Kg/m2 of gypsum is applied. Excavated fill from the construction area is not recommended for reuse on site in landscaping unless it is appropriately treated with



gypsum, compacted, and capped with topsoil with natural soil and gypsum

- All stormwater runoff from the dwelling to be directed to mains connection (all the drains are to be adequately treated with gypsum)
- Drainage of any site cut must not employ conventional rock drain construction; it must adhere to recommendations for dispersive soils (unless founded entirely in rock)
- All excavation works on site should be monitored for signs of soil dispersion and remedial action taken as required any excavated fill from the construction area is not recommended for reuse on site in landscaping unless it is appropriately treated with gypsum, compacted, and capped with topsoil

Conclusions

There is a low risk associated with dispersive soils and potential erosion on the site provided the recommendations in this report are adhered to. Efforts should be made to cover all exposed soils on cut/fill batters with topsoil and seeded with well suited pasture species to avoid rainwater, runoff, surface water flows from intercepting exposed subsoils.

A number of site management recommendations have been made in this report and further information can also be found in the publication "Dispersive soils and their management – Technical manual" (DPIWE Tas 2009)

It is recommended that during construction that GES be notified of any variation to the soil conditions as outlined in this report.

Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD

Environmental and Engineering Soil Scientist



Appendix 1- Soil test results

Laboratory Test Results

Sample Submitted By: C Cooper

Date Submitted: 9/10/2024

Sample Identification: 2 samples – 24 Penna Road, Midway Point

Soil to be tested: Emerson soil dispersion test

Result:

Sample	Texture	Emerson class	Description
Sample 1	clay	Class 2 (2)	Some dispersion <50% affected
Sample 2	clay	Class 2 (2)	Some dispersion <50% affected

Notes: Some dispersion with obvious milkiness affecting <50% of the aggregate.

Sample Tested by: C Cooper

9/10/2024



Disclaimer

This Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the Client. To the best of GES's knowledge, the information presented herein represents the client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that discussed in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organizations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

The scope of this study does not allow for the review of every possible geotechnical parameter or the soil conditions over the whole area of the site. Soil and rock samples collected from the investigation area are assumed to be representative of the areas from where they were collected and not indicative of the entire site. The conclusions discussed within this report are based on observations and/or testing at these investigation points.

This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required.

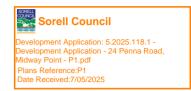
No responsibility is accepted for the use of any part of this report in any other context or for any other purpose by third a party.

AS2870:2011 SITE ASSESSMENT

24 Penna Road

Midway Point

October 2024





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Investigation Details

Client: Kunama Architects

Site Address: 24 Penna Road, Midway Point

Date of Inspection: 08/10/2024

Proposed Works: New Unit(s)

Investigation Method: Geoprobe 540UD - Direct Push

Inspected by: C. Cooper

Site Details

Certificate of Title (CT): 75172/3

Title Area: Approx. 855.9 m²

Applicable Planning Overlays: Airport obstacle limitation area

Slope & Aspect: 1° NE facing slope

Vegetation: Grass & Weeds Disturbed

Background Information

Geology Map: MRT

Geological Unit: Triassic Sandstone

Climate: Annual rainfall 400mm

Water Connection: Mains

Sewer Connection: Serviced-Mains

Testing and Classification: AS2870:2011, AS1726:2017 & AS4055:2021



Investigation

A number of bore holes were completed to identify the distribution and variation of the soil materials at the site, bore hole locations are indicated on the site plan. See soil profile conditions presented below. Tests were conducted across the site to obtain bearing capacities of the material at the time of this investigation.

Soil Profile Summary

BH 1 Depth (m)	BH 2 Depth (m)	uscs	Description
0.00-0.20		SM	Silty SAND: with gravel, grey, dry, medium dense
0.20-1.40	0.00-1.00	SW	Silty SAND: trace of clay, dark grey, dark brown, moist, very dense
1.40-2.10		CL	Sandy CLAY: medium plasticity, grey, brown, slightly moist, stiff,
2.10-3.00	1.00-2.00	CI	Sandy CLAY: medium plasticity, pale grey mottled pale brown, slightly moist, stiff, no refusal

Site Notes

Soils on the site are developing from Triassic Sandstone. The clay fraction is likely to show moderate ground surface movement.

Site Classification

The site has been assessed and classified in accordance with AS2870:2011 "Residential Slabs and Footings".

The site has been classified as:

Class M

Y's range: **20-40mm**

Notes: that is a moderately reactive clay.



Wind Loading Classification

According to "AS4055:2021 - Wind Loads for Housing" the house site is classified below:

Wind Classification:	N3
Region:	Α
Terrain Category:	1.0
Shielding Classification:	PS
Topographic Classification:	T1
Wind Classification:	N3
Design Wind Gust Speed – m/s (V _{h,u}):	50

Construction Notes & Recommendations

The site has been classified as **Class M** - Moderately reactive clay or silt site, which may experience moderate ground movement from moisture changes.

It is recommended that all footings be founded in the natural material with bearing capacities >100kPa.

All earthworks on site must comply with AS3798:2012, and I further recommend that consideration be given to drainage and sediment control on site during and after construction. Care should also be taken to ensure there is adequate drainage in the construction area to avoid the potential for weak bearing and foundation settlement associated with excessive soil moisture.

I also recommend that during construction that I and/or the design engineer be notified of any major variation to the foundation conditions as predicted in this report.

 $\hbox{Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD}$

Director



Explanatory Notes

1 Scope of Works

The methods of description and classification of soils used in this report are based largely on Australian Standard 1726 – Geotechnical Site Investigations (AS1726:2017), with reference to Australian Standard 1289 – Methods for testing soils for engineering purposes (AS1289), for eventual Site Classification according to Australian Standard 2870 (AS2870:2011) – Residential Slabs and Footings and Australian Standard 1547 (AS1547:2012) On-site domestic wastewater management.

1.1 Site Classification AS2870:2011

Site classification with reference to the above Australian Standards are based on site reactivity.

Class	Foundation Conditions	Characteristic Surface Movement
Α	Most sand and rock sites with little or no ground movement from moisture changes.	0mm
S	Slightly reactive clay sites, which may experience only slight ground movement from moisture changes.	0 – 20mm
М	Moderately reactive clay or silt sites, which may experience moderate ground movement from moisture changes.	20 – 40mm
H-1	Highly reactive clay sites, which may experience high ground movement from moisture changes.	40 – 60mm
H-2	Highly reactive clay sites, which may experience very high ground movement from moisture changes.	60 – 75mm
E	Extremely reactive sites, which may experience extreme ground movement from moisture changes.	>75mm

Note: Soils where foundation performance may be significantly affected by factors other than reactive soil movement are classified as **Class P**.

A site is classified as Class P when:

- The bearing capacity of the soil profile in the foundation zone is generally less than 100kpa
- If excessive foundation settlement may occur due to loading on the foundation.
- The site contains uncontrolled fill greater than 0.8m in depth for sandy sites and 0.4m in depth for other soil materials.
- The site is subject to mine subsistence, landslip, collapse activity or coastal erosion.
- The site is underlain by highly dispersive soils with significant potential for erosion
- If the site is subject to abnormal moisture conditions which can affect foundation performance



1.2 Soil Characterisation

This information explains the terms of phrase used within the soil description area of the report.

It includes terminology for cohesive and non-cohesive soils and includes information on how the Unified Soil Classification Scheme (USCS) codes are determined.

NON COHESIVE – SAND & GRAVEL							
Consistency Description	Field Test	Dynamic Cone Penetrometer blows/100 mm					
Very loose (VL)	Easily penetrated with 13 mm reinforcing rod pushed by hand.	0 - 1					
Loose (L)	Easily penetrated with 13 mm reinforcing rod pushed by hand. Can be excavated with a spade; 50 mm wooden peg can be easily driven.	1 - 3					
Medium dense (MD)	Penetrated 300 mm with 13 mm reinforcing rod driven with 2 kg hammer, - hard shovelling.	3 - 8					
Dense (D)	Penetrated 300 mm with 13 mm reinforcing rod driven with 2 kg hammer, requires pick for excavation: 50 mm wooden peg hard to drive.	8 - 15					
Very dense (VD)	Penetrated only 25 - 50 mm with 13 mm reinforcing rod driven with 2 kg hammer.	>15					

COHESIVE - SILT & CLAY							
Consistency Description	Field Test	Indicative undrained shear strength kPa					
Very soft	Easily penetrated >40 mm by thumb. Exudes between thumb and fingers when squeezed in hand.	<12					
Soft	Easily penetrated 10 mm by thumb. Moulded by light finger pressure	>12 and <25					
Firm	Impression by thumb with moderate effort. Moulded by strong finger pressure	>25 and <50					
Stiff	Slight impression by thumb cannot be moulded with finger.	>50 and <100					
Very Stiff	Very tough. Readily indented by thumbnail.	>100 and <200					
Hard	Brittle. Indented with difficulty by thumbnail.	>200					







1.3 USCS Material Descriptions

Soils for engineering purposes are the unconsolidated materials above bedrock, they can be residual, alluvial, colluvial or aeolian in origin.

Majo	or Divisions	Particle size mm	USCS Group Symbol	Typical Names		77	Labo	ratory Cla	assification					
	BOULDERS	SOULDERS 200						% < 0.075 m (2)		2000	Plasticity of fine fraction	$C_{ii} = \frac{D_{io}}{D_{io}}$	$C_{v} = \frac{(D_{so})^{2}}{(D_{so})(D_{so})}$	NOTES
E	COBBLES													
Than 0.075 mm)	<u></u>	63	GW	Well graded gravels and gravel-sand mixtures, little or no fines		0-5	1 14	>4	Between 1 and 3	(1) Identify fines by the method giver				
Sarger	GRAVELS (more than	coarse	GP	Poorly graded gravels and gravel-sand mixtures, little or no fines, uniform gravels	given in 'Major Divisions'	0-5	1 1 - 2		comply with	for fine-grained soils.				
NED SC 63 mm	half of coarse	medium	GM	Silty gravels, gravel-sand-silt mixtures (1)	'Wajor	12-50	Below 'A' line or PI<4	223						
COARSE GRAINED SOIL	fraction is larger than 2.36 mm)	6 fine 2.36	GC	Clayey gravels, gravel-sand- clay mixtures (1)		12-50	Above 'A' line and PI>7	200	- 131 1	(2) Borderline				
8	SANDS		sw	Well graded sands and gravelly sands, little or no fines	he cateda	0-5	S=33	>6	Between 1 and 3	classifications occur when the percentage of fines (fraction				
more than half of	(more than half of coarse fraction is smaller than 2.36 mm)	half of coarse	0.6	SP	Poorly graded sands and gravelly sands, little or no fines	according to the	0-5			comply with	smaller than 0.075 mm size) is greater than			
		medium 0.2	SM	Silty sands, sand silt mixtures (1)	ons acc	12-50	Below 'A' line or PI<4	122	=	5% and less than 12%. Borderline				
		fine 0.075	sc	Clayey sands, sand-clay mixtures (1)	of fractions	12-50	Above 'A' line and PI>7	-	_	classifications require the use of SP-SM, GW- GC.				
n 0.075 mm			ML Inorganic silts, very fine sands, rook flour, silty or clayey fine sands or clayey silts with slight plasticity		dassification	0		dassificati	ticity Cha	ained soils				
SOILS mm is smaller than	SILTS & CLA (Liquid Limit :	520 C 1000	CL CI	Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clays	g 63 mm for	60			n of coarse gr	rained soils.				
SOILS			OL	Organic silts and clays of low plasticity	Bus sed I	8 (%)			/	H MALTO				
FINE GRANED SOILS (more than half of material less than 63 mm is			МН	Inorganic silts, mic- aceous or diato-maceous fine sands or silts, elastic silts	gradation curve of material	Plastic Index (%)			4/	H TENER TRANSPORTER				
	SILTS & CLA (Liquid Limit	- POLICE (1977)	СН	Inorganic clays of high plasticity, fat clays	curve	2000	5.00	0	O MHS	OR .				
			ОН	Organic silts and clays of high plasticity	adation	10 0	Zen	"	4 CL					
	HIGHLY OR	SANIC	PT	Peat and other highly organic soils	Use the gr	0	10 20	30 40 Liqu	so 60 uid Limit (%)	70 80 90 100				



Grain size analysis is performed by two processes depending on particle size. Sand silt and clay particles are assessed using a standardised hydrometer test, and coarse sand and larger is assessed through sieving by USCS certified sieves. For more detail see the following section.

Soil Classification	Particle Size
Clay	Less than 0.002mm
Silt	0.002 – 0.06mm
Fine/Medium Sand	0.06 – 2.0mm
Coarse Sand	2.0mm – 4.75mm
Gravel	4.75mm – 60.00mm

1.4 Bearing Capacities and DCP testing.

DCP and PSP weighted penetrometer tests – Dynamic Cone Penetrometer (DCP) and Perth Sand Penetrometer (PSP) tests are carried out by driving a rod into the ground with a falling weight hammer and measuring the blows for successive 100mm increments of penetration. Normally, there is a depth limitation of 1.2m but this may be extended in certain conditions by the use of extension rods. The methods for the two tests are quite similar.

- Dynamic Cone Penetrometer a 16mm rod with a 20mm diameter cone end is driven with a 9kg hammer dropping 510mm (AS 1289, Test 6.3.2).
- Perth Sand Penetrometer a 16mm diameter flat-ended rod is driven with a 9kg hammer, dropping 600mm (AS 1289 Test 6.3.3). This test was developed for testing the density of sands and is mainly used in granular soils and filling.

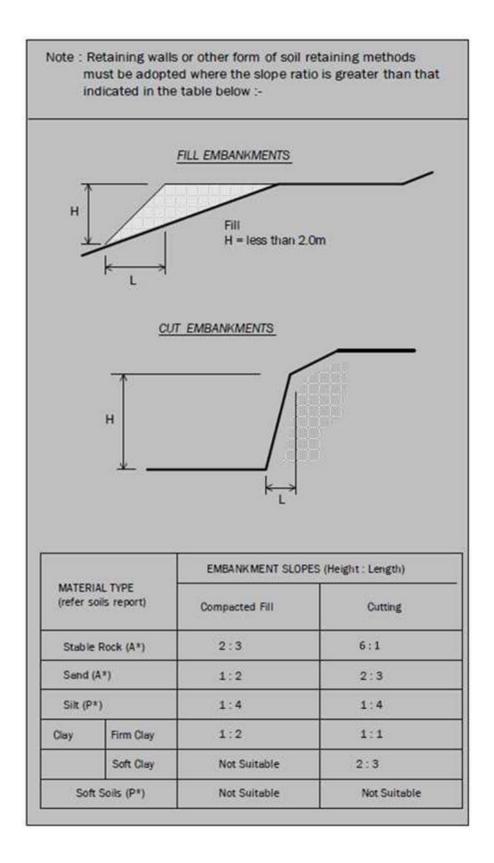
Site Anomalies – During construction GES will need to be notified of any major variation to the foundation conditions as predicted in this report.







1.5 Batter Angles for Embankments (Guide Only)





Glossary of Terms

Bearing Capacity – Maximum bearing pressure that can be sustained by the foundation from the proposed footing system under service loads which should avoid failure or excessive settlement.

Clay – (Mineral particles less than 0.002mm in diameter). Fine grained cohesive soil with plastic properties when wet. Also includes sandy clays, silty clays, and gravelly clays.

Dynamic Cone Penetrometer (DCP) – Field equipment used to determine underlying soil strength and therefore bearing capacity (kPa) by measuring the penetration of the device into the soil after each hammer blow.

Dispersive soil – A soil that has the ability to pass rapidly into suspension in water.

Footing – Construction which transfers the load from the building to the foundation.

Foundation – Ground which supports the building

Landslip – Foundation condition on a sloping site where downhill foundation movement or failure is a design consideration.

Qualified Engineer – A professional engineer with academic qualifications in geotechnical or structural engineering who also has extensive experience in the design of the footing systems for houses or similar structures.

Reactive Site – Site consisting of clay soil which swells on wetting and shrinks on drying by an amount that can damage buildings on light strip footings or unstiffened slabs. Includes sites classified as S, M, H-1, H-2 & E in accordance with AS2870-2011.

Sand – (Mineral particles greater than 0.02mm in diameter). Granular non-cohesive, non-plastic soil that may contain fines including silt or clay up to 15%.

Services – Means all underground services to the site including but not limited to power, telephone, sewerage, water & storm water.

Silt – (Mineral particles 0.002 - 0.02mm in diameter). Fine grained non-cohesive soil, non-plastic when wet. Often confers a silky smoothness of field texture, regularly includes clay and sand to form clayey silts, sandy silts and gravelly silts.

Site – The site title, as denoted by address, lot number, or Certificate of Title (CT) number, or Property Identification Number (PID).

Surface Movement (Ys) – Design movement (mm) at the surface of a reactive site caused by moisture changes.



Disclaimer

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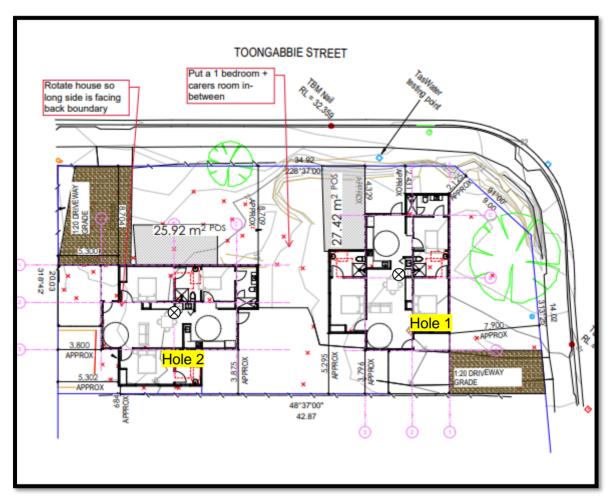
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Site Plan







APPENDIX 1 - DCP Results Table

Dynamic Cone Penetration (DCP) Conversion to Californian Bearing Ratio (ref: Australian Standard AS 1289.6.3.2 - 1997)

DCP Location BH1

Depth (mm)	DCP	DCP	DCP Resistance	Allowable Bearing Capacity	CBR (Rounded Up)
	(Blows/100mm)	(mm/Blow)	(mPa)	(kPa)	
0-100	1	100.0	0.3	35	2
100-200	1	100.0	0.3	35	2
200-300	6	16.7	1.9	208	13
300-400	8	12.5	2.5	278	17
400-500	10	10.0	3.1	347	22
500-600	7	14.3	2.2	243	15
600-700	6	16.7	1.9	208	13
700-800	6	16.7	1.9	208	13
800-900	6	16.7	1.9	208	13
900-1000	9	11.1	2.8	313	20
1000-1100	10	10.0	3.1	347	22
1100-1200	20	5.0	6.3	694	48
1200-1300	20	5.0	6.3	694	48
1300-1400	25	4.0	7.8	868	62

CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

To:	Kunama Architects			Owner /Agent		6 6	
	2/5 Bayfield Street			Address	Form 55		
	Rosny Park	7018		Suburb/postcode			
Qualified perso	on details:						
Qualified person:	John-Paul Cumming]			
Address:	29 Kirksway Place			Phone No:	03 6223 1839		
	Battery Point	70	004	Fax No:	33 3220 1300		
Licence No:	AO999 Email address:			ı ı@geosolutio	ions.net.au		
Qualifications and Insurance details:	Certified Professional Soil Scientist (CPSS stage 2)		Directo	or's Determination -	from Column 3 of the etermination - Certificates Persons for Assessable		
Speciality area of expertise:	AS2870-2011 Foundation Classification		Direct	iption from Column 4 of the or's Determination - Certificates alified Persons for Assessable			
Details of work							
Address:	24 Penna Road	Lot No:					
	Midway Point	7	171	Certificate of	title No:	75172/3	
The assessable item related to this certificate:	according to AS2870-2011	ssification of foundation Conditions ording to AS2870-2011		(description of the assessable item being certified) Assessable item includes – - a material; - a design - a form of construction - a document - testing of a component, building system or plumbing system - an inspection, or assessment, performed			
Certificate deta	ils:						
Certificate type:	Foundation Classification		Sch Dete Qua	scription from Colur edule 1 of the Direc ermination - Certific lified Persons for essable Items n)	ctor's		
This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)							
	building work, plumbing work or plumbing installation or demolition work 🛛 or						
a building, temporary structure or plumbing installation: □							

In issuing this certificate the following matters are relevant -

Documents: The attached soil report for the address detailed above in 'details of

work'

Relevant

calculations:

Reference the above report.

References: AS2870:2011 residential slabs and footings

AS1726:2017 Geotechnical site investigations

CSIRO Building technology file - 18.

Substance of Certificate: (what it is that is being certified)

Site Classification consistent with AS2870-2011.

Scope and/or Limitations

The classification applies to the site as inspected and does not account for future alteration to foundation conditions as a result of earth works, drainage condition changes or variations in site maintenance.

I, John-Paul Cumming certify the matters described in this certificate.

Qualified person:

Signed:

d:

Certificate No:

J10925

Date:

09/10/2024



Director of Building Control - Date Approved 1 July 2017

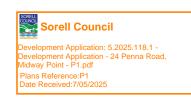
ireneinc

PLANNING & URBAN DESIGN

7 May 2025

The General Manager 47 Cole Street Sorell, Tasmania, 7172

Email: sorell.council@sorell.tas.gov.au





GM CONSENT REQUEST - 24 PENNA ROAD, MIDWAY POINT

I am writing to request Council consent for development within Council land. The application includes development on land that is owned by Sorell Council, and as required by S52 of the *Land Use and Approvals Act 1992*, I request Council's consent in respect to this application.

The following works are proposed:

- Widen the existing access along Penna Road to 5.5m wide
- Widen the existing access along Toongabbie Street to 5.5m wide

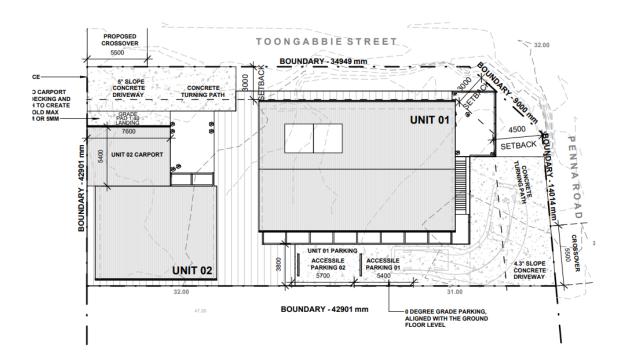


Figure 1: Architectural set with works proposed to the access (source: Kunama architectural set, 2024).

The upgrades to the access are to accommodate assisted housing, comprising of two (2) NDIS High Physical Support dwellings. The driveway and parking areas have been designed to comply with the Australian Standards for disability housing.

smithstreetstudio ireneinc

49 Tasma St, North Hobart, TAS 7000 Tel (03) 6234 9281 Fax (03) 6231 4727 Mob 0418 346 283 Email planning@ireneinc.com.au ABN 78 114 905 074 If you have any further queries in relation to any of the above, please contact me on 6234 9281.

Yours sincerely,

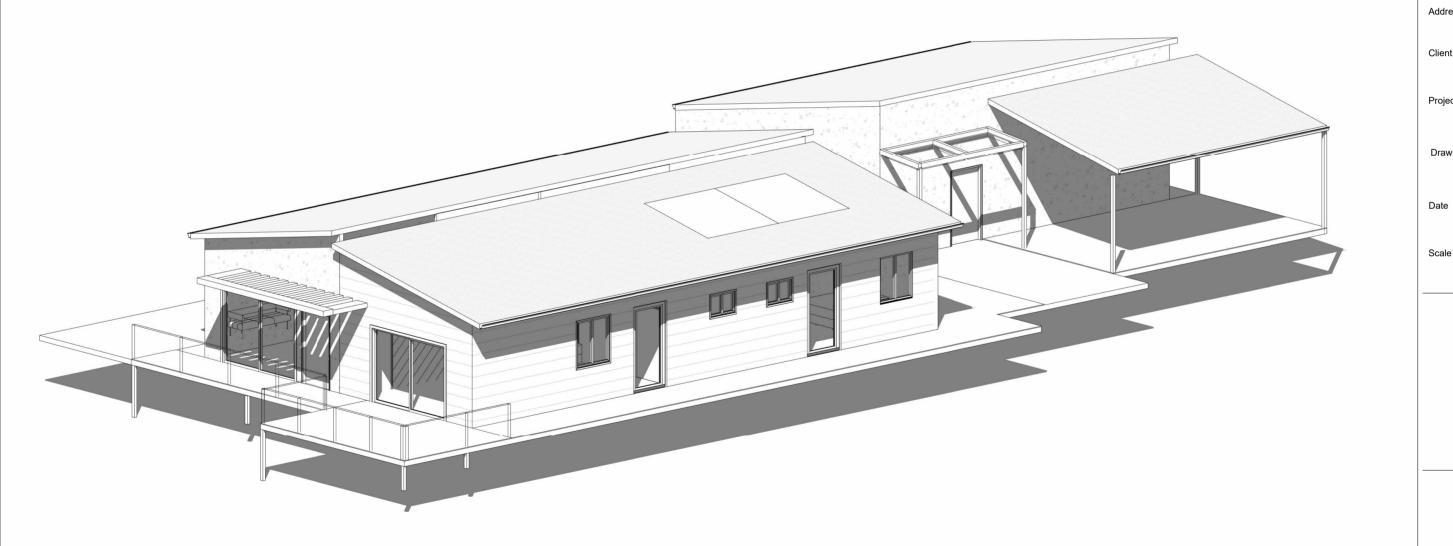
Michela Fortini

Planner

IRENEINC PLANNING & URBAN DESIGN

SHEET LIST					
Sheet Number	Sheet Name	Current Revision			
A 0.00	Cover Sheet				
A 0.01	Existing Site Plan				
A 0.03	Proposed Site Plan				
A 0.04	Site Plan - Access				
A 0.02	Demolition Site Plan				
A 0.05	Site Plan - POS				
A 0.07	Proposed Floor Plan				
A 0.11	Site Elevations				
A 0.12	Proposed Unit 01 Elevations				
A 0.13	Proposed Unit 01 Elevations				
A 0.14	Proposed Unit 02 Elevations				
A 0.15	Proposed Unit 02 Elevations				
A 0.16	Shadow Diagrams				
A 0.08	Perspectives 01				
A 0.10	Site Plan - Building Envelope				
A 0.06	Site Plan - Floor Transition				
A 0.09	Eye Level Perspectives 02				





Proposed Development Application for SDA Units At 24 Penna Rd, Midway Point, TAS 7171



Development Application

Project Name

Address

24 Penna Rd Midway Point TAS 7171

24 Penna Rd

KAL_0_04

@A3

KUNAMA CONSTRUCTIONS Client Name

Project number

Drawn by Kunama

3.July.2025

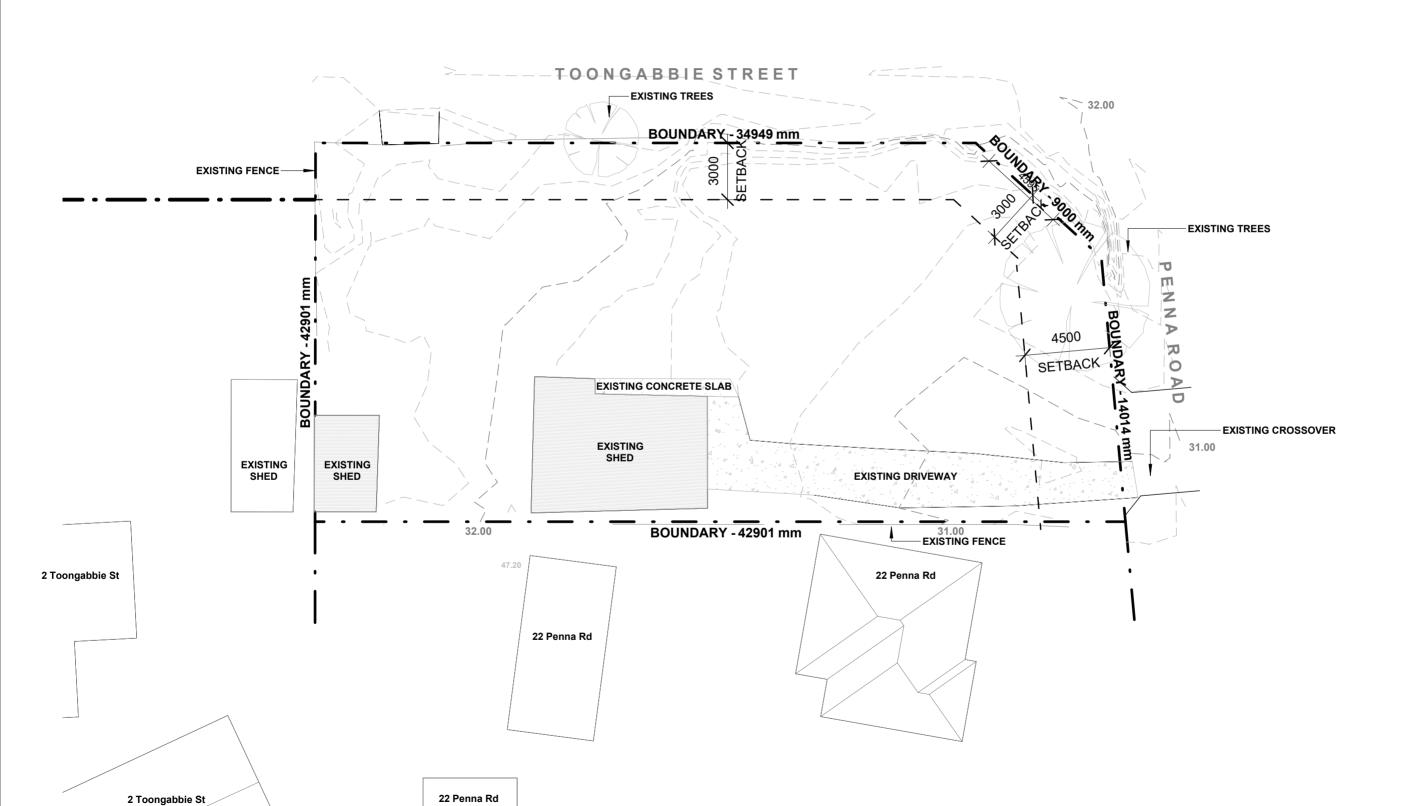
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Cover Sheet



Development Application: 5.2025.118.1 Response to Request For Information - 24 Penna
Road, Midway Point - P2.pdf
Plans Reference:P2
Date Received:8/07/2025





Development Application

Project Name 24 Penna Rd

Address

24 Penna Rd Midway Point TAS 7171

Client Name KUNAMA CONSTRUCTIONS

Project number KAL_0_04

Drawn by Kunama

Date

3.July.2025

Scale 1 : 200 @A3

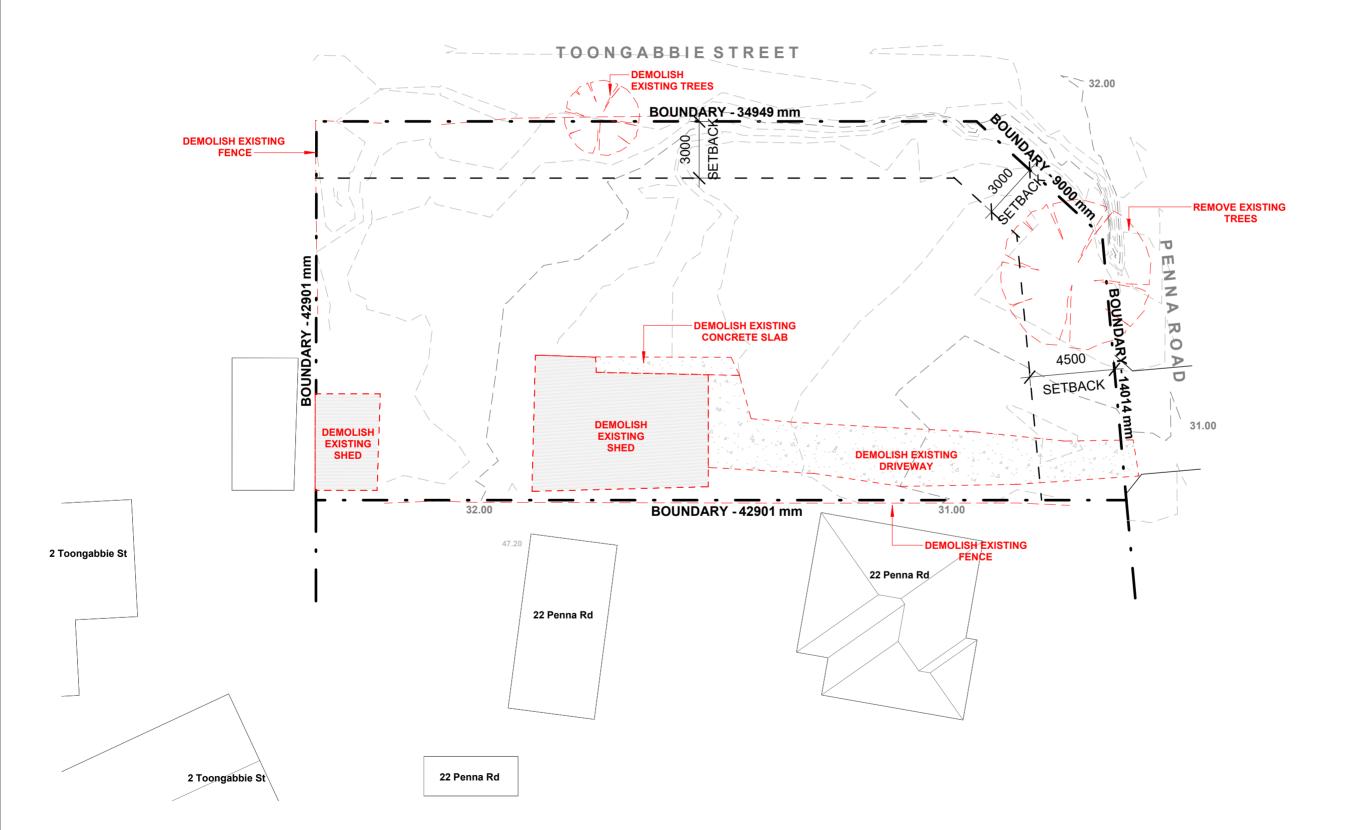


Existing Site Plan



Development Application: 5.2025.118.1 Response to Request For Information - 24 Penna
Road, Midway Point - P2.pdf
Plans Reference:P2
Date Received:8/07/2025





Development Application

Project Name 24 Penna Rd

Address

s 24 Penna Rd Midway Point TAS 7171

Client Name KUNAMA CONSTRUCTIONS

Project number KAL_0_04

Drawn by

Date 3.July.2025

Kunama

Scale 1:200 @A3

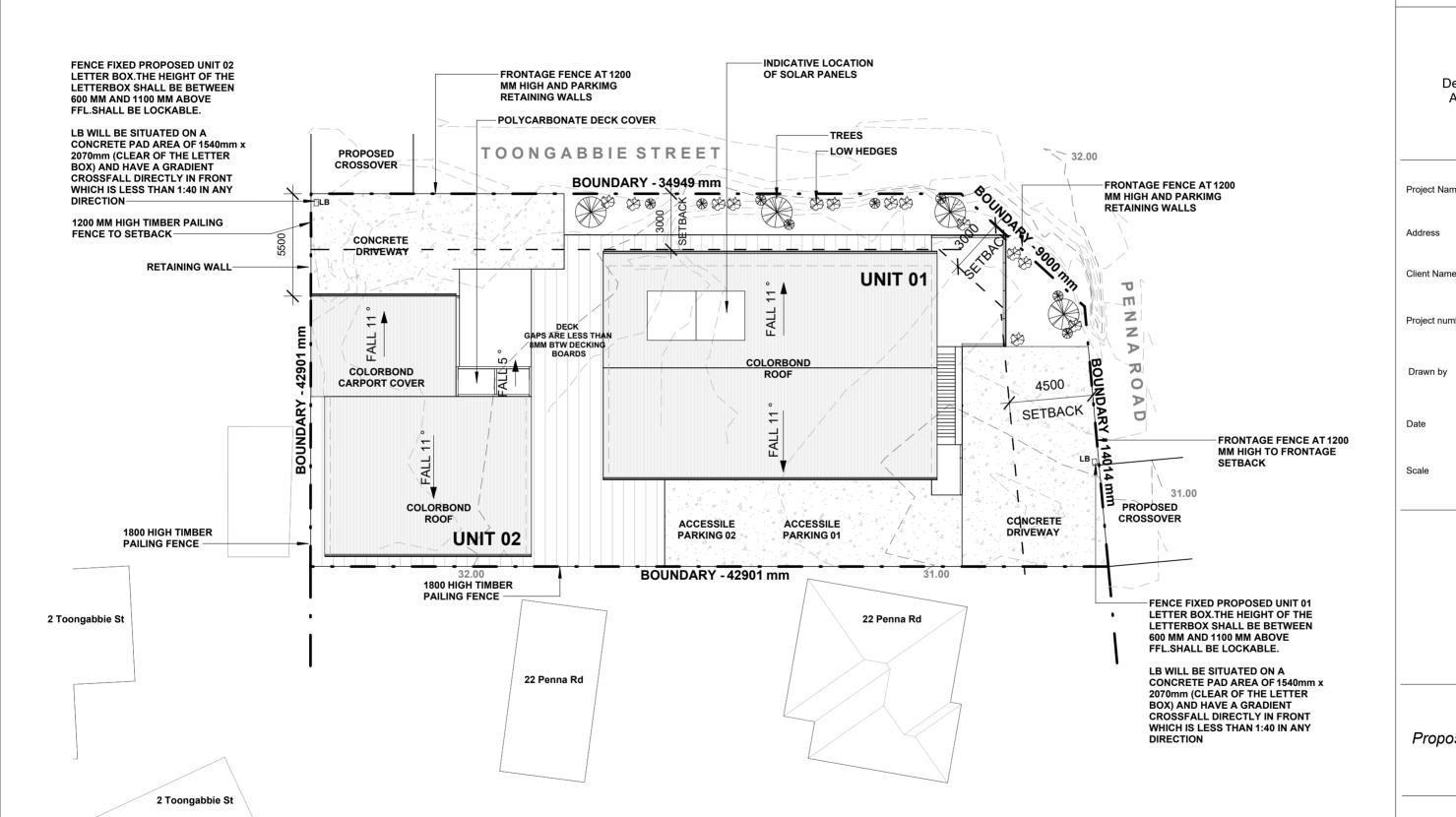


Demolition Site Plan



evelopment Application: 5.2025.118.1 esponse to Request For Information - 24 Penna Road, Midway Point - P2.pdf Plans Reference:P2 Date Received:8/07/2025





22 Penna Rd

Development Application

Project Name

Address

Midway Point TAS 7171 KUNAMA

24 Penna Rd

24 Penna Rd

KAL_0_04

Kunama

3.July.2025

CONSTRUCTIONS

Project number

Drawn by

Scale 1:200 @A3



Proposed Site Plan

Parking Spaces and Driveway Comply with the Relevant Australian Parking Standards

All Parking Areas are to be Constructed in a Durable, all Weather Pavement

All Parking Spaces are Designed as per AS/NZS 2890.6:2022 - Parking **Facilities** Part 6: Off-Street Parking for People with Disabilities

NOTE:

GIVEN THE TANDEM CONFIGURATION FOR UNIT 01, THE OCCUPANTS OF UNIT 01 WILL SHARE THE PROVIDED PARKING SPACES, WITH THE **EXPECTATION OF FAMILIARITY AND COMMUNICATION BETWEEN THEM. AS THIS DEVELOPMENT IS INTENDED FOR SPECIALIST DISABILITY ACCOMMODATION (SDA), CAR** PARKING PROVISIONS WILL COMPLY WITH THE **RELEVANT SDA DESIGN STANDARDS.**



evelopment Application: 5.2025.118.1 desponse to Request For Information - 24 Penna Road, Midway Point - P2.pdf Plans Reference:P2 Date Received:8/07/2025



Development Application

Project Name 24 Penna Rd

Address

24 Penna Rd Midway Point TAS 7171

KAL_0_04

KUNAMA

3.July.2025

1:200 @A3

Client Name

KUNAMA CONSTRUCTIONS

Project number

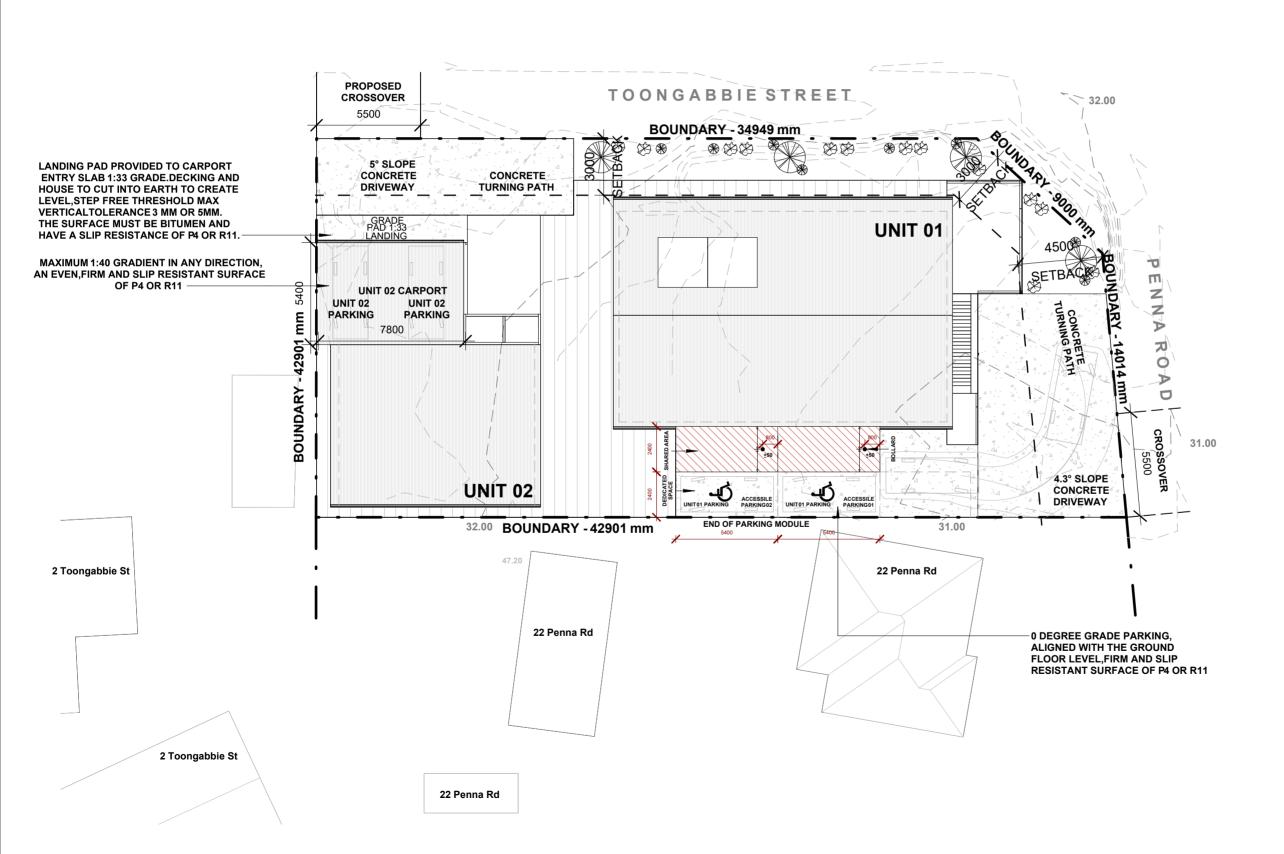
Drawn by

Date

Scale



Site Plan - Access



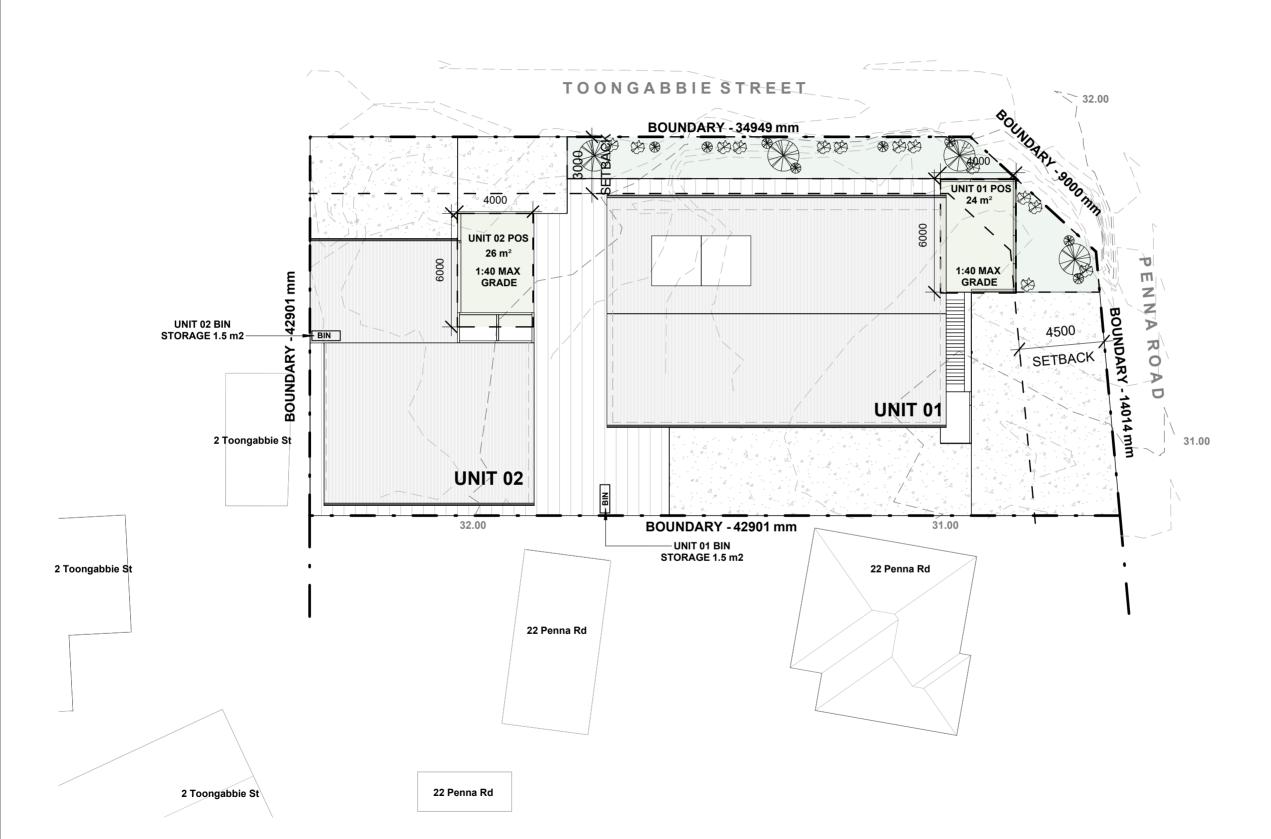
PROPOSED SITE SUMMARY:

TOTAL SITE AREA: $822 \, m^2$ TOTAL INTERNAL AREA: 264 m² TOTAL POS AREA: 118 m²

Sorell Council

TOTAL SITE COVERAGE: 372 m² SITE COVERAGE%: 45.25%

Development Application: 5.2025.118.1 -Response to Request For Information - 24 Penna Road, Midway Point - P2.pdf Plans Reference:P2 Date Received:8/07/2025





Development Application

Project Name

Address

24 Penna Rd Midway Point TAS 7171

24 Penna Rd

Client Name

KUNAMA CONSTRUCTIONS

KAL_0_04

3.July.2025

Project number

Drawn by

Kunama

Date

Scale

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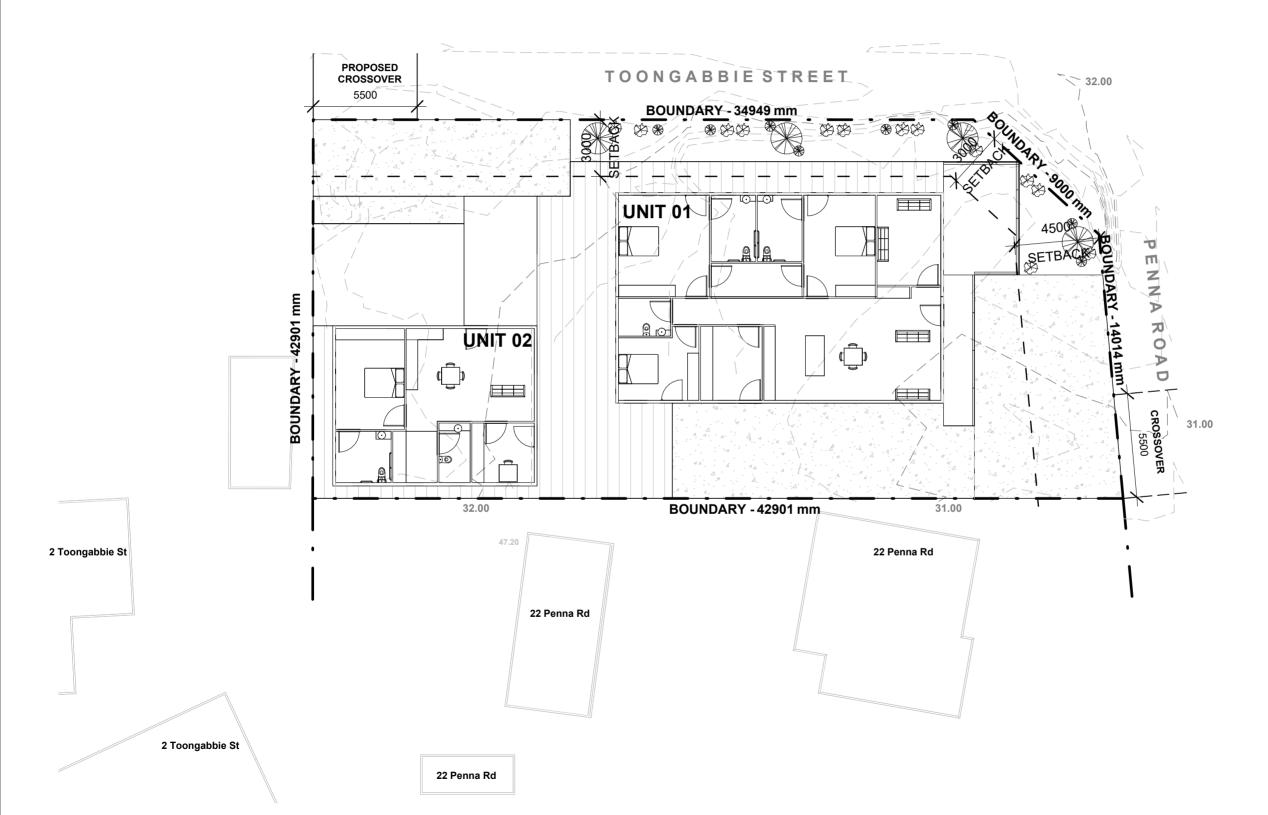


Site Plan - POS



Development Application: 5.2025.118.1 -Response to Request For Information - 24 Penna Road, Midway Point - P2.pdf Plans Reference:P2 Date Received:8/07/2025





Development Application

Project Name

Address

24 Penna Rd Midway Point TAS 7171

24 Penna Rd

Kunama

3.July.2025

Client Name KUNAMA CONSTRUCTIONS

Project number KAL_0_04

Drawn by

Date

Scale 1 : 200 @A3



Site Plan - Floor Transition

Except for walls constructed of masonry or concrete, the PROPOSED SITE SUMMARY: NOTE: "Bedrooms shall have a provision for power and inbuilt internal side of the full sanitary room with the required structure, capable of installation of a constant charge Total Area: 520 m² WC pan, shower, hand wash basin and fixed bathtub (if All internal flooring (including wet areas) shall be firm, ceiling hoist. The hoist shall be capable of going across provided) shall have wall reinforcement of minimum even and feature a level transition between abutting the bed and down the bed. Min load capacity of the 176 m² Internal Unit 01 Area: 12mm thick sheeting, from FFL and extending to a hoist shall be 250kg. Hoist is to be capable of being surfaces of a maximum vertical tolerance of 3mm or height of minimum 2100mm from FFL. either ceiling mounted, or wall mounted. Internal Unit 02 Area: 84 m² (provided the lip is rounded or bevelled) All Internal Doors Swing Will Have a Clear Opening shall be provided. "Internet connection shall be provided with the **Proposed Carport:** 83 m^2 Space of 1200 mm Except OOA Room All internal floor finishes shall have a minimum slip ability for high internet speeds to be maintained and resistance of P3 or R10 "Emergency power solutions shall be provided to cater stable in nature with wi-fi coverage throughout all Proposed deck: 156 m² for a minimum 2-outage in no less than 2 double GPOs areas of the dwelling. Storage cupboards provide height adjustable shelves in participant bedrooms and any provided automated All Landing Spaces are as per The NDIS Design doors that are used for entry or egress. The propertys is equipped with fire sprinklers Sorell Council Standards Doorways shall have door handles installed at between "Light switches shall be positioned in a evelopment Application: 5.2025.118.1 -Entry Door Size 1200 mm 900mm to 1100mm above the FFL. consistent location between 900mm 1100mm esponse to Request For Information - 24 Penna above the FFL and horizontally aligned with the Door handles selection and location shall comply with "GPOs shall be installed between 600mm and 1100mm load, Midway Point - P2.pdf door handle at the entrance to a room. AS1428 above the FFI ' Plans Reference:P2 Date Received:8/07/2025 7985 3862 4160 1958 4810 3787 4815 2360 2360 3785 3375 6785 1045 3640 7800 **ENSUITE ENSUITE BED 01** BED 02 5360 5360 SECONDARY LIVING CARPORT **UNIT 01 STORAGE** ROBE ROBE STORAGE MAIN 1400 **ENTRY** 2000 MAX. 1:40²⁵ PRIVACY SCREEN GRADIENT • ROBE

KITCHEN

BED 01

ENS

2940

1044

1044

DINING

STORAGE

BATH

10805

LIVING

OOA OFFICE

3910

4910

3310

DECK **GAPS ARE LESS THAN 8MM BTW DECKING BOARDS**

RAINWATER

0

4160

UNIT 01 STORAG

4255

2765

Reverse cycle air-conditioning is provided to living areas and bedrooms with control panels in an accessible location between 900mm and 1100mm from FFL and not closer than 500mm to any internal corner, or where ducted airconditioning is used, zoning of habitable rooms

KUNAMA

1635

1639 1640

5360

MAIN

ENTRY

MAX. 1:40 GRADIENT

LIVING

COVER OVER

5400

3910

*

5041

5041

KITCHEN

14200

LDRY

3310

PARKING

DINING

9360

Development Application

Project Name

Address 24 Penna Rd Midway Point TAS 7171

24 Penna Rd

KUNAMA

KAL_0_04

Kunama

Client Name CONSTRUCTIONS

Project number

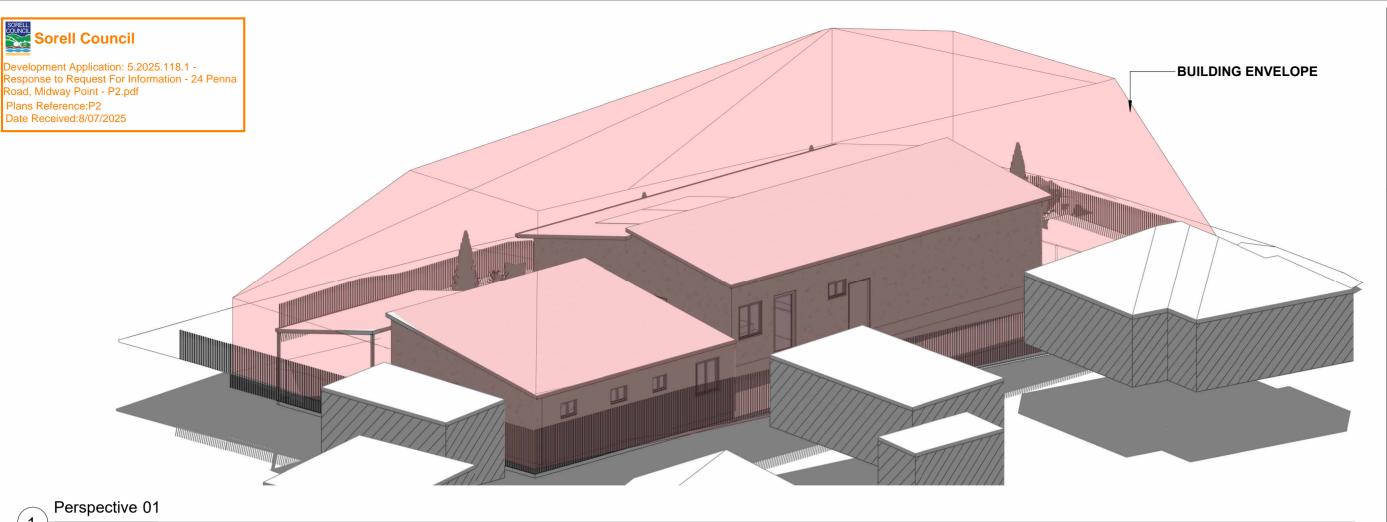
Drawn by

Date

3.July.2025

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Proposed Floor Plan





Development Application

Project Name

Address

24 Penna Rd Midway Point TAS 7171

24 Penna Rd

KAL_0_04

3.July.2025

@A3

Client Name

KUNAMA CONSTRUCTIONS

Project number

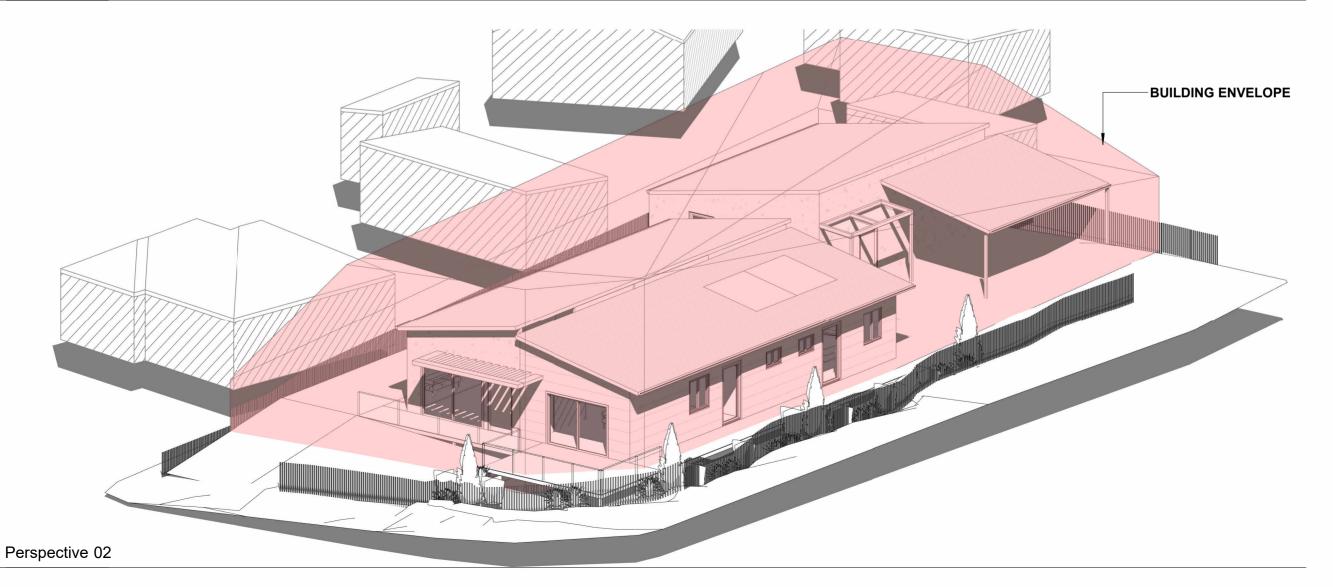
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Date

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Perspectives 01

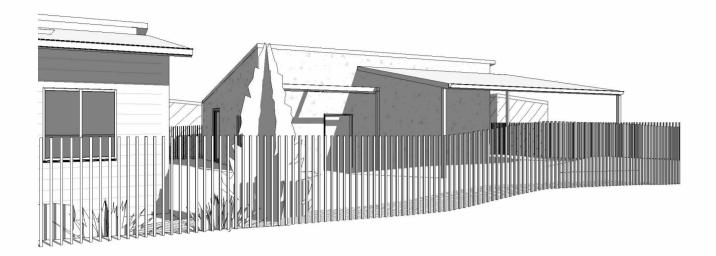
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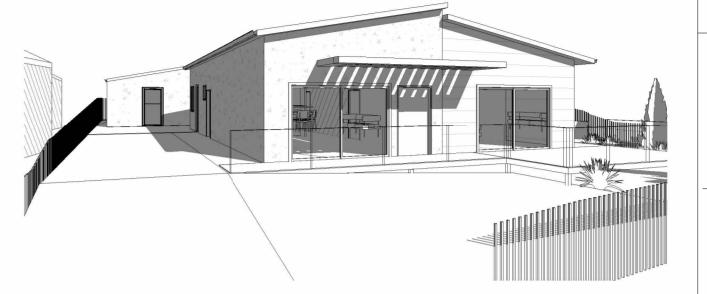


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Development Application: 5.2025.118.1 Response to Request For Information - 24 Penna
Road, Midway Point - P2.pdf Plans Reference:P2
Date Received:8/07/2025





3D View 1

3D View 3



3D View 2



Development Application

24 Penna Rd Project Name

Address

24 Penna Rd Midway Point TAS 7171

Client Name

KUNAMA CONSTRUCTIONS

Project number KAL_0_04

Drawn by Kunama

Date 3.July.2025

@A3

Scale

Eye Level Perspectives 02





Development Application

Project Name 24 Penna Rd

Address

24 Penna Rd Midway Point TAS 7171

Client Name

KUNAMA CONSTRUCTIONS

KAL_0_04

Kunama

3.July.2025

Project number

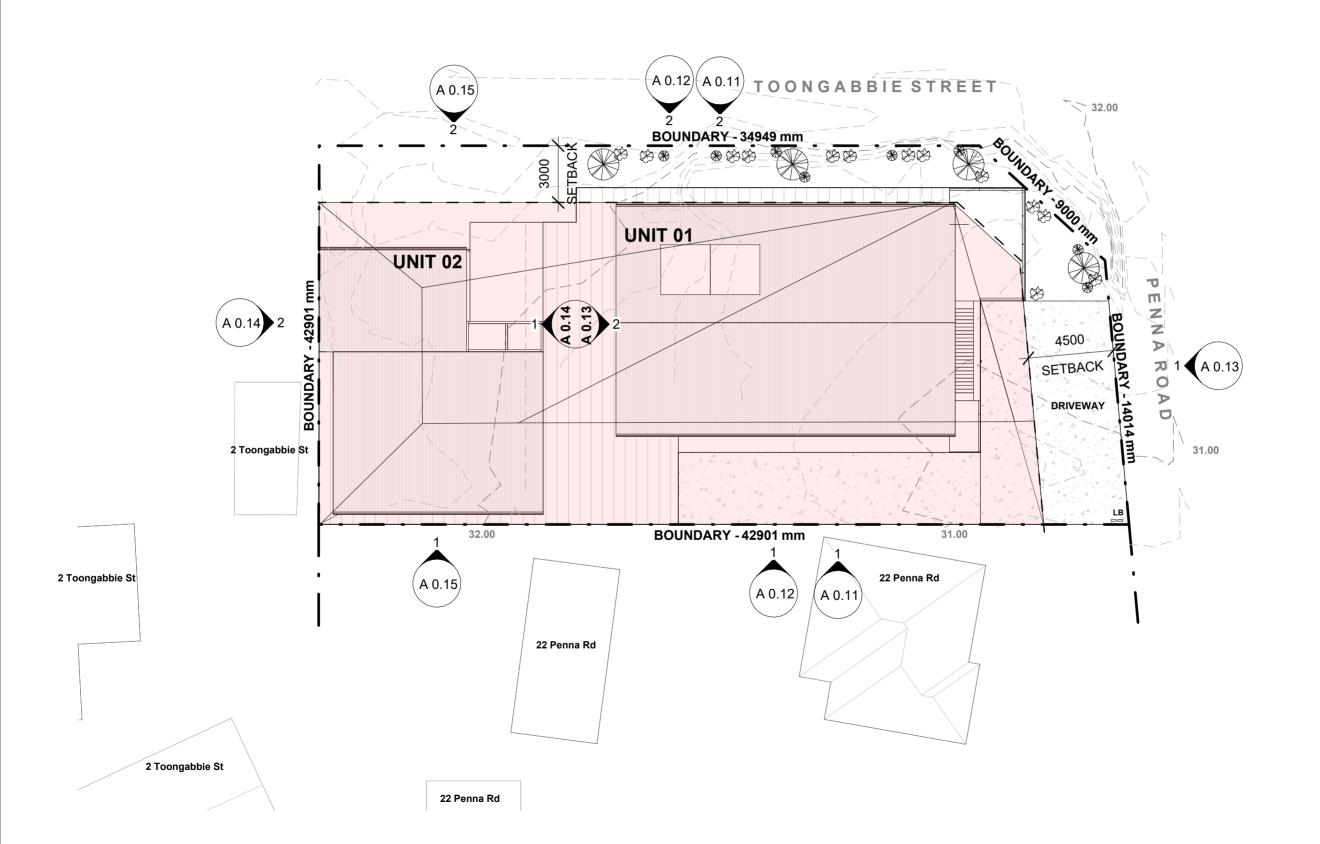
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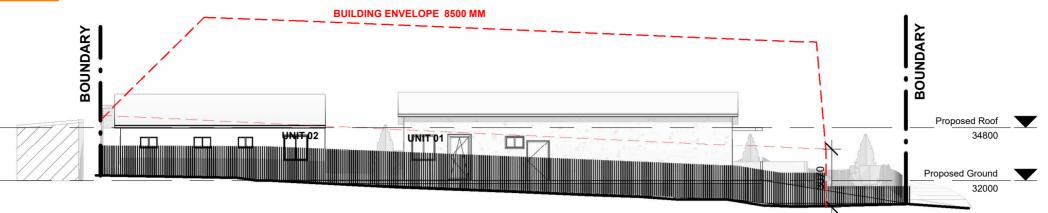
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Site Plan - Building Envelope







SOUTHEAST SITE ELEVATION

1:200

FRONTAGE FENCE AT 1200 MM HIGH

Proposed Ground
32000

NORTHWEST SITE

1:200



Development Application

Project Name

. .

Address

24 Penna Rd Midway Point TAS 7171

24 Penna Rd

KAL_0_04

Kunama

3.July.2025

Client Name

lame KUNAMA CONSTRUCTIONS

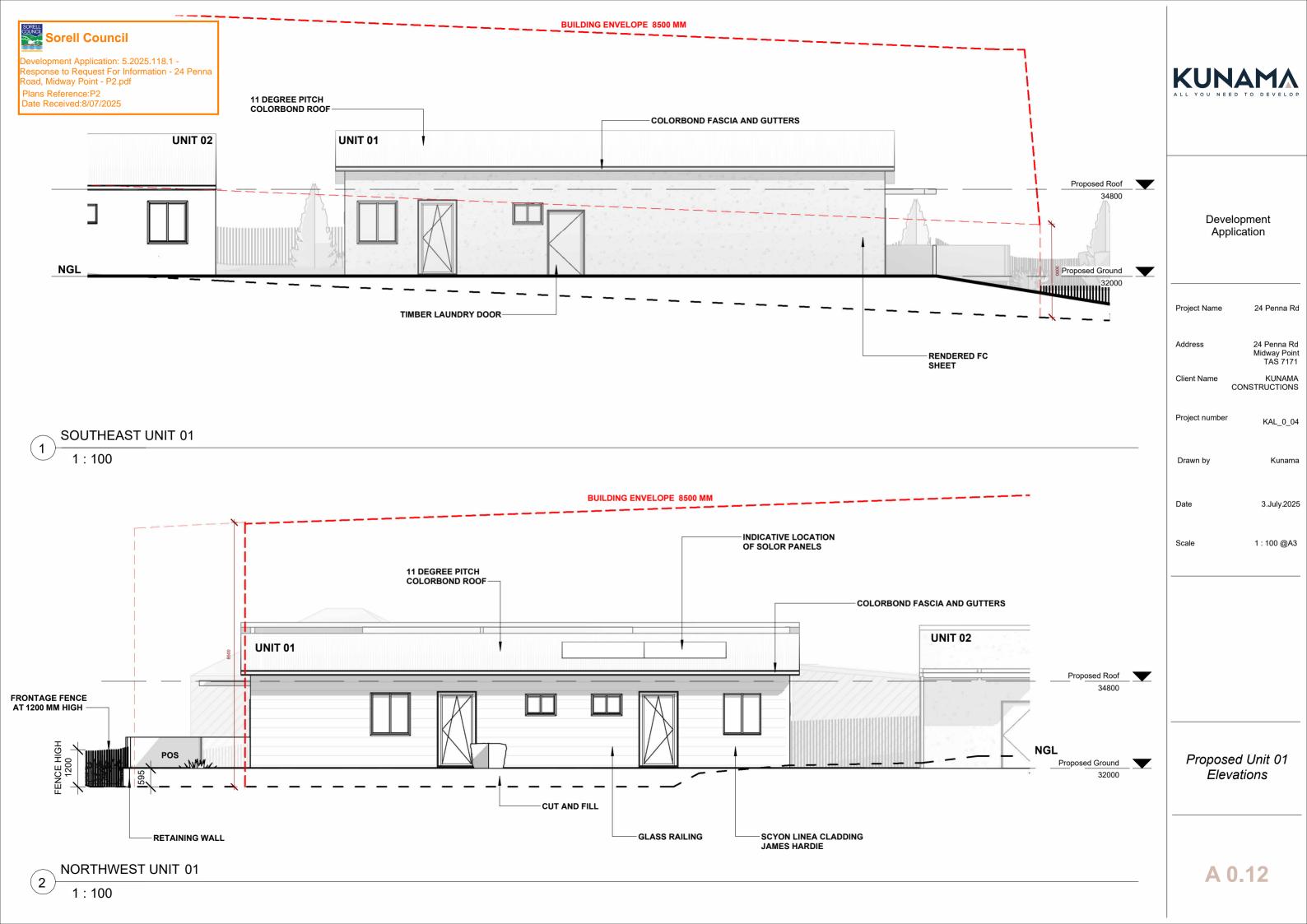
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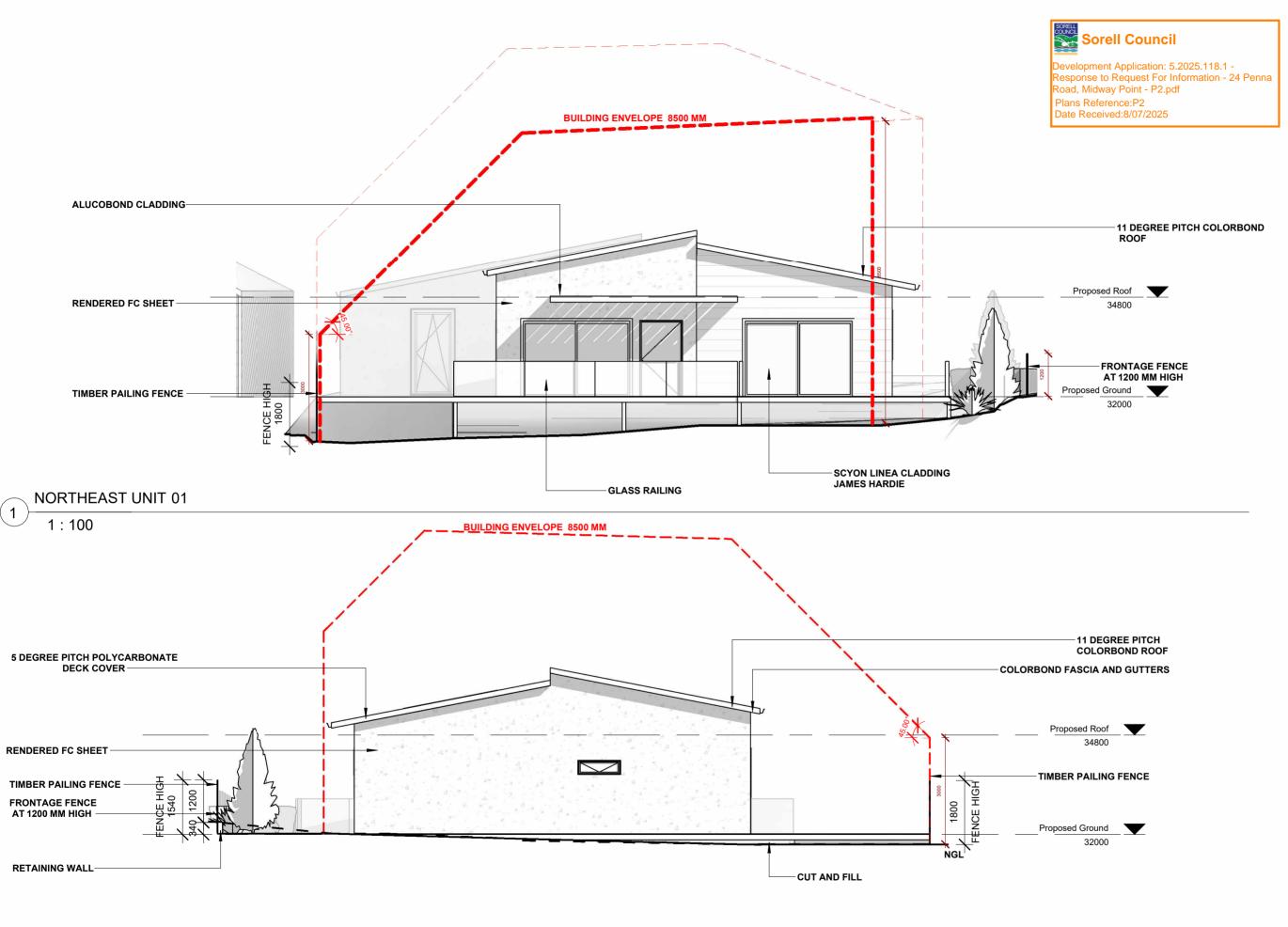
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Date

Scale 1 : 200 @A3

Site Elevations







Development Application

Project Name 24 Penna Rd

Address

24 Penna Rd Midway Point TAS 7171

KUNAMA CONSTRUCTIONS Client Name

KAL_0_04

Kunama

3.July.2025

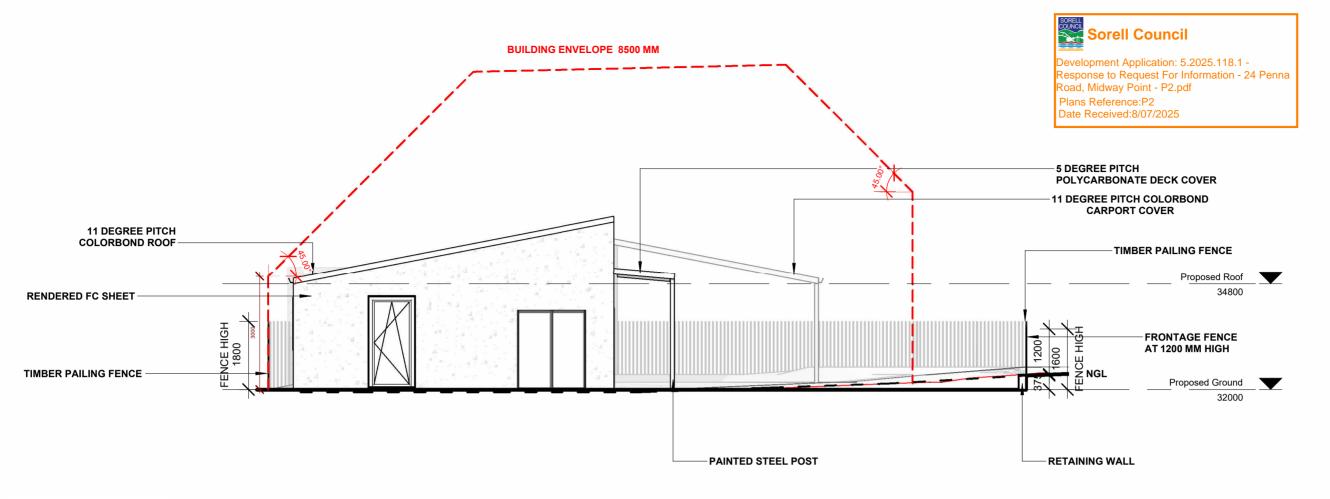
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Date

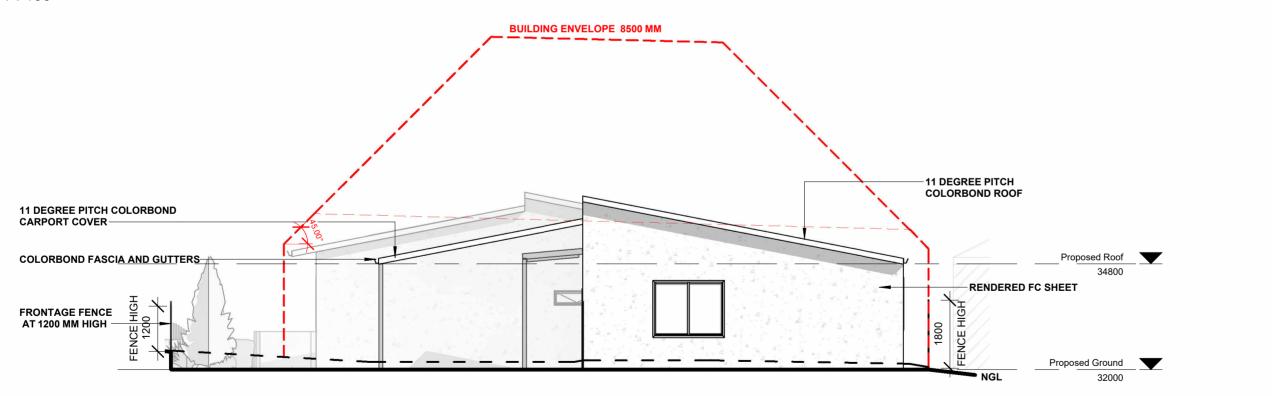
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Proposed Unit 01 Elevations



NORTHEAST UNIT 02

1:100



SOUTHWEST UNIT 02

1:100



Development Application

Project Name 24 Penna Rd

Address

24 Penna Rd Midway Point TAS 7171

KAL_0_04

Kunama

3.July.2025

KUNAMA CONSTRUCTIONS Client Name

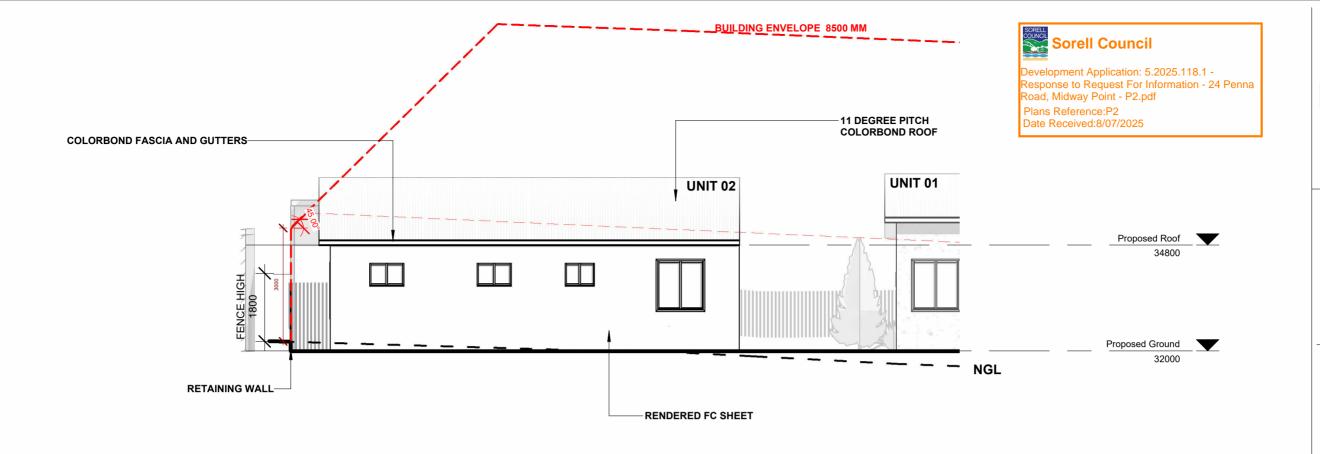
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Drawn by

Date

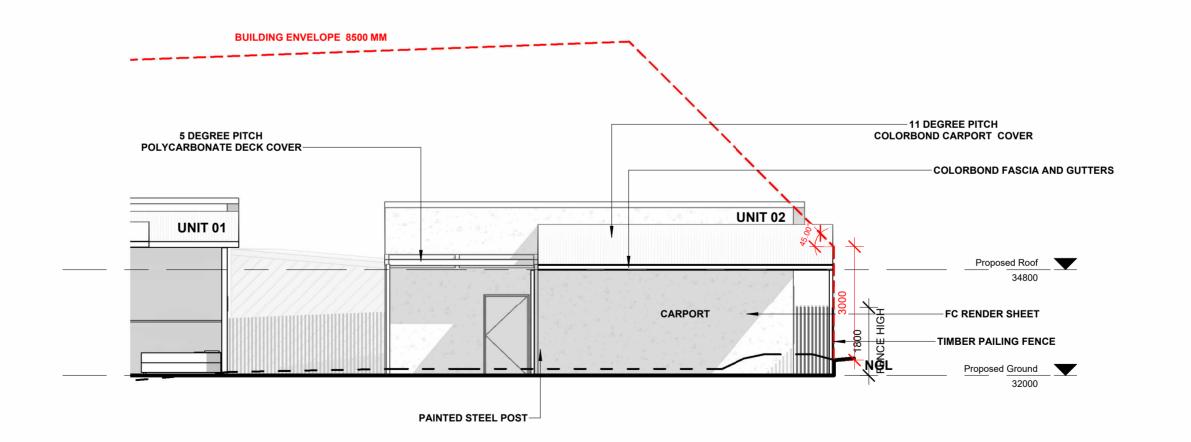
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Proposed Unit 02 Elevations



SOUTHEAST UNIT 02

1:100



KUNAMA

Development Application

Project Name

Address

ss 24 Penna Rd Midway Point TAS 7171

Client Name

ame KUNAMA CONSTRUCTIONS

24 Penna Rd

KAL_0_04

Kunama

3.July.2025

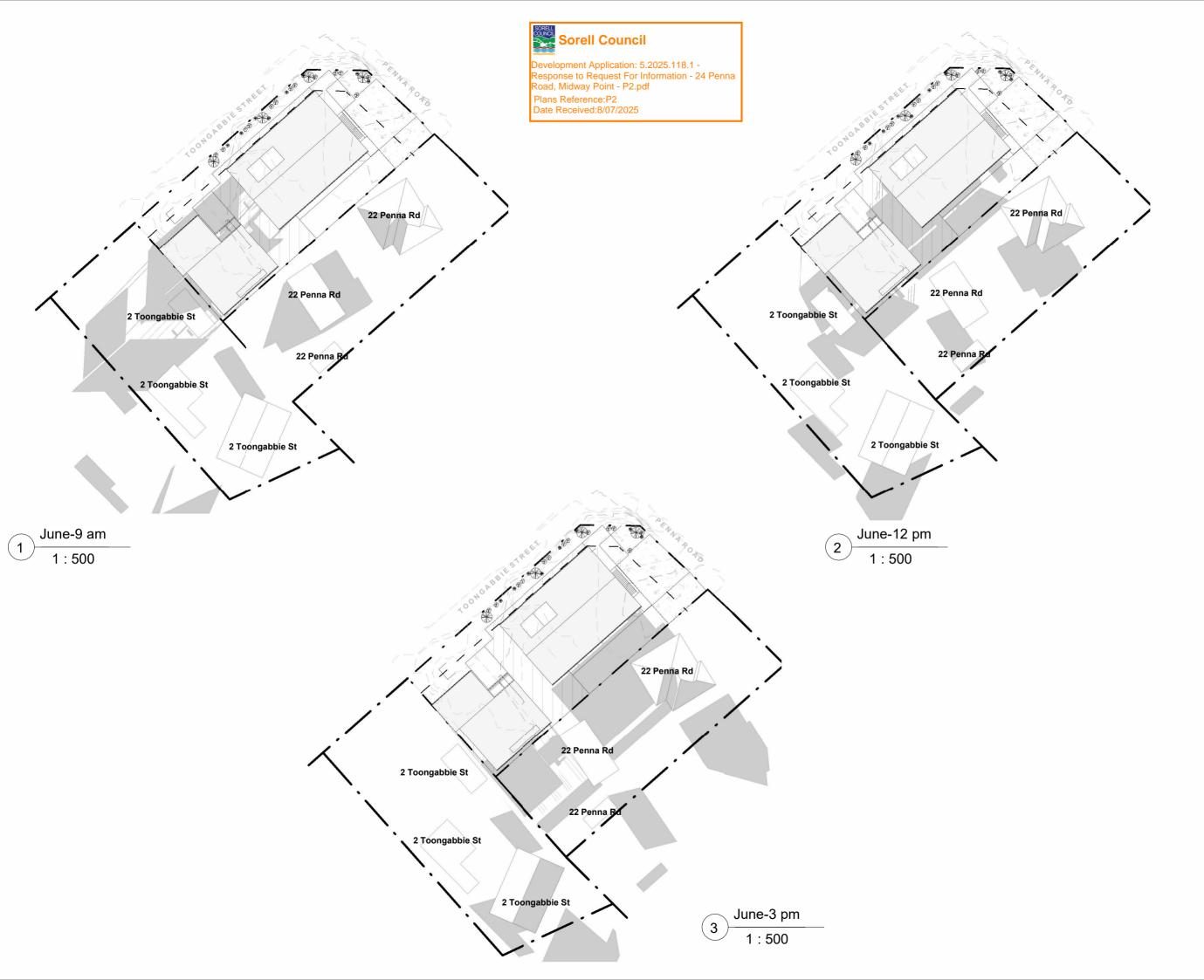
Project number

Drawn by

Date

Scale 1:100@A3

Proposed Unit 02 Elevations





Development Application

Project Name

Address

ss 24 Penna Rd Midway Point TAS 7171

24 Penna Rd

3.July.2025

Client Name KUNAMA CONSTRUCTIONS

Project number KAL_0_04

Drawn by Kunama

Date

Scale 1:500 @A3



Shadow Diagrams

Document Register / Transmittal

Project 24 PENNA ROAD

MIDWAY POINT

STORMWATER DRAINAGE DESIGN

Client

Project No 20250089 S02

Sheet [A



Development Application: 5.2025.118.1 -Response to Request For Information - 24 Penna Road, Midway Point - P2.pdf

Plans Reference:P2 Date Received:8/07/2025 S&G CONSULTANTS PTY LTD

SUITE 311, LEVEL 3 480 PACIFIC HIGHWAY ST. LEONARDS, N.S.W. 2065

T: +61 2 8883 4239
Email: office@sgce.com.au
Web: www.sgce.com.au



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Filename: dwglist Page 1

COUNCIL REF:

P01

24 PENNA ROAD MIDWAY POINT STORMWATER DRAINAGE DESIGN



LOCALITY PLAN NOT TO SCALE COPYRIGHT OF NEARMAP

CLIENT

SHEET No.

02

DWG. No.

S02-SW100

S02-SW101

S02-SW201

S02-SW301 S02-SW401

S02-SW551

DRAWING INDEX

DRAWING TITLE

COVER SHEET & DRAWING INDEX

NOTES & LEGEND

EROSION & SEDIMENT CONTROL PLAN & DETAILS

STORMWATER DRAINAGE DESIGN DETAILS SHEET

SORELL COUNCIL

LGA

KUNAMA

PREPARED BY



S&G CONSULTANTS PTY LTD SUITE 311, LEVEL 3 480 PACIFIC HIGHWAY ST. LEONARDS, N.S.W. 2065 T: +61 2 8883 4239

Email: office@sgce.com.au Web: www.sgce.com.au

20250089 Project No.

Drawing No.

S02-SW100

Revision No. P01

PRELIMINARY NOT FOR CONSTRUCTION

ARCHITECT

KUNAMA

SITEWORKS LEGEND

SWD	STORMWATER LINE
—RW ———RW ———	STORMWATER LINE TO RAINWATER TANK
—ss——ss——	SUBSOIL LINE
— SWRM —— SWRM ——	STORMWATER RISING MAIN
ss	AUTHORITY SEWER LINE
w	AUTHORITY WATER LINE
G	AUTHORITY GAS LINE
——он ———	AUTHORITY OVER HEAD ELECTRICITY LINE
—— E ——— E ———	AUTHORITY UNDERGROUND ELECTRICITY LI

AUTHORITY COMMS LINE _____T____T____

JUNCTION PIT

GRATED SURFACE INLET PIT

GRATED SURFACE INLET PIT

WITH ENVIROPOD INSERT

GRATED TRENCH DRAIN

RAINWATER OUTLET

CLEAR OUT POINT

DISH DRAIN OUTLET

PLANTER DRAIN

DOWNPIPE DROP

WARNING LIGHT

FINISH SURFACE LEVEL

DOWNPIPE

RWO

O CO

DDO PD

♦ 00.00

ABBREVIATIONS:

Ø or DIA DDO FFL **GSIP** KIP NGL OSD RCP RL

DIAMETER **CLEAR OUT** DISH DRAIN OUTLET DOWNPIPE EXISTING FINISHED FLOOR LEVEL **GRATED SURFACE INLET PIT** INVERT LEVEL KERB INLET PIT NATURAL GROUND LEVEL OVERLAND FLOWPATH ON-SITE DETENTION REINFORCED CONCRETE PIPE REDUCED LEVEL RAINWATER TANK STORMWATER STORMWATER PIT STORMWATER RISING MAIN STORMWATER SUMP TOP OF KERB TOP OF WALL

OFP RWT SW SWP SWRM SWS TOK TOW UPVC

GENERAL

- G1. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH COUNCIL'S REQUIREMENTS, BUILDING CODE OF AUSTRALIA, NSW CODE OF PRACTICE AND THE TO THE RELEVANT SERVICE CODES.
- G2. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ALL DISCREPANCIES SHALL BE REFERRED TO THE SUPERINTENDENT FOR DECISION BEFORE PROCEEDING WITH THE WORK.
- G3. ALL DIMENSIONS SHOWN ON THE DRAWINGS ARE IN MILLIMETERS (U.N.O.). DIMENSIONS SHALL NOT BE OBTAINED BY SCALING OF THESE DRAWINGS. USE FIGURED DIMENSIONS ONLY.
- G4. BENCHMARKS HAVE BEEN ESTABLISHED WHERE INDICATED ON THE DRAWINGS. ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM (A.H.D.). THE CONTRACTOR SHALL UNDERTAKE ALL NECESSARY SURVEY WORK TO ENSURE THAT THE WORKS ARE CONSTRUCTED TO DESIGN LINE AND LEVEL.
- G5. SETTING OUT DIMENSIONS AND LEVELS SHOWN ON THE DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR
- G6. ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE RELEVANT SZZ CODES AND THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITIES.
- G7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL SAFETY FENCES, WARNING SIGNS, TRAFFIC DIVERSIONS AND THE LIKE DURING CONSTRUCTION. ALL WORKS TO COMPLY WITH WORK HEALTH AND SAFETY REQUIREMENTS AND OTHER RELEVANT AUTHORITY SAFETY REQUIREMENTS.
- G8. NO TREES SHALL BE REMOVED, CUTBACK OR RELOCATED WITHOUT THE WRITTEN INSTRUCTION FROM THE SUPERINTENDENT.
- G9. WHERE NEW WORKS ABUT EXISTING THE CONTRACTOR SHALL ENSURE THAT A SMOOTH EVEN PROFILE. FREE FROM ABRUPT CHANGES IS OBTAINED.
- G10. ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE DETAILS SHOWN ON THE DRAWINGS AND THESE SPECIFICATIONS.
- G11. DESIGN LEVELS GIVEN ARE TO FINISHED SURFACE LEVEL AND INCLUSIVE OF TOPSOIL. (TOPSOIL DEPTH VARIES).
- G12. THE CONTRACTOR SHALL ARRANGE ALL SURVEY SETOUT TO BE CARRIED OUT BY A N.A.T.A. REGISTERED SURVEYOR.
- G13. CARE IS TO BE TAKEN WHEN EXCAVATING NEAR EXISTING SERVICES. NO MECHANICAL EXCAVATIONS ARE TO BE UNDERTAKEN OVER TELECOMMUNICATIONS OR ELECTRICAL SERVICES. HAND EXCAVATE IN THESE AREAS.
- G14. THE LOCATIONS OF UNDERGROUND SERVICES SHOWN ON THE DRAWING HAVE BEEN PLOTTED FROM DIAGRAMS PROVIDED BY SERVICE AUTHORITIES. THIS INFORMATION HAS BEEN PREPARED SOLELY FOR THE AUTHORITIES OWN USE AND MAY NOT NECESSARILY BE UPDATED OR ACCURATE.
- G15. THE POSITION OF SERVICES AS RECORDED BY THE AUTHORITY AT THE TIME OF INSTALLATION MAY NOT REFLECT CHANGES IN THE PHYSICAL ENVIRONMENT SUBSEQUENT TO INSTALLATION.
- G16. S&G CONSULTANTS DOES NOT GUARANTEE THAT THE SERVICES INFORMATION SHOWN ON THE DRAWING SHOWS MORE THAN THE PRESENCE OR ABSENCE OF SERVICES, AND WILL ACCEPT NO LIABILITY FOR INACCURACIES IN THE SERVICES INFORMATION SHOWN FROM ANY CAUSE WHATSOEVER.
- G17. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN FROM THE UTILITY SERVICES AUTHORITIES A CURRENT COPY OF UNDERGROUND SERVICES SEARCH FOR THE LOCATION OF ALL EXISTING SERVICES PRIOR TO COMMENCEMENT OF ANY WORK AND NOTIFY ANY CONFLICT WITH THE DRAWINGS IMMEDIATELY. CLEARANCE SHALL BE OBTAINED FROM THE RELEVANT REGULATORY AUTHORITY. CONTRACTOR TO KEEP COPY OF UNDERGROUND SERVICES SEARCH ON SITE AT ALL TIMES. ANY DAMAGES TO SERVICES OR SERVICES ADJUSTMENTS SHALL BE CARRIED OUT BY THE CONTRACTOR OR RELEVANT AUTHORITY AT THE CONTRACTOR'S EXPENSE.
- G18. VISIT THE SITE BEFORE SUBMITTING THE FINAL TENDER PRICE TO ASSESS 'ON SITE' CONDITIONS. FAILURE TO DO SO WILL FORFEIT ANY CLAIM FOR NOT BEING AWARE OF CONDITIONS AFFECTING THE TENDER.
- G19. THE CONTRACTOR SHALL PREPARE ACCURATE WORK-AS-EXECUTED DRAWINGS FOLLOWING THE COMPLETION OF ALL WORKS.
- G20. IT IS THE CONTRACTOR'S RESPONSIBILITY TO HAVE IN PLACE & MAINTAIN TRAFFIC FACILITIES AT ALL TIMES DURING CONSTRUCTION.
- G21. CONTRACTOR TO PROVIDE WORKSHOP COORDINATED DRAWINGS PRIOR TO COMMENCING WORKS ON SITE. WORKSHOP DRAWINGS TO BE REVIEWED AND APPROVED BY DESIGN ENGINEER.

STORMWATER

- S1. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE AS3500.3-2003: 'STORMWATER DRAINAGE'.
- S2. FOR STORMWATER DRAINAGE PIPES THAT EXCEED 1:5 GRADE. REINFORCED CONCRETE ANCHOR BLOCKS SHALL BE INSTALLED. ANCHOR BLOCKS TO BE CONSTRUCTED TO SPECIFICATIONS SET OUT IN AS3500.3-2018 SECTION 8.10.
- S3. EXISTING SERVICES SHOWN IN APPROXIMATE LOCATIONS ONLY. CONFIRM EXACT LOCATIONS ON SITE PRIOR TO COMMENCING WORK
- S4. COORDINATE THE INSTALLATION OF NEW SERVICES WITH ALL NEW & EXISTING SERVICES & STRUCTURAL PROVISIONS AS DETERMINED ON
- S5. ALL PIPEWORK TO BE SUPPORTED IN ACCORDANCE WITH AS3500.3-2018.
- S6. ALL PIPEWORK IS TO BE TESTED IN ACCORDANCE WITH THE REQUIREMENTS AS SET DOWN IN AS3500.3-2003. ALL IN-GROUND PIPEWORK TO BE INSPECTED BY THE SUPERINTENDENT UNDER TEST CONDITIONS PRIOR TO BACKFILLING. BACKFILLING AND BEDDING TO AS3500.3-2018.
- S7. PIPES SHALL BE TRUE TO GRADES SHOWN AND ALIGNED SO THAT THE CENTRE OF THE INLET PIPE INTERSECTS WITH THE CENTRE OF THE OUTLET PIPE AT THE DOWNSTREAM FACE OF THE PIT.
- S8. BED ALL PIPES FIRMLY AND EVENLY WITH IMPORTED FILL ONLY. THICKNESS OF BEDDING LAYER SHALL BE 75mm IN SOIL AND 200mm IN ROCK.
- S9. LAY AND JOINT ALL PIPES IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND AS3725-2007: 'DESIGN FOR INSTALLATION OF BURIED CONCRETE PIPES.
- S10. ALLOW TO TEST ALL PIPES AND PITS TO LOCAL AUTHORITY'S REQUIREMENTS.
- S11. EXCAVATE TRENCHES AND STOCKPILE ALL MATERIAL FOR INSPECTION WITH REGARD TO REUSE FOR TRENCH BACKFILL. REMAINING MATERIAL TO BE REMOVED FROM SITE.
- S12. BACKFILL PIPES WITH IMPORTED FILL. PROVIDE 200mm SIDE SUPPORT AND 150mm OVERLAY ABOVE PIPE CROWN. TRENCH FILL ABOVE THE EMBEDMENT ZONE TO THE UNDERSIDE OF THE ROAD PAVEMENT OR THE FOOTWAY SHALL BE AS FOLLOW:

TRENCH FILL MATERIAL SHALL CONSIST OF IMPORTED FILL AS SPECIFIED HEREIN OF EITHER HIGH GRADE COMPACTION SAND OR APPROVED CRUSHED ROAD GRAVEL CONFORMING TO RMS QA SPECIFICATION 3051 OR SIMILAR.

THER THAN ROADWAY TRENCH MATERIAL EXCAVATED SHALL CONSIST OF SELECT FILL AS SPECIFIED HEREIN AND SHALL NOT CONTAIN MORE THAN 20% OF STONES OF SIZE BETWEEN 25mm AND 75mm AND NONE LARGER THAN 75mm. PRIOR TO USE OF THE EXCAVATED MATERIAL IT SHALL BE INSPECTED AND APPROVED BY THE ENGINEER.

S13. COMPACT BEDDING. EMBEDMENT AND TRENCH FILL MATERIALS AS FOLLOW:

FOR GRANULAR FILL MATERIAL (NON-COHESIVE SOIL) e.g. COARSE AGGREGATE FILL, THE DENSITY INDEX (ID) SHALL BE

FOR GRANULAR MATERIAL (NON COHESIVE SOILS). THE DENSITY INDEX (ID) SHALL BE NOT LESS THAN 70%. FOR NON-GRANULAR FILL MATERIAL (COHESIVE SOILS). THE DRY DENSITY RATIO (RD) SHALL BE NOT LESS THAN 95%

S14. EXISTING SERVICES UTILITY INFORMATION SHOWN ON THE PLANS IS NOT INTENDED TO DEPICT MORE THAN THE PRESENCE OF ANY SERVICES. ACTUAL LOCATIONS SHOULD BE VERIFIED BY HAND EXCAVATION PRIOR TO CONSTRUCTION.

- S15. THE CONTRACTOR SHALL ALLOW FOR THE CAPPING OFF, EXCAVATION AND REMOVAL (IF REQUIRED) OF ALL EXISTING SERVICES IN AREAS AFFECTED BY THE WORKS.
- S16. THE CONTRACTOR SHALL ENSURE THAT SERVICES TO ALL BUILDINGS NOT AFFECTED BY THE WORKS ARE NOT DISRUPTED AT ALL TIMES. THE CONTRACTOR SHALL CONSTRUCT TEMPORARY SERVICES TO MAINTAIN EXISTING SUPPLY TO BUILDINGS REMAINING WHERE REQUIRED. ONCE THE WORKS ARE COMPLETE AND COMMISSIONED THE CONTRACTOR SHALL REMOVE ALL SUCH TEMPORARY SERVICES AND MAKE GOOD ALL DISTURBED AREAS.
- S17. DRAINAGE PIPES EXISTING PIPES WHICH FORM NO PART OF THE DRAINAGE SYSTEM SHALL BE REMOVED OR SEALED AS INDICATED ON THE PLANS. PIPES UP TO 300mm DIAMETER SHALL BE SEWER GRADE uPVC WITH SOLVENT WELDED JOINTS (U.N.O.). ALL PIPE JUNCTIONS AND TAPERS SHALL BE VIA PURPOSE MADE FITTINGS.
- S18. WHERE DOWNPIPES PASS UNDER FLOOR SLABS, SEWER GRADE uPVC WITH RUBBER RING JOINTS ARE TO BE USED.
- S19. MINIMUM GRADE TO DRAINAGE PIPES TO BE 1% (U.N.O.), MIN. SIZE 100mm DIAMETER (U.N.O.)

STORMWATER (CONTINUED)

- S20. PIPES EQUAL TO AND LARGER THAN 375mm DIAMETER TO BE REINFORCED CONCRETE RUBBER RING JOINTED TYPE (CLASS 2) MANUFACTURED TO AS4058 (U.N.O.).
- S21. PIPE INSTALLATION UNDER TRAFFICABLE AREAS SHALL BE IN ACCORDANCE WITH CONCRETE PIPE ASSOCIATION OF AUSTRALIA PUBLICATION "CONCRETE PIPE SELECTION & INSTALLATION" TYPE HS3 SUPPORT.
- S22. EQUIVALENT STRENGTH FRC PIPES MAY BE USED SUBJECT TO **AUTHORITY APPROVAL.**
- S23. MINIMUM PIPE COVER TO BE 600mm UNDER TRAFFICABLE AREAS AND 300mm ELSEWHERE (U.N.O.).
- S24. CONTRACTOR TO SUPPLY AND INSTALL ALL FITTINGS AND SPECIALS INCLUDING VARIOUS PIPE ADAPTORS TO ENSURE PROPER CONNECTION BETWEEN DISSIMILAR PIPEWORK.
- S25. PROVIDE CLEANING EYES TO ALL DOWNPIPES NOT DIRECTLY CONNECTED TO PITS.
- S26. STORMWATER DRAINAGE CONNECTIONS TO COUNCIL'S SYSTEM SHALL BE TO THE REQUIREMENTS AND THE SATISFACTION OF LOCAL COUNCIL.
- S27. DRAINAGE PITS
- PITS DEEPER THAN 1200mm TO BE FITTED WITH STEP IRONS AT 300 CENTRES TO AS1657-2013: FIXED PLATFORMS, WALKWAYS, STAIRWAYS AND LADDERS - DESIGN, CONSTRUCTION AND INSTALLATION'.
- S28. ALL EXPOSED EDGES TO BE ROUNDED WITH 20mm RADIUS, OR CHAMFERED 20mm x 20mm.
- S29. PIT REINFORCEMENT MESH SL82 LAP TO BE 400mm MIN. CLEAR COVER 40 MIN. CAST AGAINST BLINDING OR FORMWORK. CORNER RETURNS MAY BE FABRIC OR EQUIVALENT BARS.
- S30. BENCHING TO BE HALF OUTGOING PIPE DEPTH. CONCRETE FOR BENCHING TO BE 20MPa MASS CONCRETE.
- S31. APPROVED PRECAST PITS MAY BE USED.
- S32. 100mm DIAMETER HOLE FOR SUBSOIL DRAINAGE OUTLET TO BE LOCATED 100mm ABOVE INVERT OF ALL INLET PIPES, SUBSOIL DRAINAGE TO EXTEND FOR A DISTANCE OF 3m UPSTREAM OF PIT (AT EACH INLET TRENCH) WITH THE UPSTREAM END SEALED.
- S33. ALL CONNECTIONS TO EXISTING DRAINAGE PITS SHALL BE MADE IN TRADESMAN-LIKE MANNER AND THE INTERNAL WALL OF THE PIT AT THE POINT OF ENTRY SHALL BE CEMENT RENDERED TO ENSURE A SMOOTH FINISH.
- S34. PIT GRATE, FRAMES AND SOLID COVERS SHALL BE CLASS B IN NON TRAFFIC AREAS AND CLASS D IN TRAFFICABLE AREAS IN ACCORDANCE WITH AS3996.
- S35. ALL GRATES SHALL BE PROVIDED WITH A LOCKING CLIP.
- S36. MAXIMUM FRONT ENTRY PIPE:-STRAIGHT ENTRY - Ø750 SKEW ENTRY 45° - Ø525
- S37. PIT GRATING TO BE GALVANISED STEEL TYPE 'WELDLOK' OR APPROVED EQUIVALENT.
- S38. SUBSOIL DRAINAGE

BIDIM A24.

- SUBSOIL PIPES SHALL BE LAID AT A MIN GRADE OF 0.5% (U.N.O.).
- S39. ADDITIONAL SUBSOIL DRAINAGE SHALL BE LAID TO SUIT SITE CONDITIONS AND GROUNDWATER PRESENCE AS DIRECTED.
- S40. SUBSOIL PIPES SHALL BE LAID BEHIND KERBS IN CUT AREAS OF THE
- S41. SUBSOIL DRAINAGE SHALL CONSIST OF A SLOTTED 100mm DIAMETER PLASTIC PIPE WRAPPED IN GEOTEXTILE AND PLACED A MINIMUM OF 600mm BELOW THE SUBGRADE LEVEL AND COVERED WITH 500mm OF 20mm GRAVEL. PROVIDE A MINIMUM OF 150mm GRAVEL AROUND SUBSOIL PIPE. TRENCH TO BE LINED WITH GEOTEXTILE FABRIC TYPE
- S42. GRATES TO PITS IN FOOTPATH AREAS SHALL BE HEEL SAFE COMPLYING WITH THE DISABLED ACCESS CODE.
- S43. CONTRACTOR TO PROVIDE WORKSHOP COORDINATED DRAWINGS PRIOR TO COMMENCING WORKS ON SITE. WORKSHOP DRAWINGS TO BE REVIEWED AND APPROVED BY DESIGN ENGINEER.
- S44. ALL EXTERNAL AREA TO HAVE A MINIMUM 1% FALL TO OUTLETS
- S45. PROVIDE OVERFLOWS TO ALL AREAS TO ARCHITECT'S SPECIFICATIONS.
- S46. ALL RAINWATER OUTLETS TO OPEN AREAS SHALL BE SPS TRUFLO TYPE TIA100F UNLESS NOTED OTHERWISE. DO NOT INSTALL BALCONY OUTLETS OR SIMILAR IN AREAS SUBJECT TO DIRECT RAINFALL.
- S47. ALL PVC PIPES TO HAVE EXPANSION JOINTS IN ACCORDANCE WITH AS/NZS2032.
- S48. CONNECT ALL TUNDISHES FROM MECHANICAL A/C UNITS INTO STORMWATER ONLY IF ACCEPTABLE BY THE LOCAL COUNCIL BUILDER TO VERIFY AND OBTAIN CONSENT.
- S49. ALL GRATED TRENCH DRAINS IN FRONT OF FIRE EXIT DOORS TO BE SET 100mm AWAY FROM DOOR (TYPICAL).

EROSION CONTROL

- EC1. BEFORE EARTHWORKS CAN COMMENCE THE EROSION & SEDIMENT CONTROL MEASURES MUST BE IN PLACE.
- EC2. DURING THE CONSTRUCTION PERIOD, THESE CONTROL MEASURES WILL NEED TO BE INSPECTED & MAINTAINED REGULARLY, ESPECIALLY AFTER STORM EVENTS, BY THE CONTRACTOR.
- EC3. ALL WORK IS TO BE CARRIED OUT TO PREVENT EROSION, CONTAMINATION & SEDIMENTATION OF THE STORAGE SITE, SURROUNDING AREAS & DRAINAGE SYSTEMS.
- EC4. MINIMIZE DISTURBED AREA COVERED WITH NATURAL VEGETATION. ONLY THOSE AREAS DIRECTLY REQUIRED FOR CONSTRUCTION ARE TO
- EC5. INSTALL EROSION/SEDIMENT CONTROL MEASURES PRIOR TO COMMENCEMENT OF CONSTRUCTION OR EXCAVATION OPERATIONS.
- EC6. PROVIDE SILT FENCE/STRAW BAIL BARRIERS TO THE LOW SIDE OF ALL EXPOSED EARTH EXCAVATIONS. TIE SEDIMENT FENCING MATERIAL TO CYCLONE WIRE SECURITY FENCE. SEDIMENT CONTROL FABRIC SHALL BE AN APPROVED MATERIAL (EG. HUMES PROPEX SILT STOP) STANDING 300mm ABOVE GROUND & EXTENDING 150mm BELOW GROUND.
- EC7. ISOLATE EXISTING STORMWATER PITS WITH STRAW BALES OR SILT TRAPS TO FILTER ALL INCOMING FLOWS.
- EC8. DO NOT STOCKPILE EXCAVATED MATERIAL ON THE ROAD WAY.
- EC9. DIVERT CLEAN WATER FROM UNDISTURBED AREAS AROUND THE WORKING AREAS.
- EC10. CONSTRUCTION ENTRY/EXIT SHALL BE VIA THE LOCATION NOTED ON THE DRAWING. CONTRACTOR SHALL ENSURE ALL DROPPABLE SOIL & SEDIMENT IS REMOVED PRIOR TO CONSTRUCTION TRAFFIC EXITING SITE. CONTRACTOR SHALL ENSURE ALL CONSTRUCTION TRAFFIC ENTERING AND LEAVING THE SITE DO SO IN A FORWARD DIRECTION.
- EC11. TREAT THE STORMWATER RUNOFF WITH SUSPENDED SOLIDS SO THE DISCHARGE WATER QUALITY TO COUNCIL STORMWATER DRAINAGE SYSTEM HAS A MAXIMUM CONCENTRATION OF SUSPENDED SOLIDS THAT DOES NOT EXCEED 50 MILLIGRAMS PER LITRE IN ACCORDANCE WITH THE PROTECTION OF THE ENVIRONMENT OPERATION ACT (POEO 1997) AND SHALL BE APPROVED BY LOCAL COUNCIL
- EC12. ADOPT TEMPORARY MEASURES AS MAY BE NECCESSARY FOR EROSION & SEDIMENT CONTROL, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

TEMPORARY DRAINS AND CATCH DRAINS.

MATERIAL TO DOWNSTREAM AREAS.

DRAINS: SPREADER BANKS OR OTHER TO DISPERSE CONCENTRATED RUNOFF. CONSTRUCTION AND MAINTENANCE OF SILT TRAPS TO PREVENT DISCHARGE OF SCOURED

- EC13. AFTER RAIN, INSPECT, CLEAN, AND REPAIR IF REQUIRED,
- EC14.REMOVE TEMPORARY EROSION &SEDIMENT CONTROL MEASURES WHEN THEY ARE NO LONGER REQUIRED.

TEMPORARY EROSION & SEDIMENT CONTROL MEASURES.

- EC15. COMPLY WITH THE REQUIREMENTS OF LANDCOM'S MANAGING URBAN STORMWATER SOIL AND CONSTRUCTION 'THE BLUE BOOK' LATEST
- EC16. THE EROSION & SEDIMENT CONTROL PLAN PROVIDED IS ONLY INDICATIVE. THE CONTRACTOR SHOULD PREPARE A DETAILED ESCP

orell Council

oonse to Request For Information - 24 Penr oad, Midway Point - P2.pdf te Received:8/07/2025

Reference Coordination Drawing Quality Control Discipline Drawing Title and Number Date Rev DRAWN ARCH **STRUCT** CHECKED DATE MECH 25.06.25 ELEC DATE DESIGNED 25.06.25 01 HYD 25.06.25 Status FIRE Issue Last revision title Date VERIFIED LANDS 25.06.25 Issuer internal sequence and revision history 1-preliminary 3-construction certificate CIVIL APPROVED 2-development application 4-tender 5-construction 6-other SURVEY

AUSTRALIA MEMBER Chartered Professional Engineer

WARNING: THE DESIGNS, DRAWINGS, SPECIFICATIONS AND THE COPYRIGHT HEREIN REMAIN THE SOLE INTELLECTUAL PROPERTY OF S&G CONSULTANTS PTY LTD AND MUST NOT BE USED. COPIED. ALTERED OR REPRODUCED WHOLLY OR IN PART IN ANY FORM WITHOUT THE WRITTEN CONSENT OF S&G CONSULTANTS PTY LTD DIMENSIONS NOT SHOWN TO BE CHECKED ON SITE. DO NOT SCALE OF THIS DRAWING POSITIONS OF AUTHORITIES MAINS AND/OR EXISTING SERVICES ARE TO BE CHECKED PRIOR TO COMMENCEMEN

OF WORK REPORT ANY DISCREPANCIES TO THE CONSULTING

SPECIFICATIONS AND OTHER CONSULTANTS' DRAWINGS.

ENGINEER FOR DECISION/CLARIFICATION BEFORE PROCEEDING WITH

THE WORK. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE

Client

Scales

KUNAMA KUNAMA

Architect



S&G CONSULTANTS PTY LTD SUITE 311, LEVEL 3 480 PACIFIC HIGHWAY ST. LEONARDS, N.S.W. 2065 T: +61 2 8883 4239 Email: office@sgce.com.au Web: www.sgce.com.au

24 PENNA ROAD MIDWAY POINT STORMWATER DRAINAGE DESIGN

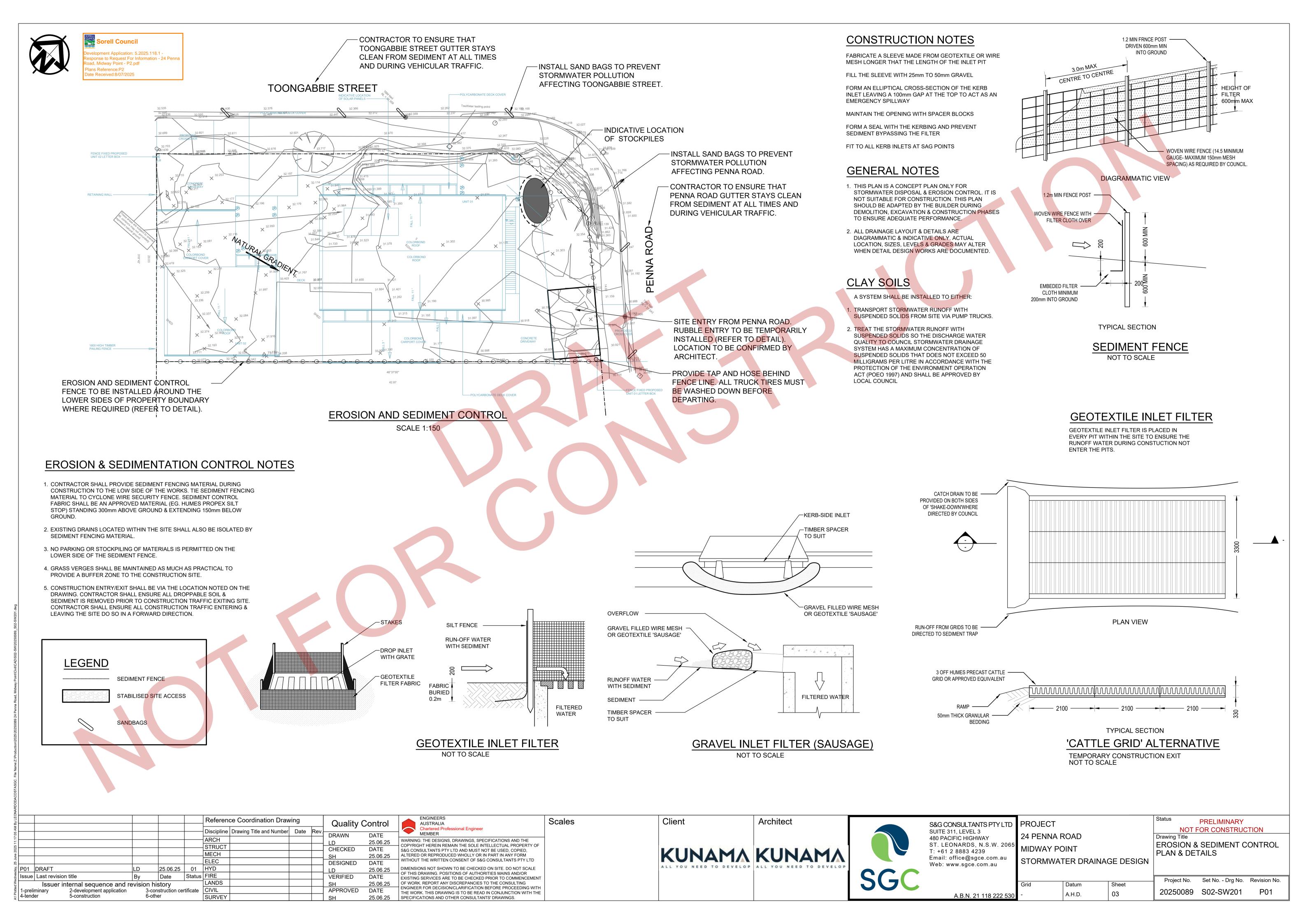
NOT FOR CONSTRUCTION Drawing Title NOTES & LEGEND

PRELIMINARY

Set No. - Drg No. Revision No. 20250089 S02-SW101 P01 02 A.H.D.

A.B.N. 21 118 222 530

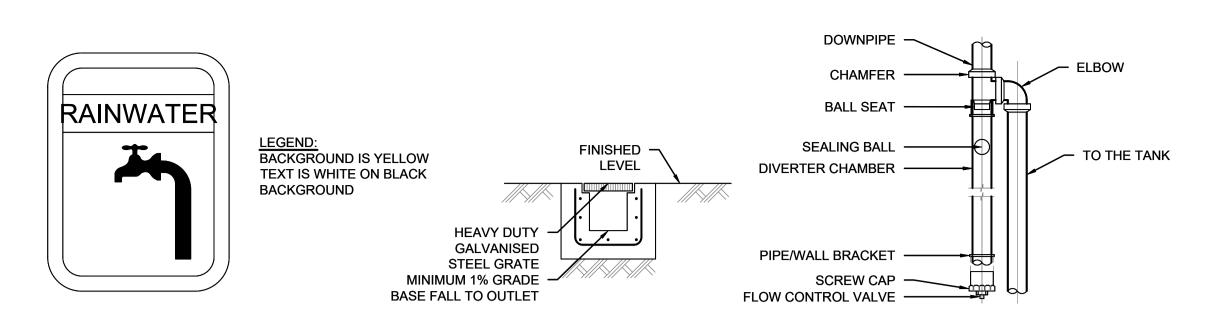
PROJECT









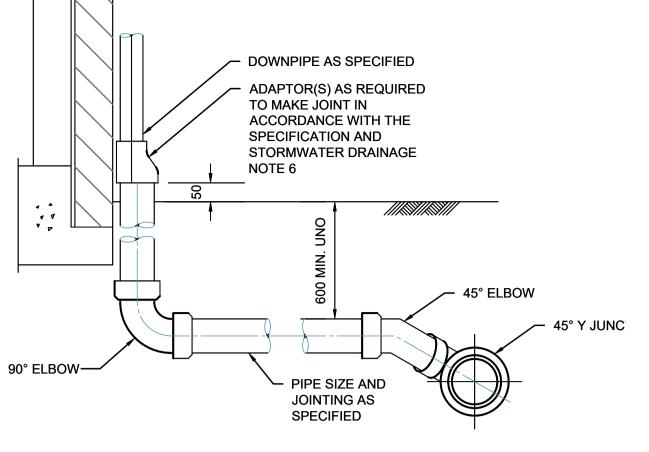


RAINWATER SIGN SCALE 1: 20

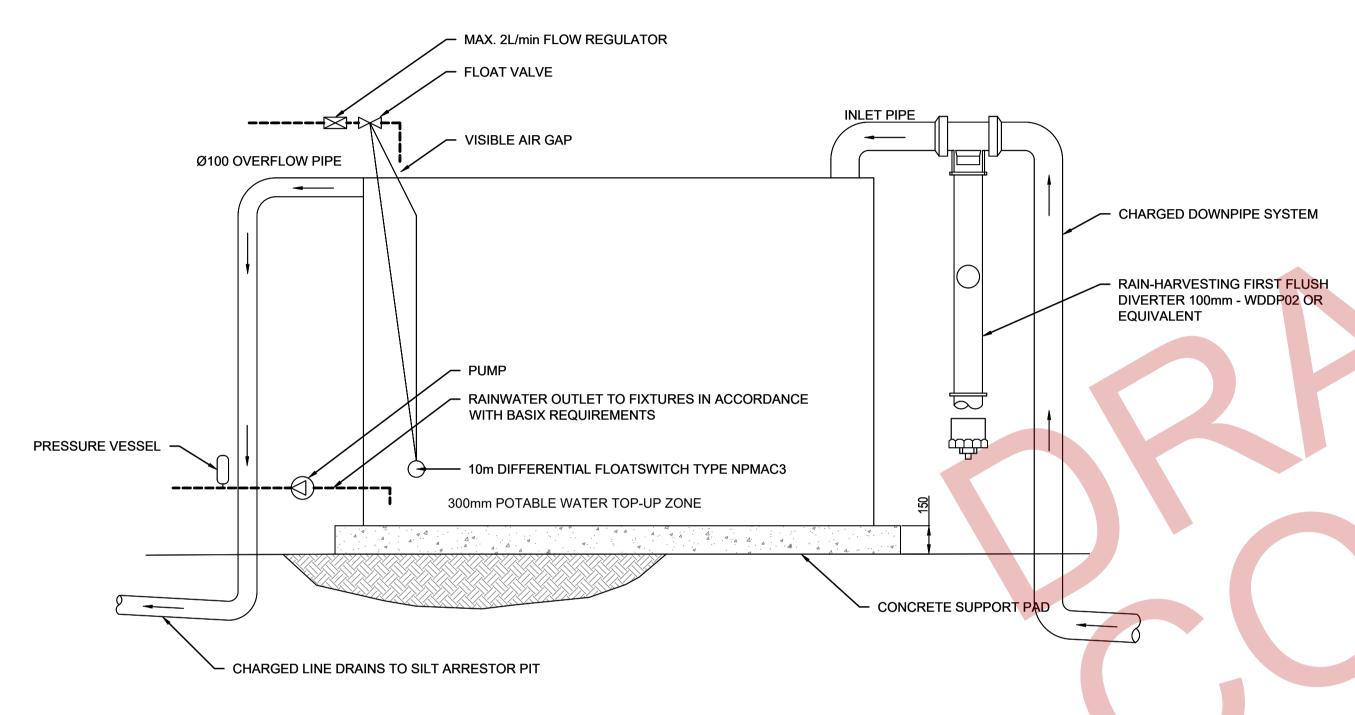
STORMWATER PIT - SCALE 1: 20

GRATED TRENCH DRAIN SCALE 1: 20

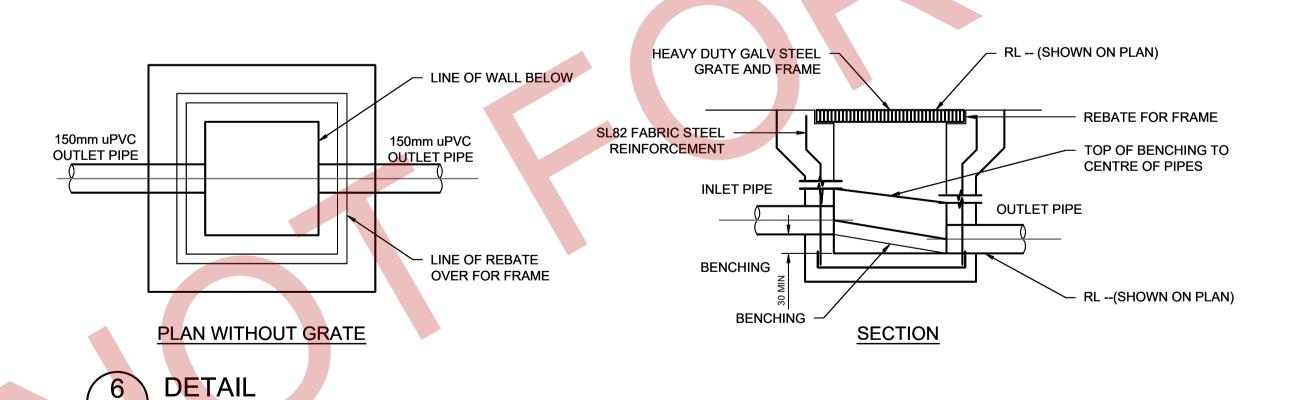
FIRST FLUSH DIVERTER SCALE 1: 20



DOWNPIPE CONNECTION TO uPVC STORMWATER SCALE 1: 20



STANDARD RAINWATER TANK DETAIL SCALE 1: 20



Sorell Council Road, Midway Point - P2.pdf Plans Reference:P2 Date Received:8/07/2025

Scales Reference Coordination Drawing Client Architect **PRELIMINARY** S&G CONSULTANTS PTY LTD PROJECT **Quality Control** AUSTRALIA Chartered Professional Engineer MEMBER NOT FOR CONSTRUCTION Discipline Drawing Title and Number Date Rev SUITE 311, LEVEL 3 24 PENNA ROAD DRAWN Drawing Title 480 PACIFIC HIGHWAY ARCH WARNING: THE DESIGNS, DRAWINGS, SPECIFICATIONS AND THE STORMWATER DRAINAGE DESIGN ST. LEONARDS, N.S.W. 2065 COPYRIGHT HEREIN REMAIN THE SOLE INTELLECTUAL PROPERTY OF STRUCT MIDWAY POINT KUNAMA KUNAMA CHECKED DATE S&G CONSULTANTS PTY LTD AND MUST NOT BE USED, COPIED, T: +61 2 8883 4239 DETAILS SHEET 0,2 0,4 0,6 0,8 1,0 SCALE 1:20 ON ORIGINAL SIZE MECH 25.06.25 ALTERED OR REPRODUCED WHOLLY OR IN PART IN ANY FORM Email: office@sgce.com.au STORMWATER DRAINAGE DESIGN WITHOUT THE WRITTEN CONSENT OF S&G CONSULTANTS PTY LTD ELEC DATE DESIGNED Web: www.sgce.com.au 25.06.25 01 HYD DIMENSIONS NOT SHOWN TO BE CHECKED ON SITE. DO NOT SCALE OF THIS DRAWING. POSITIONS OF AUTHORITIES MAINS AND/OR EXISTING SERVICES ARE TO BE CHECKED PRIOR TO COMMENCEMENT Status FIRE Issue Last revision title Date VERIFIED Set No. - Drg No. Revision No. LANDS OF WORK, REPORT ANY DISCREPANCIES TO THE CONSULTING 25.06.25 Issuer internal sequence and revision history ENGINEER FOR DECISION/CLARIFICATION BEFORE PROCEEDING WITH CIVIL 1-preliminary 2-development application 3-construction certificate APPROVED 20250089 S02-SW551 P01 THE WORK. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE A.H.D. 4-tender A.B.N. 21 118 222 530 6-other 5-construction SURVEY SPECIFICATIONS AND OTHER CONSULTANTS' DRAWINGS.

evelopment Application: 5.2025.118.1 -esponse to Request For Information - 24 Penna



Sorell Council

Road, Midway Point - P2.pdf Plans Reference:P2

Date Received:8/07/2025

Development Application: 5.2025.118.1 -Response to Request For Information - 24 Penna

Request for Additional Information

For Planning Authority Notice

Application details

Council Planning Permit No. 5.2025.118.1

Application date 14/05/2025

TasWater Reference No. TWDA 2025/00511-SOR

Date of response 21/05/2025

TasWater Contact Timothy Carr

Phone No. 0419 306 130

Response issued to

Council name SORELL COUNCIL

Contact details sorell.council@sorell.tas.gov.au

Development details

Address 24 PENNA RD, MIDWAY POINT

Property ID (PID) 5903786

Description of development Multiple Dwellings x 2 (Assisted Housing)

Stage No.

Additional information required

Additional information is required to process your request. To enable assessment to continue please submit the following:

- TasWater records indicate a DN225mm & a DN100mm water mains are located in the vicinity of the proposed front and side boundary fences (refer to attached TasWater Infrastructure Plan). Please submit amended plans which show the following:
 - a) The exact location of the DN225mm & DN100mm diameter water mains accurately dimensioned on the plans relative to both the boundaries and the proposed fences.
 - b) A note added on the plan stating how the pipe was located (e.g. TasWater infrastructure located on site by private contractor/registered surveyor etc.).
 - c) The proposed fences must be located no closer than 1.0m to the outside of the TasWater Infrastructure;
 - d) Drawing title block(s) amended to show revision number, revision date & revision description.
- 2. Please provide a concept servicing plan for water & sewer services which shows the following:
 - a) The exact location and size of the existing and proposed property water & sewer connection(s).



Advice

Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

- A permit is required to work within TasWater's easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater
- TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit https://www.taswater.com.au/building-and-development/service-locations for a list of companies
- Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

To view our assets, all you need to do is follow these steps:

- 1) Open up webpage http://maps.thelist.tas.gov.au/listmap/app/list/map
- 2) Click 'Layers'
- 3) Click 'Add Layer'
- 4) Scroll down to 'Infrastructure and Utilities' in the Manage Layers window, then add the appropriate layers.
- 5) Search for property
- 6) Click on the asset to reveal its properties



ireneinc

PLANNING & URBAN DESIGN

3 July 2025

Shane wells Sorell Council

47 Cole Street

Sorell

TAS

Dear Shane



Development Application: 5.2025.118.1 Response to Request For Information - 24 Penna
Road, Midway Point - P2.pdf
Plans Reference:P2
Date Received:8/07/2025



FURTHER INFORMATION - 5,2025-118.1 -24 PENNA ROAD

I am writing in response to the letter received from Council on the 18th June 2025 requesting further information in response to the proposed development at the above address.

The following is in response to those enquiries:

1 Please provide detail of the frontage fencing, and or confirmation of it being exempt.

Plans have been amended to demonstrate fencing meets the required exemption. All fences within 4.5m of the frontage will be less than 1.2m from NGL.

2. Please provide a landscaping plan or plan showing other visual treatment in response to the performance criteria of clause 8.4.2 (P1) and (P3)

The frontage of the site (excluding driveways and circulation deck spaces) allows for approximately 68m2 of area to be landscaped. The site plan illustrates potential areas for landscaping along the frontage, including indicative locations for trees and low-level planting. Perspective views further demonstrate how landscaping treatments could be integrated. These elements are indicative only, with final landscaping details able to be addressed through condition.

3. Please provide shadow diagrams which show the extent of overshadowing over the entirety of the adjoining properties.

Please refer to amended shadow diagrams by Kunama Construction Group.

- 4. Please provide a photomontage or other visual representation of the proposal as viewed from the adjoining property, with particular regard for the appearance of the carport.
- 3D Views of the proposal have been included as eye level perspectives of the site. Please refer to amended architectural set by Kunama Construction Group.
- 5. Please provide further information on the compliance of the accessible parking spaces with regard for Australian/New Zealand Standard AS/NZS 2890.6:2009 Parking facilities, Off-street parking for people with disabilities.35 including justification of their tandem nature, and the use of wheel stops

Please refer to additional notations on the Architectural set. As this development is intended for Specialist Disability Accommodation (SDA), car parking provisions will comply with the relevant SDA design standards.

ireneinc

49 Tasma St, North Hobart, TAS 7000 Tel (03) 6234 9281 Fax (03) 6231 4727 Mob 0418 346 283 6. Please provide a stormwater drainage plan including connection to a council approved stormwater system.

Please refer to attached stormwater drainage design plan by SGC Consultants.

If you have any further queries in relation to any of the above, please contact me on 6234 9281.

Yours sincerely,

Michela Fortini

Planner

IRENEINC PLANNING & URBAN DESIGN



Development Application: 5.2025.118.1 Response to Request For Information - 24 Penna
Road, Midway Point - P2.pdf
Plans Reference:P2
Date Received:8/07/2025