

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: 45 Federation Drive, Sorell

PROPOSED DEVELOPMENT:

DWELLING

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Monday 4th August 2025**.

Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the General Manager. Representations must be received no later than **Monday 4th August 2025**.

APPLICANT: Hemant Khanna

APPLICATION NO: DA 2025 / 00163 1

DATE: 17 July 2025

Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	Use:
	Development:
	<i>Large or complex proposals should be described in a letter or planning report.</i>
Design and construction cost of proposal: \$	

Is all, or some the work already constructed:	No: <input type="checkbox"/> Yes: <input type="checkbox"/>
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Location of proposed works:	Street address:
	Suburb: Postcode:
	Certificate of Title(s) Volume: Folio:

Current Use of Site
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Current Owner/s:	Name(s).....
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Is the Property on the Tasmanian Heritage Register?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Council or Crown land section on page 3</i>

If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form
<https://www.sorell.tas.gov.au/services/engineering/>

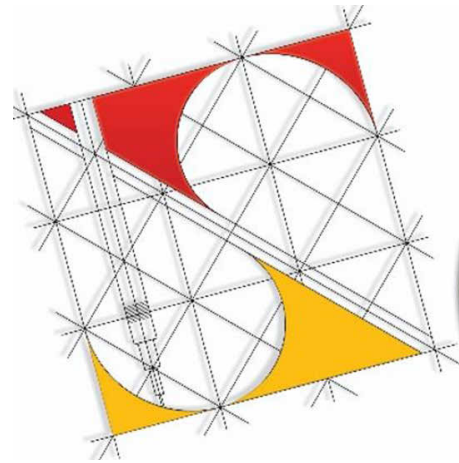


Sorell Council

Development Application: 5.2025.163.1 -
 Development Application - 45 Federation Drive,
 Sorell - P1.pdf
 Plans Reference:P1
 Date Received:23/06/2025

The response to the further information required as per your assessment is as below and the design satisfy all the inputs as per the related clauses:

Item	Comments	Response
Administration	Please provide a written submission, prepared by a suitably qualified and experienced planner, building designer, architect or similar setting out how the proposal is said to satisfy clause 8.4.2 P2 in terms of proximity to the boundary, future overshadowing impacts and compatibility with the surrounding area.	Proposal satisfy Tasmanian Planning Scheme 8.4.2 A2 Setbacks and Building Envelope <ul style="list-style-type: none">Garage is 5500mm Setback from a primary frontage.Shadow Diagrams Created Refer A15Building Envelope Shown Refer Elevations A06Adjoining Lots are vacant
8.4.2 Setbacks and building envelope for all dwelling		
A2 A garage or carport for a dwelling must have a setback from a primary frontage of not less than: <ul style="list-style-type: none">(a) 5.5m, or alternatively 1m behind the building line;(b) the same as the building line, if a portion of the dwelling gross floor area is located above the garage or carport; or(c) 1m, if the existing ground level slopes up or down at a gradient steeper than 1 in 5 for a distance of 10m from the frontage.	P2 A garage or carport for a dwelling must have a setback from a primary frontage that is compatible with the setbacks of existing garages or carports in the street, having regard to any topographical constraints.	
		Applicant: Hemant Khanna




PROPOSED SINGLE STOREY DWELLING

AT

45 FEDERATION DRIVE, SORELL, TAS - 7172



Sheet List		
DRAWING LIST	Sheet Name	Revision
A00	COVER SHEET	1
A01	NOTES	1
A02	SITE PLAN	1
A03	SURVEY PLAN	1
A04	GROUND FLOOR PLAN	1
A05	ROOF PLAN	1
A06	ELEVATIONS	1
A07	ELEVATIONS	1
A11	LANDSCAPE PLAN	1
A15	SHADOWS	1

	Phone: 0402438170	<p>The information contained in this document is copyright and may not be used or reproduced for any other project or purpose. Verify all dimensions and levels on site and report any discrepancies to Urban Space Designers for direction prior to the commencement of work. Drawings to be read in conjunction with all other contract documents. Use figured dimensions only. Do not scale from drawings.</p> <p>USD cannot guarantee the accuracy of content and format for copies of drawings issued electronically.</p> <p>IF IN DOUBT ASK.</p> <p>The completion of the issued details checked and authorized section below is confirmation of the status of the drawing. The drawing shall not be used for the construction unless endorsed "for construction" and authorized for issue. Read these drawings in conjunctions with drawings prepared by USD. Refer any discrepancies with the architect before proceeding with any building works.</p> <p>The drawing is prepared as built and strict instructions to builders to have a physical measurement before referring this drawing and inform USD if there are any gaps in dimensions.</p>	Client: TONY BHATIA & VIVEK SAINI	Issue	Issue Name	Date	DESIGN DRAWINGS CHECK all dimensions and measurements on site prior to fabrication and or construction. Dimensions are in millimeters "frame to frame" and do not allow for interior linings. ALL work in Accordance with The Building Code of Australia (BCA) as amended, relevant Australian Standards (AS) Codes and good building practices. Drawings to be read in conjunction with specifications and schedules.	Sheet: COVER SHEET					
	Email: info@urbanspacedesigners.com.au		Project: SINGLE STOREY DWELLING					Drawn: GK					
	Website: www.urbanspacedesigners.com.au		Address: 45 FEDRATION DRIVE, SORELL, TAS - 7172						Scale:	Size: A3	Date: 17/06/2025		
	Accreditation: TAS - 381246362 VIC - DP-AD 72846					Project: 45FDS/TAS/ARCH-2025						Sheet No.: A00	Rev: 1

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH BUILDING ACT 1993, BUILDING REGULATIONS 2018, NCC 2022 AND RELEVANT STANDARDS THE BUILDER AND SUBCONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, RELEVANT LEVELS AND DIMENSIONS ON-SITE PRIOR TO COMMENCING ANY BUILDING WORKS OR PREFABRICATION. ARCHITECTURAL DRAWING SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL ENGINEERING COMPUTATIONS OR STRUCTURAL DRAWINGS. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS. BUILDER TO ADHERE TO ALL BUILDING PERMIT CONDITIONS AND PLANNING PERMIT CONDITIONS. PLEASE CONSULT ARCHITECT IF THERE ARE ANY DISCREPANCIES. ALL MATERIALS & METHODS OF CONSTRUCTION SHALL COMPLY WITH RELEVANT S.A.A CODES, NCC 2022 AND LOCAL COUNCIL BY- LAWS.

PROVIDE IMPERVIOUS FLOOR & WALL FINISHES TO ALL WET AREAS
IN ACCORDANCE WITH NCC PART 10.2
CONNECT STORMWATER AND SULLAGE DRAINS INTO LEGAL POINTS OF
DISCHARGE ALL DRAINS SHALL COMPLY WITH LOCAL AUTHORITIES
REGULATIONS AND AS3500.3-2015
PROVIDE 90MM DIA. AGRICULTURAL DRAINS TO THE BASE OF ALL
EXCAVATIONS BANKS AND RETAINING WALLS. CONNECT TO STORMWATER
VIA SILT PIT. SMOKE ALARMS TO COMPLY WITH AS3786-2014.
SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 PART 9.5.
SMOKE ALARMS MUST BE INTERCONNECTED DIRECTLY TO MAINS POWERS.
REFER TO SOIL REPORT FOR SOIL CLASSIFICATIONS AND FOUNDING
DEPTHS. ALL EXPOSED STEEL TO BE HOT DIPPED GALVANISED.
PROVIDE MECHANICAL VENTILATION IN ACCORDANCE WITH NCC PART 10.6
AS REQUIRED. ALL EXHAUST FANS ARE TO DISCHARGE TO THE EXTERIOR OF
THE BUILDING.

**REINFORCED CONCRETE STRIP FOOTINGS & PAD FOOTINGS TO ENGINEERS
DESIGN. FOOTING CONSTRUCTION TO COMPLY WITH NCC PART 4.2 &
AS2870-2011**

TIMBER WALL FRAMING IS TO COMPLY WITH AS1684.2-2010 "RESIDENTIAL
TIMBER FRAMED CONSTRUCTION NON-CYCLONIC AREAS" AND OR
AS1684.3-2010
"RESIDENTIAL TIMBER FRAMED CONSTRUCTION CYCLONIC AREAS" AND WITH
SUPPLEMENTARY TABLES.
PROVIDE DOUBLE STUD, STUMP & PAD UNDER ALL LOAD POINTS. ALL
STRUCTURAL STEEL IS TO COMPLY WITH AS4100-1998 (R2016) WALL TIE
DOWNS ARE TO BE INSTALLED IN ACCORDANCE WITH PART 7 OF THE NCC
2022. THE TYPES OF WALL TIES DOWNS MAY BE INCLUSIVE OF METAL
STRAPS BOLTS, SCREWS, COACH SCREWS AND FRAMING ANCHORS.
ALL EXTERNAL STEEL LINTELS ARE TO BE HOT DIPPED GALVANIZED AND THE
WALL TIES PROVIDED ARE TO BE STAINLESS STEEL (PART 6.3 OF THE NCC
2022).

ALL MASONRY WORK IS TO COMPLY WITH AS4773-SET:2015 AND NCC PART 5.2

ALL CONCRETE STRUCTURES ARE TO COMPLY WITH AS 3600-2009 AND NCC PART 4 & 5

REFER TO ENERGY REPORT FOR INSULATION REQUIREMENTS IN WALLS AND CEILINGS.

PROVIDE SOUND-DAMPENING AND SARKING TO METAL ROOFS: 50 MM THICK FIBERGLASS BLANKETS. SISLATION FLAMMABILITY INDEX NO GREATER THAN 5. SUPPLY AND INSTALL.

ALL WINDOWS SHALL CONFORM TO AS2047-2014 AND ALL GLAZING TO AS1288 -2006 & NCC PART 8.3
GLAZING WITHIN 2000MM OF THE F.F.L IN BATHROOMS OR ENSUITES IS TO BE GRADE A SAFETY GLASS
ALL SIZES SHOWN ARE NOMINAL AND SHOULD BE COMPARED TO MANUFACTURERS STANDARD SCHEDULE BEFORE CONSTRUCTION COMMENCES. NON-STANDARD WINDOWS TO HAVE SIZES CHECKED ON SITE PRIOR TO MANUFACTURING. REFER TO ELEVATIONS FOR SASH ARRANGEMENT. ALL WINDOW SIZES & CLEARANCES TO BE CHECKED ON SITE PRIOR TO MANUFACTURING.
GRADE A SAFETY GLASS IS REQUIRED TO ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS, SHOWER DOORS, SHOWER SCREENS, BATH ENCLOSURES, AND ASSOCIATED WINDOWS, WHERE THE LOWEST SIGHT LINE IS LESS THAN 2.0 M ABOVE THE HIGHEST ABUTTING FINISHED LEVEL OF THE FLOOR, BOTTOM OF THE BATH, OR SHOWER BASE PLEASE NOTE THAT WINDOWS CAPABLE OF BEING MISTAKEN FOR A DOORWAY OR OPENING AND GREATER THEN 500MM IN WIDTH, 1M IN HEIGHT AND WITHIN 700MM OF THE FINISHED FLOOR ARE TO BE PROVIDED WITH A MID-HEIGHT MOTIF WITHIN ITS PANEL IN ACCORDANCE WITH PART 8.4 OF THE NCC 2022.

"TIMBER WALL FRAMING IS TO COMPLY WITH AS1684.2-2010
 "RESIDENTIAL TIMBER FRAMED CONSTRUCTION NON-CYCLONIC
 AREAS" AND OR AS1684.3-2010
 "RESIDENTIAL TIMBER FRAMED CONSTRUCTION CYCLONIC AREAS"
 AND WITH SUPPLEMENTARY TABLES. PROVIDE DOUBLE STUD, STUMP
 & PAD UNDER ALL LOAD POINTS. WALL BRACING LAYOUT IN
 CONJUNCTION WITH THE WALL TIE DOWN DETAILS (TOP PLATES TO
 STUDS) ARE TO COMPLY WITH AS1684-2010. WALL TIE DOWNS (TOP
 PLATES TO STUDS) ARE TO BE INSTALLED AT MINIMUM 1800 CTRS
 (EVERY 4TH STUD). THE TYPES OF WALL TIE DOWNS MAY BE
 INCLUSIVE OF METAL STRAPS, BOLTS, SCREWS, COACH SCREWS AND
 FRAMING ANCHORS. WALL BRACING NO GREATER THEN 9M APART.

PROVIDE AN ELECTRONIC COPY OF THE ROOF TRUSS/POSISTRUTT MANUFACTURER'S DESIGN AND LAYOUT OF THE BEAMS ARE TO BE SUBMITTED PRIOR TO THE FRAME INSPECTION BEING CARRIED OUT. NOTE: THE FRAME INSPECTION WILL NOT BE CARRIED OUT UNTIL SUCH TIME THAT COPY OF FULL TRUSS COMPUTATIONS AND LAYOUT PLANS ARE PROVIDED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR. NOTE DISCS WILL NOT BE ACCEPTED

ALL EXISTING UNDERGROUND SERVICES ARE TO BE LOCATED PRIOR TO EXCAVATION FOR NEW PIPES LINES AND NO EXISTING SERVICE SHALL BE DISCONNECTED OR DISTURBED WITHOUT APPROVAL FROM ENGINEER.

STORM-WATER DRAINS SHALL BE 100MM DIAMETER AT A GRADE OF 1:100 UNLESS NOTED OTHERWISE.

ALL PIPE JOUNCTIONS SHALL BE WITH A 45 DEGREE JOINT.

ALL U-PVC PIPES SHALL CONFORM TO AS1260-2009 "PVC-U PIPES AND FITTINGS FOR DRAIN, WASTE AND VENT APPLICATION"

THE SITE SHOULD BE DRAINED SO THAT THE WATER CANNOT POND AGAINST OR NEAR THE BUILDING. THE GROUND IMMEDIATELY ADJACENT TO THE BUILDING SHOULD BE GRADED TO FALL 50MM OVER THE FIRST METER. WHERE THIS IS IMPRACTICABLE (I.E. SEVERAL SLOPING SITES) USE AGGIE DRAINS ADJACENT TO THE FOOTINGS WHERE THE GROUND FALLS TOWARDS THE BUILDING.

REINFORCED CONCRETE FLOOR SLAB TO ENGINEERS DESIGN.
CONSTRUCTION OF CONCRETE SLAB TO COMPLY WITH NCC PART 4.2 &
AS2870

SUB-FLOOR VENTILATION IS TO BE INSTALLED AT A MINIMUM OF EVERY 6000MM² PER METER RUN OF WALL IN COMPLIANCE WITH PART 6.2 OF THE NCC 2022. THE SUB-FLOOR ACCESS DOOR IS TO BE LOCATED IN A READILY ACCESSIBLE POSITION.

TIMBER ROOF FRAMING IS TO COMPLY WITH AS1684.2-2010 "RESIDENTIAL TIMBER FRAMED CONSTRUCTION NON-CYCLONIC AREAS" AND OR AS1684.3-2010 "RESIDENTIAL TIMBER FRAMED CONSTRUCTION CYCLONIC AREAS" AND WITH SUPPLEMENTARY TABLES TIMBER ROOF TRUSSES AT 900MM CTS TO MANUFACTURERS SPECIFICATIONS PROVIDE GALV. IRON CROSS BRACING OVER ROOF TRUSSES EXPOSED COLORBOND GUTTERS AND FASCIAS, INSTALLED PER NCC 2022 PART 7. ALL ROOF STORMWATER DRAINAGE SHALL COMPLY WITH AS3500.3-2015 ENSURE ALL SARKING BENEATH ROOFS IS PROVIDED IN ACCORDANCE WITH PART 3.5 OF THE NCC. AND HAS A FLAMMABILITY INDEX OF NOT MORE THAN 5

ALL EXTERNAL STEEL LINTELS ARE TO BE HOT DIPPED GALVANIZED AND THE WALL TIES PROVIDED ARE TO BE STAINLESS STEEL, PLEASE CONFIRM THIS ON PLAN. (PART6.3 OF THE NCC 2022).

STAIRS, STEPS & LANDINGS TO COMPLY WITH NCC. PART 11.2.
RISERS - 115MM MIN, 190MM MAX.
GOINGS - 240MM MIN 355MM MAX
HANDRAIL TO BE 865MM ABOVE NOSING OF TREAD
1000MM HIGH BALUSTRADING & 865 ABOVE STAIR NOSING
125MM MAXIMUM BETWEEN BALUSTERS
PROVIDE 2000MM MIN HEAD ROOM CLEARANCE FROM TREAD NOSING.
MAX 3 RISERS OR 570MM WITHOUT A LANDING TO DOOR OPENING.
SLOPE RELATIONSHIP $2R + G \geq 550$ MIN - 700MM MAX THE MAXIMUM GAP
BETWEEN RISERS
IN OPEN STAIRS IS 125MM WHERE THE STAIR IS IN EXCESS OF 1000MM
ABOVE THE ADJACENT FLOOR LEVEL.
ALL TREADS ARE TO HAVE A NON-SLIP FINISH OR A NON-SLIP STRIP IS TO
BE PROVIDED TO THE NOSING.

A HANDRAIL IS TO BE PROVIDED ALONG AT LEAST ONE SIDE OF THE INTERNAL STAIRS. THE TOP SURFACE OF THE HANDRAIL IS TO BE NOT LESS THAN 865MM VERTICALLY ABOVE THE NOSINGS OF THE STAIR TREADS AND HAVE NO OBSTRUCTION ON OR ABOVE.

ALL CONCRETE MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE AS3600-2009 CONCRETE STRUCTURES CODE.
ALL CONCRETE SHALL BE CURED IN ACCORDANCE WITH AS3600- 2009.
ALL REINFORCEMENT TO BE LAID AND LAPPED TO MANUFACTURERS SPECIFICATIONS ON APPROVED BAR CHAIRS.
CONCRETE STRENGTH 25MPA (MIN) AT 28 DAYS.
ALL WORKS TO BE IN ACCORDANCE WITH AS2870-2011 - "RESIDENTIAL SLABS AND FOOTING CONSTRUCTION" OWNERS MUST RECOGNIZE THEIR RESPONSIBILITIES NOTED IN AS 2870-2011 AND MORE DETAIL IN C.S.I.R.O PUBLICATION "GUIDE TO HOMEOWNERS ON FOUNDATION MAINTENANCE AND PERFORMANCE."
ALL EXCAVATIONS SHOULD BE CAREFULLY INSPECTED BY A COMPETENT PERSON AND THIS OFFICE CONTACTED IMMEDIATELY IF CONDITIONS OTHER THAN THOSE DESCRIBED IN THE SOIL REPORT ARE ENCOUNTERED.
CONCRETE SLAB REINFORCED CONCRETE FLOOR SLAB TO ENGINEERS DESIGN. CONSTRUCTION OF CONCRETE SLAB TO COMPLY WITH NCC PART 4.2 & AS2870

THIS PLAN IS SUBJECT TO COPYRIGHT AND SHALL NOT BE COPIED IN
WHOLE OR PART WITHOUT WRITTEN PERMISSION FROM THE
ARCHITECTS/DESIGNERS COPYRIGHT.

THE GROUND BENEATH SUSPENDED FLOORS MUST BE GRADED SO THAT THE AREA BENEATH THE BUILDING IS ABOVE THE ADJACENT EXTERNAL FINISHED GROUND LEVEL AND SURFACE WATER IS PREVENTED FROM PONDING UNDER THE BUILDING. TERMITE TREATMENT SITE TO BE TREATED AGAINST SUBTERRANEAN TERMITES IN ACCORDANCE WITH AS3660.1 TO LOCAL AUTHORITIES SATISFACTION AS3660.1 TERMITE MANAGEMENT REQUIRES A MINIMUM OF 400MM CLEARANCE FROM GROUND LEVEL TO THE UNDERSIDE OF THE BEARER (THIS CAN BE REDUCED TO 200MM ON A SLOPING SITE)

ANY CONTAMINATED AIR FROM A SANITARY COMPARTMENT OR BATHROOM MUST

A. EXHAUST DIRECTLY TO OUTSIDE THE BUILDING BY WAY OF DUCTS; OR

B. EXHAUST INTO THE ROOF SPACE PROVIDED-

(I) IT IS ADEQUATELY VENTILATED THAT COMPLIES WITH PART 10.8.3 OF THE NCC 2022

(II) THE ROOF IS CLAD IN ROOFING TILES WITHOUT SARKING OR SIMILAR MATERIALS WHICH WOULD PREVENT VENTING THROUGH GAPS BETWEEN TILES EXHAUST FAN DISCHARGE RATES TO BE

A. SANITARY COMPARTMENTS AND BATHROOMS - 25l/s

B. KITCHEN AND LAUNDRY - 40l/s

100X50 OR 90MM DIAMETER DOWNPIPES ARE REQUIRED TO BE PROVIDED AT 12 METER MAXIMUM SPACING.
MINIMUM BOX GUTTER DIMENSIONS SHALL BE 200MM WIDE X 100MM DEEP.
ALL DOWNPIPES ARE TO BE CONNECTED TO THE APPROVED POINT OF DISCHARGE TO THE SATISFACTION OF THE RELEVANT BUILDING SURVEYOR.

PROVIDE SOUND ABSORBING INSULATION AROUND ALL WASTE PIPES FROM FIRST FLOOR WET AREAS (BATHROOMS/ENSUITES/LAUNDRY) TOILET DOORS ARE TO BE FITTED WITH REMOVABLE HINGES, OR ARE TO SWING OUT, OR BE SLIDING WHERE THE HINGE IS WITHIN 1200MM OF THE PAN.

OPEN PERPENDICULAR JOINTS 'WEEPHOLES' MUST BE PROVIDED ABOVE ALL OPENINGS OVER 1200MM WIDE AND 1200MM CTRS IMMEDIATELY ABOVE THE DPC.

TO COMPLY WITH AS3740-2010

ALL PERMEABLE BUILDING MEMBRANES TO BE PROVIDED IN ACCORDANCE WITH PART 10.8.1 OF THE BCA AND TO BE LOCATED ON THE EXTERIOR SIDE OF THE PRIMARY INSULATION LAYER OF WALL ASSEMBLIES THAT FORM THE EXTERNAL ENVELOPE.

ALL PERMEABLE BUILDING MEMBRANES SHALL COMPLY WITH AS4200.1 AND BE INSTALLED IN ACCORDANCE WITH AS4200.2

CLASSIFICATION TO BE DETERMINED BY REGISTERED BUILDING
SURVEYOR IF REQUIRED.

ALL FLASHING TO BE INSTALLED IN ACCORDANCE WITH AS/NZS 2904-1995
AND COMPLY WITH THE BCA

ARTICULATION JOINTS ARE TO COMPLY WITH PART 5.6.8 OF THE NCC 2022 (MINIMUM EVERY 5M CENTRES).


UPON COMPLETION, PROVIDE A COMPLETE COPY OF THE RECORDS FOR THE PILE/PIER DRIVING OPERATIONS

MAINS ELECTRICITY SUPPLY, TELSTRA AND OTHERS TO BE LOCATED IN ACCORDANCE WITH THE RESPONSIBLE AUTHORITIES REQUIREMENTS. ALL ELECTRICAL SWITCHES AND POINTS SHALL BE INSTALLED IN ACCORDANCE WITH AS3000-2018, NCC AND ELECTRICAL AUTHORITIES REQUIREMENTS. PROVIDE SAFETY SWITCHES (RCD) TO ALL LIGHTING AND POWER POINT CIRCUITS.



Development Application: 5.2025.163.1 -
Response to Request for Information -45
Federation Drive, Sorell - P2.pdf
Plans Reference:P4
Date Received:14/07/2025

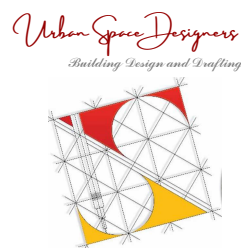
Waterproofing to be constructed in accordance with AS4654.2

<div><p>Urban Space Designers <i>Building Design and Drafting</i></p></div> <div><p>Phone: 0402438170</p><p>Email: info@urbanspacedesigners.com.au</p><p>Website: www.urbanspacedesigners.com.au</p><p>Accreditation: TAS - 381246362 VIC - DP-AD 72846</p></div>	<p>The information contained in this document is copyright and may not be used or reproduced for any other project or purpose. Verify all dimensions and levels on site and report any discrepancies to Urban Space Designers for direction prior to the commencement of work. Drawings to be read in conjunction with all other contract documents. Use figured dimensions only. Do not scale from drawings.</p> <p>USD cannot guarantee the accuracy of content and format for copies of drawings issued electronically.</p> <p>IF IN DOUBT ASK.</p> <p>The completion of the issued details checked and authorized section below is confirmation of the status of the drawing. The drawing shall not be used for the construction unless endorsed "for construction" and authorized for issue. Read these drawings in conjunctions with drawings prepared by USD. Refer any discrepancies with the architect before proceeding with any building works.</p> <p>The drawing is prepared as built and strict instructions to builders to have a physical measurement before referring this drawing and inform USD if there are any gaps in dimensions.</p>	Client:	TONY BHATIA & VIVEK SAINI	Issue	Issue Name	Date	<div>DESIGN DRAWINGS</div> <div>CHECK all dimensions and measurements on site prior to fabrication and or construction. Dimensions are in millimeters "frame to frame" and do not allow for interior linings.</div> <div>ALL work in Accordance with The Building Code of Australia (BCA) as amended, relevant Australian Standards (AS) Codes and good building practices. Drawings to be read in conjunction with specifications and schedules.</div>	Sheet:	NOTES					
		Project:	SINGLE STOREY DWELLING					Drawn:	GK					
		Address:	45 FEDRATION DRIVE, SORELL, TAS - 7172					Scale:	Size:	Date:	Project: 45FDS/TAS/ARCH-2025	Sheet No.: A01	Rev: 1	

Site Return fence/ Gate for Standard lots must be maximum 1.8m High and level with the Adjacent Side Boundary Fence. Side Fences/ Gate must be Colorbond and be setback a minimum 1.0m from the Front Building Line.

[illegible]

1 : 200



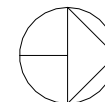
Accreditation:
TAS - 381246362
VIC - DP-AD 72846

Client: **TONY BHATIA & VIVEK SAINI**

Project: **SINGLE STOREY DWELLING**

Address: **45 FEDRATION DRIVE,
SORELL, TAS - 7172**

Issue	Issue Name	Date	
			DESIGN DRAWINGS
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			Drawings to be read in conjunction with specifications and schedules.



Sheet:			
SURVEY PLAN			
Drawn: GK			
Scale:	Size:	Date:	
1 : 200	A3	17/06/2025	
Project:		Sheet No.:	Rev:
45FDS/TAS/ARCH-2025		A03	1

DWELLING MUST INCORPORATE PLUMBING THAT ALLOWS FOR CONNECTION TO ANY FUTURE RECYCLED WATER SUPPLY. HOUSE TO HAVE ACCESS TO A FIBRE TO THE HOME NETWORK PROVIDED BY NBN CO. MUST BE WIRED IN ACCORDANCE WITH NBN REQUIREMENTS. ANY OUTBUILDINGS, EXTERNAL LIGHT FITTING, SERVICE EQUIPMENT, AND OTHER ANCILLARY ITEMS MUST MEET THE REQUIREMENTS OF THE DESIGN GUIDELINES.

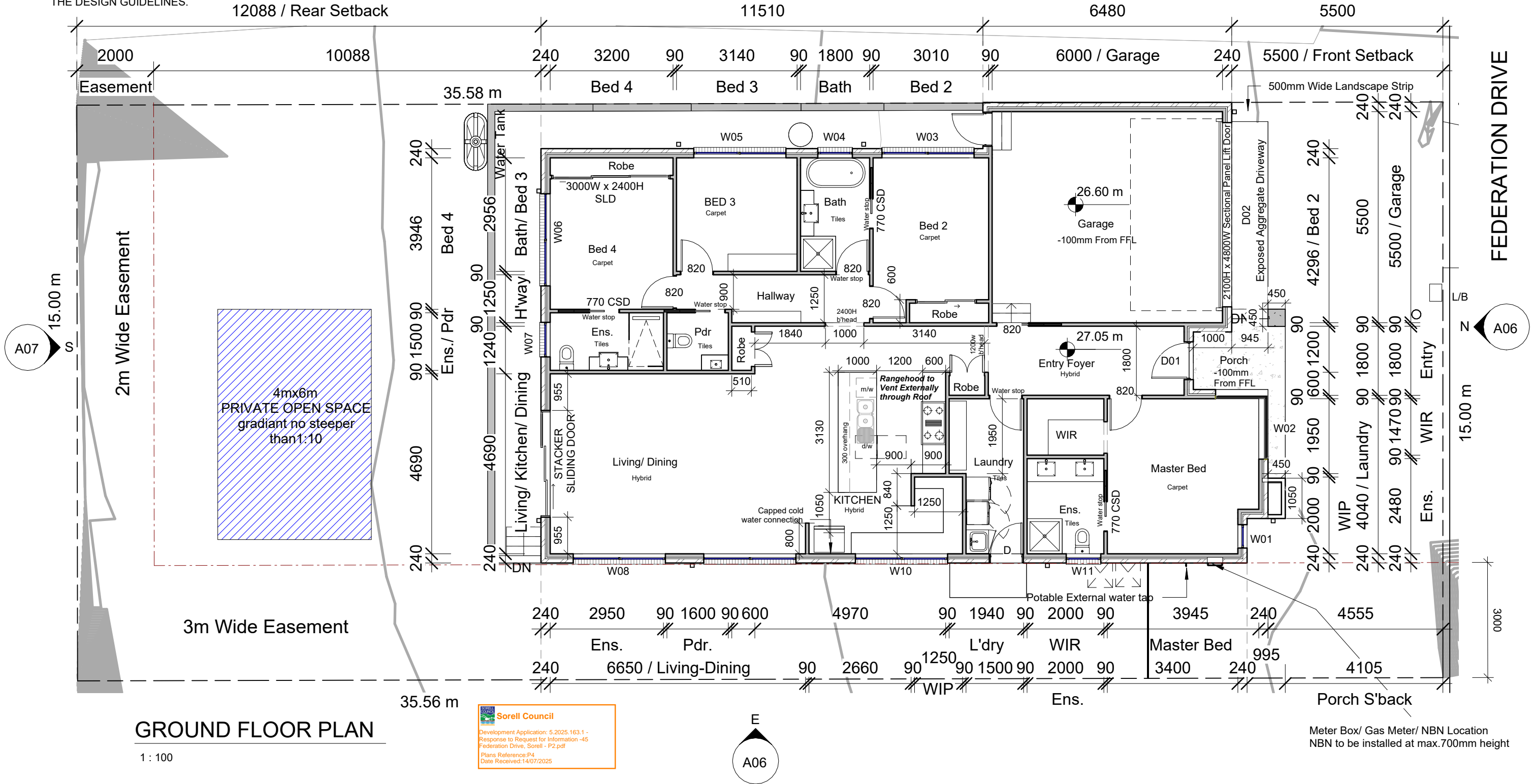
ALL TOILETS AND A WASHING MACHINE STOP TAP ARE TO BE CONNECTED TO RECYCLED WATER. LOTS 300 SQM AND OVER MUST INSTALL A MINIMUM 3,000 LITRE RAINWATER TANK, PRIOR TO OCCUPANCY PERMIT, WHICH MUST BE CONNECTED TO SUPPLY WATER TO TOILETS AND A WASHING MACHINE STOP TAP. RECYCLED WATER MAY NOT BE DISCHARGED INTO THE WATERTANK.



ARTIFICIAL LIGHTING NOT TO EXCEED:

- 5W/M² FOR DWELLING
 - 4W/M² FOR VERANDAH, BALCONY
 - 3W/M² FOR GARAGE
- ENERGY RATING
INSULATION
WALL : R2.5
ROOF : R5.0
ALL INTERNAL DOORS TO BE 2340 HIGH INCLUDING ALL ROBE AND LINEN DOORS UNLESS MENTIONED

NOTES:

ROOF LAYOUT DESIGN SHOWN IS FOR GUIDE PURPOSES ONLY, SEE THE ROOF MANUFACTURES DRAWINGS FOR EXACT DESIGN. CONCRETER / BUILDER TO MAKE SURE THAT MIN. 385 TO BE EXCAVATED BELOW FLOOR LEVEL IN RESIDENCE AND GARAGE FOR A WAFFLE SLAB. CHECK ON SITE BEFORE COMMENCING BEFORE COMMENCING ON SITE PLEASE CHECK ALL DIMENSIONS



<div><div>Urban Space Designers</div><div>Building Design and Drafting</div><div></div></div>	<p>Phone: 0402438170</p> <p>Email: info@urbanspacedesigners.com.au</p> <p>Website: www.urbanspacedesigners.com.au</p> <p>Accreditation: TAS - 381246362 VIC - DP-AD 72846</p>	<p>The information contained in this document is copyright and may not be used or reproduced for any other project or purpose. Verify all dimensions and levels on site and report any discrepancies toUrban Space Designersfor direction prior to the commencement of work. Drawings to be read in conjunction with all other contract documents. Use figured dimensions only. Do not scale from drawings.</p> <p>USD cannot guarantee the accuracy of content and format for copies of drawings issued electronically.</p> <p>IF IN DOUBT ASK.</p> <p>The completion of the issued details checked and authorized section below is confirmation of the status of the drawing. The drawing shall not be used for the construction unless endorsed "for construction" and authorized for issue. Read these drawings in conjunctions with drawings prepared byUSD. Refer any discrepancies with the architect before proceeding with any building works.</p> <p>The drawing is prepared as built and strict instructions to builders to have a physical measurement before referring this drawing and inform USD if there are any gaps in dimensions.</p>	<p>Client: TONY BHATIA & VIVEK SAINI</p> <p>Project: SINGLE STOREY DWELLING</p> <p>Address: 45 FEDRATION DRIVE, SORELL, TAS - 7172</p>	<table><tr><th>Issue</th><th>Issue Name</th><th>Date</th></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>	Issue	Issue Name	Date																												<div><div>DESIGN DRAWINGS</div><div>CHECK all dimensions and measurements on site prior to fabrication and or construction. Dimensions are in millimeters "frame to frame" and do not allow for interior linings.</div><div>ALL work in Accordance with The Building Code of Australia (BCA) as amended, relevant Australian Standards (AS) Codes and good building practices. Drawings to be read in conjunction with specifications and schedules.</div></div>	<div><div></div></div>	<div><div>Sheet:</div><div>GROUND FLOOR PLAN</div><div><div>Drawn: GK</div><div><div>Scale: 1 : 100</div><div>Size: A3</div><div>Date: 17/06/2025</div></div><div><div>Project: 45FDS/TAS/ARCH-2025</div><div><div>Sheet No.: A04</div><div>Rev: 1</div></div></div></div></div>
	Issue	Issue Name	Date																																		

- Gutter and Down Pipes - NCC 2022 Part 7.4**
- Colorbond metal fascias and gutters.
 - Eaves gutters installed with a fall of 1:500 (normally).
 - Box gutters fall of 1:100.
 - Spacing between downpipes maximum 12m.
 - Downpipes to be located 1.2m from a valley or provisions made for overflow.
 - Gutters and downpipes to be selected in accordance with NCC Vol 2 Part 7.4.3 and table

7.4.3b
and 7.4.3c.

Zincalume color (B.M.T) 0.500 protected steel sheet to Australian Standard AS139\ Fascia clips/brackets shall be attached to fascia /barge at a max 1.2m centres using recommended fasteners.

Ventilation of Roof Spaces NCC 2022 Part 10.8.3

A roof must have a roof space that-

- (a) is located-
 - (i) immediately above the primary insulation layer;or
 - (ii) immediately above sarking with a vapour permeance of not less than 1.14 µEg/N.s, which is immediately above the primary insulation layer; or
 - (iii) immediately above ceiling insulation; and
- (b) has a height of not less than 20 mm; and
- (c) is either-
 - (i) ventilated to outdoor air through evenly distributed openings in accordance with Table 10.8.3;
 - or
 - (ii) located immediately underneath the roof tiles or an unsarked tiled roof.

Stormwater Notes

All gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3 & NCC 2022 Volume II Part 7.4.

Roof Cladding

R5.0 Insulation batts to roof space above ceiling lining.
Roof cladding, flashings, cappings, roof sheeting and fixings are to be installed in accordance with NCC 2022 Volume II Part 7.2 for sheet roofing and Part 7.3 for tiled and shingle roofing.

Eaves & Soffit Linings

To comply with NCC 2022 Vol II Part 7.5.5 and where provided, external fibre-cement sheets and linings used as eaves and soffit linings must-

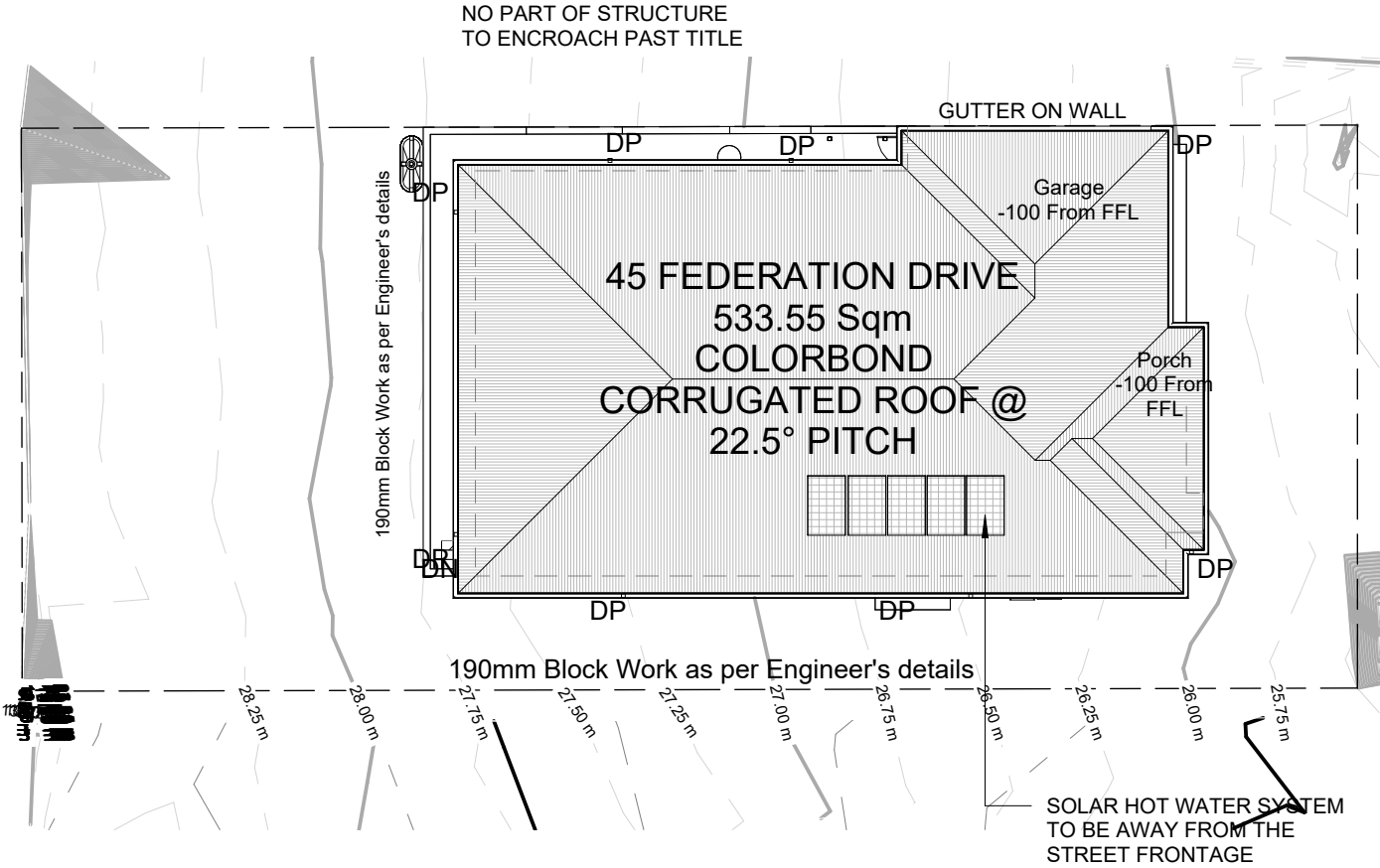
- (a) comply with AS/NZS 2908.2 or ISO 8336; and
- (b) be fixed in accordance with Table 7.5.5 and Figure 7.5.5 using-
 - (i) 2.8 x~ 30 mm fibre-cement nails; or
 - (ii) No. 8 wafer head screws (for 4.5 mm and 6 mm sheets only); or
 - (iii) No. 8 self embedding head screws (for 6 mm sheets only).

Refer to table 7.5.5 for trimmer and fastener spacings.

F8D3 External wall construction

2 (b) for climate zone 6,7,& 8, 1.14 µg/N.s

Class 4 vapour control membranes meet the vapour permeance requirements of F8D3(2)(b)





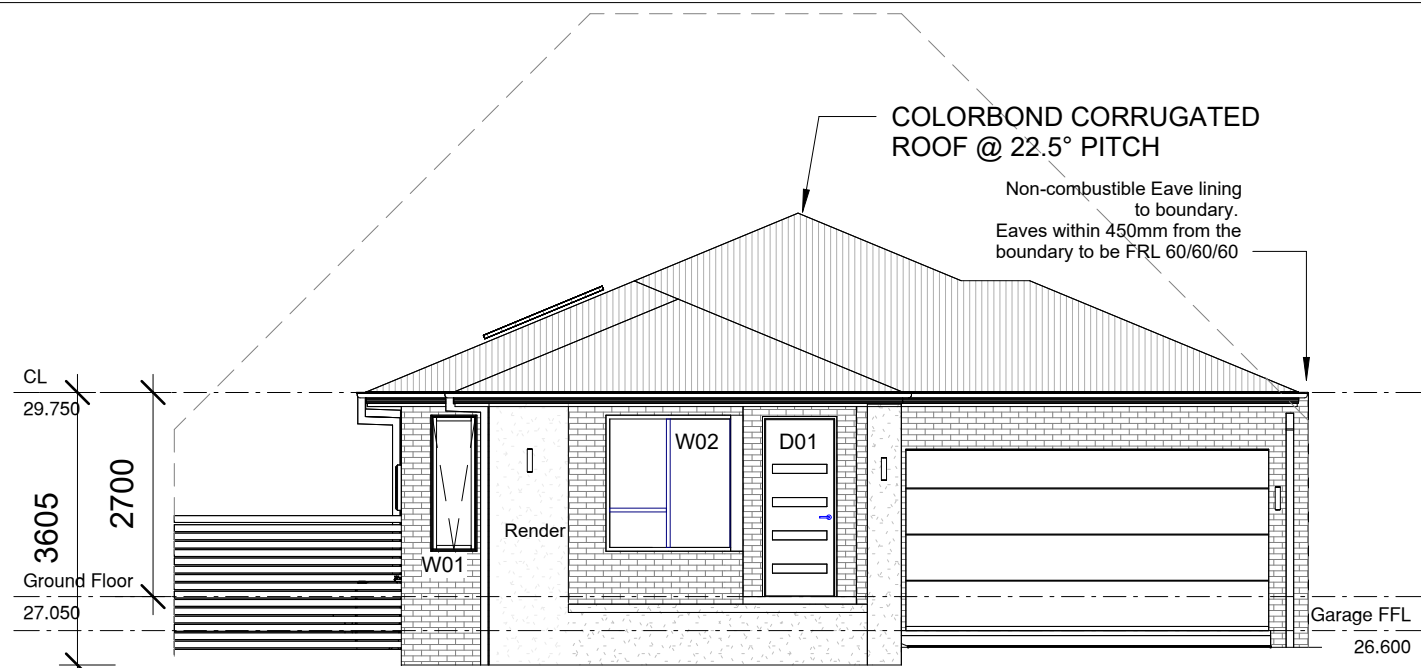
ROOF PLAN

1 : 200

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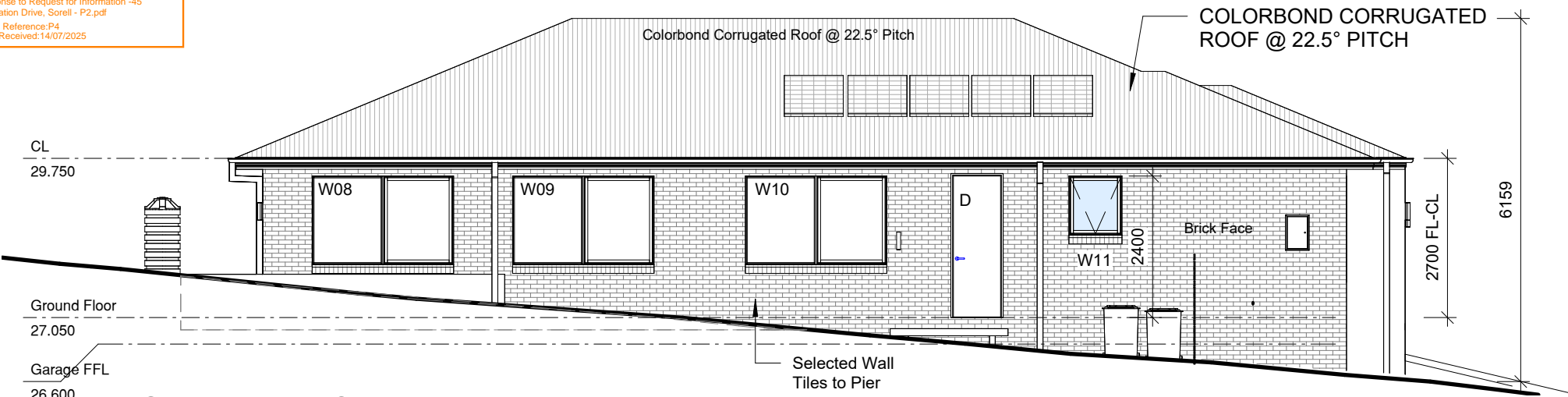


NORTH ELEVATION

1 : 100


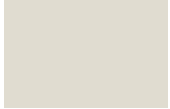




NOTE:
Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of:
100mm in low rainfall intensity areas or sandy, well-drained areas; or
50mm above impermeable areas that slope away from the building;
or 150mm in any other case.
Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.
U.N.O in builder's specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.
As per NCC parts 11.3.7 and 11.3.8, Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so that a 125mm sphere cannot pass through, and withstand a force of 250N.
Except for bedrooms, where the requirement is for heights above 2m.
All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2
· Riser: Min 115mm - Max 190mm
· Going: Min 240mm - Max 355mm
· Slope (2R+G): Max 550 - Min 700

**Sorell Council**
Development Application: 5.2025.163.1 -
Response to Request for Information -45
Federation Drive, Sorell - P2.pdf
Plans Reference: P4
Date Received: 14/07/2025



EAST ELEVATION

1 : 100

COLOUR LEGEND	
External Finishes	
Item	Description
	Roof/ Downpipes/ Fascia/ Gutter/ Door-Window Frame Colorbond - Monument
	Render Seed Pearl Dulux
	Garage Door Monument
	Driveway/ Porch Midway Exposed Aggregate - Bulla
	Tile Travertine
	Front Portal Cladding External Cladding Black color 5 Slat

STRUCTURAL ENGINEERING DISCLAIMER:

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ALL ROOF PENETRATIONS AND FLASHINGS AS PER THE NCC 2022 PART 7.2.7
WET AREA COMPLIANCE WITH AS3740.
THE EXTERNAL FINISHED SURFACE SURROUNDING THE SLAB MUST BE DRAINED TO MOVE SURFACE WATER AWAY FROM THE BUILDING.

WINDOW SIZES CAN BE VARY DEPENDING ON MANUFACTURER SPECIFICATIONS AND ENERGY RATING REQUIREMENTS WINDOW SIZES CAN BE VARY DEPENDING ON MANUFACTURER SPECIFICATIONS AND ENERGY RATING REQUIREMENTS IF NOT CLEAR PLEASE CONFIRM DIMENSIONS BEFORE COMMENCE WORK ON SITE

AJ : DENOTES CONTROL JOINT TO FULL HEIGHT OF BRICKWORK @5M MAX. CENTRES. ALL JOINTS TO CONFIRM TO NOTE CN9 OF THE BRICKWORK AND CONCRETE ASSOCIATION.

INFORMATION CONTAINED IN THE SOIL REPORT REGARDING CONTROL JOINTS TAKES RECEDENCE.

WEEPHOLES -
WEEP HOLES AT 1.2 METRE SPACING AND ABOVE WINDOWS MORE THAN 1.0 METRE WIDE.

NOTE: PROVIDE WEEPHOLES AT 960MM MAXIMUM CENTRES WITH CONTINUOUS FLASHING WHERE THE BRICKWORK EXTENDS OVER THE OPENINGS

Window Schedule

Number	Height	Width	Head Height	Sill Height
W01	1800	610	2400	600
W02	1800	1650	2400	600
W03	1800	2400	2400	600
W04	1800	900	2400	600
W05	1800	2400	2400	600
W06	1800	2400	2400	600
W07	1800	900	2400	600
W08	1500	2400	2400	900
W09	1500	2400	2400	900
W10	1500	2400	2400	900
W11	1000	900	2400	1400



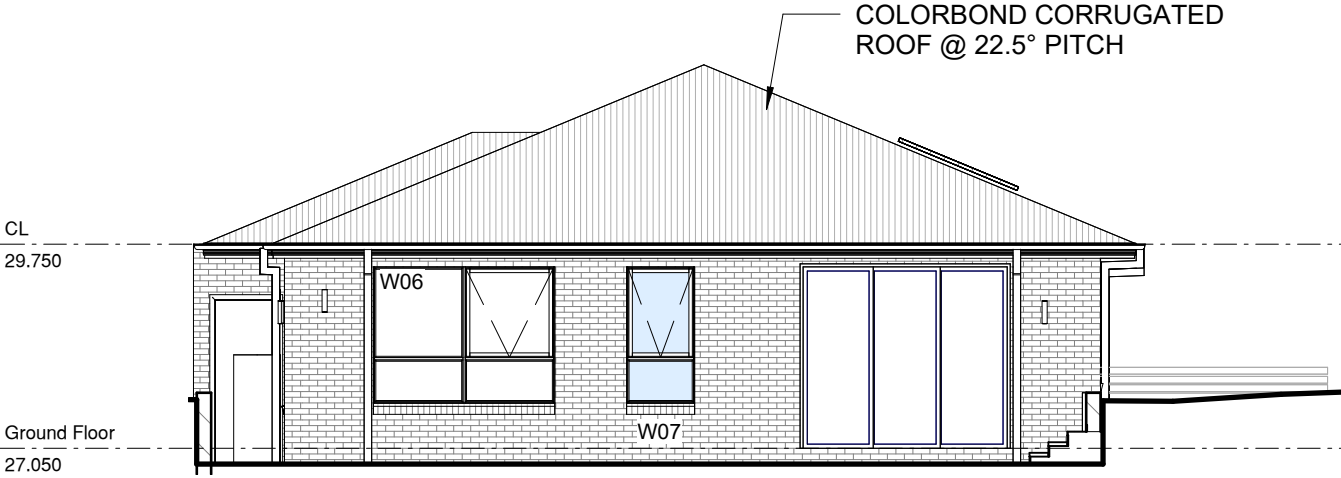
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VIC - DP-AD 72846

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Project:
SINGLE STOREY DWELLING
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SORELL, TAS - 7172

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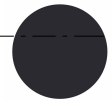





Sheet: ELEVATIONS			
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Scale: 1 : 100	Size: A3	Date: 17/06/2025	
Project: 45FDS/TAS/ARCH-2025		Sheet No.: A06	Rev: 1



SOUTH ELEVATION

1 : 100

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All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2
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External Finishes	
Item	Description
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WEST ELEVATION

1 : 100



Window Schedule

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W03	1800	2400	2400	600
W04	1800	900	2400	600
W05	1800	2400	2400	600
W06	1800	2400	2400	600
W07	1800	900	2400	600
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W11	1000	900	2400	1400



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TONY BHATIA & VIVEK SAINI

Project:
SINGLE STOREY DWELLING

Address:
45 FEDRATION DRIVE,
SORELL, TAS - 7172

Issue	Issue Name	Date

DESIGN DRAWINGS

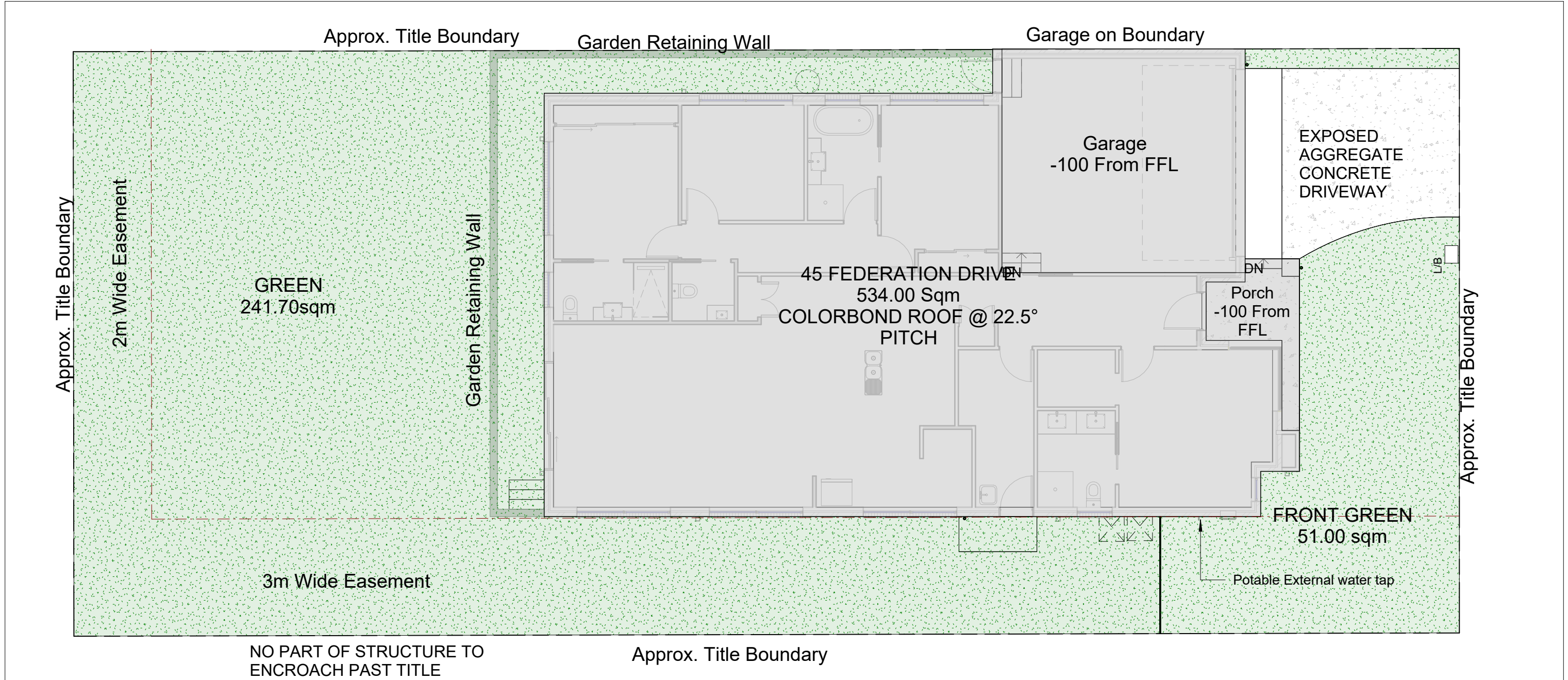
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Sheet:
ELEVATIONS

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Scale: 1 : 100	Size: A3	Date: 17/06/2025
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Project: 45FDS/TAS/ARCH-2025	Sheet No.: A07	Rev: 1
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LANDSCAPE PLAN

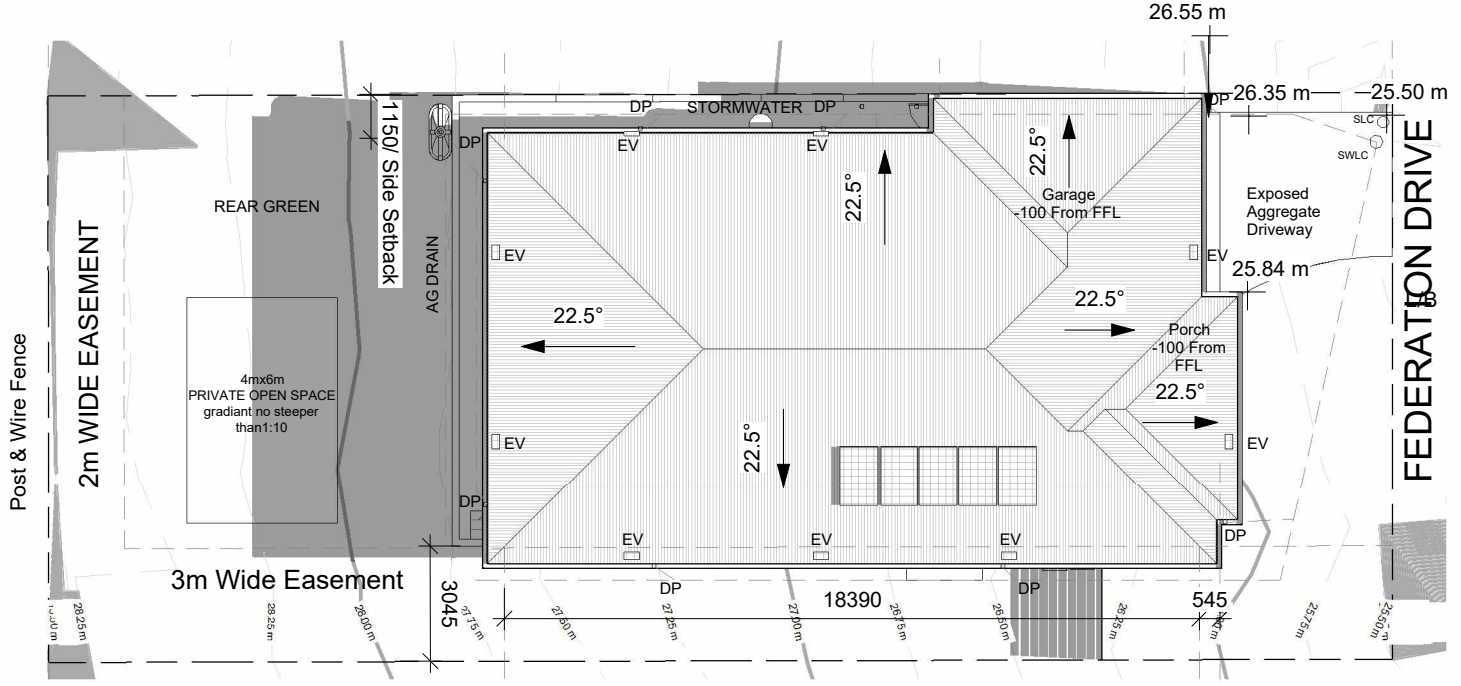
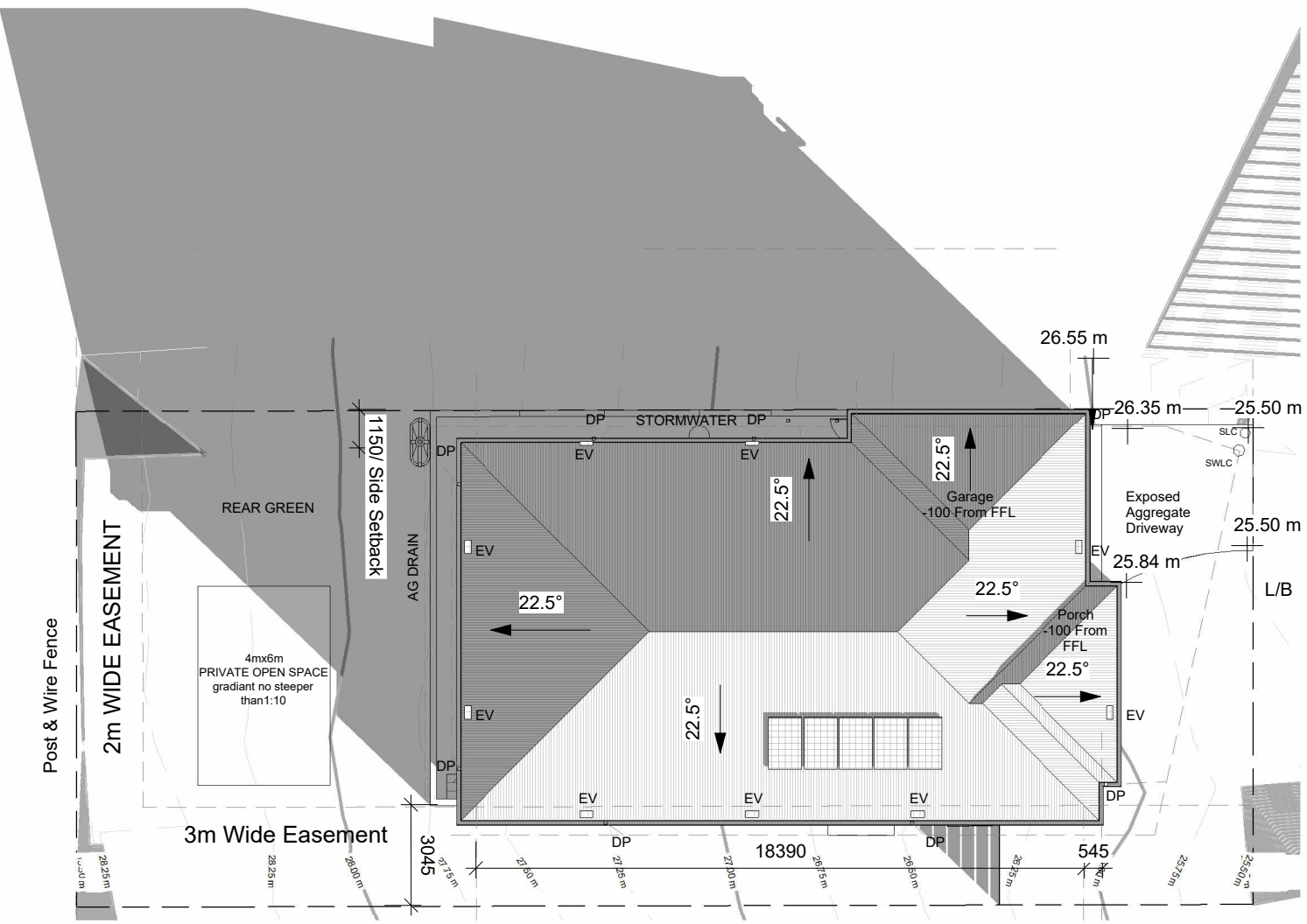
1 : 100

ALL TOILETS AND A WASHING MACHINE STOP TAP ARE TO BE CONNECTED TO RECYCLED WATER. LOTS 300 SQM AND OVER MUST INSTALL A MINIMUM 3,000 LITRE RAINWATER TANK, PRIOR TO OCCUPANCY PERMIT, WHICH MUST BE CONNECTED TO SUPPLY WATER TO TOILETS AND A WASHING MACHINE STOP TAP. RECYCLED WATER MAY NOT BE DISCHARGED INTO THE WATERTANK.

PLANTING SCHEDULE				
CODE	NAME	POT SIZE	QUANTITY	MATURE H x W
SHRUBS				
Wco	WHITE CORREA (Correa Alba)	150mm	8	1.5m x 2.0m
LoL	TANIKA (Lomandra Logifolia)	150mm	7	0.6m x 0.6m
BaS	BIRTHDAY CANDLE (Banksia Spinulosa)	150mm	3	0.4m x 0.5m
TREES				
Ar	AGONIS BURGANDY (Agonis Reflexa)	45L	1	5m x 3m

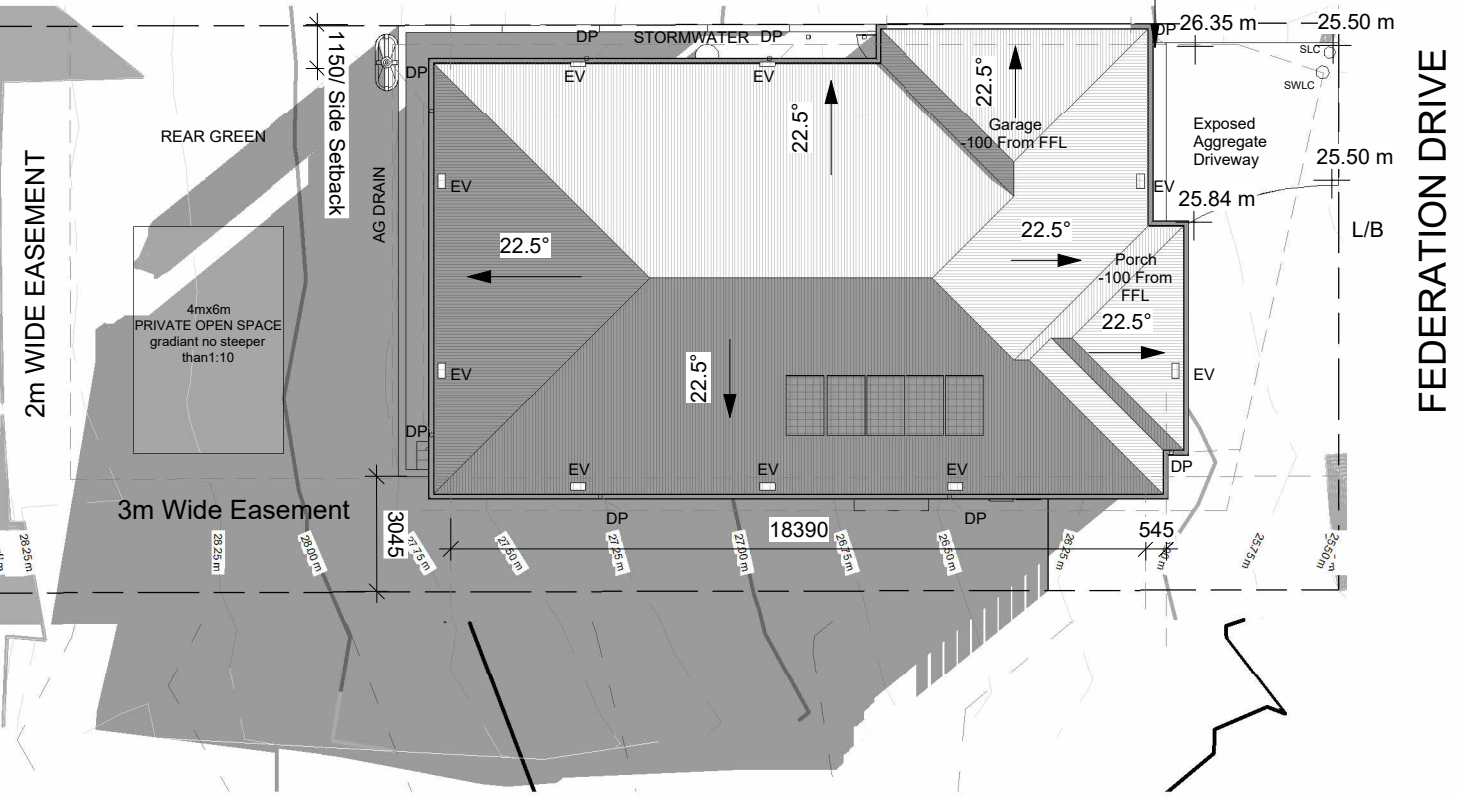
Front landscaping, as well as any garden areas within public view, must be completed within three months of the Certificate of Occupancy being issued.

GARDEN BEDS LOCATED IN PUBLIC VIEW MUST BE MULCHED. GARDEN BEDS ARE TO CONTAIN ORGANIC OR PEBBLE MULCH



SHADOW @ 1200PM

1 : 200




SHADOW @ 0300PM

1 : 200

SHADOW @ 0900AM

1 : 200

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Sheet: SHADOWS		
Drawn: GK		
Scale: 1 : 200	Size: A3	Date: 17/06/2025
Project: 45FDS/TAS/ARCH-2025	Sheet No.: A15	Rev: 1