

# NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: 45 Federation Drive, Sorell

# PROPOSED DEVELOPMENT:

## **DWELLING**

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at <a href="https://www.sorell.tas.gov.au">www.sorell.tas.gov.au</a> until Monday 4th August 2025.

Any person may make representation in relation to the proposal by letter or electronic mail (<u>sorell.council@sorell.tas.gov.au</u>) addressed to the General Manager. Representations must be received no later than **Monday 4<sup>th</sup> August 2025.** 

APPLICANT: Hemant Khanna

**APPLICATION NO:** DA 2025 / 00163 1

DATE: 17 July 2025

## Part B: Please note that Part B of this form is publicly exhibited.

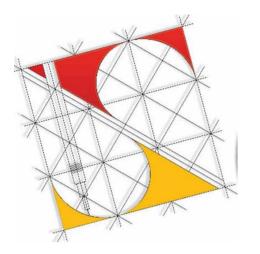
Full description of Proposal:	Use:						
51 1 10 posai.	Development:						
	Large or complex proposals s	hould be de	escribed	in a letter or planning report.			
Design and cons	struction cost of proposal:	\$					
Is all, or some th	ne work already constructed:	: N	o: 🗆	Yes: 🗆			
Location of proposed	Street address:						
works:				ode:			
	Certificate of Title(s) Volum	ie:		FOIIO:			
Current Use of Site							
Current Owner/s:	Name(s)						
Is the Property of Register?	on the Tasmanian Heritage	No: □ Y	′es: □	If yes, please provide written advice from Heritage Tasmania			
Is the proposal than one stage?	to be carried out in more	No: □ Y	′es: □	If yes, please clearly describe in plans			
Have any potent been undertake	No: □ Y	′es: □	If yes, please complete the Additional Information for Non-Residential Use				
Is any vegetation	No: □ Y	′es: □	If yes, please ensure plans clearly show area to be impacted				
Does the propose administered or or Council?	No: □ Y	′es: □	If yes, please complete the Council or Crown land section on page 3				
	ded vehicular crossing is requi						
complete the Vehicular Crossing (and Associated Works) application form <a href="https://www.sorell.tas.gov.au/services/engineering/">https://www.sorell.tas.gov.au/services/engineering/</a> Sorell Council							

Development Application: 5.2025.163.1 -Development Application - 45 Federation Drive, Sorell - P1.pdf

Plans Reference:P1 Date Received:23/06/2025

The response to the further information required as per your assessment is as below and the design satisfy all the inputs as per the related clauses:

Item	Comments		Response
Administration  8.4.2 Setbacks and bui	qualified and exper or similar setting ou 8.4.2 P2 in terms o overshadowing imp area.	ritten submission, prepared by a suitably ienced planner, building designer, architect at how the proposal is said to satisfy clause of proximity to the boundary, future eacts and compatibility with the surrounding celling	
from a primary frontage of  (a) 5.5m, or alternative line;  (b) the same as the but dwelling gross floor garage or carport; of  (c) 1m, if the existing given down at a gradient.	constraints. e same as the building line, if a portion of the relling gross floor area is located above the		Proposal satisfy Tasmanian Planning Scheme 8.4.2 A2 Setbacks and Building Envelope  - Garage is 5500mm Setback from a primary frontage Shadow Diagrams Created Refer A15 - Building Envelope Shown Refer Elevations A06 - Adjoining Lots are vacant
			Applicant: Hemant Khanna





# PROPOSED SINGLE STOREY DWELLING

# **AT**

# 45 FEDERATION DRIVE, SORELL, TAS - 7172

Sorell Council

Development Application: 5.2025.163.1 Response to Request for Information -45
Federation Drive, Sorell - P2.pdf
Plans Reference:P4
Date Received:1407/2025

Sheet List						
DRAWING LIST	Sheet Name	Revision				
A00	COVER SHEET	1				
A01	NOTES	1				
A02	SITE PLAN	1				
A03	SURVEY PLAN	1				
A04	GROUND FLOOR PLAN	1				
A05	ROOF PLAN	1				
A06	ELEVATIONS	1				
A07	ELEVATIONS	1				
A11	LANDSCAPE PLAN	1				
A15	SHADOWS	1				



0402438170

\_ ..

Email: info@urbanspacedesigners.com.au

**Website:** www.urbanspacedesigners.com.au

Accreditation: TAS - 381246362 VIC - DP-AD 72846 The information contained in this document is copyright and may not be used or reproduced for any other project or purpose. Verify all dimensions and levels on site and report any discrepancies turban Space Designers for direction prior to the commencement of work. Drawings to be read in conjunction with all other contract documents. Use figured dimensions only. Do not scale from drawings.

figured dimensions only. **Do not scale from drawings. USD** cannot guarantee the accuracy of content and format for copies of drawings issued electronically.

IS IN DOUBT ACK

The completion of the issued details checked and authorized section below is confirmation of the status of the drawing. The drawing shall not be used for the construction unless endorsed "for construction" and authorized for issue. Read these drawings in conjunctions with drawings prepared by USD. Refer any discrepancies with the architect before proceeding with any building works.

The drawing is prepared as built and strict instructions to builders to have a physical measurement before referring this

The drawing is prepared as built and strict instructions to builders to have a physical measurement before referring this drawing and inform USD if there are any gaps in dimensions.

Client:	Issue	Issue Name	Date	
TONY BHATIA & VIVEK SAINI				DESIGN DRAWINGS
				CHECK all dimensions and measurements on site
Project:				prior to fabrication and or construction.
				Dimensions are in millimeters "frame to frame"
SINGLE STOREY DWELLING				and do not allow for interior linings.  ALL work in Accordance with The Building Code of
				Australia (BCA) as amended, relevant Australian
Address: 45 FEDRATION DRIVE,				Standards (AS) Codes and good building practices.
SORELL, TAS - 7172				Drawings to be read in conjunction with
				specifications and schedules.

Sheet:				
COVER	SHEE	Т		
Drawn: GK				
Scale:	Size	: A3	Date:	7/06/2025
Project:		Sheet No	.:	Rev:
45FDS/TAS/ARCH-2	.025	AC	00	1

#### GENERAL NOTES

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH BUILDING ACT 1993. BUILDING REGULATIONS 2018. NCC 2022 AND RELEVANT STANDARDS THE BUILDER AND SUBCONTRACTOR TO VERIFY ALL EXISTING CONDITIONS. RELEVANT LEVELS AND DIMENSIONS ON-SITE PRIOR TO COMMENCING ANY BUILDING WORKS OR PREFABRICATION. ARCHITECTURAL DRAWING SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL ENGINEERING COMPUTATIONS OR STRUCTURAL DRAWINGS. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS. BUILDER TO ADHERE TO ALL BUILDING PERMIT CONDITIONS AND PLANNING PERMIT CONDITIONS. PLEASE CONSULT ARCHITECT IF THERE ARE ANY DISCREPANCIES. ALL MATERIALS & METHODS OF CONSTRUCTION SHALL COMPLY WITH RELEVANT S.A.A CODES. NCC 2022 AND LOCAL COUNCIL BY- LAWS.

#### **DO NOT SCALE DRAWINGS**

PROVIDE IMPERVIOUS FLOOR & WALL FINISHES TO ALL WET AREAS INACCORDANCE WITH NCC PART 10.2

CONNECT STORMWATER AND SULLAGE DRAINS INTO LEGAL POINTS OF DISCHARGE ALL DRAINS SHALL COMPLY WITH LOCAL AUTHORITIES REGULATIONS AND AS3500.3-2015

PROVIDE 90MM DIA. AGRICULTURAL DRAINS TO THE BASE OF ALL EXCAVATIONS BANKS AND RETAINING WALLS. CONNECT TO STORMWATER VIA SILT PIT. SMOKE ALARMS TO COMPLY WITH AS3786-2014. SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 PART 9.5. SMOKE ALARMS MUST BE INTERCONNECTED DIRECTLY TO MAINS POWERS.
REFER TO SOIL REPORT FOR SOIL CLASSIFICATIONS AND FOUNDING DEPTHS. ALL EXPOSED STEEL TO BE HOT DIPPED GALVANISED. PROVIDE MECHANICAL VENTILATION IN ACCORDANCE WITH NCC PART 10.6 AS REQUIRED. ALL EXHAUST FANS ARE TO DISCHARGE TO THE EXTERIOR OF THE BUILDING.

<u>PART 4 FOOTINGS & SLABS</u>
REINFORCED CONCRETE STRIP FOOTINGS & PAD FOOTINGS TO ENGINEERS DESIGN. FOOTING CONSTRUCTION TO COMPLY WITH NCC PART 4.2 & AS2870-2011

#### PART 6 & 7 WALL FRAMING

TIMBER WALL FRAMING IS TO COMPLY WITH AS1684.2-2010 "RESIDENTIAL TIMBER FRAMED CONSTRUCTION NON-CYCLONIC AREAS" AND OR AS1684 3-2010

"RESIDENTIAL TIMBER FRAMED CONSTRUCTION CYCLONIC AREAS" AND WITH SUPPLEMENTARY TABLES.

PROVIDE DOUBLE STUD, STUMP & PAD UNDER ALL LOAD POINTS. ALL STRUCTURAL STEEL IS TO COMPLY WITH AS4100-1998 (R2016) WALL TIE DOWNS ARE TO BE INSTALLED IN ACCORDANCE WITH PART 7 OF THE NCC 2022. THE TYPES OF WALL TIES DOWNS MAY BE INCLUSIVE OF METAL STRAPS BOLTS, SCREWS, COACH SCREWS AND FRAMING ANCHORS. ALL EXTERNAL STEEL LINTELS ARE TO BE HOT DIPPED GALVANIZED AND THE WALL TIES PROVIDED ARE TO BE STAINLESS STEEL (PART 6.3 OF THE NCC

#### **PART 5 MASONRY**

ALL MASONARY WORK IS TO COMPLY WITH AS4773-SET:2015 AND NCC PART

#### **PART 4 & 5 CONCRETE STRUCTURES**

ALL CONCRETE STRUCTURES ARE TO COMPLY WITH AS 3600-2009 AND NCC

## **INSULATION**

REFER TO ENERGY REPORT FOR INSULATION REQUIREMENTS IN WALLS AND CEILINGS

PROVIDE SOUND-DAMPENING AND SARKING TO METAL ROOFS: 50 MM THICK FIBERGLASS BLANKETS. SISILATION FLAMMABILITY INDEX NO GREATER THAN 5 SUPPLY AND INSTALL

#### PART 8 WINDOWS/GLAZING

ALL WINDOWS SHALL CONFORM TO AS2047-2014 AND ALL GLAZING TO AS1288 -2006 & NCC PART 8 3

GLAZING WITHIN 2000MM OF THE F.F.L IN BATHROOMS OR ENSUITES IS TO BE GRADE A SAFETY GLASS

ALL SIZES SHOWN ARE NOMINAL AND SHOULD BE COMPARED TO MANUFACTURERS STANDARD SCHEDULE BEFORE CONSTRUCTION COMMENCES. NON-STANDARD WINDOWS TO HAVE SIZES CHECKED ON SITE PRIOR TO MANUFACTURING REFER TO FI EVATIONS FOR SASH ARRANGEMENT. ALL WINDOW SIZES & CLEARANCES TO BE CHECKED ON SITE PRIOR TO MANUFACTURING.

GRADE A SAFETY GLASS IS REQUIRED TO ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS, SHOWER DOORS, SHOWER SCREENS, BATH ENCLOSURES, AND ASSOCIATED WINDOWS, WHERE THE LOWEST SIGHT LINE IS LESS THAN 2.0 M ABOVE THE HIGHEST ABUTTING FINISHED LEVEL OF THE FLOOR, BOTTOM OF THE BATH, OR SHOWER BASE PLEASE NOTE THAT WINDOWS CAPABLE OF BEING MISTAKEN FOR A DOORWAY OR OPENING AND GREATER THEN 500MM IN WIDTH, 1M IN HEIGHT AND WITHIN 700MM OF THE FINISHED FLOO ARE TO BE PROVIDED WITH A MID-HEIGHT MOTIF WITHIN ITS PANEL IN ACCORDANCE WITH PART 8.4 OF THE NCC 2022.

TIMBER WALL FRAMING IS TO COMPLY WITH AS1684.2-2010 "RESIDENTIAL TIMBER FRAMED CONSTRUCTION NON-CYCLONIC AREAS" AND OR AS1684 3-2010

"RESIDENTIAL TIMBER FRAMED CONSTRUCTION CYCLONIC AREAS" AND WITH SUPPLEMENTARY TABLES. PROVIDE DOUBLE STUD, STUMP & PAD UNDER ALL LOAD POINTS. WALL BRACING LAYOUT IN CONJUNCTION WITH THE WALL TIE DOWN DETAILS (TOP PLATES TO STUDS) ARE TO COMPLY WITH AS1684-2010. WALL TIE DOWNS (TOP PLATES TO STUDS) ARE TO BE INSTALLED AT MINIMUM 1800 CTRS (EVERY 4TH STUD). THE TYPES OF WALL TIES DOWNS MAY BE INCLUSIVE OF METAL STRAPS, BOLTS, SCREWS, COACH SCREWS AND FRAMING ANCHORS, WALL BRACING NO GREATER THEN 9M APART

#### TRUSS/POSISTRUTT

PROVIDE AN ELECTRONIC COPY OF THE ROOF TRUSS/POSISTRUTT MANUFACTURER'S DESIGN AND LAYOUT OF THE BEAMS ARE TO BE SUBMITTED PRIOR TO THE FRAME INSPECTION BEING CARRIED OUT. NOTE: THE FRAME INSPECTION WILL NOT BE CARRIED OUT UNTIL SUCH TIME THAT COPY OF FULL TRUSS COMPUTATIONS AND LAYOUT PLANS ARE PROVIDED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR. NOTE DISCS WILL NOT BE ACCEPTED

ALL EXISTING UNDERGROUND SERVICES ARE TO BE LOCATED PRIOR TO EXCAVATION FOR NEW PIPES LINES AND NO EXISTING SERVICE SHALL BE DISCONNECTED OR DISTURBED WITHOUT APPROVAL FROM

STORM-WATER DRAINS SHALL BE 100MM DIAMETER AT A GRADE OF

1:100 UNLESS NOTED OTHERWISE.
ALL PIPE JUNCTIONS SHALL BE WITH A 45 DEGREE JOINT. ALL U-PVC PIPES SHALL CONFORM TO AS1260-2009 "PVC-U PIPES AND FITTINGS FOR DRAIN, WASTE AND VENT APPLICATION" THE SITE SHOULD BE DRAINED SO THAT THE WATER CANNOT POND AGAINST OR NEAR THE BUILDING. THE GROUND IMMEDIATELY ADJACENT TO THE BUILDING SHOULD BE GRADED TO FALL 50MM OVER THE FIRST METER. WHERE THIS IS IMPRACTICABLE (I.E. SEVERAL SLOPING SITES) USE AGGIE DRAINS ADJACENT TO THE FOOTINGS WHERE THE GROUND FALLS TOWARDS THE BUILDING.

REINFORCED CONCRETE FLOOR SLAB TO ENGINEERS DESIGN. CONSTRUCTION OF CONCRETE SLAB TO COMPLY WITH NCC PART 4.2 &

SUB-FLOOR VENTILATION IS TO BE INSTALLED AT A MINIMUM OF EVERY 6000MM² PER METER RUN OF WALL IN COMPLIANCE WITH PART 6.2 OF THE NCC 2022. THE SUB-FLOOR ACCESS DOOR IS TO BE LOCATED IN A READILY ACCESSIBLE POSITION.

TIMBER ROOF FRAMING IS TO COMPLY WITH AS1684.2-2010 "RESIDENTIAL TIMBER FRAMED CONSTRUCTION NON-CYCLONIC AREAS" AND OR AS1684 3-2010 "RESIDENTIAL TIMBER FRAMED CONSTRUCTION CYCLONIC AREAS" AND WITH SUPPLEMENTARY TABLES TIMBER ROOF TRUSSES AT 900MM CTS TO MANUFACTURERS SPECIFICATIONS PROVIDE GALV. IRON CROSS BRACING OVER ROOF TRUSSES EXPOSED COLORBOND GUTTERS AND FASCIAS, INSTALLED PER NCC 2022 PART 7. ALL ROOF STORMWATER DRAINAGE SHALL COMPLY WITH AS3500 3-2015 ENSURE ALL SARKING BENEATH ROOFS IS PROVIDED IN ACCORDANCE WITH PART 3.5 OF THE NCC, AND HAS A FLAMMABILITY INDEX OF NOT MORE THAN 5

#### STEEL PROTECTION

ALL EXTERNAL STEEL LINTELS ARE TO BE HOT DIPPED GALVANIZED AND THE WALL TIES PROVIDED ARE TO BE STAINLESS STEEL PLEASE CONFIRM THIS ON PLAN. (PART6.3 OF THE NCC 2022).

STAIRS, STEPS & LANDINGS TO COMPLY WITH NCC. PART 11.2. RISERS - 115MM MIN, 190MM MAX. GOINGS - 240MM MIN 355MM MAX

HANDRAIL TO BE 865MM ABOVE NOSING OF TREAD 1000MM HIGH BALUSTRADING & 865 ABOVE STAIR NOSING 125MM MAXIMUM BETWEEN BALUSTERS

PROVIDE 2000MM MIN HEAD ROOM CLEARANCE FROM TREAD NOSING. MAX 3 RISERS OR 570MM WITHOUT A LANDING TO DOOR OPENING SLOPE RELATIONSHIP 2R + G 550MIN - 700MAXTHE MAXIMUM GAP BETWEEN RISERS

IN OPEN STAIRS IS 125MM WHERE THE STAIR IS IN EXCESS OF 1000MM ABOVE THE ADJACENT FLOOR LEVEL.

ALL TREADS ARE TO HAVE A NON-SLIP FINISH OR A NON-SLIP STRIP IS TO BE PROVIDED TO THE NOSING.

#### **HANDRAILS**

A HANDRAIL IS TO BE PROVIDED ALONG AT LEAST ONE SIDE OF THE INTERNAL STAIRS. THE TOP SURFACE OF THE HANDRAIL IS TO BE NOT LESS THAN 865MM VERTICALLY ABOVE THE NOSINGS OF THE STAIR TREADS AND HAVE NO OBSTRUCTION ON OR ABOVE

ALL CONCRETE MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE AS3600-2009 CONCRETE STRUCTURES CODE. ALL CONCRETE SHALL BE CURED IN ACCORDANCE WITH AS3600- 2009. ALL REINFORCEMENT TO BE LAID AND LAPPED TO MANUFACTURERS SPECIFICATIONS ON APPROVED BAR CHAIRS. CONCRETE STRENGTH 25MPA (MIN) AT 28 DAYS.

ALL WORKS TO BE IN ACCORDANCÉ WITH AS2870-2011 - "RESIDENTIAL SLABS AND FOOTING CONSTRUCTION" OWNERS MUST RECOGNIZE THEIR RESPONSIBILITIES NOTED IN AS 2870-2011 AND MORE DETAIL IN C.S.I.R.O. PUBLICATION "GUIDE TO HOMEOWNERS ON FOUNDATION MAINTENANCE AND PERFORMANCE."

ALL EXCAVATIONS SHOULD BE CAREFULLY INSPECTED BY A COMPETENT PERSON AND THIS OFFICE CONTACTED IMMEDIATELY IF CONDITIONS OTHER THAN THOSE DESCRIBED IN THE SOIL REPORT ARE ENCOUNTERED.

CONCRETE SLAB REINFORCED CONCRETE FLOOR SLAB TO ENGINEERS DESIGN. CONSTRUCTION OF CONCRETE SLAB TO COMPLY WITH NCC PART 4.2 & AS2870

THIS PLAN IS SUBJECT TO COPYRIGHT AND SHALL NOT BE COPIED IN WHOLE OR PART WITHOUT WRITTEN PERMISSION FROM THE ARCHITECTS/DESIGNERS COPYRIGHT

#### SURFACE DRAINAGE

THE GROUND BENEATH SUSPENDED FLOORS MUST BE GRADED SO THAT THE AREA BENEATH THE BUILDING IS ABOVE THE ADJACENT EXTERNAL FINISHED GROUND LEVEL AND SURFACE WATER IS PREVENTED FROM PONDING UNDER THE BUILDING. TERMITE TREATMENT SITE TO BE TREATED AGAINST SUBTERRANEAN TERMITES IN ACCORDANCE WITH AS3660.1 TO LOCAL AUTHORITIES SATISFACTION AS3660 1 TERMITE MANAGEMENT REQUIRES A MINIMUM OF 400MM CLEARANCE FROM GROUND LEVEL TO THE UNDERSIDE OF THE BEARER (THIS CAN BE REDUCED TO 200MM ON A SLOPING SITE)

#### MECHANICAL VENTS

ANY CONTAMINATED AIR FROM A SANITARY COMPARTMENT OR BATHROOM MUST

A. EXHAUST DIRECTLY TO OUTSIDE THE BUILDING BY WAY OF DUCTS: OR B. EXHAUST INTO THE ROOF SPACE PROVIDED-

(I) IT IS ADEQUATELY VENTILATED THAT COMPLIES WIT PART 10.8.3 OF THE NCC 2022

(II) THE ROOF IS CLAD IN ROOFING TILES WITHOUT SARKING OR SIMILAR MATERIALS WHICH WOULD PREVENT VENTING THROUGH GAPS BETWEEN TILES EXHAUST FAN DISCHARGE RATES TO BE A. SANTITARY COMPARTMENTS AND BATHROOMS - 25I/s B. KITCHEN AND LAUNDRY - 401/s

#### **DOWNPIPES**

100X50 OR 90MM DIAMETER DOWNPIPES ARE REQUIRED TO BE PROVIDED AT 12 METER MAXIMUM SPACING.

MINIMUM BOX GUTTER DIMENSIONS SHALL BE 200MM WIDE X 100MM

ALL DOWNPIPES ARE TO BE CONNECTED TO THE APPROVED POINT OF DISCHARGE TO THE SATISFACTION OF THE RELEVANT BUILDING

#### **WASTE PIPE LAGGING**

PROVIDE SOUND ABSORBING INSULATION AROUND ALL WASTE PIPES FROM FIRST FLOOR WET AREAS (BATHROOMS/ENSUITES/LAUNDRY) TOILET DOORS ARE TO BE FITTED WITH REMOVABLE HINGES. OR ARE TO SWING OUT, OR BE SLIDING WHERE THE HINGE IS WITHIN 1200MM OF THE

## **WEEPHOLES**

OPEN PERPENDICULAR JOINTS 'WEEPHOLES' MUST BE PROVIDED ABOVE ALL OPENINGS OVER 1200MM WIDE AND 1200MM CTRS IMMEDIATELY

#### **WET AREAS**

TO COMPLY WITH AS3740-2010

#### PLIABLE BUILDING MEMBRANE

PLIABLE BUILDING MEMBRANE TO BE PROVIDED IN ACCORANCE WITH PART 10.8.1 OF THE BCA AND TO BE LOCATED ON THE EXTERIOR SIDE OF THE PRIMARY INSULATION LAYER OF WALL ASSEMBLIES THAT FORM THE EXTERNAL ENVELOPE

ALL PLIABLE BUILDING MEMBRANES SHALL COMPLY WITH AS4200.1 AND INSTALLED IN ACCORDANCE WITH AS4200.2

## **BUSHFIRE ATTACK LEVEL**

CLASSIFICATION TO BE DETERMINED BY REGISTERED BUILDING SURVEYOR IF REQUIRED

ALL FLASHING TO BE INSTALLED IN ACCORDANCE WITH AS/NZS 2904-1995 AND COMPLY WITH THE BCA

## ARTICULATION JOINTS

ARTICULATION JOINTS ARE TO COMPLY WITH PART 5.6.8 OF THE NCC 2022 (MINIMUM EVERY 5M CENTRES).

## **LOGS FOR PILES OR PIERS**

UPON COMPLETION, PROVIDE A COMPLETE COPY OF THE RECORDS FOR THE PILE/PIER DRIVING OPERATIONS

MAINS ELECTRICITY SUPPLY, TELSTRA AND OTHERS TO BE LOCATED IN ACCORDANCE WITH THE RESPONSIBLE AUTHORITIES REQUIREMENTS. ALL ELECTRICAL SWITCHES AND POINTS SHALL BE INSTALLED IN ACCORDANCE WITH AS3000-2018, NCC AND ELECTRICAL AUTHORITIES REQUIREMENTS. PROVIDE SAFETY SWITCHES (RCD) TO ALL LIGHTING AND POWER POINT CIRCUITS.

# Waterproofing to be constructed in accordance with AS4654.2



0402438170

info@urbanspacedesigners.com.a

## www.urbanspacedesigners.com.a Accreditation

TAS - 381246362 VIC - DP-AD 72846

The information contained in this document is copyright and may not be used or reproduced for any other project of purpose. Verify all dimensions and levels on site and report any discrepancies tourban Space Designers for direction prior to the commencement of work. Drawings to be read in conjunction with all other contract documents. Use figured dimensions only. **Do not scale from drawings.** 

USD cannot guarantee the accuracy of content and format for copies of drawings issued electronically

The completion of the issued details checked and authorized section below is confirmation of the status of the drawing The drawing shall not be used for the construction unless endorsed "for construction" and authorized for issue.

Read these drawings in conjunctions with drawings prepared by USD. Refer any discrepancies with the architect before

proceeding with any building works.

The drawing is prepared as built and strict instructions to builders to have a physical measurement before referring this drawing and inform USD if there are any gaps in dimensions

ent:	Issue	Issue Name	Date	
TONY BHATIA & VIVEK SAINI				DESIGN DRAWINGS
TOTAL BILLATING TIVER SAINT				CHECK all dimensions and measurements on sit
oject:				prior to fabrication and or construction.
SINGLE STOREY DWELLING				Dimensions are in millimeters "frame to frame"
				and do not allow for interior linings.
				ALL work in Accordance with The Building Code
dress:				Australia (BCA) as amended, relevant Australiar
45 FEDRATION DRIVE,				Standards (AS) Codes and good building practice
SORELL, TAS - 7172				Drawings to be read in conjunction with
				specifications and schedules.

Sheet:				
NOTES				
Drawn: GK				
Scale:	Size	: A3	Date:	7/06/2025
Project:		Sheet No	.:	Rev:
45FDS/TAS/ARCH-2	2025	AC	1	1

NOTES: SOIL CLASSIFICATION
SOIL CLASSIFICATION TO BE CONFIRMED ON SITE. SCRAPE SITE TO REMOVE SURFACE VEGETATION AND PROVIDE LEVEL BUILDING PLATFORM. SITE CLEARING

IT IS THE RESPONSIBILITY OF THE CLIENT TO UNDERTAKE REMOVAL OF ANY SITE SPOIL/STOCK PILES PRIOR TO COMMENCEMENT OF CONSTRUCTION. DETAILS OF ASSETS IN EASEMENTS NOT AVAILABLE AT THE TIME OF DRAFTING. VERIEY ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION CONDENSATION MANAGEMENT PART 10.8 IS ACHIEVED. THIS IS ONLY REQUIRED, IF ALL EXHAUST FANS (WC/KITCHEN ETC.) DISCHARGE TO WITHIN ROOF SPACE, IF IT COMPLIES WITH

TERMITE PROTECTION
PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660. STORM WATER DRAIN LAYOUT IS INDICATIVE ONLY AND WILL BE LAID TO THE

DRAINERS DISCRETION SOLAR WATER SYSTEM

SOLAR HOT WATER SYSTEM IN ACCORDANCE WITH PLUMBING REGULATIONS AND AS 4234-1998

RELOCATION OF SERVICE PITS OR ANY OBSTRUCTIONS TO ALLOW VEHICLE ACCESS TO GARAGE REMAINS THE RESPONSIBILITY OF THE OWNER A SOIL INVESTIGATION REPORT AND FEATURE SURVEY WILL BE REQUIRED.

PLIABLE BUILDING MEMBRANE - PART 10.8.1: WHERE A PLIABLE BUILDING MEMBRANE IS INSTALLED IN AN EXTERNAL WALL. COMPLY WITH AS/NZS 4200.1: AND BE INSTALLED IN ACCORDANCE WITH AS 4200.2: AND BE A VAPOUR PERMEABLE MEMBRANE FOR CLIMATE ZONES 6, 7 AND 8; AND BE LOCATED ON THE EXTERIOR SIDE OF THE PRIMARY INSULATION LAYER OF WALL ASSEMBLIES THAT FORM THE EXTERNAL ENVELOPE OF A BUILDING

FLASHINGS TO WALL OPENINGS ARE ACCORDANCE WITH PART 7.5.6 ALL MASONRY VENEER WALLS TO COMPLY WITH PART 5.2 DESIGN OF ANTI-PONDING DEVICE/BOARD IN ACCORDANCE WITH 7.3.5 FLOW RATE AND DISCHARGE OF EXHAUST SYSTEMS - PART 10.8.2: AN EXHAUST SYSTEM INSTALLED IN A KITCHEN, BATHROOM, SANITARY COMPARTMENT OR LAUNDRY MUST HAVE A MINIMUM FLOW RATE OF -O 25 L/S FOR A BATHROOM OR SANITARY COMPARTMENT: AND O 40 L/S FOR A KITCHEN OR LAUNDRY.

SITE PLAN NOTES STORM WATER AND SEWER TO BE CONNECTED TO LEGAL POINT OF DISCHARGE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS DOWNPIPES (DP) TO APPROX. LOCATION MAX 12M CNTRS CONNECTED TO S/WATER SYS. IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS. ALL S/WATER DRAINS THAT PASS UNDER CONC. SLABS AND TRAFFICABLE AREAS TO

BE LAID IN HEAVY DUTY SEWER PIPE.

PART 10.8.2 (2) THEN NO NEED FOR 'WHIRLY BIRDS.

BUILDER TO PROVIDE AGI DRAIN TO BASE OF BATTERS / RETAINING WALLS & WHERE EVER DEEMED NECESSARY, PROVIDE SILT PITS TO BASE OF BATTER. CONNECTED TO S/WATER SYSTEM. PROVIDE CUT - OFF (AGI) DRAIN AS REQUIRED TO BASE OF ANY EXCAVATION AND CONNECT INTO STORM WATER VIA SILT PITS PROPERTY LAYOUT IS BASED UPON INFORMATION PROVIDED BY BUILDER OR OWNER AND THEREFORE ALL DIMENSIONS, OFFSETS AND DETAILS MUST BE VERIFIED ONSITE PRIOR TO COMMENCING ANY SETOUTS AND OR BUILDING WORKS. LEVELS MUST BE VERIFIED ON SITE TO DETERMINE DEPTH OF EXCAVATIONS AND AFFECTED WALL

#### Surface Water Drainage

**HEIGHTS** 

Ground to fall away from building in all Directions in compliance with AS2870 & N.C.C 2022 3.3.3

Surface water must be diverted away from a Class 1 building as follows: (a) Slab-on -ground - Finished ground level adjacent to a building: the external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than

(i) 25 mm over the first 1m from the building

(A) in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or clay paving); or

(B) for any reasonably impermeable surface that forms part of an access path or ramp provided for the purposes of Clauses 1.1 (2) or (4)(c) of the ABCB Standard for Livable Housing Design: or

(ii) 50 mm over the first 1m from the building in any other case.

(i) 100 mm above the finished ground level in low rainfall intensity areas or sandy, well drained areas; or

the building in accordance with(a); or

beneath the building is above the adjacent external finished ground level and

12088 6480 11510 5500 Rear Setback
NO PART OF STRUCTURE 26.55 m Garage S'back TO ENCROACH PAST TITLE **GUTTER ON WALL** -25.50 m-26.35 m DP STORMWATER DP • 1150/ DRIVE 22 Side REAR GREEN 22 Aggregate Driveway 00 From FFL Setback 25.50 m EASEMENT DRAIN 45 FEDERATION DRIVE ]EV **EDERATION** 25.84 n 534.00 Sam 22.5° β COLORBOND ROOF @ 22.5° 22.5° PITCH 2m WIDE YATE OPEN SPAC 22.5° 22.5° 3m Wide Easement 18390 545 賃 12069 18390 545 4555 Bldg S'back SOLAR HOT WATER SYSTEM TO BE AWAY FROM THE SITE PLAN STREET FRONTAGE 1:200 DP - Downpipe Garage EV - Eave Vents (1 vent every 5m) FFL 26.601 26.23 rell Council 25.75 25.50 t Application: 5.2025.163.1 1580 2240 (21.43%) 1680 (14.88%) Subsoil Drainage

Title Reference: 184821/23 9459872 Property ID:

Sno.	Description	AREA SQ
1	SITE AREA	534
2	GREEN AREA	298.7
а	FRONT GREEN	57.00
b	REAR GREEN	241.70
	TOTAL GREEN	298.70
4	BLDG BUILT UP AREA	
а	BUILT UP AREA	169.61
b	GARAGE	35.82
С	PORCH	5.31
	TOTAL BUILT UP AREA	
	(BUILDING FOOT PRINT)	210.74
	(BUILDING GROUND COVER)	
	GROUND COVER PERCENTAGE %	39.46
5	CONCRETE AREA (DRIVEWAY)	24.56
6	IMPERVIOUS SURFACE	
	BUILDING GRD COVER	210.74
	CONCRETE/DRIVEWAY	24.56
	TOTAL IMPERVIOUS SURFACE	235.3
	PERCENTAGE %	44.06
7	PERVIOUS SURFACE	
-	GREEN AREA	298.7
	TOTAL PERVIOUS SURFACE	298.7
	PERCENTAGE %	55.94

(b) Slab-o n -ground - finished slab heights: the height of the slab-on -ground above external finished surfaces must not be less than:

(ii) 50 mm above impermeable (paved or concrete) areas that slope away from

(iii) 150 mm in any other case.

(c) The ground beneath suspended floors must be graded so that the area surface water is prevented from ponding under the building.

(a) be graded with a uniform fall of not less than 1:300; and (b) discharge into an external silt pit or sump with-

away from the area beneath a building, the subsoil drain must-

To comply with AS2870, AS3500 & N.C.C 2022 3.3.4.

(i) the level of discharge from the silt pit or sump into an impervious drainage line not less than 50 mm below the invert level of the inlet; and provision for cleaning and maintenance.

Where a subsoil drainage system is installed to divert subsurface water

DRIVEWAY DETAIL

23.41%

0402438170

info@urbanspacedesigners.com.a

www.urbanspacedesigners.com.

TAS - 381246362 VIC - DP-AD 72846

The information contained in this document is copyright and may not be used or reproduced for any other project or purpose. Verify all dimensions and levels on site and report any discrepancies tourban Space Designers for direction prior to the commencement of work. Drawings to be read in conjunction with all other contract documents. Use figured dimensions only. **Do not scale from drawings**.

USD cannot guarantee the accuracy of content and format for copies of drawings issued electronically

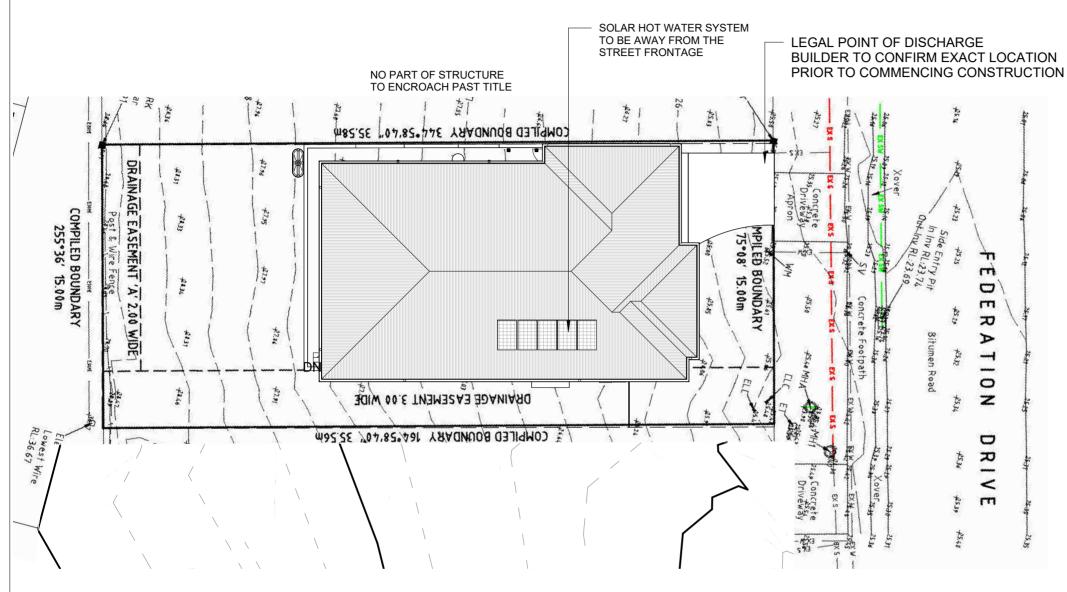
drawing and inform USD if there are any gaps in dimensions.

The completion of the issued details checked and authorized section below is confirmation of the status of the drawing The drawing shall not be used for the construction unless endorsed "for construction" and authorized for issue.

Read these drawings in conjunctions with drawings prepared by USD. Refer any discrepancies with the architect before proceeding with any building works. The drawing is prepared as built and strict instructions to builders to have a physical measurement before referring this

Issue Name Date Client: DESIGN DRAWINGS TONY BHATIA & VIVEK SAINI CHECK all dimensions and measurements on site prior to fabrication and or construction Proiect Dimensions are in millimeters "frame to frame SINGLE STOREY DWELLING and do not allow for interior linings. ALL work in Accordance with The Building Code of Australia (BCA) as amended, relevant Australian 45 FEDRATION DRIVE, Standards (AS) Codes and good building practices SORELL, TAS - 7172 Drawings to be read in conjunction with specifications and schedules.

Sheet:					
SITE PLAN					
Drawn: GK					
Scale: As indicated	Size	: A3	Date:	7/06/202	
Project:		Sheet No	.:	Rev:	
45FDS/TAS/ARCH-2025		A02		1	



## NOTE:

Site Return fence/ Gate for Standard lots must be maximum 1.8m High and level with the Adjacent Side Boundary Fence. Side Fences/ Gate must be Colorbond and be setback a minimum 1.0m from the Front Building Line.

> STORMWATER DRAIN NOTE: PROVIDE 90mm DIAMETER P.V.C STORMWATER PIPE WITH MINIMUM FALL OF 1:100. STORMWATER DRAIN LAYOUT IS INDICATIVE ONLY & WILL BE LAID AT THE DRAINERS' DISCRETION. PROVIDE SELECTED DOWNPIPES AT 12.0m MAXIMUM CENTRES. CONNECT STORMWATER TO RAINWATER TANK AND DISCHARGE THE OVERFLOW TO FRONT CENTER. TO BE ADVISED.

## **SURVEY PLAN**

1:200





#### 0402438170

info@urbanspacedesigners.com.a

TAS - 381246362 VIC - DP-AD 72846

purpose. Verify all dimensions and levels on site and report any discrepancies tourban Space Designers for direction prior to the commencement of work. Drawings to be read in conjunction with all other contract doci figured dimensions only. **Do not scale from drawings.** 

## USD cannot guarantee the accuracy of content and format for copies of drawings issued electronically

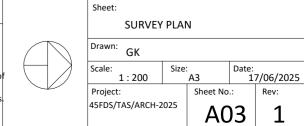
The completion of the issued details checked and authorized section below is confirmation of the status of the drawing The drawing shall not be used for the construction unless endorsed "for construction" and authorized for issue.

Read these drawings in conjunctions with drawings prepared by USD. Refer any discrepancies with the architect before

proceeding with any building works.

The drawing is prepared as built and strict instructions to builders to have a physical measurement before refe drawing and inform USD if there are any gaps in dimensions.

Client:	Issue	Issue Name	Date	
TONY BHATIA & VIVEK SAINI				DESIGN DRAWINGS
				CHECK all dimensions and measurements on site
Project:				prior to fabrication and or construction.
				Dimensions are in millimeters "frame to frame"
SINGLE STOREY DWELLING				and do not allow for interior linings.
				ALL work in Accordance with The Building Code of
Address:				Australia (BCA) as amended, relevant Australian
45 FEDRATION DRIVE,				Standards (AS) Codes and good building practices.
SORELL, TAS - 7172				Drawings to be read in conjunction with
				specifications and schedules.



**ARTIFICIAL LIGHTING NOT TO EXCEED: DWELLING MUST INCORPORATE PLUMBING** ALL TOILETS AND A WASHING MACHINE STOP TAP 5W/M2 FOR DWELLING ROOF LAYOUT DESIGN SHOWN IS FOR GUIDE PURPOSES THAT ALLOWS FOR CONNECTION TO ANY ARE TO BE CONNECTED TO RECYCLED WATER. ONLY, SEE THE ROOF MANUFACTURES DRAWINGS FOR 4W/M2 FOR VERANDAH, BALCONY LOTS 300 SQM AND OVER MUST INSTALL A FUTURE RECYCLED WATER SUPPLY. · 3W/M2 FOR GARAGE EXACT DESIGN. MINIMUM 3,000 LITRE RAINWATER TANK, PRIOR TO HOUSE TO HAVE ACCESS TO A FIBRE TO THE CONCRETER / BUILDER TO MAKE SURE THAT MIN. 385 TO **ENERGY RATING** HOME NETWORK PROVIDED BY NBN CO. OCCUPANCY PERMIT, WHICH MUST BE A07 BE EXCAVATED BELOW FLOOR LEVEL IN RESIDENCE AND INSULATION MUST BE WIRED IN ACCORDANCE WITH NBN CONNECTED TO SUPPLY WATER TO TOILETS AND WALL: R2.5 GARAGE FOR A WAFFLE SLAB. REQUIREMENTS. A WASHING MACHINE STOP TAP, RECYCLED CHECK ON SITE BEFORE COMMENCING BEFORE ROOF: R5.0 ANY OUTBUILDINGS, EXTERNAL LIGHT FITTING, WATER MAY NOT BE DISCHARGED INTO THE ALL INTERNAL DOORS TO BE 2340 HIGH INCLUDING COMMENCING ON SITE PLEASE CHECK ALL DIMENSIONS SERVICE EQUIPMENT, AND OTHER ANCILLARY WATERTANK. ALL ROBE AND LINEN DOORS UNLESS MENTIONED ITEMS MUST MEET THE REQUIREMENTS OF THE DESIGN GUIDELINES. 11510 5500 12088 / Rear Setback 6480 5500 / Front Setback 2000 10088 240 3200 90 3140 90 1800 90 3010 90 6000 / Garage 240 DRIV Bed 4 Bed 3 Bath Bed 2 500mm Wide Landscape Strip Easement 35.58 m EDERATION W05 W04 W03 Robe Garage က 3000W x 2400H Bed 26.60 m  $^{\circ}$ **=**2956 SLD BED 3 Bath Bed 3946 Bath/ 2200 / 0 Garage Bed 2 Bed Easement -100mm From FFL Bed 4 Carpet 90 820 820 H'way 820 15.00 Hallway L/B 770 CSD 90 1500 90 Ens./ Pdr 820 Robe 8 8 Wide A06 90 |600,1200 Ens. Pdr <del>7</del> 1840 3140 1000 27.05 m 1000 945 Tiles 1800 1800 Entry A07 1000 1200 600 Porch Entry Foyer 2m -100mm Dining Rangehood to From FFL Vent Externally 820 147090 4mx6m PRIVATE OPEN SPACE 15.00 WIR 1950 gradiant no steeper Kitchen/ Laundry WIR than1:10 8**≯** \_900」 900 Living/ Dining Laundry Master Bed Living/ 2480 4040 KITCHEN' WIP Ens. Capped cold W10 W11\(\frac{1}{2}\) Potable External water ta 2950 90 1600 90 600 4970 90 1940 90 2000 90 240 3945 240 4555 3m Wide Easement Pdr Ens. L'dry WIR Master Bed 995 90<sup>1250</sup>90 1500 90 2000 240 6650 / Living-Dining 90 2660 90 3400 240 4105 WIP# Porch S'back Ens. 35.56 m **GROUND FLOOR PLAN** Meter Box/ Gas Meter/ NBN Location NBN to be installed at max.700mm height 1:100 A06 Issue Name Date Sheet: **DESIGN DRAWINGS** 0402438170 TONY BHATIA & VIVEK SAINI purpose. Verify all dimensions and levels on site and report any discrepancies tourban Space Designers for direction GROUND FLOOR PLAN prior to the commencement of work. Drawings to be read in conjunction with all other contract documents. Use figured dimensions only. **Do not scale from drawings.** CHECK all dimensions and measurements on site prior to fabrication and or construction Project info@urbanspacedesigners.com.a USD cannot guarantee the accuracy of content and format for copies of drawings issued electronically GK Dimensions are in millimeters "frame to frame SINGLE STOREY DWELLING and do not allow for interior linings. Date: 17/06/2025 The completion of the issued details checked and authorized section below is confirmation of the status of the drawing Scale: The drawing shall not be used for the construction unless endorsed "for construction" and authorized for issu ALL work in Accordance with The Building Code 1:100 Read these drawings in conjunctions with drawings prepared by USD. Refer any discrepancies with the architect before Australia (BCA) as amended, relevant Australian proceeding with any building works.

The drawing is prepared as built and strict instructions to builders to have a physical measurement before referring this 45 FEDRATION DRIVE, Standards (AS) Codes and good building practices 45FDS/TAS/ARCH-2025 TAS - 381246362 SORELL, TAS - 7172 Drawings to be read in conjunction with drawing and inform USD if there are any gaps in dimensions. A04 VIC - DP-AD 72846 specifications and schedules

## Gutter and Down Pipes - NCC 2022 Part 7.4

- Colorbond metal fascias and gutters.
- Eaves gutters installed with a fall of 1:500 (normally).
- Box gutters fall of 1:100.
- Spacing between downpipes maximum 12m.
- Downpipes to be located 1.2m from a valley or provisions made for overflow.
- Gutters and downpipes to be selected in accordance with NCC Vol 2 Part 7.4.3 and table

7.4.3b

and 7.4.3c.

Zincalume color (B.M.T) 0.500 protected steel sheet to Australian Standard AS139\ Fascia clips/brackets shall be attached to fascia /barge at a max 1.2m centres using recommended fasteners.

Ventilation of Roof Spaces NCC 2022 Part 10.8.3

A roof must have a roof space that-

- is located-
- immediately above the primary insulation layer; or
- immediately above sarking with a vapour permeance of not less than 1.14 μÊg/N.s, which is immediately above the primary insulation laver: or
- immediately above ceiling insulation; and
- has a height of not less than 20 mm; and (b)
- (c) is either-
- ventilated to outdoor air through evenly distributed openings in accordance with Table 10.8.3;

located immediately underneath the roof tiles or an unsarked tiled roof.

#### **Stormwater Notes**

All gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3 & NCC 2022 Volume II Part 7.4.

#### **Roof Cladding**

R5.0 Insulation batts to roof space above ceiling lining.

Roof cladding, flashings, cappings, roof sheeting and fixings are to be installed in accordance with NCC 2022 Volume II Part 7.2 for sheet roofing and Part 7.3 for tiled and shingle roofing.

## **Eaves & Soffit Linings**

To comply with NCC 2022 Vol II Part 7.5.5 and where provided, external fibre-cement sheets and linings used as eaves and soffit linings must-

- comply with AS/NZS 2908.2 or ISO 8336; and
- be fixed in accordance with Table 7.5.5 and Figure 7.5.5 using-
- 2.8 ×~ 30 mm fibre-cement nails; or
- No. 8 wafer head screws (for 4.5 mm and 6 mm sheets only); or
- No. 8 self embedding head screws (for 6 mm sheets only).

Refer to table 7.5.5 for trimmer and fastener spacings.

F8D3 External wall construction

2 (b) for climate zone  $6.7.8 \, 8.1.14 \, \mu g/N.s$ 

Class 4 vapour control membranes meet the vapour permeance requirements of F8D3(2)(b)

drawing and inform USD if there are any gaps in dimensions.

0402438170

info@urbanspacedesigners.com.a

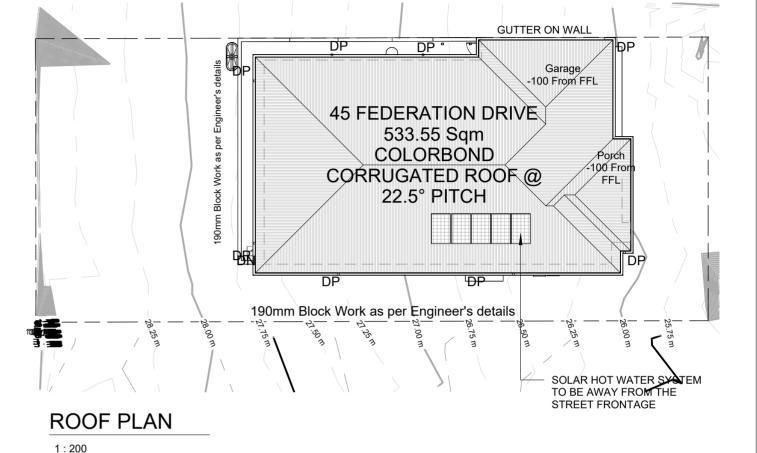
TAS - 381246362 VIC - DP-AD 72846 purpose. Verify all dimensions and levels on site and report any discrepancies tourban Space Designers for direction prior to the commencement of work. Drawings to be read in conjunction with all other contract doci figured dimensions only. **Do not scale from drawings.** 

USD cannot guarantee the accuracy of content and format for copies of drawings issued electronically

The completion of the issued details checked and authorized section below is confirmation of the status of the drawing The drawing shall not be used for the construction unless endorsed "for construction" and authorized for is Read these drawings in conjunctions with drawings prepared by USD. Refer any discrepancies with the architect before proceeding with any building works.

The drawing is prepared as built and strict instructions to builders to have a physical measurement before refe

TONY BHATIA & VIVEK SAINI CHECK all dimensions and measurements on site prior to fabrication and or construction Dimensions are in millimeters "frame to frame SINGLE STOREY DWELLING and do not allow for interior linings ALL work in Accordance with The Building Code Australia (BCA) as amended, relevant Australian 45 FEDRATION DRIVE, Standards (AS) Codes and good building practice Drawings to be read in conjunction with specifications and schedules.



NO PART OF STRUCTURE TO ENCROACH PAST TITLE

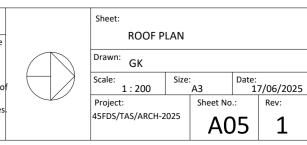
ROOF LAYOUT DESIGN SHOWN IS FOR GUIDE PURPOSES ONLY. SEE THE ROOF MANUFACTURES DRAWINGS FOR EXACT DESIGN. CONCRETER / BUILDER TO MAKE SURE THAT MIN. 385 TO BE EXCAVATED BELOW FLOOR LEVEL IN RESIDENCE AND GARAGE FOR A WAFFLE SLAB CHECK ON SITE BEFORE COMMENCING BEFORE COMMENCING ON SITE PLEASE CHECK ALL DIMENSIONS

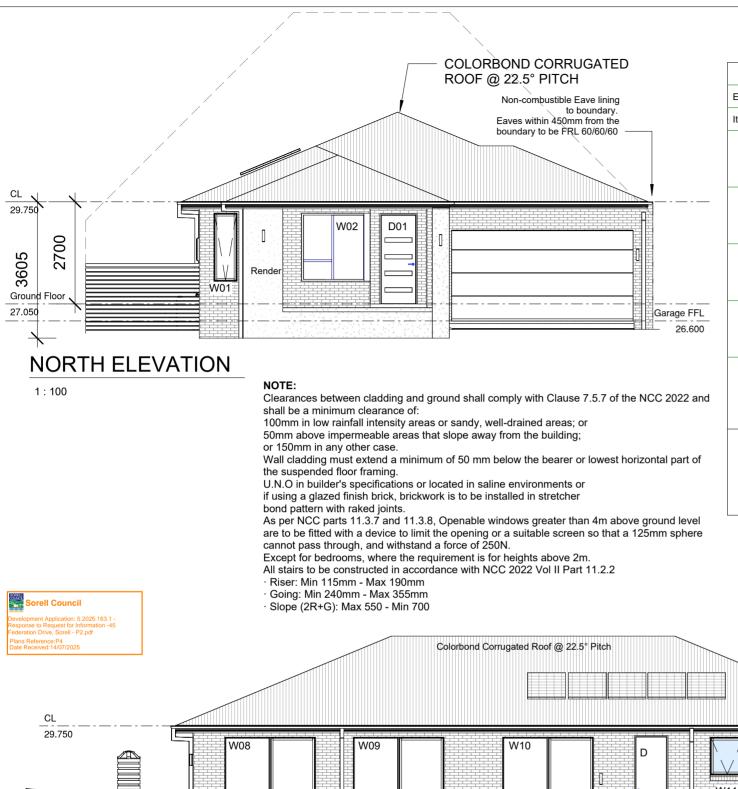
Date

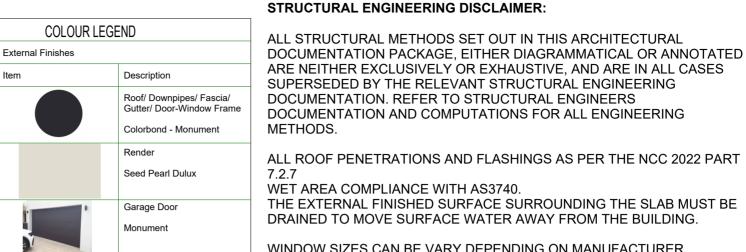
**DESIGN DRAWINGS** 



Issue Name







THE EXTERNAL FINISHED SURFACE SURROUNDING THE SLAB MUST BE DRAINED TO MOVE SURFACE WATER AWAY FROM THE BUILDING.

WINDOW SIZES CAN BE VARY DEPENDING ON MANUFACTURER SPECIFICATIONS AND ENERGY RATING REQUIREMENTS WINDOW SIZES CAN BE VARY DEPENDING ON MANUFACTURER SPECIFICATIONS AND ENERGY RATING REQUIREMENTS IF NOT CLEAR PLEASE CONFIRM DIMENSIONS BEFORE COMMENCE WORK ON SITE

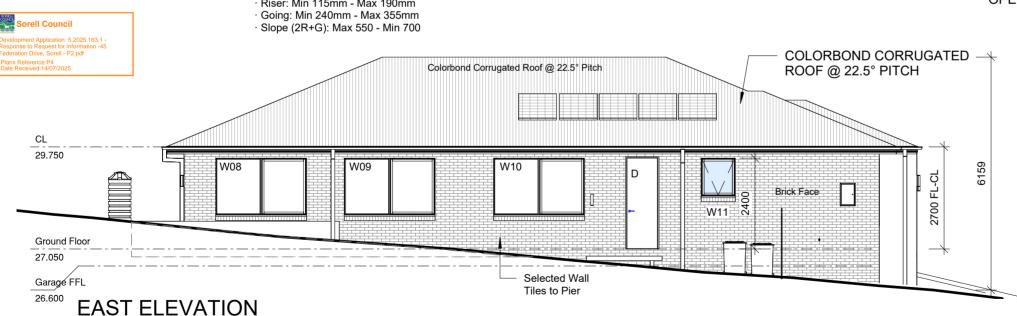
AJ: DENOTES CONTROL JOINT TO FULL HEIGHT OF BRICKWORK @5M MAX. CENTRES. ALL JOINTS TO CONFIRM TO NOTE CN9 OF THE BRICKWORK AND CONCRETE ASSOCIATION.

INFORMATION CONTAINED IN THE SOIL REPORT REGARDING CONTROL JOINTS TAKES RECEDENCE.

#### WEEPHOLES -

WEEP HOLES AT 1.2 METRE SPACING AND ABOVE WINDOWS MORE THAN 1.0 METRE WIDE.

NOTE: PROVIDE WEEPHOLES AT 960MM MAXIMUM CENTRES WITH CONTINUOUS FLASHING WHERE THE BRICKWORK EXTENDS OVER THE **OPENINGS** 



Window Schedule							
Number	Height	Width	Head Height	Sill Height			
W01	1800	610	2400	600			
W02	1800	1650	2400	600			
W03	1800	2400	2400	600			
W04	1800	900	2400	600			
W05	1800	2400	2400	600			
W06	1800	2400	2400	600			
W07	1800	900	2400	600			
W08	1500	2400	2400	900			
W09	1500	2400	2400	900			
W10	1500	2400	2400	900			
W11	1000	900	2400	1400			



## 0402438170

info@urbanspacedesigners.com.a

TAS - 381246362 VIC - DP-AD 72846

purpose. Verify all dimensions and levels on site and report any discrepancies tourban Space Designers for direction prior to the commencement of work. Drawings to be read in conjunction with all other contract doci figured dimensions only. **Do not scale from drawings.** 

USD cannot guarantee the accuracy of content and format for copies of drawings issued electronically

The completion of the issued details checked and authorized section below is confirmation of the status of the drawing The drawing shall not be used for the construction unless endorsed "for construction" and authorized for issue.

Read these drawings in conjunctions with drawings prepared by USD. Refer any discrepancies with the architect before

proceeding with any building works.

The drawing is prepared as built and strict instructions to builders to have a physical measurement before refer drawing and inform USD if there are any gaps in dimensions.

lient:	Issue	Issue Name	Date	
TONY BHATIA & VIVEK SAINI				DESIGN DRAWINGS
				CHECK all dimensions and measurements on site
roject:				prior to fabrication and or construction.
				Dimensions are in millimeters "frame to frame"
SINGLE STOREY DWELLING				and do not allow for interior linings.
	<u> </u>			ALL work in Accordance with The Building Code of
ldress:				Australia (BCA) as amended, relevant Australian
45 FEDRATION DRIVE,				Standards (AS) Codes and good building practices
SORELL, TAS - 7172				Drawings to be read in conjunction with
				specifications and schedules.

Driveway/ Porch

Tile

Travertine

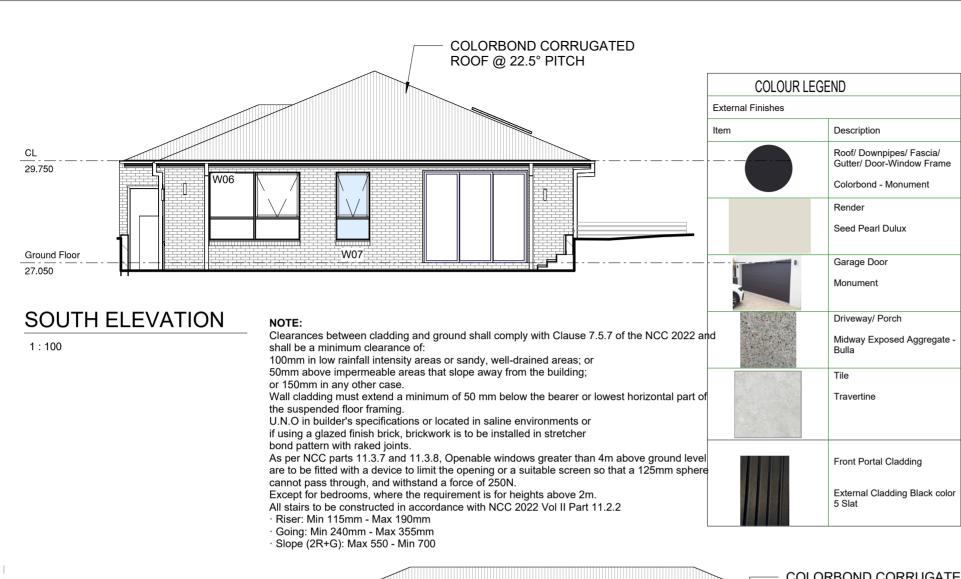
5 Slat

Front Portal Cladding

External Cladding Black color

Midway Exposed Aggregate

Sheet:				
ELEVAT	IONS			
Drawn: GK				
Scale: 1:100	Size:	A3	Date:	7/06/2025
Project:		Sheet No	.:	Rev:
45FDS/TAS/ARCH-2	025	AC	)6	1



## STRUCTURAL ENGINEERING DISCLAIMER:

ALL STRUCTURAL METHODS SET OUT IN THIS ARCHITECTURAL DOCUMENTATION PACKAGE. EITHER DIAGRAMMATICAL OR ANNOTATED ARE NEITHER EXCLUSIVELY OR EXHAUSTIVE, AND ARE IN ALL CASES SUPERSEDED BY THE RELEVANT STRUCTURAL ENGINEERING DOCUMENTATION. REFER TO STRUCTURAL ENGINEERS DOCUMENTATION AND COMPUTATIONS FOR ALL ENGINEERING METHODS.

ALL ROOF PENETRATIONS AND FLASHINGS AS PER THE NCC 2022 PART 7.2.7

WET AREA COMPLIANCE WITH AS3740.

THE EXTERNAL FINISHED SURFACE SURROUNDING THE SLAB MUST BE DRAINED TO MOVE SURFACE WATER AWAY FROM THE BUILDING.

WINDOW SIZES CAN BE VARY DEPENDING ON MANUFACTURER SPECIFICATIONS AND ENERGY RATING REQUIREMENTS WINDOW SIZES CAN BE VARY DEPENDING ON MANUFACTURER SPECIFICATIONS AND ENERGY RATING REQUIREMENTS IF NOT CLEAR PLEASE CONFIRM DIMENSIONS BEFORE COMMENCE WORK ON SITE

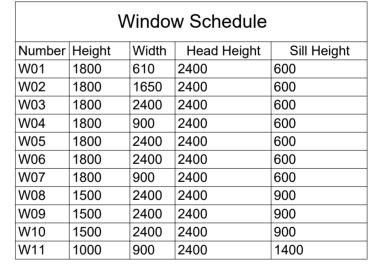
AJ: DENOTES CONTROL JOINT TO FULL HEIGHT OF BRICKWORK @5M MAX. CENTRES. ALL JOINTS TO CONFIRM TO NOTE CN9 OF THE BRICKWORK AND CONCRETE ASSOCIATION.

INFORMATION CONTAINED IN THE SOIL REPORT REGARDING CONTROL JOINTS TAKES RECEDENCE.

## WEEPHOLES -

WEEP HOLES AT 1.2 METRE SPACING AND ABOVE WINDOWS MORE THAN 1.0 METRE WIDE.

NOTE: PROVIDE WEEPHOLES AT 960MM MAXIMUM CENTRES WITH CONTINUOUS FLASHING WHERE THE BRICKWORK EXTENDS OVER THE







1:100

## 0402438170

info@urbanspacedesigners.com.a

TAS - 381246362 VIC - DP-AD 72846

purpose. Verify all dimensions and levels on site and report any discrepancies tourban Space Designers for direction prior to the commencement of work. Drawings to be read in conjunction with all other contract doci figured dimensions only. **Do not scale from drawings.** 

USD cannot guarantee the accuracy of content and format for copies of drawings issued electronically

The completion of the issued details checked and authorized section below is confirmation of the status of the drawing The drawing shall not be used for the construction unless endorsed "for construction" and authorized for issue.

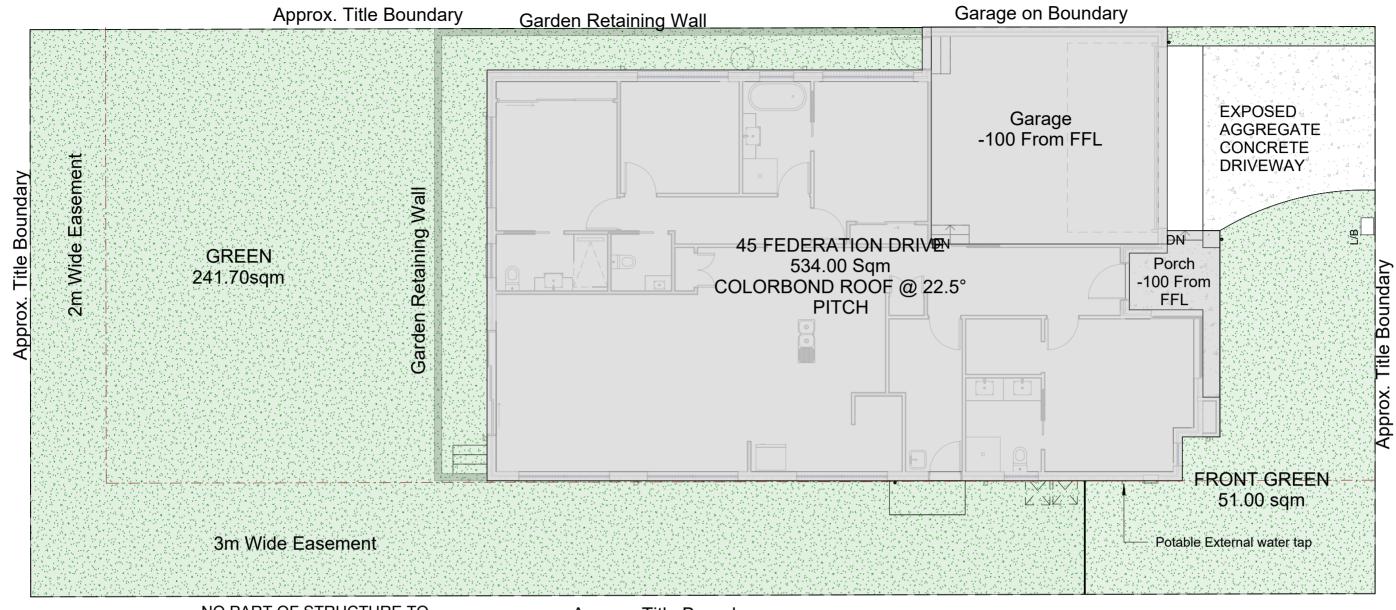
Read these drawings in conjunctions with drawings prepared by USD. Refer any discrepancies with the architect before proceeding with any building works.

The drawing is prepared as built and strict instructions to builders to have a physical measurement before refe

drawing and inform USD if there are any gaps in dimensions.

Client:	Issue	Issue Name	Date	DECICAL DRAWINGS
TONY BHATIA & VIVEK SAINI				DESIGN DRAWINGS
				CHECK all dimensions and measurements on site
Project:				prior to fabrication and or construction.
				Dimensions are in millimeters "frame to frame"
SINGLE STOREY DWELLING				and do not allow for interior linings.  ALL work in Accordance with The Building Code of
				Australia (BCA) as amended, relevant Australian
Address: 45 FEDRATION DRIVE,				Standards (AS) Codes and good building practices.
SORELL, TAS - 7172				Drawings to be read in conjunction with
				specifications and schedules.

Sheet:				
ELEVATIONS				
Drawn: GK				
Scale: 1:100	Size: A3		Date:	7/06/2025
Project:		Sheet No	.:	Rev:
45FDS/TAS/ARCH-2025		AC	)7	1



NO PART OF STRUCTURE TO **ENCROACH PAST TITLE** 

Approx. Title Boundary

# LANDSCAPE PLAN

1:100



ALL TOILETS AND A WASHING MACHINE STOP TAP ARE TO BE CONNECTED TO RECYCLED WATER. LOTS 300 SQM AND OVER MUST INSTALL A MINIMUM 3,000 LITRE RAINWATER TANK, PRIOR TO OCCUPANCY PERMIT, WHICH MUST BE CONNECTED TO SUPPLY WATER TO TOILETS AND A WASHING MACHINE STOP TAP. RECYCLED WATER MAY NOT BE DISCHARGED INTO THE WATERTANK.

PLANTING SCHEDULE					
CODE	NAME	POT SIZE	QUANTITY	MATURE H x W	
SHRUE	SHRUBS				
Wco	WHITE CORREA (Correa Alba)	150mm	8	1.5m x 2.0m	
LoL	TANIKA (Lomandra Logifolia)	150mm	7	0.6m x 0.6m	
BaS	BIRTHDAY CANDLE (Banksia Spinulosa)	150mm	3	0.4m x 0.5m	
TREES					
Ar	AGONIS BURGANDY (Agonis Reflexa)	45L	1	5m x 3m	

Front landscaping, as well as any garden areas within public view, must be completed within three months of the Certificate of Occupancy being issued.

**GARDEN BEDS LOCATED IN** PUBLIC VIEW MUST BE MULCHED. GARDEN BEDS ARE TO CONTAIN ORGANIC OR PEBBLE MULCH



0402438170

info@urbanspacedesigners.com

TAS - 381246362 VIC - DP-AD 72846

purpose. Verify all dimensions and levels on site and report any discrepancies tourban Space Designers for direction prior to the commencement of work. Drawings to be read in co figured dimensions only. **Do not scale from drawings.** 

The completion of the issued details checked and authorized section below is confirmation of the status of the drawing The drawing shall not be used for the construction unless endorsed "for construction" and authorized for issue.

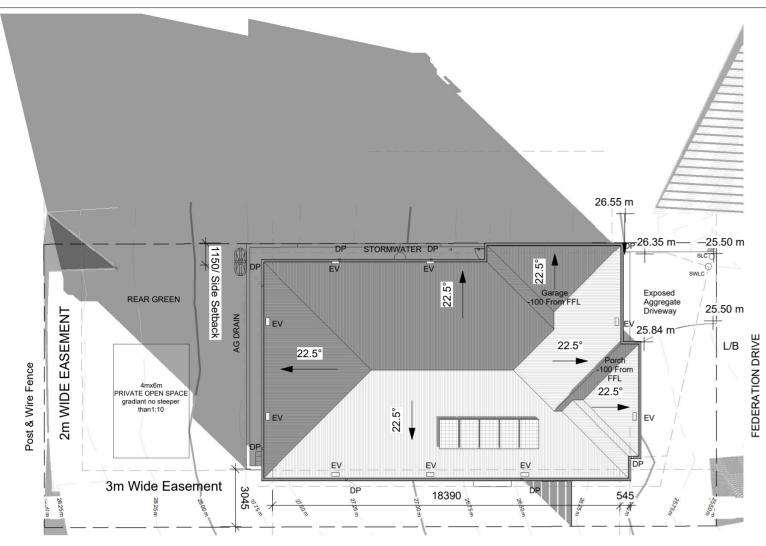
Read these drawings in conjunctions with drawings prepared by USD. Refer any discrepancies with the architect before

proceeding with any building works.

The drawing is prepared as built and strict instructions to builders to have a physical drawing and inform USD if there are any gaps in dimensions

Client:	Issue	Issue Name	Date	DESIGN DRAWINGS
TONY BHATIA & VIVEK SAINI  Project:				CHECK all dimensions and measurements on site prior to fabrication and or construction.
SINGLE STOREY DWELLING			I	Dimensions are in millimeters "frame to frame" and do not allow for interior linings. ALL work in Accordance with The Building Code of
Address: 45 FEDRATION DRIVE, SORELL. TAS - 7172				Australia (BCA) as amended, relevant Australian Standards (AS) Codes and good building practices. Drawings to be read in conjunction with
				specifications and schedules.

Sheet:				
LANDSC	LANDSCAPE PLAN			
Drawn: GK				
Scale: As indicated	Size: A3		Date:	7/06/2025
Project:		Sheet No	.:	Rev:
45FDS/TAS/ARCH-2	45FDS/TAS/ARCH-2025		.1	1



# SHADOW @ 0900AM

1:200





#### 0402438170

info@urbanspacedesigners.com.a

Accreditation: TAS - 381246362 VIC - DP-AD 72846

purpose. Verify all dimensions and levels on site and report any discrepancies tourban Space Designers for direction prior to the commencement of work. Drawings to be read in conjunction with all other contract doci figured dimensions only. **Do not scale from drawings.** 

The completion of the issued details checked and authorized section below is confirmation of the status of the drawing The drawing shall not be used for the construction unless endorsed "for construction" and authorized for issue.

Read these drawings in conjunctions with drawings prepared by USD. Refer any discrepancies with the architect before

proceeding with any building works.

The drawing is prepared as built and strict instructions to builders to have a physical measurement before refer drawing and inform USD if there are any gaps in dimensions.

Client:	
	TONY BHATIA & VIVEK SAINI

SINGLE STOREY DWELLING

45 FEDRATION DRIVE, SORELL, TAS - 7172

Issue	Issue Name	Date	
			DESIGN DRAWINGS
			CHECK all dimensions and measurements on site prior to fabrication and or construction.  Dimensions are in millimeters "frame to frame" and do not allow for interior linings.  ALL work in Accordance with The Building Code o Australia (BCA) as amended, relevant Australian Standards (AS) Codes and good building practices
			Drawings to be read in conjunction with specifications and schedules.

Sheet:
SHADO
Drawn: GK
Scale: 1:200
Project: 45FDS/TAS/ARCH

oows Date: 17/06/2025 H-2025 A15

SHADOW @ 1200PM

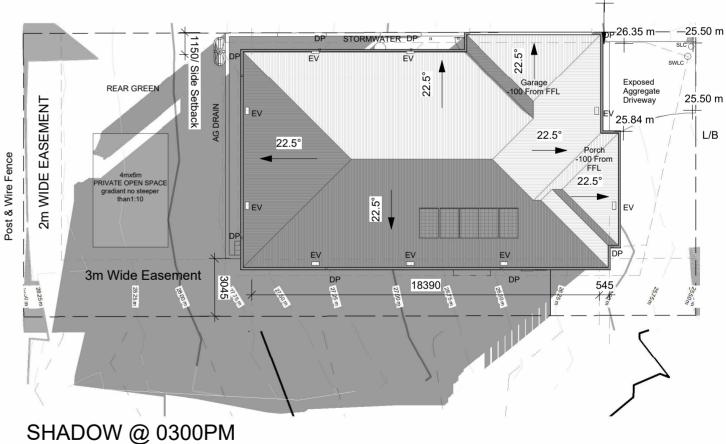
REAR GREEN

PRIVATE OPEN SPACE

3m Wide Easement

2m WIDE EASEMENT

Post & Wire Fence



DP STORMWATER DP

22.5°

ΕV

ΕV

22.5°

EV

22.5°

18390

1:200

26.55 m

-100 From

22.5°

26.55 m

22.5°

22.5°

<del>ர</del> 26.35 m–

Exposed

v 25.84 m

Aggregate Driveway

-25.50 m

FEDERATION DRIVE

**FEDERATION DRIVE**