

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: 746 Fulham Road, Carlton River

PROPOSED DEVELOPMENT:

**CHANGE OF USE - DWELLING TO VISITOR
ACCOMMODATION**

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Monday 28th July 2025**.

Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the General Manager. Representations must be received no later than **Monday 28th July 2025**.

APPLICANT: Tas Living Pty Ltd

APPLICATION NO: DA 2025 / 144 1

DATE: 10 July 2025

Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	Use:	vistor accommodation permit/short stay permit
	Development:	
	n/a	
		Large or complex proposals should be described in a letter or planning report.
Design and construction cost of proposal:		\$ n/a

Is all, or some the work already constructed:	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>
---	---


Location of proposed works:	Street address: 746 Fulham Rd	
	Suburb: Carlton River	Postcode: 7173
	Certificate of Title(s) Volume: 46173 Folio: 1	

Current Use of Site	owner occupy
---------------------	--------------


Current Owner/s:	Name(s) Tas living Pty Ltd
------------------	----------------------------


Is the Property on the Tasmanian Heritage Register?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	If yes, please provide written advice from Heritage Tasmania
Is the proposal to be carried out in more than one stage?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	If yes, please clearly describe in plans
Have any potentially contaminating uses been undertaken on the site?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	If yes, please complete the Additional Information for Non-Residential Use
Is any vegetation proposed to be removed?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	If yes, please ensure plans clearly show area to be impacted
Does the proposal involve land administered or owned by either the Crown or Council?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	If yes, please complete the Council or Crown land section on page 3

If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form
<https://www.sorell.tas.gov.au/services/engineering/>



Sorell Council
 Development Application: 5.2025.144.1 -
 Development Application - 746 Fulham Road,
 Carlton River - P1.pdf
 Plans Reference: P1
 Date Received: 02/06/2025

Declarations and acknowledgements	
<ul style="list-style-type: none"> I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land. I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council's representatives to enter the land at any time during normal business hours. I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies. I/we declare that, in accordance with s52(1) of the <i>Land Use Planning and Approvals Act 1993</i>, that I have notified the owner(s) of the intention to make this application. I/we declare that the information in this application is true and correct. <p><i>Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council's Privacy Policy available on the Council website.</i></p>	
<ul style="list-style-type: none"> I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only. 	
<ul style="list-style-type: none"> Where the General Manager's consent is also required under s.14 of the <i>Urban Drainage Act 2013</i>, by making this application I/we also apply for that consent. 	
Applicant Signature:	Signature:  Date: 02/06/2025

Crown or General Manager Land Owner Consent	
<p>If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the <i>Land Use Planning and Approvals Act 1993</i>).</p> <p>Please note:</p> <ul style="list-style-type: none"> If General Manager consent is required, please first complete the General Manager consent application form available on our website www.sorell.tas.gov.au If the application involves Crown land you will also need a letter of consent. Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development. 	
<p>I _____ being responsible for the administration of land at _____</p> <p>declare that I have given permission for the making of this application for _____</p>	
<div style="float: right; border: 2px solid orange; padding: 5px; text-align: center;">  Sorell Council Development Application: 5.2025.144.1 - Development Application - 746 Fulham Road, Carlton River - P1.pdf Plans Reference: P1 Date Received: 02/06/2025 </div>	
Signature of General Manager, Minister or Delegate:	Signature: Date:

CHRIS L. POTTER

M.I.E. AUST. C P Eng.

CONSULTING ENGINEER

ABN 39 494 805 651



Sorell Council

Development Application: 5.2025.144.1 -
Development Application - 746 Fulham Road,
Carlton River - P1.pdf
Plans Reference: P1
Date Received: 02/06/2025

187 Campbell St.
Hobart TAS 7000
Phone (03) 6231 4143
Mobile 0407 794 292
Fax (03) 6234 3360
DX230 HOBART
Email: potteng@austar.net.au
www.chrispotterengineering.com

CERTIFICATE OF OTHERS (BUILDING)

Regulation 13

To: Mr. & Mrs. Cuthbert
PO. BOX 34
SORELL 7172

Owner /Agent
Address
Suburb/postcode

Form **55**

Certifier details:

From: DAVID MCKINNON
Address: 187 Campbell Street,
Hobart 7000
Accreditation No: CC4020 E
(if applicable)
Or qualifications and Insurance details: Insured under Chris L. Potter Consulting Engineer
Specialty area of expertise: Structural engineering

Phone No: (03) 6231 4143

Fax No: (03) 6234 3360

Email address: potteng@austar.net.au

(description from Column 4 of the Director of Building Control's determination)

(description from Column 5 of the Director of Building Control's determination)

Details of work:

Address: FULLHAM RD
CARLTON 7173
The work related to this certificate: NEW BUILDING

Lot No: 1

Certificate of title No:

(description of the work or part work being certified)

Certificate details:

Certificate type: Structural
(description from Column 2 of the Director of Building Control's determination)

In issuing this certificate the following matters are relevant –

Documents: DWG'S: 2302-WD02, 2302-WD03, 2302-WD04, 2302-WD05
2302-WD09, 2302-WD06

Relevant

calculations:

References:

AS2870-1996, AS1684-1999
AS4055-1992, AS4100-1990
AS3600-1996

documents relevant to the permit
by permit No. 2009/43

Substance of Certificate:

Footings, Slab, Suspended slab, Bracing,
Steel beams / columns
Concrete columns

Scope or Limitations

Footings to be inspected by engineer



Sorell Council

Development Application: 5.2025.144.1 -
Development Application - 746 Fulham Road,
Carlton River - P1.pdf
Plans Reference: P1
Date Received: 02/06/2025

I certify the matters described in this certificate.

Certifier:

DAVID MCKINNON

Signed:

A handwritten signature in black ink, appearing to read "David McKinnon", written over a horizontal line.

Date:

1/12/2004

Certificate No.

CUTMSφi-3

CHRIS L. POTTER
 M.I.E. AUST. C P Eng.
CONSULTING ENGINEER
 ABN 39 494 805 651

187 Campbell St.
 Hobart TAS 7000
 Phone (03) 6231 4143
 Mobile 0407 794 292
 Fax (03) 6234 3360
 DX230 HOBART
 Email: potteng@austar.net.au
 www.chrispotterengineering.com

CERTIFICATE OF OTHERS (BUILDING)

Regulation 13

To: **Mr. & Mrs. Cuthbert** Owner /Agent
PO BOX 34 SORELL Address
SOEELL **7172** Suburb/postcode

Form **55**

Certifier details:

From: **David Mckinnon**
 Address: **187 Campbell Street,** Phone No: **(03) 6231 4143**
Hobart **7000** Fax No: **(03) 6234 3360**
 Accreditation No: **CC4020 E** Email address: **potteng@austar.net.au**
 (if applicable)
 Or qualifications and Insurance details: **Insured under Chris L. Potter Consulting Engineer** (description from Column 3 of the Director of Building Control's determination)
 Speciality area of expertise: **Foundation classification inaccordance with AS2870-1996, Structural engineering** (description from Column 4 of the Director of Building Control's determination)

Details of work:

Address: **FULLHAM RD** Lot No: **1**
CARLTON **7173** Certificate of title No:
 The work related to this certificate: **NEW BUILDING** (description of the work or part work being certified)

Certificate details:

Certificate type: **Foundation classification** (description from Column 2 of the Director of Building Control's determination)
Wind Classification

In issuing this certificate the following matters are relevant --

Documents:

Relevant calculations:

References:

AS2870-1996
AS4055-1992



Substance of Certificate:

Foundation and wind classification

Scope or Limitations

Footings to be inspected by engineer



Sorell Council

Development Application: 5.2025.144.1 -
Development Application - 746 Fulham Road,
Carlton River - P1.pdf
Plans Reference: P1
Date Received: 02/06/2025

I certify the matters described in this certificate.

Certifier: **DAVID MCKINNON**

Signed:

A handwritten signature in black ink, appearing to read 'David McKinnon', written over a horizontal line.

Date:

07/12/2004

Certificate No.

CUTHS01

SEARCH OF TORRENS TITLE

VOLUME 46173	FOLIO 1
EDITION 6	DATE OF ISSUE 26-Apr-2023

SEARCH DATE : 02-Jun-2025

SEARCH TIME : 12.19 PM

DESCRIPTION OF LAND

Parish of CARLTON, Land District of PEMBROKE
Lot 1 on Diagram 46173
Derivation : Part of Lot 30687 Gtd. to M.B. Amos.
Prior CT 4326/83

SCHEDULE 1

N119681 TRANSFER to TAS LIVING PTY LTD Registered
26-Apr-2023 at 12.02 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
E343154 MORTGAGE to WEALTH PI CAPITAL PTY LTD Registered
26-Apr-2023 at 12.01 PM
N153666 CAVEAT by 746 Fulham Rd Carlton River Pty Ltd
Registered 10-Aug-2023 at noon

UNREGISTERED DEALINGS AND NOTATIONS

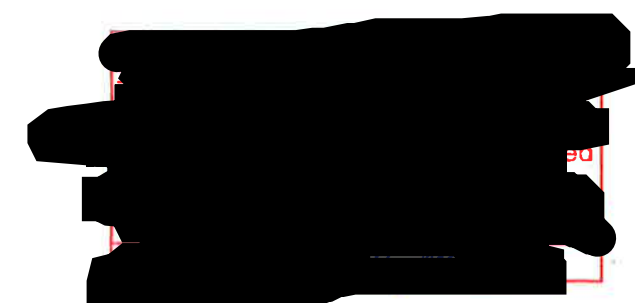
No unregistered dealings or other notations

**Sorell Council**
Development Application: 5.2025.144.1 -
Development Application - 746 Fulham Road,
Carlton River - P1.pdf
Plans Reference: P1
Date Received: 02/06/2025

OWNERS COPY

PROPOSED **NEW RESIDENCE**

At: Lots 1 & 83 Fulham Road, CARLTON RIVER.
For: Mr & Mrs S. CUTHBERT
Oct. 2004

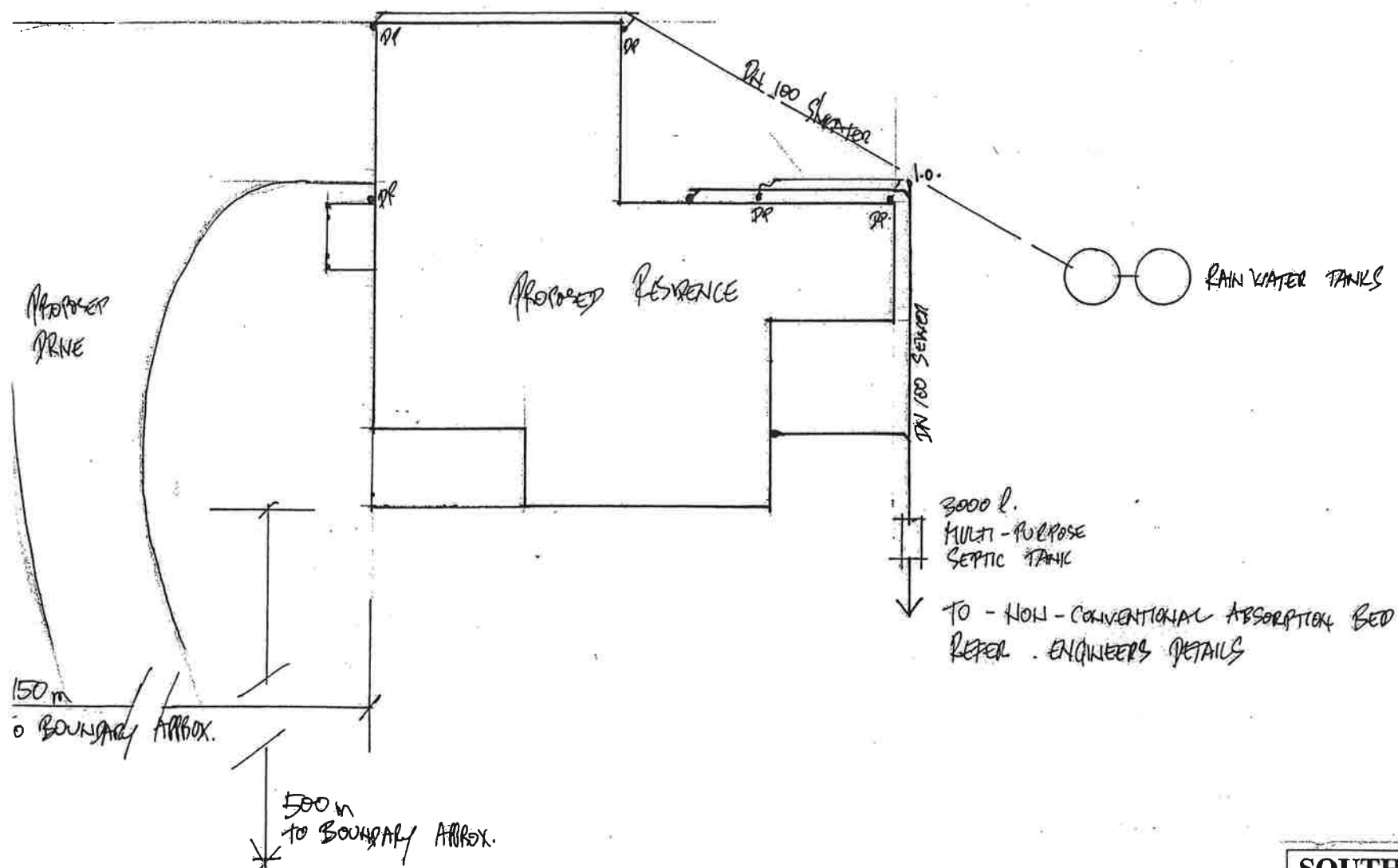
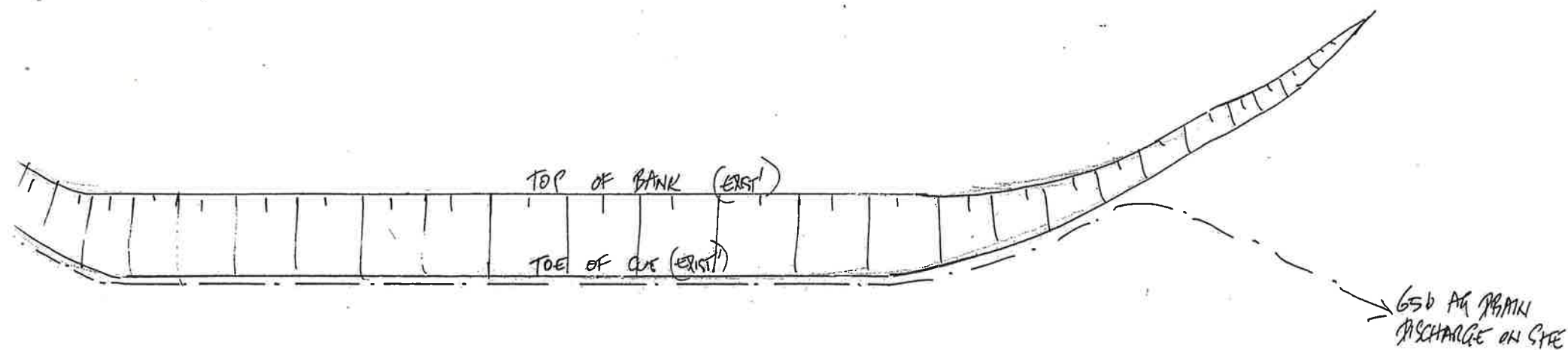


DRAWING SCHEDULE

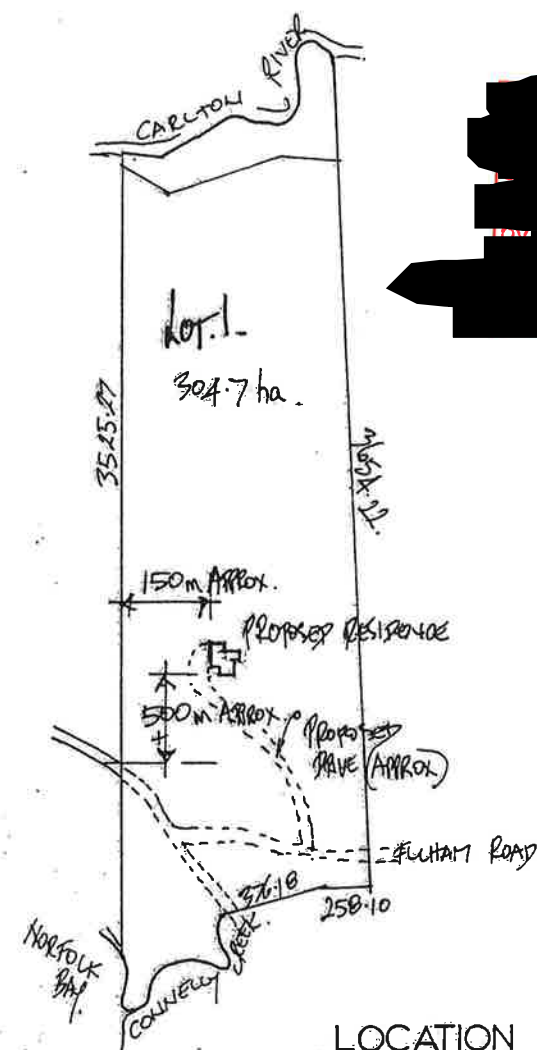
Wd01 Site & Location Plan
Wd02 Slab Plan & Details
Wd03 Ground Floor Plan
Wd04 First Floor Plan
Wd05 First Floor Frame Plan & Details
Wd06 Roof Plan & Details
Wd07 Elevations
Wd08 Elevations
Wd09 Section
Wd10 Notes
Wd11 Wet Area Details

Building Surveyor - Danilo Vahi
TCC Accreditation No: CC7051
Signed: Date: 02/02/05

Prepared by: Glen Harris Principal of
SOUTH EAST DESIGN & DRAFTING c.c 290
P.O. BOX 98
SORELL. 7172.
Phone: 62653953
Mobile: 0402867929
Email: southeastdesign@iprimus.com.au



PART SITE PLAN 1:200



LOCATION PLAN (N.T.S.)

Building Surveyor - Danilo Yali
TCC Accreditation No: CC7051
Signed *[Signature]* Date: 02/02/05

SOUTH EAST DESIGN & DRAFTING Glen Harris c.c.290
251 GREENS ROAD ORIELTON TAS.
Ph: 62653953 Mob: 0402867929
e-mail: southeastdesign@iprimus.com.au

TITLE
SITE & LOCATION PLAN

NOTE: Do not scale drawing use dimensions as shown Builder to verify all dimensions and levels on site prior to commencement of any works.

SCALE
1:1000

DATE
Oct 2004

DESIGNED
GH

DRAWN
GH

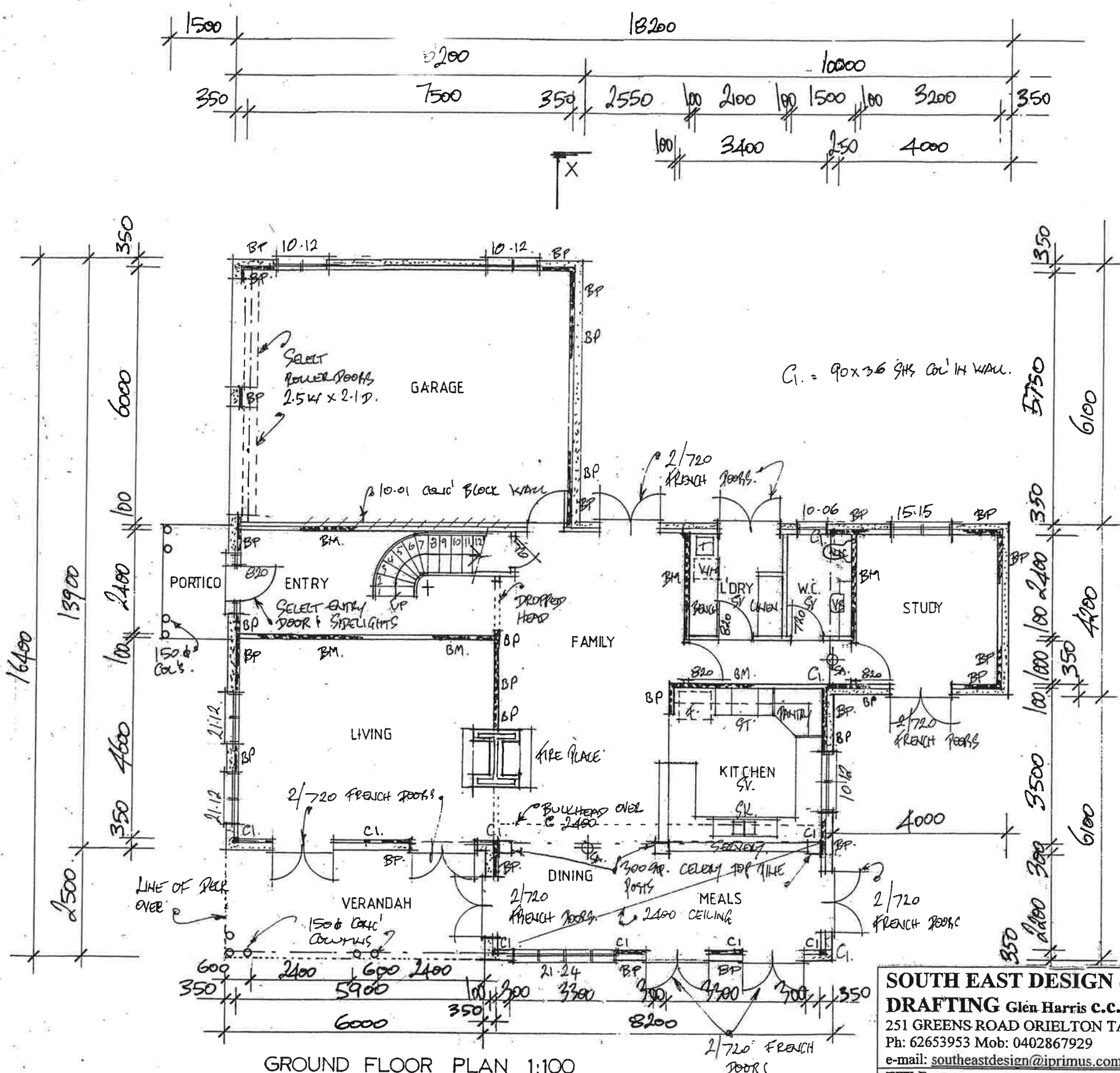
CLIENT
CUTHBERT HOUSE

PROJECT NO
2302

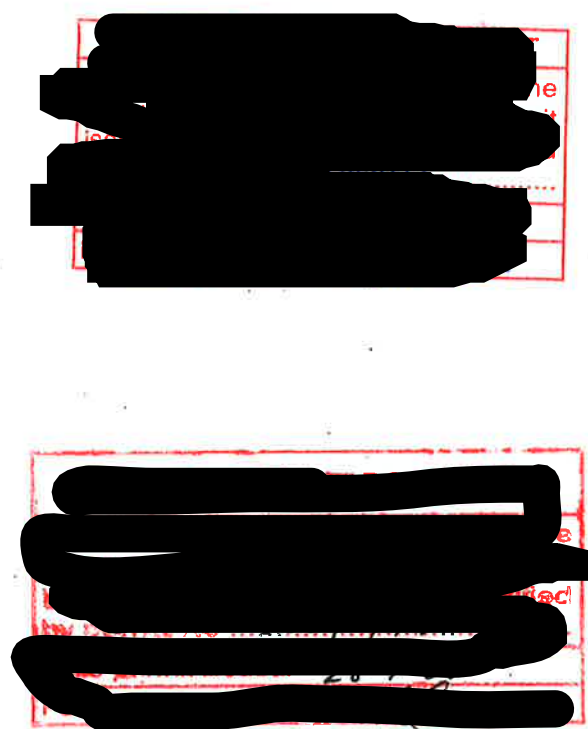
DRAWING NO
WD 01

PROJECT
Proposed Residence
Lots 1 & 83 Fulham Road,
CARLTON RIVER.

AMENDMENTS



GROUND FLOOR PLAN 1:100
 Gross Floor Areas:
 LIVING : 142.0m²
 GARAGE : 48.8m²
 TOTAL : 190.8m²



Daniel M...
 CUTHBERT-3
 1/12/2004

SOUTH EAST DESIGN & DRAFTING Glen Harris c.c.290
 251 GREENS ROAD ORIELTON TAS.
 Ph: 62653953 Mob: 0402867929
 e-mail: southeastdesign@iprimus.com.au

GROUND FLOOR PLAN

NOTE: Do not scale drawing use dimensions as shown Builder to verify all dimensions and levels on site prior to commencement of any works.

CLIENT
CUTHBERT HOUSE

PROJECT
 Proposed Residence
 Lots 1 & 83 Fulham Road,
 CARLTON RIVER

SCALE
 1:100

DATE
 Oct 2004

DESIGNED
 GH

DRAWN
 GH

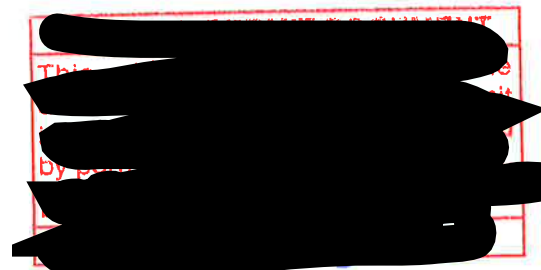
PROJECT NO
2302

DRAWING NO
WD 03

AMENDMENTS

Building Surveyor - Danilo Yall
TCC Accreditation No: CC7051
 Signed *[Signature]* Date: 02/02/05

Development Application: 5.2025.144.1 -
Development Application - 746 Fulham Road,
Carlton River - P1.pdf
Plans Reference: P1
Date Received: 02/06/2025



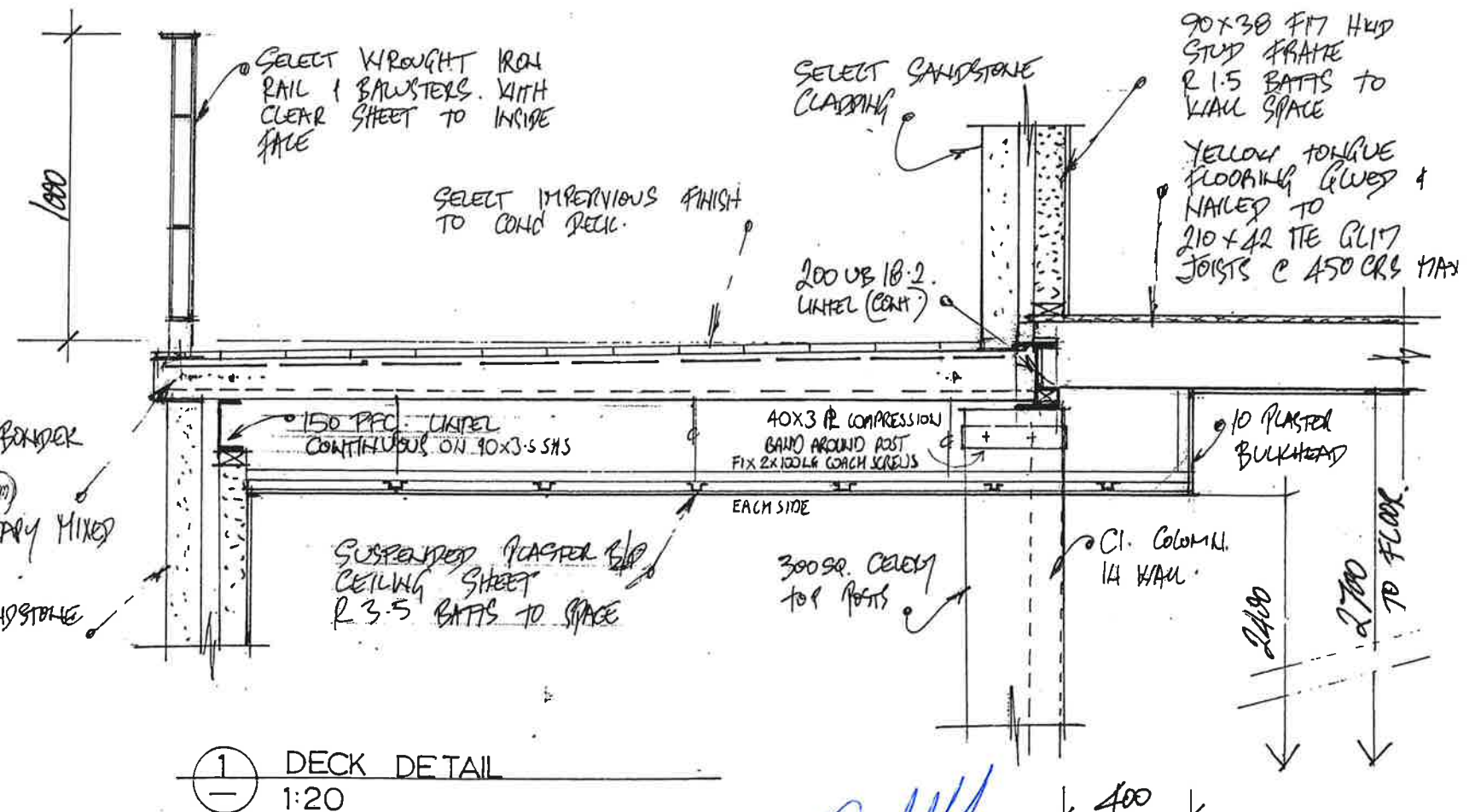
LIVING : 98.8 m^2
DECK : 32.5 m^2
TOTAL : 131.3 m^2

PROJECT
Proposed Residence
Lots 1 & 83 Fulham
Road,
CARLTON RIVER.

Signed Dr. Y. L. Date 02.02.20

A 190 x 45 . FT7
B 290 x 45 FT7
C 300 x 70 TIE GLIM (LINE WITH PLASTER) JESTS OVER.
D 200 UB 18.2. CONTINUOUS.
E. 150 PFC. CONTINUOUS.

C₂ = Ø150 FRC CONCRETE FILLED COLUMNS (25MPa)
REINFORCED W 3N16 BARS & R6 LIGS @ 150 CRS.
(min lap 400mm) (1N12 CENTRAL FOR ENTRY CANNOT ONLY)



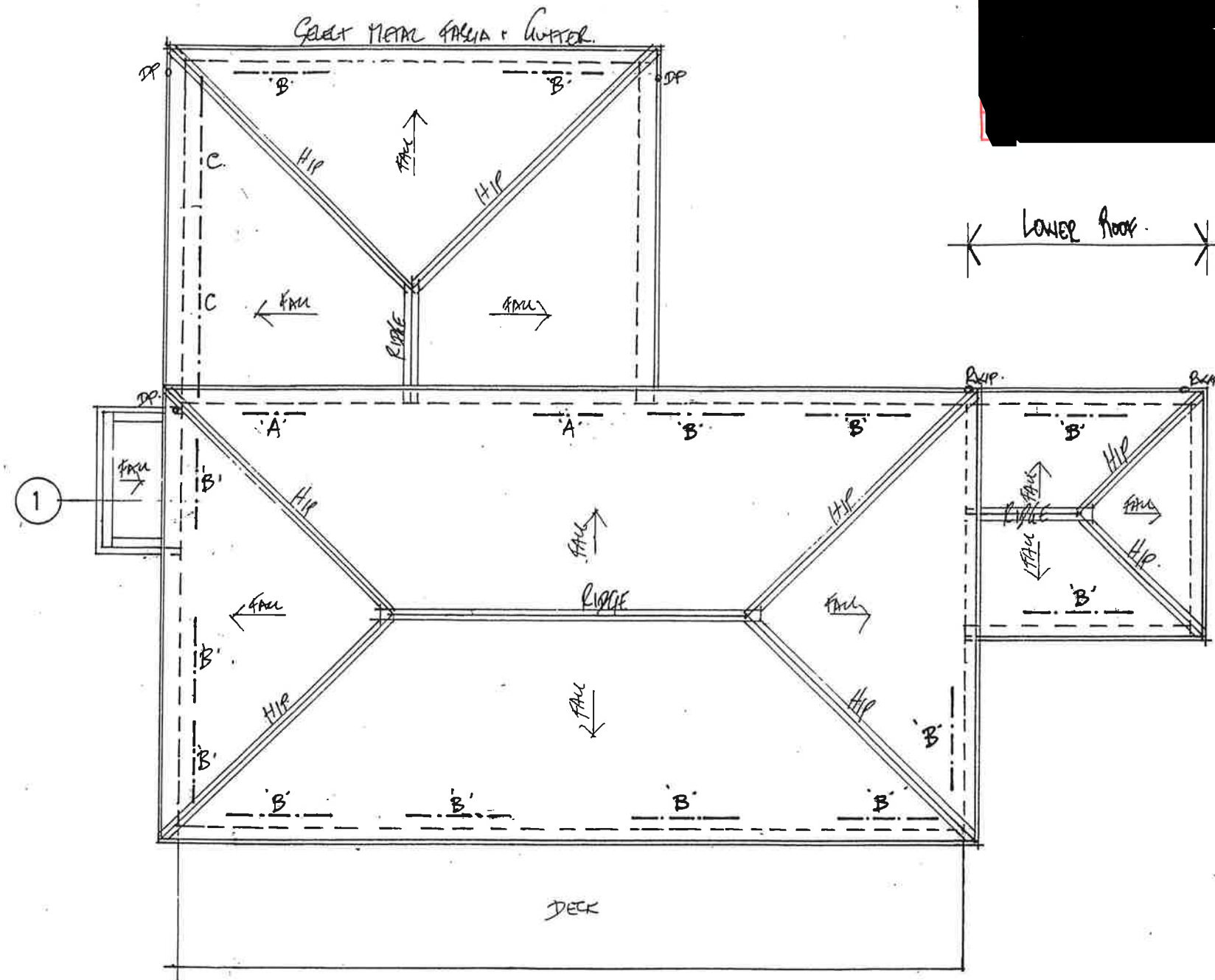
CLTNS#1-3
1/12/2004

SOUTH EAST DESIGN & DRAFTING Glen Harris c.c.290 251 GREENS ROAD ORIELTON TAS. Ph: 62653953 Mob: 0402867929 e-mail: southeastdesign@iprimus.com.au	NOTE: Do not scale drawing use dimensions as shown Builder to verify all dimensions and levels on site prior to commencement of any works.		<u>CLIENT</u> CUTHBERT HOUSE	<u>PROJECT</u> Proposed Residence Lots 1 & 83 Fulham Road, CARLTON RIVER .
<u>TITLE</u> FIRST FLOOR FRAME PLAN & DETAILS	<u>SCALE</u> 1:100	<u>DESIGNED</u> GH	<u>PROJECT NO</u> 2302	<u>AMENDMENTS</u> Building Surveyor – Danilo Yali TCC Accreditation No: CC7051 Signed: <i>[Signature]</i> Date: <i>[Date]</i>
	<u>DATE</u> Oct 2004	<u>DRAWN</u> GH	<u>DRAWING NO</u> WD 05	

A 90 x 35
B 120 x 45
C 220 x 45

SELECT COLORBOND ROOF SHEET @ 22 1/2" WITH OVER
SILICATION + SCREW FIXED TO
75 X 38 TIMBER BATTENS @ 900 C/S MAX.
TIMBER TRUSS ROOF FRAME THROUGHOUT UNLESS
NOTED OTHERWISE.

10 PASTER CEILING GYPSUM SCREW & GUE FIXED
TO METAL BATTENS TO 1/2 OF TRUSS CHORD
@ 450 C/S MAX.
R3-5 BATTIS TO CEILING SPACE.



ROOF PLAN 1:100

LOWER ROOF.

SELECT COLORBOND ROOF SHEET SCREW FIXED TO 75x58 F17 HXID BATTEN @ 600 CRS MAX.

200 V. ZINCALUM BOX GUTTER

ZINCALUM EVEL FLASHING

75x VMC R.V.P.

SANDSTONE CLADDING

90x45 F17 HXID SOFFIT FRAME @ 450 CRS MAX. 4.5 FC. STREET LINING.

112 TIE DOWN ROD PLACED CENTRALLY

150x FRC. CONC. FILLED COLUMN.

112 CENTRAL (CANOPY ONLY)

90x45 F17 HXID BATTERS @ 900 CRS MAX. FIX TO 90x45 F17 HXID WALL CREAT 112 MASONRY ANCHOR. FIXING @ 400 CRS TO SANDSTONE WALL

1 ENTRY CANOPY DETAIL 1:20

① ENTRY CANOPY
DETAIL 1:20

Daniel M. M.
CUH331-3
1/12/2004

SOUTH EAST DESIGN & DRAFTING Glen Harris c.c.290
251 GREENS ROAD ORIELTON TAS.
Ph: 62653953 Mob: 0402867929
e-mail: southeastdesign@iprimus.com.au

NOTE: Do not scale drawing use dimensions as shown Builder to verify all dimensions and levels on site prior to commencement of any works.

CLIENT
CUTHBERT
HOUSE

PROJECT
Proposed Residence
Lots 1 & 83 Fulham
Road,
CARLTON RIVER.

TITLE
ROOF PLAN & DETAILS

SCALE
1:100
1:20

DESIGNED	
GH	

PROJECT NO
2302

AMENDMENTS

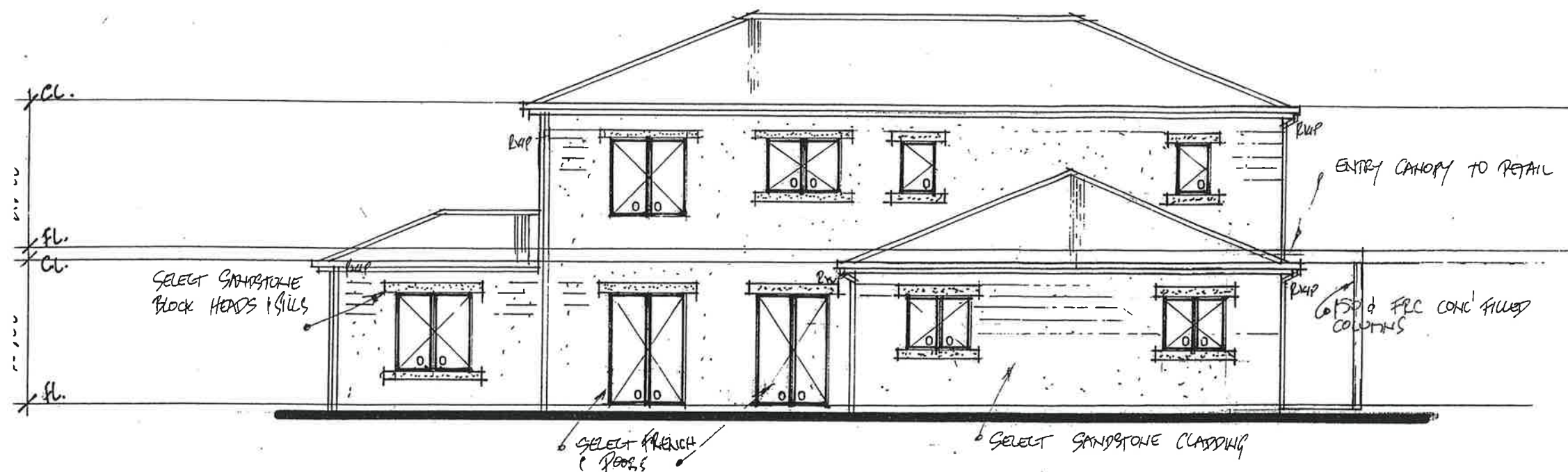
Building Surveyor – Danilo Yall
TCC Accreditation No: CC7051

Signed [Signature] Date 02/02/25

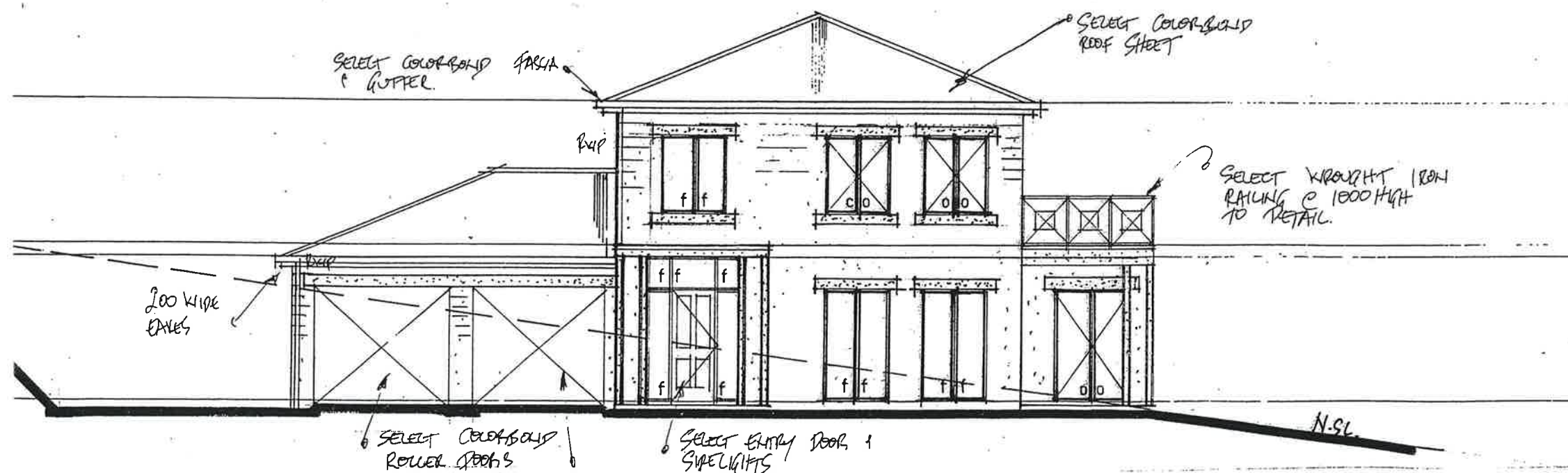


Sorell Council

Development Application: 5.2025.144.1 -
Development Application - 746 Fulham Road,
Carlton River - P1.pdf
Plans Reference: P1
Date Received: 02/06/2025



NORTH WEST ELEVATION



SOUTH WEST ELEVATION

SOUTH EAST DESIGN & DRAFTING Glen Harris c.c.290
251 GREENS ROAD ORIELTON TAS.
Ph: 62653953 Mob: 0402867929
e-mail: southeastdesign@iprimus.com.au

NOTE: Do not scale drawing use dimensions as shown Builder to verify all dimensions and levels on site prior to commencement of any works.

CLIENT
CUTHBERT HOUSE

PROJECT
Proposed Residence
Lots 1 & 83 Fulham Road,
CARLTON RIVER

TITLE
ELEVATIONS

SCALE
1:100

DESIGNED
GH

PROJECT NO
2302

AMENDMENTS

DATE
Oct 2004

DRAWN
GH

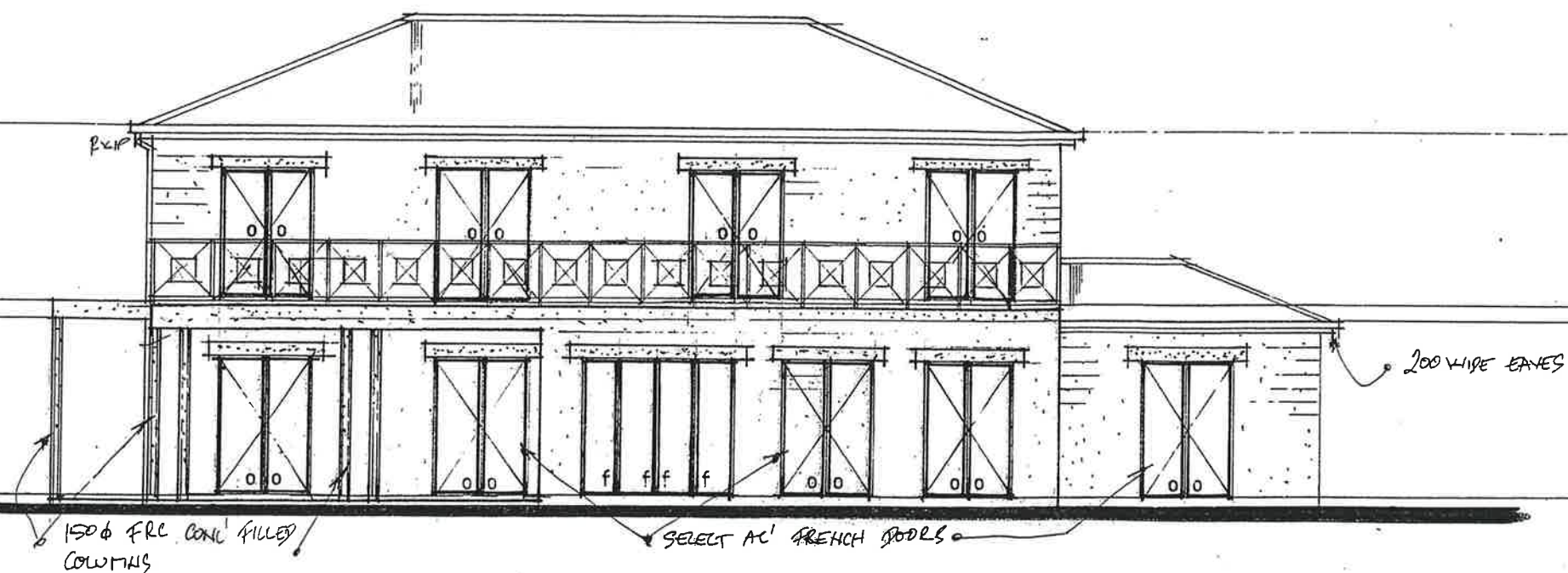
DRAWING NO
WD 07

Building Surveyor - Danilo Yali
TCC Accreditation No: CC7051
Signed *[Signature]* Date: 02/02/05

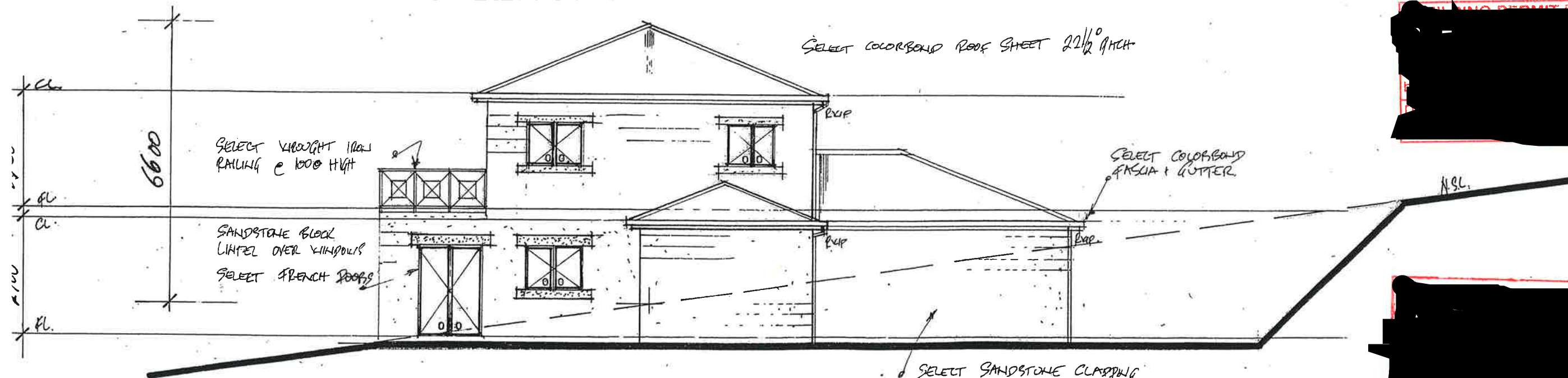


Sorell Council

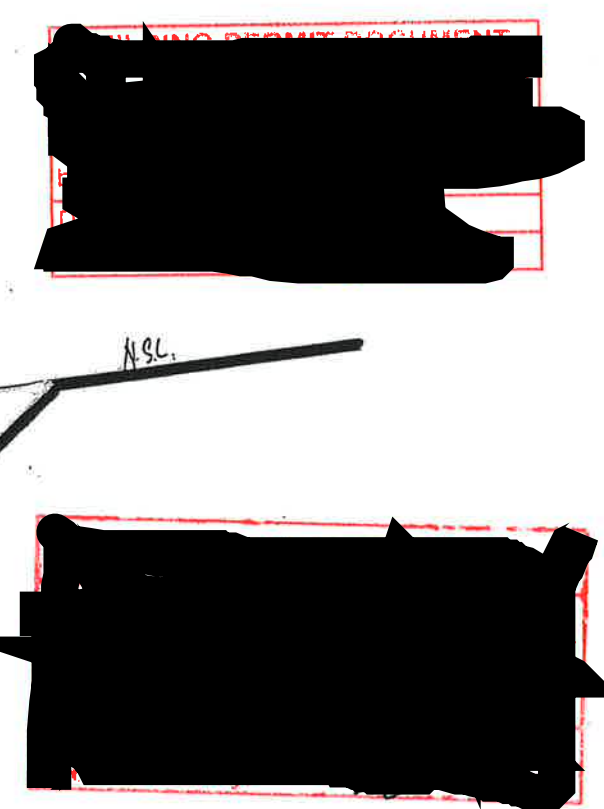
Development Application: 5.2025.144.1 -
Development Application - 746 Fulham Road,
Carlton River - P1.pdf
Plans Reference: P1
Date Received: 02/06/2025



SOUTH EAST ELEVATION



NORTH EAST ELEVATION



Sorell Council
 Development Application: 5.2025.144.1 -
 Development Application - 746 Fulham Road,
 Carlton River - P1.pdf
 Plans Reference: P1
 Date Received: 02/06/2025

SOUTH EAST DESIGN & DRAFTING Glen Harris c.c.290 251 GREENS ROAD ORIELTON TAS. Ph: 62653953 Mob: 0402867929 e-mail: southeastdesign@iprimus.com.au		NOTE: Do not scale drawing use dimensions as shown Builder to verify all dimensions and levels on site prior to commencement of any works.		CLIENT CUTHBERT HOUSE	PROJECT Proposed Residence Lots 1 & 83 Fulham Road, CARLTON RIVER.
TITLE ELEVATIONS	SCALE 1:100	DESIGNED GH	PROJECT NO 2302	AMENDMENTS Building Surveyor - Danilo Yall TCC Accreditation No: CC7051 Signed: <i>[Signature]</i> Date: 02/06/2025	
	DATE Oct 2004	DRAWN GH	DRAWING NO WD 08		

SELECT COLORBOND ROOF SHEET OVER GALVALUME
73x38 F17 HUP ROOF BATTENS @ 900 C/S MAX
TIMBER TRUSSES @ 900 C/S MAX

10 PLASTER CEILING SHEET SCREW & PWE FIXED
TO METAL BATTENS
BATTENS @ 450 C/S MAX SCREWS FIXED TO
US OF TRUSS CHORD.

R35 BATTN TO CEILING SPACE

22 1/2° PITCH

90x38 F17 HUP STUD
VIAU BRACE
R1.5 BATTN TO VIAU SPACE

GARAGE

10.01 'BESSER'
BLOCK VIAU
CELEST
SANDSTONE
ABOVE ROOF
LINE

VELVET TONGUE FLOORING
LINED & NAILED
TO 210x42 TIE CLIP
FLOOR JOISTS @ 450 C/S MAX

FAMILY

Car: 200UB18.2

BULKHEAD SEWER
PIPE BEHIND TO SPACE

SELECT COLORBOND FASCIA
& GUTTER

CONC'D DECK ON BINDER TO DETAIL

WROUGHT IRON RAILING
& BALUSTERS

150 PFB.
UNITED (CONT)

SUSPENDED TO US
OF BINDER RAIL

CONC' SLAB & FOOTING
TO DETAIL

SECTION X-X 1:50



Sorell Council

Development Application: 5.2025.144.1 -
Development Application - 746 Fulham Road,
Carlton River - P1.pdf
Plans Reference: P1
Date Received: 02/06/2025

Danilo Yall
CUTUS 01-3
1/12/2004

SOUTH EAST DESIGN & DRAFTING Glen Harris C.C.290
251 GREENS ROAD ORIELTON TAS.
Ph: 62653953 Mob: 0402867929
e-mail: southeastdesign@iprimus.com.au

TITLE
SECTION

NOTE: Do not scale drawing use
dimensions as shown Builder to
verify all dimensions and levels on
site prior to commencement of any
works.

SCALE
1:50

DATE
Oct 2004

DESIGNED
GH

DRAWN
GH

CLIENT
CUTHBERT
HOUSE

PROJECT NO
2302

DRAWING NO
WD 09

PROJECT
Proposed Residence
Lots 1 & 83 Fulham
Road,
CARLTON RIVER

AMENDMENTS

Building Surveyor - Danilo Yall

TCC Accreditation No: CC7051

Signed: *Danilo Yall* Date: 02/02/05

NOTES
GENERAL

- 1. Verify all dimensions on site before commencing work.
Do not scale from these drawings. IF IN DOUBT – ASK. All workmanship and materials shall be in accordance with the relevant SAA Codes.
- 2. Floor design for a 1.5 KPa live load.

CONCRETE

All foundation material shall be approved before pouring concrete for a safe bearing capacity of 500 KPa.
Concrete shall be ready mixed to the requirements of AS 1379. Concrete work shall be constructed in accordance with Section 19 of AS 3600
Concrete strength grade N25, slump 60mm unless noted otherwise.
Cover to reinforcement shall be (unless noted otherwise):

- Slab 30mm
- Footings 50mm

Place two layers of malthoid or equal over brick wall supporting slabs or beams.
Reinforcing fabric shall be lapped, by over-lapping two cross wires. Laps in adjoining sheets shall be staggered.
Reinforcing bars shall be lapped 30 bar diameters (minimum 500mm).
All reinforcement shall be supported in its correct position during concreting by approved bar chairs, spacers or support bars.
Bondek or Condek shall be supported and used in accordance with the manufacturer's recommendations.

STEELWORK

Bolts shall be commercial bolts to AS 1111 and AS 1112 tightened to snug tight fit. Unless otherwise noted:

- welds shall be 6mm continuous fillet.
- bolts shall be M20
- cleats shall be 10mm plate.

Unless otherwise specified all steelwork shall be wire brushed & painted one shop coat of zinc phosphate primer.
The Contractor shall provide and leave in place until permanent bracing elements are constructed, such temporary bracing, as necessary to stabilize the structure during erection.
Before any fabrication is commenced the Contractor shall submit copies of shop drawings to the Engineer for review. Review does not include checking of dimensions.

DETAILS

GLE	
100x10	up to 1500mm (150 end bearing)
100x10	up to 2100 (200)
100x10	up to 2600 (250)

PLUMBING NOTES

All plumbing work to comply with AS 3500 parts 1, 2, 3, & 4, and the Local Council plumbing regulations.

GENERAL NOTES

All work and materials to comply with the Building Code of Australia.
Builder must check all dimensions and levels on site before commencing work.
All doors to be 820mm generally, unless otherwise noted.
Door to sanitary compartment to comply with Clause 3.8.3.3 BCA
Door Furniture to be at 1050mm high unless otherwise specified.
Light switches to be at 1050mm high.
Roof space access opening size 600 x 600 located as directed.
Wet areas to be waterproofed in compliance with AS 3740.
Glazing to comply with AS 1288
Smoke alarms must be powered and installed in compliance with AS 3786 and located as in BCA 3.7.2.3

ENERGY EFFICIENCY

1. GLAZING

"BCA Energy Efficiency Provisions"
Total Floor Area Ground floor : 134.8m2 (excluding Garage)
Glazing Zone 7 = 25% of total floor area.
(Max allowable glazing area 33.7m2)
actual window area = 25.41m2 (18.85%)
First Floor : 98.8m2
(max allowable glazing area 24.7m2)
actual window area = 20.73m2 (20.9%)

2. INSULATION

Roof Construction:
Pitched metal roof/flat ceiling:
1. R3.5 batt to ceiling or
2. Foil over battens and R3.0 batt to ceiling
Exterior wall construction brick veneer:
1. R1.5 batts to stud wall, optional light duty foil to outside of stud.
Floor Systems:
Enclosed perimeter timber or slab on ground
Insulation not required

TIMBER FRAME

All timber framing must comply with AS1684. The Timber Framing Code.
Stud frames to be 90 x 38 F17 at 450 ctrs.
Bottom plates to be single 90 x 38 F17 .
Top plates to be double 90 x 32 F17.
Noggins to be 75 x 38 HW at 1000 height or stud offcuts.
Lintels will be as noted on drawings
Frame to be tied down in compliance with AS 1684.
Wind speed in accordance with Engineers Report.

ROOFER

Roofing will be Colorbond Custom Orb metal deck on sisalation with a pitch at 22.5 degree and as set out on Roof Plan drawing and installed in compliance with AS1562.2 fully flashed and sealed.
Roof truss system designed and manufactured to AS4440.
75 x 38 HW battens at 900 ctrs.
Colorbond gutters, fascia and flashings to BCA 3.5.2

MASONRY

All brick and blockwork to be constructed in compliance with AS3700.
DPC and flashing to comply with BCA 3-3-4-4, 3-3-4-5 & 3-3-4-6.
Articulation joints to BCA 3-3-1-8 or as specified by Engineers design.
Cavity ventilation and drainage to BCA 3-3-4-2 & 3-3-4-3. Wall ties to BCA 3-3-3-2.

BRACING

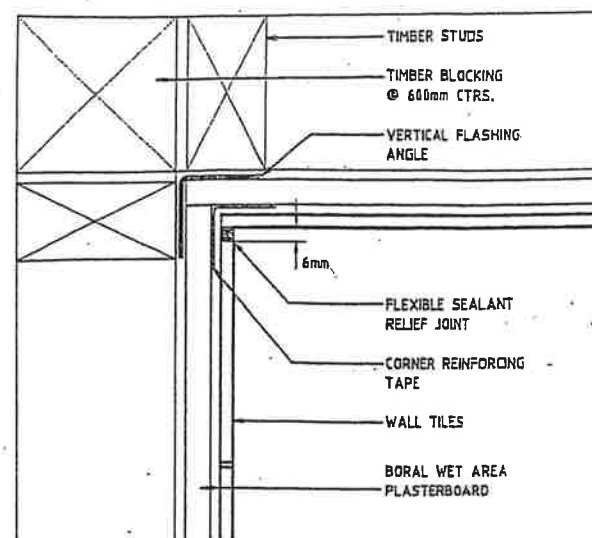
Wall bracing must comply with AS 1684.2 Timber Framing Code and designed to a wind loading as listed in AS 11700.
Site classification as per residential wind code AS4055.
Refer to Bracing Plan for type & location of wall bracing.
Wall bracing to be a combination of:
BP – Denoting: (6kn/m)
900 wide plywood sheet bracing panels fixed in accordance with:
~~Table 8.18 (g)~~
Table 8.18 (h)B
F11 at 6.0mm thick or,
F14 at 4.0mm thick
BM – Denoting: (3kn/m) *TABLE 8.18 (d)*
Metal diagonal tension bracing fixed to frame in accordance with AS 1684.2.
~~or alternative timber bracing notched into studs~~
and fixed in accordance with Aus Standards.
Roof bracing will be as truss manufacturers specification



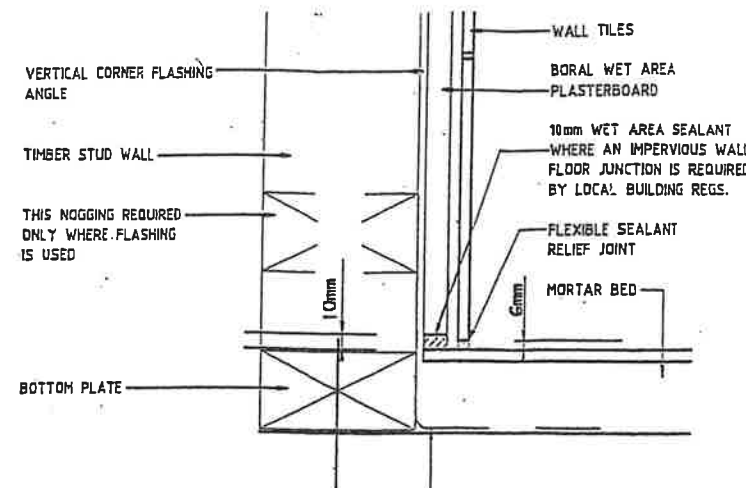
**Sorell Council**

Development Application: 5.2025.144.1 -
Development Application - 746 Fulham Road,
Carlton River - P1.pdf
Plans Reference: P1
Date Received: 02/06/2025

SOUTH EAST DESIGN & DRAFTING Glen Harris c.c.290 251 GREENS ROAD ORIELTON TAS. Ph: 62653953 Mob: 0402867929 e-mail: southeastdesign@ibrimus.com.au		NOTE: Do not scale drawing use dimensions as shown Builder to verify all dimensions and levels on site prior to commencement of any works.		CLIENT CUTHBERT HOUSE	PROJECT Proposed Residence Lots 1 & 83 Fulham Road, CARLTON RIVER.
TITLE NOTES	SCALE	DESIGNED GH	PROJECT NO 2302	AMENDMENTS Building Surveyor - Danilo Yali TCC Accreditation No: CC7051 Signed: <i>[Signature]</i> Date <i>02/02/25</i>	
	DATE Oct 2004	DRAWN GH	DRAWING NO WD 10		

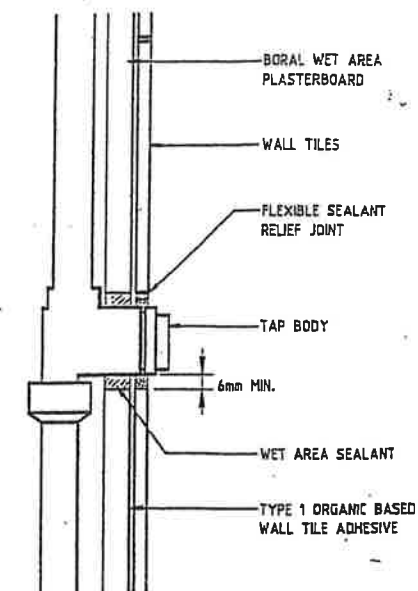


INTERNAL CORNER DETAIL

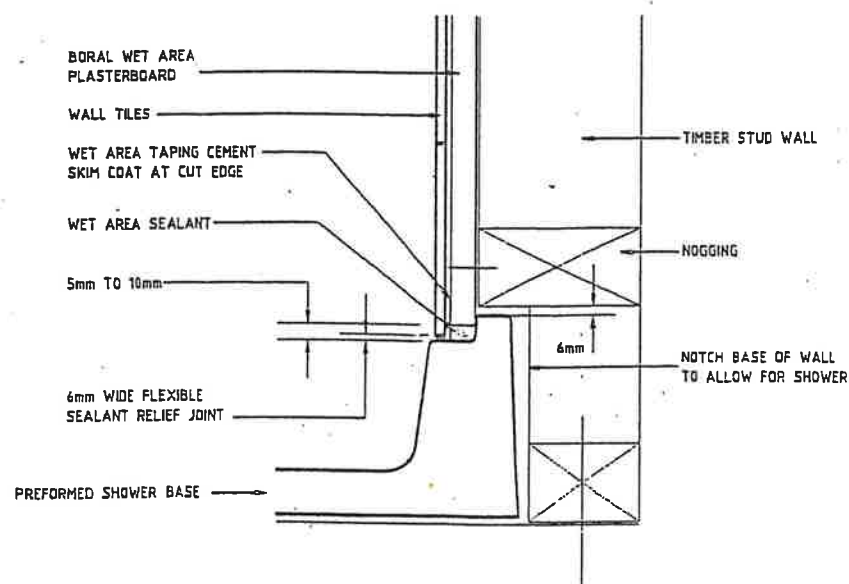


WHERE AN IMPERVIOUS WALL FLOOR JUNCTION IS REQUIRED BY LOCAL BUILDING REGULATIONS - WET AREA FLASHING UPVC ANGLE COVE ADHESIVELY FIXED TO SUB FLOOR WITH WET AREA FLASHING ADHESIVE. (USE DAMP COURSE OR EQUIVALENT FOR CONCRETE FLOORS - S. AUSTRALIA)

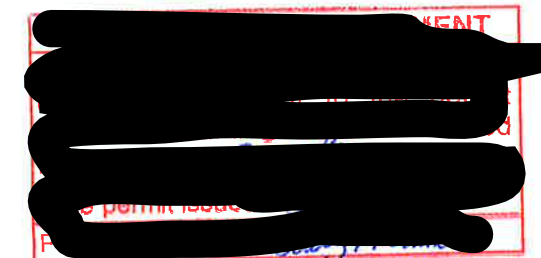
FLOOR/WALL JUNCTION



TYPICAL PLUMBING PENETRATION



SECTION THRU PREFORMED SHOWER BASE



Sorell Council
Development Application: 5.2025.144.1 -
Development Application - 746 Fulham Road,
Carlton River - P1.pdf
Plans Reference: P1
Date Received: 02/06/2025

SOUTH EAST DESIGN & DRAFTING Glen Harris c.c.290 251 GREENS ROAD ORIELTON TAS. Ph: 62653953 Mob: 0402867929 e-mail: southeastdesign@iprimus.com.au		CLIENT CUTHBERT HOUSE		PROJECT Proposed Residence Lots 1 & 83 Fulham Road, CARLTON RIVER	
TITLE WET AREA DETAILS		SCALE 1:10	DESIGNED GH	PROJECT NO 2302	AMENDMENTS
DATE Oct 2004		DRAWN GH	DRAWING NO WD 11	Building Surveyor - Danilo Yali TCC Accreditation No: CC7051 Signed <i>Da</i> Date <i>02.06.25</i>	