

# NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

**SITE: 4 Little Falcon Street, Primrose Sands**

**PROPOSED DEVELOPMENT:**

**OUTBUILDING**

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at [www.sorell.tas.gov.au](http://www.sorell.tas.gov.au) until **Monday 28th July 2025**.

Any person may make representation in relation to the proposal by letter or electronic mail ([sorell.council@sorell.tas.gov.au](mailto:sorell.council@sorell.tas.gov.au)) addressed to the General Manager. Representations must be received no later than **Monday 28th July 2025**.

**APPLICANT: Rainbow Building Solutions**

**APPLICATION NO: DA 2025 / 00143 1**

**DATE: 10 July 2025**

**Part B: Please note that Part B of this form is publicly exhibited.**

Full description of Proposal:	Use:
	Development:
	<i>Large or complex proposals should be described in a letter or planning report.</i>
Design and construction cost of proposal: \$ .....	

Is all, or some the work already constructed:	No: <input type="checkbox"/> Yes: <input type="checkbox"/>
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Location of proposed works:	Street address: .....
	Suburb: ..... Postcode: .....
	Certificate of Title(s) Volume: ..... Folio: .....

Current Use of Site	.....
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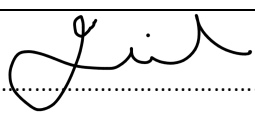
Current Owner/s:	Name(s).....
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Is the Property on the Tasmanian Heritage Register?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Council or Crown land section on page 3</i>
<b>If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form</b> <a href="https://www.sorell.tas.gov.au/services/engineering/">https://www.sorell.tas.gov.au/services/engineering/</a>		



**Sorell Council**

Development Application: 5.2025.143.1 -  
 Development Application - 4 Little Falcon Street,  
 Primrose Sands - P1.pdf  
 Plans Reference: P1  
 Date Received: 02/06/2025

Declarations and acknowledgements	
<ul style="list-style-type: none"> <li>I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land.</li> <li>I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council's representatives to enter the land at any time during normal business hours.</li> <li>I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies.</li> <li>I/we declare that, in accordance with s52(1) of the <i>Land Use Planning and Approvals Act 1993</i>, that I have notified the owner(s) of the intention to make this application.</li> <li>I/we declare that the information in this application is true and correct.</li> </ul> <p><i>Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council's Privacy Policy available on the Council website.</i></p>	
<ul style="list-style-type: none"> <li>I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.</li> </ul>	
<ul style="list-style-type: none"> <li>Where the General Manager's consent is also required under s.14 of the <i>Urban Drainage Act 2013</i>, by making this application I/we also apply for that consent.</li> </ul>	
<b>Applicant Signature:</b>	Signature:  Date: .....

Crown or General Manager Land Owner Consent	
<p>If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the <i>Land Use Planning and Approvals Act 1993</i>).</p> <p>Please note:</p> <ul style="list-style-type: none"> <li>If General Manager consent is required, please first complete the General Manager consent application form available on our website <a href="http://www.sorell.tas.gov.au">www.sorell.tas.gov.au</a></li> <li>If the application involves Crown land you will also need a letter of consent.</li> <li>Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.</li> </ul>	
<p>I _____ being responsible for the administration of land at _____ declare that I have given permission for the making of this application for _____</p>	
<div style="float: right; border: 2px solid orange; padding: 5px; text-align: center;">  <b>Sorell Council</b>                      Development Application: 5.2025.143.1 -                      Development Application - 4 Little Falcon Street,                      Primrose Sands - P1.pdf                      Plans Reference: P1                      Date Received: 02/06/2025                 </div>	
<b>Signature of General Manager, Minister or Delegate:</b>	Signature: ..... Date: .....

## Plans and Supporting Documentation required

Section 6 of the planning scheme outlines the plans and supporting documents required for a planning application. The following is a summary of section 6 and what Council requires you to submit;

*All applications are to be submitted electronically were possible at [sorell.council@sorell.tas.gov.au](mailto:sorell.council@sorell.tas.gov.au)*

*Please note that all documents submitted electronically must be in.pdf or.docx format with a file size not exceeding 20MB.*

<input type="checkbox"/>	Completed and signed application form
<input type="checkbox"/>	Cover letter explaining the proposal, what you are hoping to achieve, the approach to the design and how any impact to adjoining land or services has been considered. In many cases, a written statement justifying how the proposal satisfies the performance criteria is necessary.
<input type="checkbox"/>	Current copy of the Certificate of Title to the land which has a search date not greater than 6 (six) months, also containing the: <ul style="list-style-type: none"> <li>▪ Search Page.</li> <li>▪ Plan, Sealed Plan or Diagram.</li> <li>▪ Any Schedule of Easements, Covenants, Council Notifications, or Conditions of Transfer</li> </ul>
<input type="checkbox"/>	Dimensioned and scaled site analysis / site plan showing: <ul style="list-style-type: none"> <li>▪ the existing and proposed building(s) and use(s) on the site;</li> <li>▪ the boundaries and dimensions of the site, including easements;</li> <li>▪ the location of adjoining properties, buildings and their uses;</li> <li>▪ contours showing AHD levels, site features, natural drainage lines, watercourses and wetlands on or adjacent to the site;</li> <li>▪ soil type and any cut or fill including batters / method of retention;</li> <li>▪ vegetation communities and trees, including vegetation to be removed;</li> <li>▪ concept water, stormwater and sewer/onsite wastewater system design, including supporting calculations where necessary;</li> <li>▪ existing or proposed pedestrian and vehicle access (including width, surface, culverts, gates and sight distance as necessary), driveways, parking areas and paths;</li> <li>▪ extent of any overlays or natural hazards that apply to the site;</li> <li>▪ existing and proposed landscaping, including watering; and</li> <li>▪ any proposed open space, common space, or facilities on the site.</li> </ul>
<input type="checkbox"/>	Detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 showing: <ul style="list-style-type: none"> <li>▪ the internal layout of each building on the site;</li> <li>▪ the private open space for each dwelling;</li> <li>▪ external storage spaces; and</li> <li>▪ building elevations with materials, colours and natural and finished ground levels</li> </ul>

 **Sorell Council**  
Development Application: 5.2025.143.1 -  
Development Application - 4 Little Falcon Street,  
Primrose Sands - P1.pdf  
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Date Received: 02/06/2025

### Supplementary Requirements

*The following may be required in order to fully assess the use or development*

Shadow diagrams of new buildings demonstrating the extent of shading to private open spaces and external windows.

Any suitably qualified person reports, plans or other information for applicable zone, code or site-specific clauses, such as flood hazard report, bushfire hazard report, onsite wastewater or onsite stormwater.

### Non-Residential Use

Any non-residential use should include a completed Additional Information for Non-Residential Use form available at [www.sorell.tas.gov.au](http://www.sorell.tas.gov.au)



10.4.3 (P2)

<b>The siting of a dwelling must not cause an unreasonable loss of amenity to adjoining properties, having regard to:</b>	<b>Answer :</b>
(a) the topography of the site;	Given the existing dwelling occupies the majority of the upper portion of the block, the only logic location for an outbuilding is as per site plan. It is not practical to achieve a 5m setback from both side boundaries and rear boundary.
(b) the size, shape and orientation of the site;	The existing driveway and cross-over lend itself to having an outbuilding towards the rear of the block, with a setback of less than 5m.
(c) the setbacks of surrounding buildings;	The outbuildings of No. 8 Little Falcon Street and 3 Falcon Street have a side boundary setback similar to our proposed outbuilding. The proposed setback of 900mm from the boundary is best suited for the use of the outbuilding, allowing access for entry into the shed via an access door, and not impacting the required retaining wall, not creating any unnecessary further building works associated with the dwelling on site
(d) the height, bulk and form of existing and proposed buildings;	The proposed outbuilding will have minimal visual impact due to the requirement of excavating down the NGL to accommodate the outbuilding, especially access. The proposed outbuilding visually would be consistent with surrounding properties.
(e) the existing buildings and private open space areas on the site	POS is achievable between existing house wall & rear boundary.
(f) sunlight to private open space and windows of habitable rooms on adjoining properties; and	No. 6 Little Falcon Street being the nearest dwelling, given the orientation of the living room window, facing South-West, the living room would receive limited direct sunlight, irrespective of the proposed outbuilding. The proposed outbuilding will have a 3m separation from the dwelling on 6 Little Falcon Street, as well as being cut into the natural ground due to the slope of the property, which reduces the bulk & height of the proposed outbuilding, and thus reducing any further chance of impacting sunlight into the living room window of 6 Little Falcon Street. With the living room window being higher than the proposed shed, sunlight will still enter the dwelling. Elevations provided show minimal visual impact to the living room window of 6 Little Falcon Street, with visual impact being no more so than the privacy slat / screening the owners have installed onto the deck. Side elevation shows the extent of the visual impact, being no more than 400mm above the window sill. Taking into consideration of an average person's height, the proposed outbuilding will still allow passive surveillance of surrounding areas.
(g) the character of development existing on established properties in the area.	Parcels of land range in size of 600-800 sq/m, meaning existing dwellings and outbuildings are used efficiently as possible with the limited land available. This proposed outbuilding will have no impact. Orientation of the roof has been selected to match existing dwelling onsite, anything else would not match the appearance & architectural value of the property.



LEGEND:  
COVER PAGE  
PAGE 1# SITE PLAN  
PAGE 2# FLOOR PLAN/ELEVATIONS

CHECK CAREFULLY ALL ASPECTS OF THESE DOCUMENTS BEFORE COMMENCING WORK.

ANY ERRORS OR ANOMALIES TO BE REPORTED TO THE DRAWER BEFORE WORK IS CONTINUED

CONFIRM ALL SIZES AND HEIGHTS ON SITE

DO NOT SCALE OFF PLAN

ALL CONSTRUCTION IS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT AUSTRALIAN STANDARDS

CONSTRUCTION STANDARDS:  
ALL WORKS SHOULD BE GENERALLY INLINE WITH THE PRACTICES SET OUT IN THE 'GUIDE TO STANDARDS AND TOLERANCES 2007'

WIND LOADS DETERMINED IN ACCORDANCE WITH AS 4055 - WIND LOADS FOR HOUSING

THESE DOCUMENTS TO BE USED WITH ALL DOCUMENTATION PREPARED BY AN ENGINEER

THESE DOCUMENTS ARE INTENDED FOR COUNCIL APPLICATIONS AND NORMAL CONSTRUCTION, THEY ARE NOT TO BE USED FOR TENDERING PURPOSES OR INSPECTIONS.

THIS DESIGN IS COVERED UNDER COPYRIGHT AND ANY CHANGES MUST BE CONFIRMED BY "WILKIN DESIGN & DRAFTING" THE DRAWER RETAINS ALL "INTELLECTUAL PROPERTY"

REQUIREMENTS OF SCHEDULE 1

DESIGNER : T. WILKIN - CC678X  
PROJECT ADDRESS : 4 LITTLE FALCON ST PRIMROSE SANDS TAS 7173  
CLIENT NAME : D. & R. YOUNG  
TITLE REF : 65258/41  
FLOOR AREA : 36.00m²  
DESIGN WIND SPEED : N2  
SOIL CLASSIFICATION : M  
CLIMATE ZONE : 7  
BAL LEVEL : LOW  
ALPINE AREA : N/A  
CORROSION ENVIRONMENT : N/A  
KNOWN SITE HAZARDS : NONE

INDEX OF APPLICATION SET:  
ARCHITECTURAL DRAWINGS - PAGE 00 - 02  
ENGINEERING DRAWINGS - NO  
SPECIFICATIONS - NO  
ADDITIONAL PAGES - FORM 35

# PROPOSED SHED FOR D. & R. YOUNG AT 4 LITTLE FALCON ST PRIMROSE SANDS TAS 7173



P.O. BOX 478  
LAUNCESTON  
TASMANIA 7250

ACCREDITATION NO:  
CC678 X

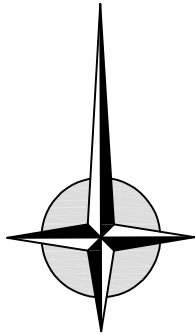
DATE:  
20/05/2025

JOB NUMBER:  
DA/BA-25SRYOU





NOTE: TABLE FOR UNPROTECTED EMBANKMENT SLOPES SLOPE = H:L		
SOIL TYPE	COMPACTED FILL	CUT
STABLE ROCK	2:3	8:1
SAND	1:2	1:2
SILT	1:4	1:4
CLAY	(FIRM) 1:2	1:1
	(SOFT) NOT SUITABLE	2:3
SOFT SOILS	NOT SUITABLE	NOT SUITABLE



4 LITTLE FALCON ST  
PRIMROSE SANDS TAS 7173

TITLE REF: 65258/41  
PROPERTY ID: 5946508  
TITLE AREA = 576.67m<sup>2</sup>\*



P.O. BOX 478  
LAUNCESTON  
TASMANIA 7250

ACCREDITATION NO:  
CC678 X

NOTES:  
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PROJECT TITLE:  
YOUNG GARAGE  
  
LITTLE FALCON ST  
PRIMROSE SANDS

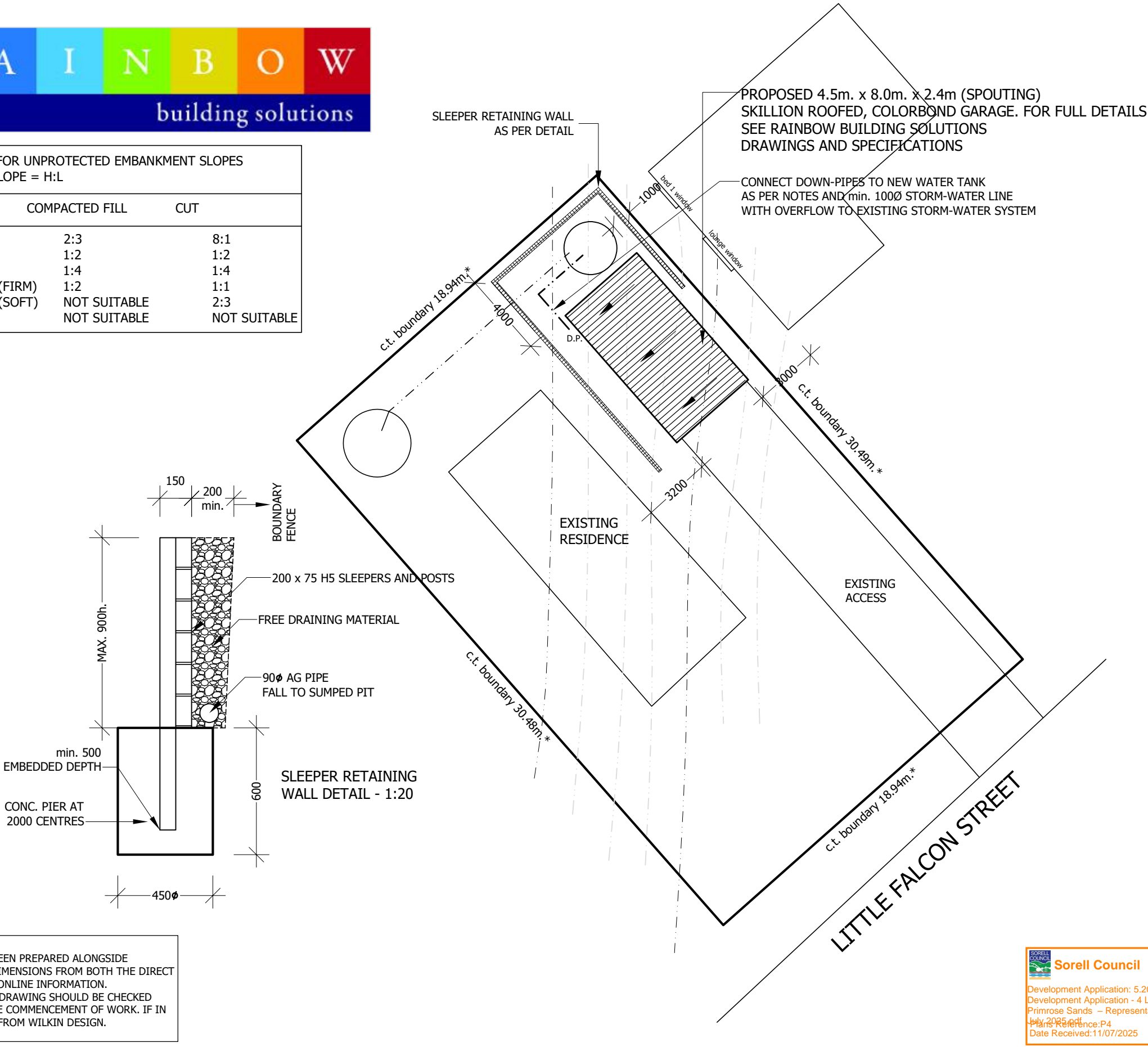
REVISION:  
08/07/2025

DATE:  
20/05/2025

SCALE:  
AS SHOWN

JOB NUMBER:  
DA/BA-25SRYOU

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NOTE:  
THESE PLANS HAVE BEEN PREPARED ALONGSIDE  
INFORMATION AND DIMENSIONS FROM BOTH THE DIRECT  
CLIENT, TheList AND ONLINE INFORMATION.  
ALL ASPECTS OF THE DRAWING SHOULD BE CHECKED  
THOROUGHLY BEFORE COMMENCEMENT OF WORK. IF IN  
DOUBT SEEK ADVICE FROM WILKIN DESIGN.

SET OUT NOTES:  
- THE BUILDER IS TO SET OUT THE WORKS IN CONJUNCTION  
WITH THE ACCOMPANYING PLANS. THE FINAL POSITION IS TO  
BE CONFIRMED BY THE CLIENT AS TO BEING CORRECT. ALL  
DIMENSIONS HEIGHTS AND LEVELS ARE TO BE CONFIRMED ON  
SITE BY ALL PARTIES INCLUDING LOCAL COUNCIL, OWNER AND  
ENGINEER BEFORE ANY EXCAVATION IS TO BE CARRIED OUT.

PLUMBING NOTES:  
- ALL PLUMBING WORK BOTH WASTE AND WATER TO  
COMPLY WITH CURRENT BCA AND AS 3500 WITH ALL  
LOCAL COUNCIL REQUIREMENTS SATISFIED.  
- ALL DRAINS ARE TO BE 100mm PVC SEWER PIPE SET IN  
12mm BLUEMETAL WITH A MINIMUM DEPTH OF 500mm ALL  
AS PER AS 3500 "PLUMBING AND DRAINAGE".  
- STORMWATER DRAIN INSTALLATION SHALL COMPLY WITH  
AS 3500.

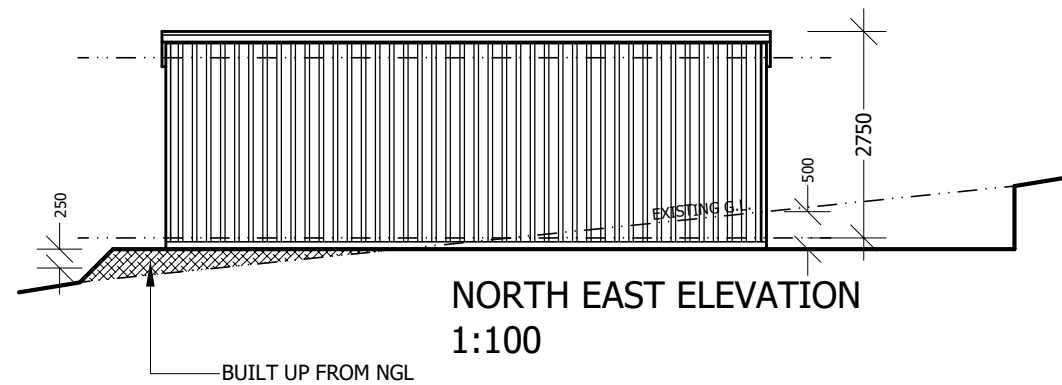
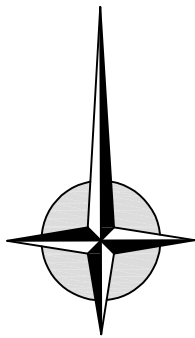
### SITE PLAN 1:200

NOTE: ALL DIMENSIONS TO BE CONFIRMED ON SITE.

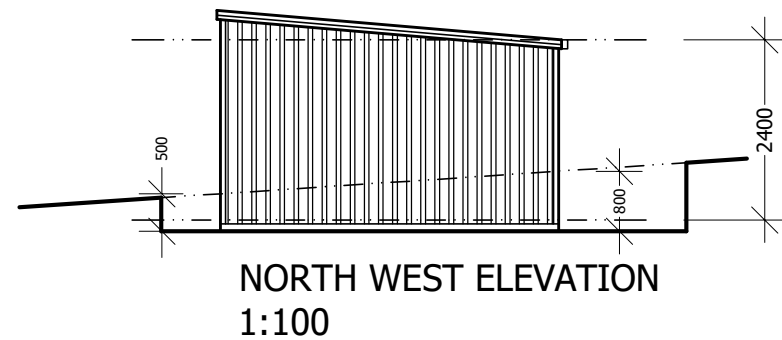
**Sorell Council**

Development Application: 5.2025.143.1  
Development Application - 4 Little Falcon Street,  
Primrose Sands – Representations Close 28th  
July 2025.pdf  
Plans Reference: P4  
Date Received: 11/07/2025

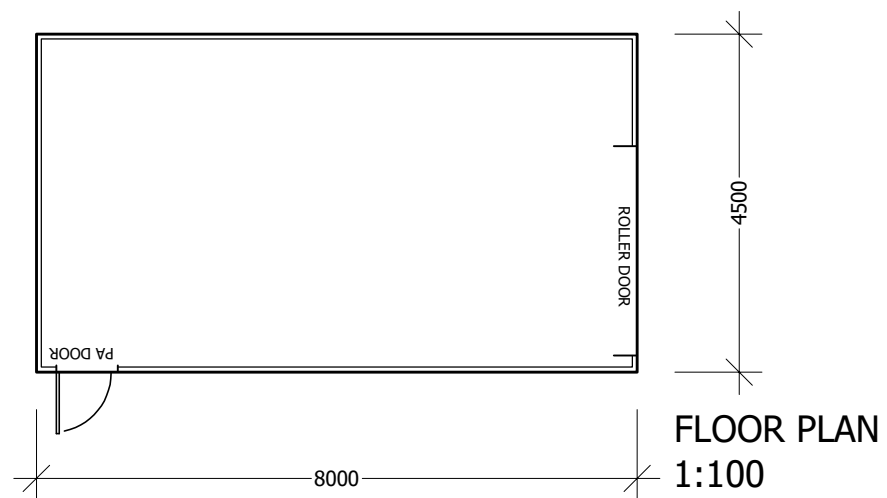
NOTE: ALL DIMENSIONS TO BE CONFIRMED ON SITE.  
\* TITLE DIMENSIONS HAVE BEEN CONVERTED FROM LINKS,  
PERCHES AND ROADS AND MUST NOT BE USED FOR SETTING  
OUT OR ANY OTHER REFERENCE FOR SURVEYING, THEY ARE  
INDICATIVE ONLY



NORTH EAST ELEVATION  
1:100



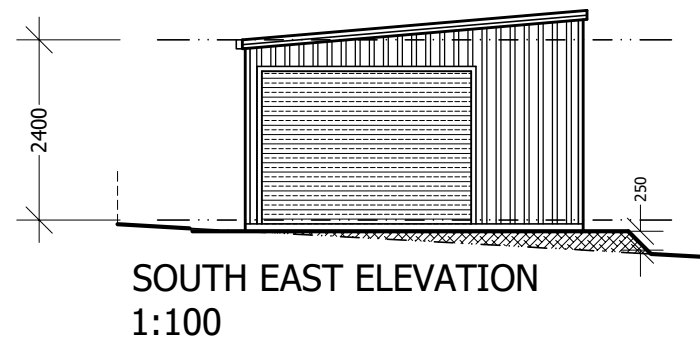
NORTH WEST ELEVATION  
1:100



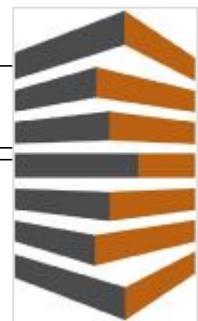
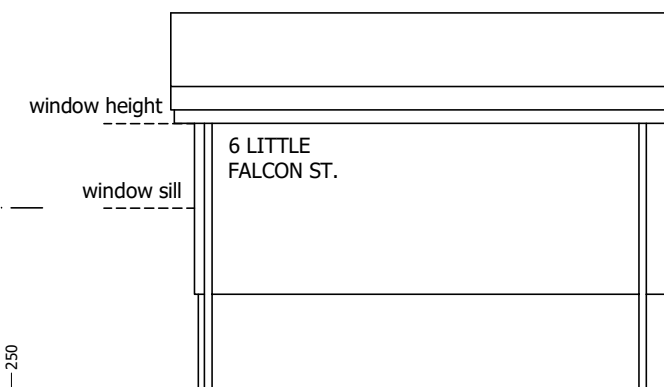
FLOOR PLAN  
1:100



SOUTH WEST ELEVATION  
1:100



SOUTH EAST ELEVATION  
1:100



wilkin  
design

P.O. BOX 478  
LAUNCESTON  
TASMANIA 7250

ACCREDITATION NO:  
CC678 X

NOTES:  
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PROJECT TITLE:  
YOUNG GARAGE  
  
LITTLE FALCON ST  
PRIMROSE SANDS

REVISION:  
08/07/2025

DATE:  
20/05/2025

SCALE:  
AS SHOWN

JOB NUMBER:  
DA/BA-25SRYOU

PAGE:  
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 **Sorell Council**  
Development Application: 5.2025.143.1 -  
Response to Request For Information - 4 Little  
Falcon Street, Primrose Sands - P4.pdf  
Plans Reference:P4  
Date Received:8/07/2025