

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: 9 Miena Drive, Sorell

**PROPOSED DEVELOPMENT:
THREE MULTIPLE DWELLINGS**

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Monday 7th July 2025**.

Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the General Manager. Representations must be received no later than **Monday 7th July 2025**.

APPLICANT: CONSTRUCT CREATIVE

APPLICATION NO: DA 2024 / 00325 1

DATE: 19 June 2025

Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	Use: Dwellings x 3
	Development: Construction of three dwellings
	<i>Large or complex proposals should be described in a letter or planning report.</i>
Design and construction cost of proposal:	\$ 1,056,000.00

Is all, or some the work already constructed:	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>
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Location of proposed works:	Street address: 9 Miena Drive
	Suburb: SORELL Postcode: 7172
	Certificate of Title(s) Volume: 182322 Folio: 20

Current Use of Site	Vacant Land
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Current Owner/s:	Name(s) Miena Park Pty Ltd
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Is the Property on the Tasmanian Heritage Register?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Council or Crown land section on page 3</i>

<p>If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form</p> <p>https://www.sorell.tas.gov.au/services/engineering/</p>



Sorell Council

Development Application: 5.2024.325.1 -
Development Application - 9 Miena Drive, Sorell -
P1.pdf
Plans Reference: P1
Date Received: 2/12/2024

(Scan with Folio Plan of the Plan below)

NOTICE TO SEARCHERS


AMENDMENT No. E311342

AFFECTING

SEALED PLAN No:- 109062

**THE ABOVE AMENDMENT HAS BEEN LODGED
WITH THE RECORDER OF TITLES**

25 July 2022



Robert Manning
Recorder of Titles

NOTE: This notice should be removed once the amendment has been registered and the amended sheet/s have been scanned with the plan

**Sorell Council**

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P1.pdf
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Date Received: 2/12/2024

<p>OWNER: SORELL COUNCIL; JAC ESTATES PTY LTD</p> <p>FOLIO REFERENCE: 109062/29; 109062/30</p> <p>GRANTEE: PART OF 570-0-0 GTD TO THOMAS AUGUSTUS WOLSTENHOLME, EARL OF MACCLESFIELD AND HENRY GOODFORD</p>	<p>PLAN OF SURVEY</p> <p>BY SURVEYOR: A. P. McINDOE of PDA Surveyors Surveying, Engineering & Planning 6 FREEMAN STREET, KINGSTON</p> <p>LOCATION: PEMBROKE-SORELL</p> <p>SCALE 1:2500 LENGTHS IN METRES SURVEYORS REF 48321LM-1A</p>	<p>REGISTERED NUMBER SP182322</p> <p>APPROVED EFFECTIVE FROM 16 MAY 2022</p> <p> Recorder of Titles</p>
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INDEX PLAN
LOT 103 COMPILED
FROM SP109062
& THIS SURVEY

ALL EXISTING SURVEY NUMBERS TO BE
CROSS REFERENCED ON THIS PLAN

Sorell Council

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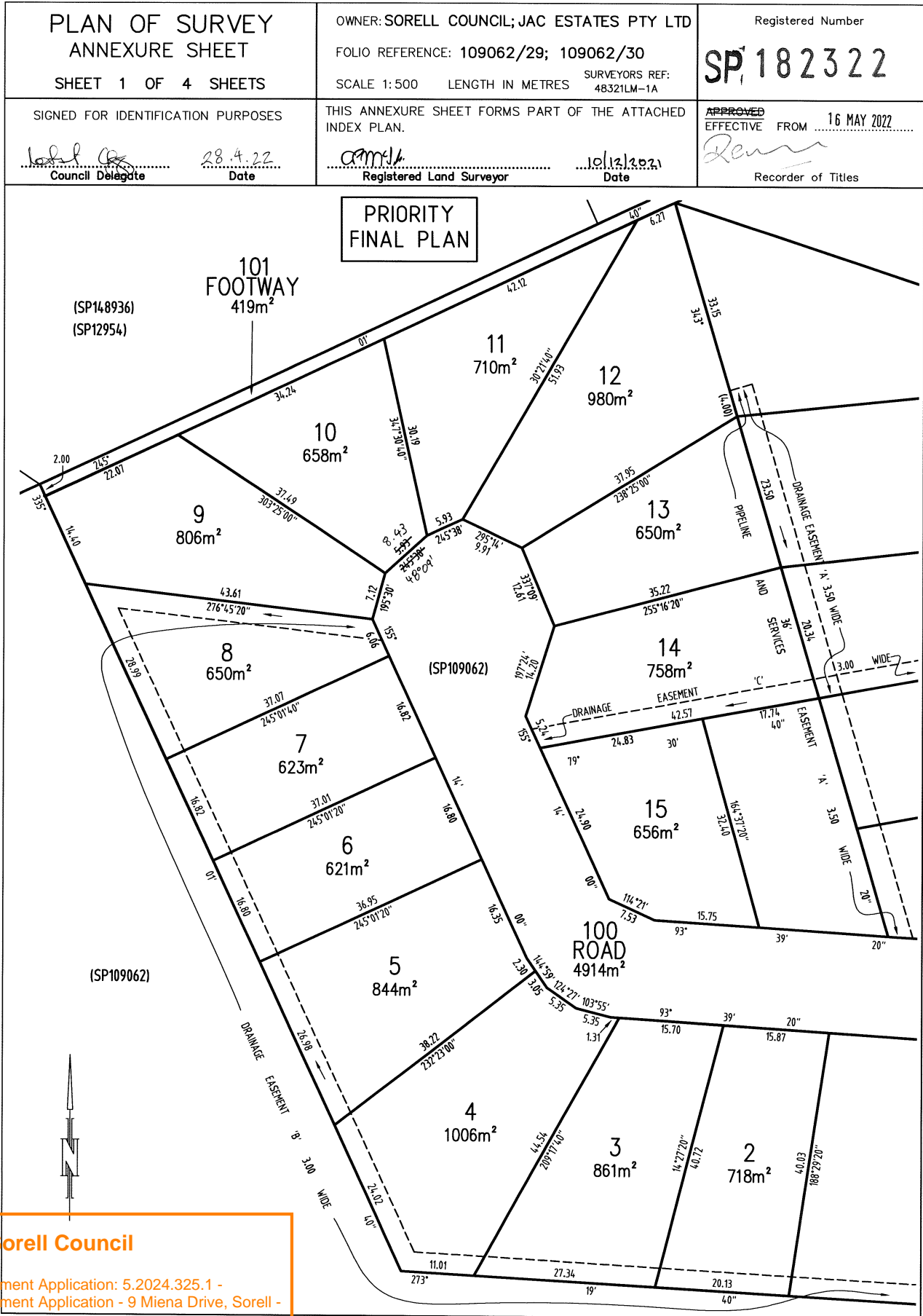
**TOTAL AREA
OF 103**
12.31ha

Registered Land Surveyor

Council Delegate

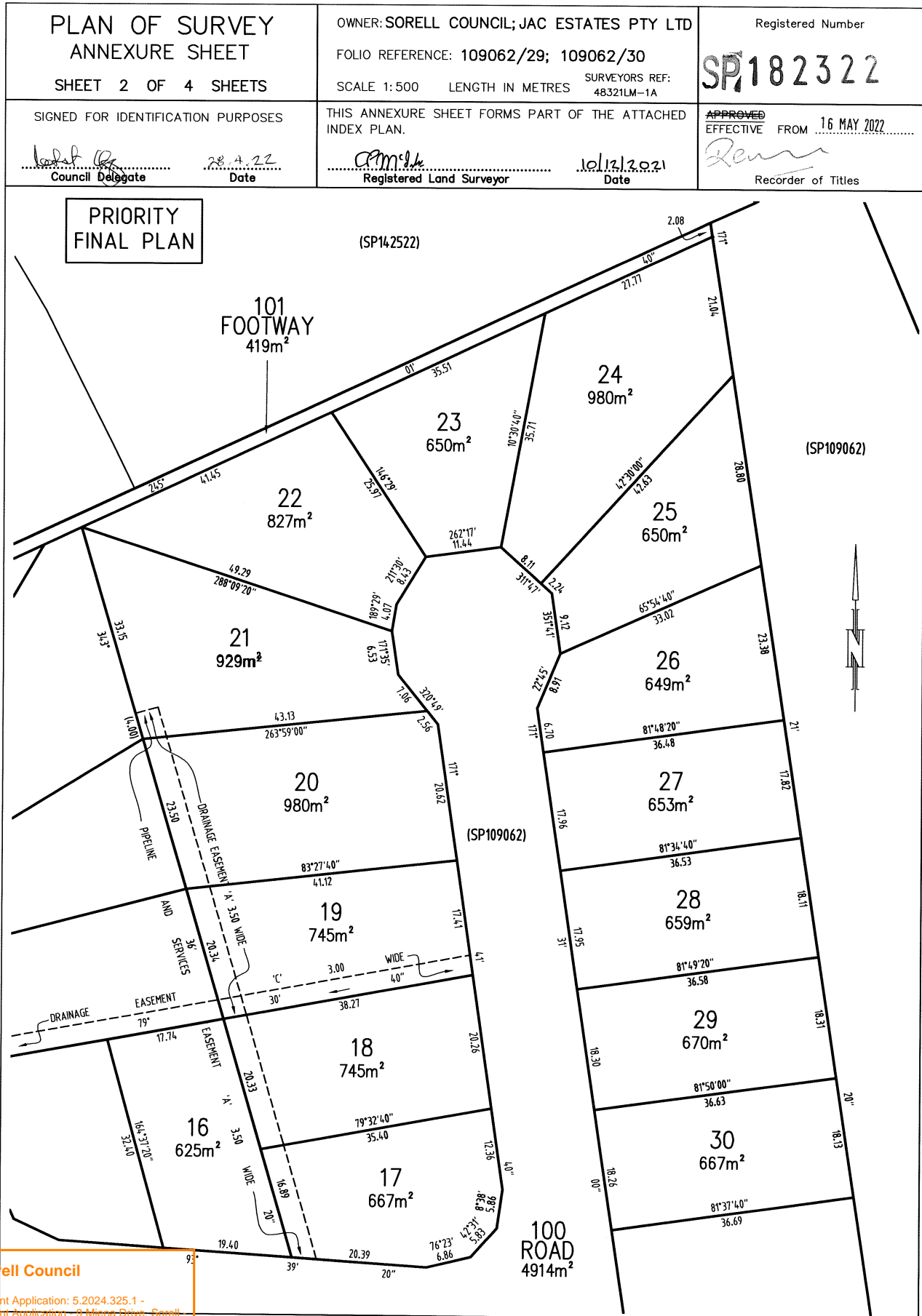
10/12/2021
Date

28.4.22
Date

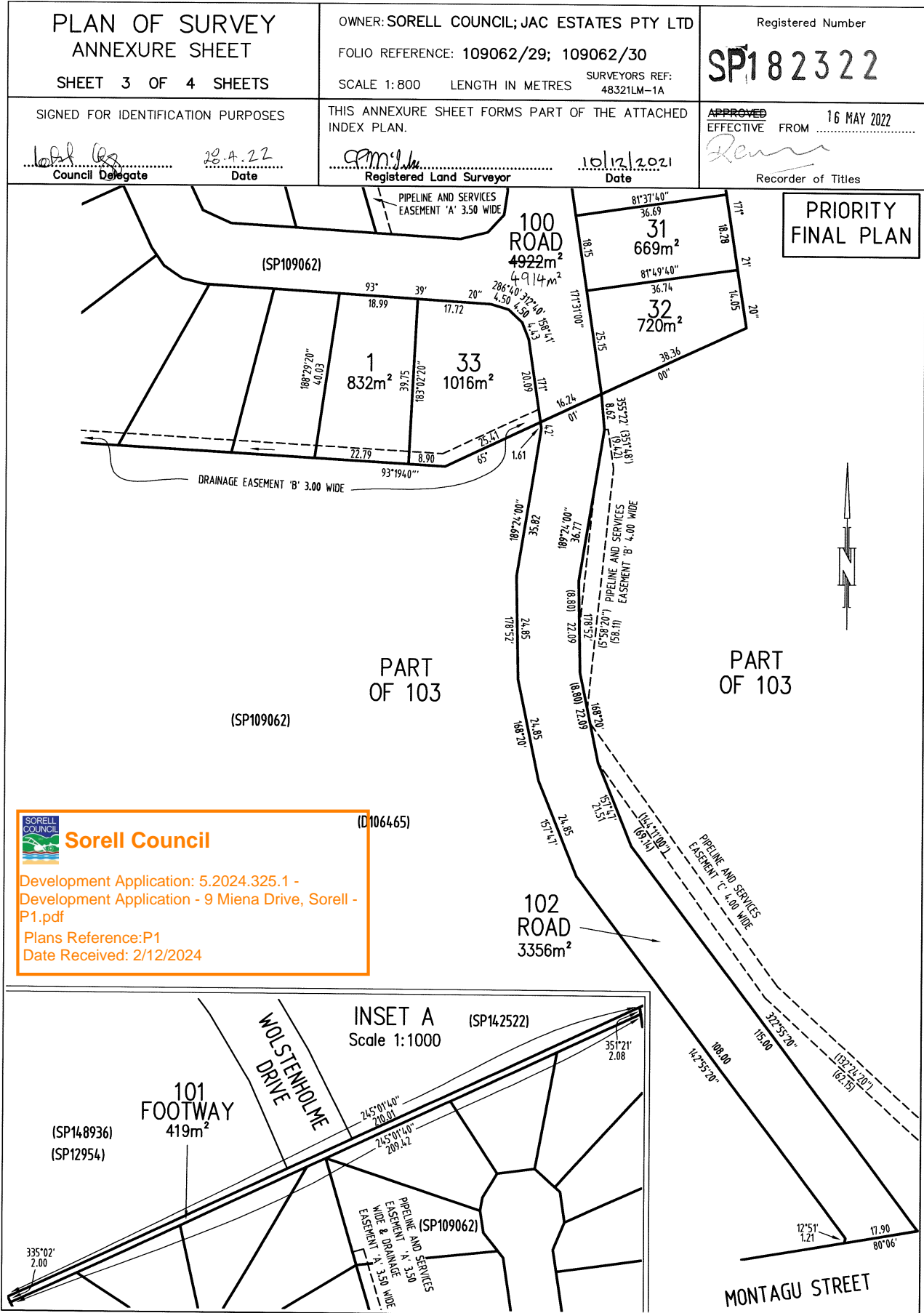


Sorell Council

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 **Sorell Council**
 Development Application: 5.2024.325.1 -
 Development Application - 3 Mienna Drive, Sorell
 P1.pdf
 Plans Reference: P1
 Date Received: 2/12/2024



<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 4 OF 4 SHEETS</p>	<p>OWNER: SORELL COUNCIL; JAC ESTATES PTY LTD FOLIO REFERENCE: 109062/29; 109062/30 SCALE 1:500 LENGTH IN METRES SURVEYORS REF: 48321LM-1A</p>	<p>Registered Number SP182322</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES Council Delegate: <i>[Signature]</i> Date: 28.4.22</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. Registered Land Surveyor: <i>[Signature]</i> Date: 10/12/2021</p>	<p>APPROVED EFFECTIVE FROM 16 MAY 2022 Recorder of Titles: <i>[Signature]</i></p>

PRIORITY FINAL PLAN

(SP148936)
(SP12954)

SEARCH OF TORRENS TITLE

VOLUME 182322	FOLIO 20
EDITION 3	DATE OF ISSUE 26-Sep-2022

SEARCH DATE : 02-Dec-2024

SEARCH TIME : 10.08 AM

DESCRIPTION OF LAND

Parish of SORELL Land District of PEMBROKE
Lot 20 on Sealed Plan 182322
Derivation : Part of 570 Acres Gtd. to Thomas Augustus
Wolstenholme, Earl of Macclesfield and Henry Goodford
Prior CT 109062/30

SCHEDULE 1

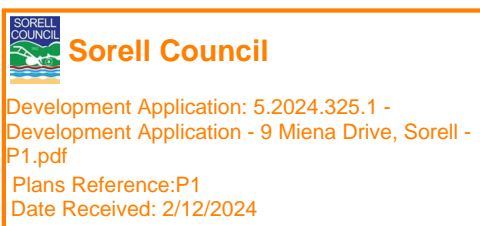
M986096 TRANSFER to MIENA PARK PTY LTD Registered
26-Sep-2022 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP182322 EASEMENTS in Schedule of Easements
SP182322 COVENANTS in Schedule of Easements
SP182322 FENCING PROVISION in Schedule of Easements
SP109062 COVENANTS in Schedule of Easements
SP109062 FENCING COVENANT in Schedule of Easements
SP109062 SEWERAGE AND/OR DRAINAGE RESTRICTION
E315464 INSTRUMENT Creating Restrictive Covenants Registered
26-Sep-2022 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

NOTICE: This folio is affected as to amended covenants
pursuant to Request to Amend No. E311342 made under
Section 103 of the Local Government (Building and
Miscellaneous Provisions) Act 1993. Search Sealed
Plan No. 109062 Lodged by BUTLER MCINTYRE & B on
25-Jul-2022 BP: E311342



SCHEDULE OF EASEMENTS

NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS
& MORTGAGEES OF THE LAND AFFECTED.
SIGNATURES MUST BE ATTESTED.

Registered Number

SP 182322

PAGE 1 OF 5 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS

Lot 103 is subject to a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'B' 4.00 WIDE" as shown on the plan ("the Easement Land").

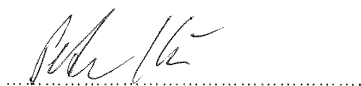
Lot 103 is subject to a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'C' 4.00 WIDE" as shown on the plan ("the Easement Land").

Lots 17- 21 (inclusive) is subject to a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE" as shown on the plan ("the Easement Land").

Lots 1 to 8 & 33 (inclusive) are subject to a Right of Drainage in gross in favour of the Sorell Council over the land marked "DRAINAGE EASEMENT 'B' 3.00 WIDE" as shown on the plan.

Lots 14 & 19 are subject to a Right of Drainage in gross in favour of the Sorell Council over the land marked "DRAINAGE EASEMENT 'C' 3.00 WIDE" as shown on the plan.

Lots 17- 21 (inclusive) are subject to a Right of Drainage in gross in favour of the Sorell Council over the land marked "DRAINAGE EASEMENT 'A' 3.50 WIDE" as shown on the plan.




Director – JAC Estates Pty Ltd



Director – JAC Estates Pty Ltd

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: SORELL COUNCIL & JAC ESTATES PTY LTD	PLAN SEALED BY: SORELL COUNCIL
FOLIO REF: 109062/29 & 109062/30	DATE: 28.4.22
SOLICITOR & REFERENCE: Butler McIntyre & Butler (Jason Samec)	SA 2016/00011 REF NO.
 Council Delegate	
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 5 PAGES	Registered Number SP 182322
SUBDIVIDER: SORELL COUNCIL & JAC ESTATES PTY LTD FOLIO REFERENCE: 109062/29 & 109062/30	

Definitions:

The Pipeline and Services Easement is defined as follows:-

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.


.....
Director – JAC Estates Pty Ltd


.....
Director – JAC Estates Pty Ltd

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 5 PAGES	Registered Number SP 182322
SUBDIVIDER: SORELL COUNCIL & JAC ESTATES PTY LTD FOLIO REFERENCE: 109062/29 & 109062/30	

Interpretation:

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:


- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

"Owner" means the registered proprietors of the Lot from time to time.

"Right of Drainage" means a right of drainage as defined within Schedule 8 of the Conveyancing and Law of Property Act 1884 (Tas).

"Right of Carriageway" means a right of carriage way as defined within Schedule 8 of the Conveyancing and Law of Property Act 1884 (Tas).


Director – JAC Estates Pty Ltd


Director – JAC Estates Pty Ltd



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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 5 PAGES	Registered Number SP 182322
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COVENANTS

Lots on the Plan are subject to the covenants in SP 109062.

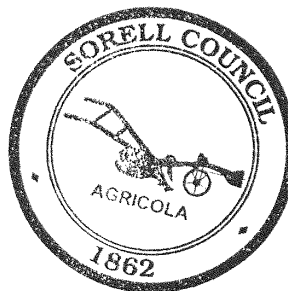
The owners of lots 1-33 (inclusive) on the Plan covenants with the Sorell Council to the intent that the burden of these covenants may run with and bind the covenantor's lot and each and every part of it and that the benefit of these covenants shall be annexed to and devolve with Sorell Council to observe the following stipulation ~~that~~ **NOT TO CONSTRUCT A NEW DWELLING WITHOUT**:

- a 5000 litre (minimum) water tank ~~is to be fitted to all new dwellings~~ to collect all roof runoff; and
- tanks ~~will be~~ installed with a minimum retention storage of 1000 litres and be plumbed into toilets so that re-use of the tank water occurs with top up from reticulated water supply,

FENCING PROVISION

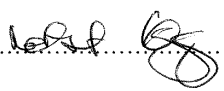
In respect to the lots on the plan the vendor (SORELL COUNCIL AND JAC ESTATES PTY LTD) shall not be required to fence.

In witness whereof the common seal of **SORELL COUNCIL** has been affixed, pursuant to a resolution of the Council of the said municipality passed the 28 day of APRIL 2024, in the presence of us:




Member:

Member:

Council Delegate: 




Director - JAC Estates Pty Ltd


Director - JAC Estates Pty Ltd

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 5 PAGES	Registered Number SP182322
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EXECUTED by JAC ESTATES PTY LTD (ACN 638 495

182) pursuant to section 127 of the Corporations Act 2001

by:


.....
Director Signature
Signature
.....
Director/ Secretary
Signature
.....
Director Full Name (print)
Name (print)
.....
Director/ Secretary Full
Name (print)

 Sorell Council Development Application: 5.2024.325.1 - Development Application - 9 Miena Drive, Sorell - P1.pdf Plans Reference:P1 Date Received: 2/12/2024
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DOYLE **SOIL** **CONSULTING**



SITE AND SOIL EVALUATION REPORT **FOUNDATION AND WINDLOADING ASSESSMENT**

Lot 20 Milena Drive

Sorell



July 2022

Doyle Soil Consulting: 150 Nelson Rd Mt Nelson 7007 – 0488 080 455 – robyn@doylesoilconsulting.com.au

SITE INFORMATION

Client: Creative Homes Hobart

Address: Lot 20 Milena Drive, Sorell (CT 182322/20)

Site Area: Approximately 980 m²

Date of inspection: 22/07/2022

Building type: New house

Services: Mains water and sewer

Planning Overlays: Bushfire prone area

Mapped Geology - Mineral Resources Tasmania 1:250 000 Southeast Tasmania sheet:

Qh = Quaternary alluvial sand, gravel, and mud.

Soil Depth: >2.0 m (core) to >3.3 m (DCP)

Subsoil Drainage: Moderately-well drained

Drainage lines / water courses: None

Vegetation: Grass

Rainfall in previous 7 days: Approximately 4 mm

Site Assessment and Sample Testing

Site investigation and soil classification in accordance with AS 2870-2011 *Residential slabs and footings* and in accordance with AS 4055-2021 *Wind load for Housing*.

Two drill cores with no refusal @ 2.0 m at TH1 and at TH2.

Dynamic Cone Penetrometer (DCP) test between TH1 and TH2 with no refusal @ 3.3 m.

Emerson Dispersion test on subsoils and linear shrinkage tests on all likely founding layers.

Test holes were dug using a Christie Post Driver Soil Sampling Kit, comprising CHPD78 Christie Post Driver with Soil Sampling Tube (50 mm OD x 1600/2100 mm).

SOIL PROFILES – Test Hole 1 & 2

TH1 Depth (m)	TH2 Depth (m)	Horizon	Description and field texture grade	Soil Classifn.
0.0 – 0.5	0.0 – 0.7	FILL	Mostly local clay fill with rubble	N/A
0.5 – 1.5	0.7 – 1.5	B2	Black (10YR 2/1), Medium Clay , massive (angular blocky in top 0.5 – 0.6 m), slightly moist stiff consistency.	CH
Note: Both cores were drilled to 2.0 m but lower section of the soil was lost on retrieval				



SITE AND SOIL COMMENTS

The natural soil profiles are formed from deep reactive clays derived from alluvial fan deposits. The profiles are deep with no refusal occurring with the DCP at approximately 3.3 m. The field textures of the soil profile are dominated by clay, which is highly reactive, weakly to poorly structured with low bearing capacity to at least 0.9 m.

LINEAR SHRINKAGE AND SOIL REACTIVITY

Samples of the clayey subsoils were tested for reactivity using the linear shrinkage test. Linear shrinkage provides an approximate guide to aid soil classification of reactivity of clays for foundations. The tests suggest the clays are highly reactive.

Sample	Depth (m)	Length of mould (L)	Longitudinal Shrinkage (LS) in mm	LS (%)	Soil Class
TH 1	0.7 – 1.5	125	22.0	17.6	H – 1

DCP TESTS AND ESTIMATED BEARING CAPACITY

Dynamic Cone Penetrometer (DCP) testing is a method of estimating likely soil bearing capacity. However, surface layers (approx. upper 0.7 m) are subject to significant soil moisture variations with the season, affecting DCP values, especially in clays, e.g. in summer or drought. Dry clays may be very stiff – hard but only soft – firm in winter. Thus, DCP values below approximately 0.7 m are likely to be more typical of year-to-year soil bearing conditions in clayey and silty soils. We provide estimated soil bearing strengths along with a variance range (+/-) based on a review of published literature relating field DCP readings to triaxial soil strength tests.

A minimum bearing capacity of 100 kPa is required for strip and pad footings and under the edge footings and associated slab foundations. The Dynamic Cone Penetrometer (DCP) test was carried out between TH1 and TH2. The subsoils were slightly moist when tested and so the field DCP values are likely to be higher than in very moist to saturated soil conditions (winter/spring).

The field DCP1 data indicates that the bearing capacity of the soil is at a suitable strength below approx. 0.9 m. However, we recommend founding in the firmer clays at and below approx. 1.3 m.

The clay horizons are highly reactive/plastic and thus require foundation design suitable for high shrinking and swelling induced movement (refer to tables below and AS2870-2011 clause 2.4.5).

DCP 1				
Depth (mm)	DCP n-number (Blows/100 mm)	DCP Penetration Index (mm/Blow)	Estimated bearing capacity (kPa = n x 30)	Likely Variance (+/-)
0 - 100	2	50.0	60	20
100 - 200	1	100.0	30	10
200 - 300	3	33.3	90	30
300 - 400	3	33.3	90	30
400 - 500	2	50.0	60	20
500 - 600	2	50.0	60	20
600 - 700	3	33.3	90	30
700 - 800	3	33.3	90	30
800 - 900	5	20.0	150	50
900 - 1000	6	16.7	180	60
1000 - 1100	6	16.7	180	60
1100 - 1200	7	14.3	210	70
1200 - 1300	8	12.5	240	80
1300 - 1400	10	10.0	300	100
1400 - 1500	11	9.1	330	110
1500 - 1600	10	10.0	300	100
1600 - 1700	10	10.0	300	100
1700 - 1800	13	7.7	390	130
1800 - 1900	12	8.3	360	120
1900 - 2000	10	10.0	300	100
2000 - 2100	10	10.0	300	100
2100 - 2200	10	10.0	300	100
2200 - 2300	10	10.0	300	100
2300 - 2400	12	8.3	360	120
2400 - 2500	11	9.1	330	110
2500 - 2600	10	10.0	300	100
2600 - 2700	11	9.1	330	110
2700 - 2800	12	8.3	360	120
2800 - 2900	13	7.7	390	130
2900 - 3000	14	7.1	420	140
3000 - 3100	20	5.0	600	200
3100 - 3200	26	3.8	780	260
3200 - 3300	26	3.8	780	260

EMERSON AGGREGATE DISPERSION TEST

Soils with an excess of exchangeable sodium ions on the cation exchange complex (clays), can cause clay dispersion. Under some circumstances the presence of dispersive soils can also lead to significant erosion, and in particular tunnels leading to eventual gully erosion. Based upon field survey of the property and the surrounding area, no erosion was identified at the site.

The subsoil was tested for dispersion using the Emerson Aggregate Test (EAT). Photos are available on request. The class 2(2) indicates a mild dispersive characteristic. The subsoils are therefore mildly spontaneously dispersive and so exposure to rainfall may lead to minor clay dispersion and potentially rill and tunnel erosion, although this is more common in sandy lighter clays, sandy clay loams and silt loams. Dispersive clay subsoil materials can also cause sealing of the soil surface – if left out in wet weather, they then dry and set very hard in dry weather. To minimise this, we recommend coverage of exposed subsoil with topsoil or regular treatment with gypsum at 0.5 Kg/m² along with minimising subsoil disturbance whenever possible. Photo available on request.

Sample	Depth (m)	Visual sign	Class
TH 1	0.7 – 1.5	Some dispersion (obvious milkiness < 50% of aggregate affected)	2(2)

WIND CLASSIFICATION

The AS 4055-2021 *Wind load for Housing* classification of the site is:

Region:	A
Terrain Category:	TC3
Shielding Classification:	NS
Topographic Classification:	T2
Wind Classification:	N2
Design Wind Gust Speed ($V_{h,u}$):	40 m/sec

SITE CLASSIFICATION AND RECOMMENDATIONS

According to AS2870-2011 (construction) the site is classified as **Class P** due to the presence of soft/low bearing materials to depths of approximately 0.9 m. Founding is recommended at below 1.3 m in the higher bearing capacity materials below this depth.

Note 1 – The subsoil clay rich layers, in addition to being of low and variable bearing capacity (hence **Class P**), also meet the reactivity levels of **Class H-2** or highly reactive, with 60 – 75 mm the dominant reactivity of expected surface movement under normal soil moisture ranges for the location.

Note 2 – All foundations require ongoing adequate drainage and vegetation management – please refer to CSIRO foundation management BTF 18 sheet attached.

Note 3 – If any foundations are placed on FILL that is > 0.5 m in depth then **Class P** is applicable.

General Notes – Important points pertinent to maintenance of foundation soil conditions

This report relates to the soil and site conditions on the property at the time of the site assessment. The satisfactory long-term performance of footings is dependent upon the on-going site maintenance by the owner.

Examples of abnormal moisture conditions developing after construction include the following:

- A) The effect of trees too close to the footings
- B) Excessive or irregular watering of gardens adjacent to the footings
- C) Failure to maintain site drainage affecting footings
- D) Failure to repair plumbing leaks affecting footings
- E) Loss of vegetation from near the building.

All earthworks on site must comply with AS3798-2007 Guidelines on Earthworks for commercial and residential developments.

REPORT LIMITATIONS


Whilst every attempt is made to describe sub-surface conditions, natural variation will occur that cannot be determined by limited investigative soil testing. Therefore, discrepancies are possible between test results and observations during construction. It is our intention to accurately indicate the most probable soil type(s) and conditions for the area assessed. However due to the nature of sampling an area, variations in soil type, soil depth and site conditions may occur.

We accept no responsibility for any differences between what we have reported and actual site and soil conditions for the particular regions we could not directly assess at the time of inspection.

It is recommended that during construction, Doyle Soil Consulting and/or the design engineer be notified of any major variation to the foundation conditions as predicted in this report. Any changes to the site through excavations may alter the site classification.

In these cases, it is expected the owner consult the author for a reclassification. This report requires certification via a form 55 certificate from Doyle Soil Consulting to validate its contents.

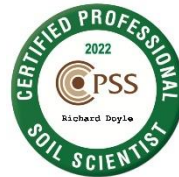
Because site discrepancies may occur between this report and actual site conditions, it is a condition of certification of this report that the builder be provided with a copy of this report.



Evan Langridge
B.Agr.Sc.(Hons).
Soil Scientist



Dr Richard Doyle
B.Sc.(Hons), M.Sc.(Geol), Ph.D. (Soil
Sci.), CPSS (Certified Prof Soil Scientist)
Geologist and Soil Scientist



APPENDIX 1 – Approximate test hole locations



APPENDIX 2 – Definitions of Soil Horizons

Horizon name	Meaning
A1	Dark topsoils, zone of maximum organic activity
A2 or E	Leached, light/pale washed-out sandy layer
A3 or AB	Transition from A to B, more like A
B1 or BA	Transition from A to B, more like B
B2	Main subsoils layer with brown colouration, accumulations of clay, humus, iron oxide, etc
B3	Transitional from B2 to C
C	Weakly weathered soil parent materials

Subscript	Meaning
r	Reducing conditions (anaerobic)
t	Enriched in translocated clay
s	Iron/aluminium oxide accumulations
g	Mottled, suggesting periodic/seasonal wetness
m	Cemented layer (oxides, carbonates, humus, silica etc)
k	Calcium carbonate (lime) accumulation
h	Humus accumulation a subsoil

5.2024.325.1 AT 9 Miena Drive, Sorell FOR - Construct Creative Pty Ltd

2. items a – p have been included on the drawings for the proposal.
3. all relevant items a – h have been included on the drawings.
4. Landscaping layout has been provided on the site plan and is to be read in conjunction with the landscaping schedule for the proposal. No large trees are proposed, and the easement area has been amended to only include low growing species and grasses.
5. The front fence detail has been noted on the site plan and an elevation provided alongside the front elevation for unit 2.
6. *The current design is considered overdevelopment given:*

- *Site Coverage is significant, resulting in large hardstand coverage and limited appropriate landscaping (note large tree planting should not be confined to or be present within an easement area with vulnerable infrastructure that is likely to be damaged due to tree roots).*

The hardstand at the front of the property has been reduced in size and a landscape feature has been added to minimise and break up the visual appearance of the concrete and make it appear less dominant. No large trees have been proposed – in accordance with the legend on the site plan – the “trees” are noted as screening plants, in addition to the other low growing species and grasses. This has been amended on the site plan for clarity and should also be read in conjunction with the landscaping schedule. The easement area has been amended to only include low growing species and grasses which will reduce the likelihood of roots impacting drainage infrastructure within the easement.

- *Private Open Space (POS) is inadequate and inappropriately located. Specifically, Unit 2's proposed POS is unsatisfactorily located within the front setback, does not have a northern orientation, and requires an unacceptable solid front to provide any form of privacy.*

All units meet the requirements for a minimum of 24m² of primary private open space (with min 4m dimension) and also a minimum of 60m² of total private open space in accordance with the planning scheme. The private open space for unit 2 is within the front setback which has a proposed screen fence and landscaping in order to provide privacy while also eliminating the need for a solid/high fence to achieve this. This is consistent with other unit developments in the area where the private open space is unable to be located behind the building line – such as the adjoining property at 10-12 Parkside Place, Sorell (below)



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- *The secluded private open space area for all dwellings is minimal and considered insufficient to meet the likely recreational needs of future occupants. Furthermore, the minimal dimensions limit the usability of this space and opportunities for canopy tree planting.*

As previously mentioned – the private open space size and dimensions all exceed the minimum requirements of the planning scheme which indicates that the proposal will sufficiently meet the likely recreational needs of future occupants. The usability of this space for potential canopy tree planting is unfortunately constrained by the presence of the drainage easement across the length of the rear boundary which is a typical place for recreation and planting of trees, however larger trees could be planted in the space in front of unit 1 subject to services design and engineer’s recommendations.

- *The turning area for Dwelling appears tight, requiring a number of vehicle turning movements to enable vehicles to exit the site in a forward direction, therefore failing to meet the relevant design standards.*

Dimensions for the driveway and turning areas have been added. Also 3 sheets of turning paths have been provided in order to demonstrate that there is sufficient turning space for vehicle access without excessive vehicle manoeuvres in accordance with AS2890.1.

- *The location of the proposed car parking results in a significant hardstand area within the front setback, negatively fracturing the streetscape and providing poor amenity outcomes.*

As previously mentioned, the hardstand at the front of the property has been reduced in size and a landscape feature has been added to minimise and break up the visual appearance of a large expanse of concrete.

7. The carparking has been amended to reduce the size of the driveway and also to include a landscaped division between the parking spaces in order to reduce the visual appearance of the concrete and make it appear less dominant. Unfortunately an alternative carparking arrangement is not possible without further detriment to the amenity of dwelling occupants. As previously mentioned, it can be demonstrated that the turning area is of sufficient size to allow vehicle entry and exit in accordance with AS2890.1 as shown on the additional pages of turning paths included on the drawings.

8. Swept path diagrams have been added to the drawings. As shown, it can be demonstrated that vehicles parked in all parking spaces are able to exit the site in a forwards direction.

9. Flood hazard report – provided by consultant – note that in accordance with the report, no changes to the floor levels are required as the whole subdivision has been raised above the flood level.

10. A stormwater drainage plan had been added to the drawings including provision for rainwater tanks as specified.



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PROJECT ADDRESS: 9 MIENA DRIVE, SORELL

TITLE REFERENCE: VOLUME: 182322 FOLIO: 20

CLIENTS: MATTHEW CHAMBERLAIN

DESIGNER: Inge Brown, CC 6652

- DRAWINGS:**
- 01 COVER PAGE
 - 02 PROPOSED SITE PLAN
 - 03 PROPOSED FLOOR PLAN UNIT 1
 - 04 PROPOSED FLOOR PLAN UNIT 2
 - 05 PROPOSED FLOOR PLAN UNIT 3
 - 06 PROPOSED ROOF PLAN UNIT 1
 - 07 PROPOSED ROOF PLAN UNIT 2 & 3
 - 08 PROPOSED ELEVATIONS UNIT 1
 - 09 PROPOSED ELEVATIONS UNIT 1
 - 10 PROPOSED ELEVATIONS UNIT 2
 - 11 PROPOSED ELEVATIONS UNIT 2
 - 12 PROPOSED ELEVATIONS UNIT 3
 - 13 PROPOSED ELEVATIONS UNIT 3
 - 14 SECTION A-A
 - 15 SECTION B-B
 - 16 SECTION C-C
 - 17 SECTION D-D
 - 18 TYPICAL SECTION DETAILS
 - 19 WINDOW SCHEDULE UNIT 1
 - 20 WINDOW SCHEDULE UNIT 2
 - 21 WINDOW SCHEDULE UNIT 3
 - 22 TURNING PATHS 1
 - 23 TURNING PATHS 2
 - 24 TURNING PATHS 3
 - 25 STORMWATER CONCEPT LAYOUT



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DOCUMENTATION INDEX

The documentation listed below should be read in conjunction with these drawings and form the basis of construction documentation for the project

Document	Revision	By
Working drawings planning issue (these drawings)	B	Creative Homes Hobart
Survey plan SP22314-01	A	Survey Plus
Soil assessment	14/7/2022	Doyle Soil Consulting

FLOOR AREAS:	UNIT 1	UNIT 2	UNIT 3
FLOOR AREA:	106.1 m²	FLOOR AREA: 102.7 m²	FLOOR AREA: 102.7 m²
GARAGE:	24.1 m²	PORCH: 1.0 m²	PORCH: 1.0 m²
		GARAGE: 23.7 m²	GARAGE: 23.7 m²
TOTAL AREA:	130.3 m²	TOTAL AREA: 127.4 m²	TOTAL AREA: 127.4 m²

SOIL CLASSIFICATION: P

WIND CLASSIFICATION: N2

CLIMATE ZONE: 7

BUSHFIRE ATTACK LEVEL: N/A - NOT WITHIN OVERLAY

ALPINE AREA: N/A

CORROSION ENVIRONMENT: N/A

GENERAL NOTES:

1. THIS PLAN HAS BEEN PREPARED BY SURVEY PLUS FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.

2. TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED AT THE TIME OF THIS SURVEY.

3. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.

4. SURVEY PLUS CAN NOT ACCEP LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.

5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF SURVEY PLUS.

6. HORIZONTAL DATUM IS MGA (GDA94).

7. VERTICAL DATUM IS AHD.

8. CONTOUR INTERVAL IS 0.1 METRES, INDEX IS 0.2 METRES.

9. SURVEY BY ROBOTIC TOTAL STATION AND GPS.

10. BOUNDARIES ARE COMPILED ONLY FROM SP182322 AND RELEVANT SURVEY INFORMATION OBTAINED FROM LAND TITLES OFFICE AND ARE APPROXIMATE AND SUBJECT TO SURVEY.

11. 3D DATA TURNED OFF IN LAYER CONTROL.

- 3D TIN
- MAJOR CONTOUR 3D
- MINOR CONTOUR 3D

•DP 90mm DOWNPIPE

NOTE: ALL PROPOSED STORMWATER TO BE DISCHARGED TO EXISTING INFRASTRUCTURE

EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IMPLEMENTED ON THE SITE IN ACCORDANCE WITH COUNCIL REQUIREMENTS

GPS DATA SCALE LOCATION
JOB CONTROL POINT
POINT NO: 9
DESCRIPTION: BM1#
GPS SCALE FACTOR = 1.00037626
E: 545095.582
N: 5263266.800
RL: 7.21
EPU = 0.04±



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LEGEND

SV = Stop Valve
FP = Fire Plug
ET = Electrical Turret
SW = Stormwater
PX0 = Pedestrian Xover

MHA = Stormwater Manhole
Top RL: 7.45
In Inv RL: 6.22

CP1 = EX CORNER MARK
Peg
RL: 7.40

CP2 = EX CORNER MARK
Peg
RL: 7.58

BM1# = BENCH MARK
R/Set in Kerb
RL: 7.21

SOLID TIMBER FENCE TO 1200mm HIGH WITH SCREEN PANEL TO 1800mm WITH 25% TRANSPARENCY. SCREEN PLANTING LANDSCAPING TO COMPLEMENT SCREEN AND ENHANCE PRIVACY

2500L RAINWATER TANK AS REQUIRED BY COUNCIL.

CONCRETE SLAB TO ENGINEER'S DETAILS

NOTES

SITE PREPARATION
THE SITE IS TO BE DISTURBED AS MINIMALLY AS POSSIBLE TO THE EXTENT REQUIRED TO CARRY OUT THE BUILDING WORKS.

EARTHWORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH NCC PART 3.2. UN-RETAINED EMBANKMENT GRADIENTS SHALL BE IN ACCORDANCE WITH NCC TABLE 3.2.1. DRAINAGE SHALL BE IN ACCORDANCE WITH NCC PART 3.3.2.

THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING & UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.

LOCATION OF ALL EXISTING SERVICES TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.

ATTENTION OF OWNER
THE OWNERS ATTENTION IS DRAWN TO THE FACT THAT FOUNDATIONS AND ASSOCIATED DRAINAGE FOR ALL SITES REQUIRES CONTINUING MAINTENANCE TO ASSIST FOOTING PERFORMANCE. ADVICE FOR FOUNDATION MAINTENANCE IS CONTAINED IN THE CSIRO BUILDING TECHNOLOGY FILE 18 AND IT IS THE OWNERS RESPONSIBILITY TO MAINTAIN THE SITE IN ACCORDANCE WITH THIS DOCUMENT.

SOIL AND WATER MANAGEMENT NOTES:
DRAINAGE LINES ARE TO BE INSTALLED PRIOR TO THE PLACEMENT OF ROOF AND GUTTERING. ONCE DWELLING IS ROOFED, CONNECT IMMEDIATELY APPLY TEMPORARY COVERING TO DISTURBED AREAS THAT WILL REMAIN EXPOSED FOR 14 DAYS OR MORE DURING CONSTRUCTION (EG. WATERPROOF BLANKET, VEGETATION OR MULCH)

PROTECT ANY NEARBY OR ON-SITE DRAINAGE PITS FROM SEDIMENT BY INSTALLING SEDIMENT TRAPS AROUND THEM.

LIMIT ENTRY/EXIT TO ONE POINT AND STABILISE. INSTALL FACILITIES TO REMOVE DIRT/ MUD FROM VEHICLE WHEELS BEFORE THEY LEAVE THE SITE.

SITE TO BE VEGETATED AND PLANTED ACCORDING TO THE HOBART REGIONAL SOIL AND WATER MANAGEMENT CODE OF PRACTICE.

BUILDER AND SUBCONTRACTORS TO VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. GIVE 24 HOURS MINIMUM NOTICE WHERE AMENDMENTS ARE REQUIRED TO DRAWINGS. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH DOCUMENTATION LISTED ON THE COVER PAGE. DO NOT SCALE DRAWINGS. DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE. BUILDING SPECIFICATION AND ENGINEERS DRAWINGS SHALL OVERRIDE ARCHITECTURAL DRAWINGS.

-THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWING SHEETS, CONSULTANTS DRAWINGS, DOCUMENTS, SCHEDULES AND SPECIFICATIONS (AS APPLICABLE).

THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING & UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.

- LOCATION OF ALL EXISTING ONSITE SERVICES TO BE CONFIRMED ONSITE PRIOR TO CONSTRUCTION

IMPORTANT!

SITE INFORMATION AS DRAWN IS APPROXIMATE ONLY. FINAL SITE INFORMATION IS SUBJECT TO A DETAILED CONTOUR SURVEY BY LICENSED SURVEYOR.

SOIL CLASSIFICATION: P

WIND CLASSIFICATION: N2

SITE COVERAGE

SITE AREA	979.99 m ²
PROPOSED BUILDING FOOTPRINT	385.1 m ²
PROPOSED SITE COVERAGE	39.29 %
SITE DENSITY / AREA PER UNIT	326.66 m ²

PROPOSED SITE PLAN

PRELIMINARY

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02



CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.

DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.

REV:	DESCRIPTION:	BY:	DATE:
SK	ISSUED FOR CLIENT REVIEW	IB	8/7/24
A	ISSUED FOR CLIENT REVIEW	QT	5/8/24
B	COUNCIL RFI	IB	13/6/25



CREATIVE HOMES
HOBART

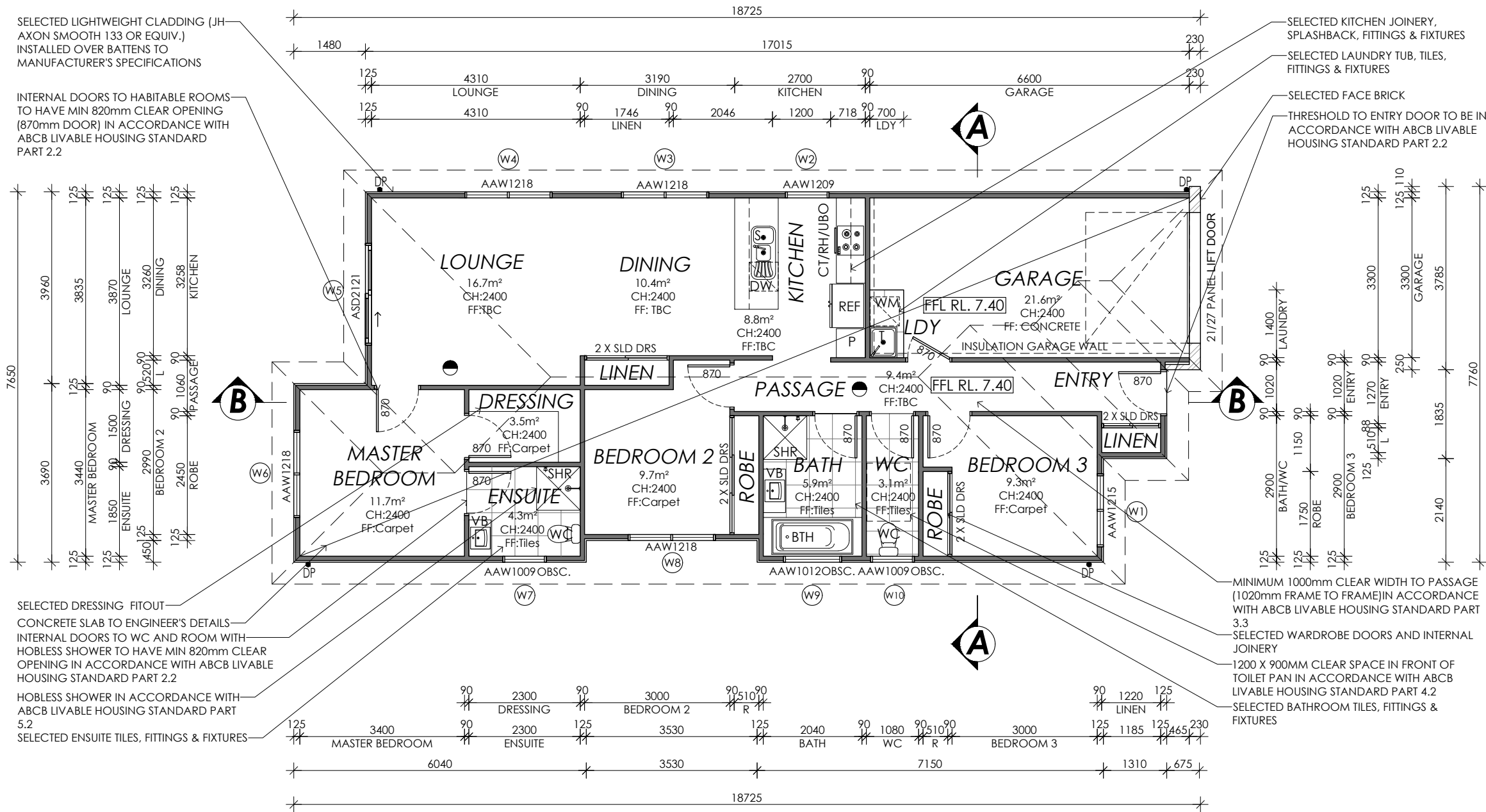
CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 9 Miena Drive Sorell	CLIENT: Matthew Chamberlain
DESIGNER: I. Brown	ACCRED. NO.: CC6652
DRAWN: Q. Tra	DATE: August 2024
CHECKED:	DATE:
SCALE: 1:200	REV: B
SHEET: 2 of 25	DESIGN TYPE: Custom
DRAWING NO: 198076	

AREAS:	
FLOOR AREA:	106.1 m²
GARAGE:	24.1 m²
TOTAL AREA:	
130.3 m²	

LEGEND:	
DP	DOWNPIPE LOCATION
SHR	SHOWER
BTH	BATH
VB	VANITY BASIN
WC	TOILET
OHC	OVERHEAD CUPBOARDS
REF	REFRIGERATOR
P	PANTRY
RH	RANGE HOOD
UBO	UNDER BENCH OVEN
CT	COOK TOP
S	SINK
DW	DISH WASHER
T	TROUGH
WM	WASHING MACHINE
MH	MANHOLE
CSD	CAVITY SLIDING DOOR
AAW	ALUM. AWNING WINDOW
ASD	ALUM. SLIDING DOOR
B/O	BEAM OVER
BAL	BALUSTRADE
BAL SELECTED BALUSTRADE TO BUILDER'S STANDARD DETAIL INSTALLED IN ACCORDANCE WITH NCC	
MASONRY ARTICULATION JOINT - LOCATION TO ENGINEER'S DETAILS	
CEILING MOUNTED INTERCONNECTED SMOKE DETECTORS, MAINS WIRED WITH BATTERY BACKUP, ALL IN ACCORDANCE WITH AS 3786.	
DP 90mm DOWNPIPE	

NOTE: LIFT OFF HINGES TO WC TO BE INSTALLED AS REQUIRED IN ACCORDANCE WITH NCC.



Framing NCC H1D6
All timber framing, fixing and bracing shall comply with AS 1684 and the requirements of NCC H1D6. Manufactured sizes must not be undersized to those specified, for all timber sizes, stress grades, spacing and wall bracing refer to Engineer's details. Tie-down details shall be in accordance with Engineer's details and comply with NCC H1D6 (4). Structural steel members shall comply with the requirements of clauses in NCC H1D6 (3). Refer to Engineer's details where provided.

Glazing NCC H1D8
All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings) All glazing shall comply with the requirements of AS 2047 & AS 1288 and NCC H1D8.

Human impact safety requirements shall comply with NCC H1D8 (3) and Part 8.4 of the ABCB Housing provisions.

Note:
Builder and subcontractors to verify all dimension and levels prior to the commencement of any work. Give 24hrs minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with Engineer's and Surveyor's drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and Engineer's drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

Important notice for attention of Owners: the Owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the Owners responsibility to maintain the site in accordance with this document.

Energy efficiency:
Insulation must comply with AS/NZS4859.1 and be installed in accordance with ABCB housing provisions Part 13.2.2 and comply with minimum R values for climate zone 7. Bulk insulation between external studs to be insulated with min R2.0. (Ensure batts fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface). External walls are to be clad with vapour permeable reflective foil over the outside of the timber frame. Ceiling to be insulated with R4.0 and vapour permeable sarking. Floor to be insulated with Min R1.7 batts where applicable. Seal exhaust fans to Ensuite, Bathroom, Laundry and Kitchen. All downlights to be IC rated. Construction of the external walls, floor and roof for compliance with building sealing requirements shall comply with BCA 2019 Part 3.12

General:
All flashings, weep holes and damp proof coursing to be in accordance with NCC Housing provisions Part 5.7. Fibre cement sheet in accordance with NCC Housing provisions Part 7.5. Block construction in accordance NCC Housing provisions Part 5. Plasterboard linings to internal walls and ceilings with selected cornice. (see below for wet areas)

Wet areas: All wet areas shall comply with the requirements of ABCB Housing provisions Part 10.2. Provide waterproof plasterboard sheeting to all walls and ceilings. Provide ceramic tiles or other approved water resistant lining in accordance with Part 10.2.9 to a minimum height of 1800mm to shower walls and to a height of min 150mm behind baths, basins, sinks, troughs, washing machines and wall fixtures.

For construction of floor wastes refer to NCC ABCB Housing provisions part 10.2.12. For typical installation requirements for substrate preparation, penetrations, flashings/ junctions, membranes, screeds, hobs, baths, showers, door jambs and screens refer to ABCB Housing provisions part 10.2.14-32.

**Sorell Council**

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Date received: 13/06/2025

PRELIMINARY

UNIT 1

**CREATIVE HOMES
HOBART**

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 9 Miena Drive Sorell		CLIENT: Matthew Chamberlain	
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 3 of 25	
DRAWN: Q. Tra	DATE: August 2024	DESIGN TYPE: Custom	
CHECKED:	DATE:	DRAWING NO: 198076	
SCALE: 1:100	REV: B		

03	PROJECT NORTH	CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.
		DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.

AREAS:	
FLOOR AREA:	102.7 m ²
PORCH:	1.0 m ²
GARAGE:	23.7 m ²
TOTAL AREA:	127.4 m ²

BAL SELECTED BALUSTRADE TO
BUILDER'S STANDARD DETAIL
INSTALLED IN ACCORDANCE
WITH NCC

—

● MASONRY ARTICULATION
JOINT - LOCATION TO
ENGINEER'S DETAILS

● CEILING MOUNTED
INTERCONNECTED SMOKE
DETECTORS, MAINS WIRED WITH
BATTERY BACKUP, ALL IN
ACCORDANCE WITH AS 3786.

● DP 90mm DOWNPIPE

PROPOSED FLOOR PLAN



CONTRACTOR MUST VERIFY ALL DIMENSIONS
AND LEVELS AT THE JOB PRIOR TO COMMENCING
ANY WORK OR MAKING ANY SHOP DRAWINGS.

DO NOT SCALE DRAWINGS.
ALWAYS USE WRITTEN DIMENSIONS.

REV:	DESCRIPTION:	BY:	DATE:
SK	ISSUED FOR CLIENT REVIEW	IB	8/7/24
A	ISSUED FOR CLIENT REVIEW	QT	5/8/24
B	COUNCIL RFI	IB	13/6/25

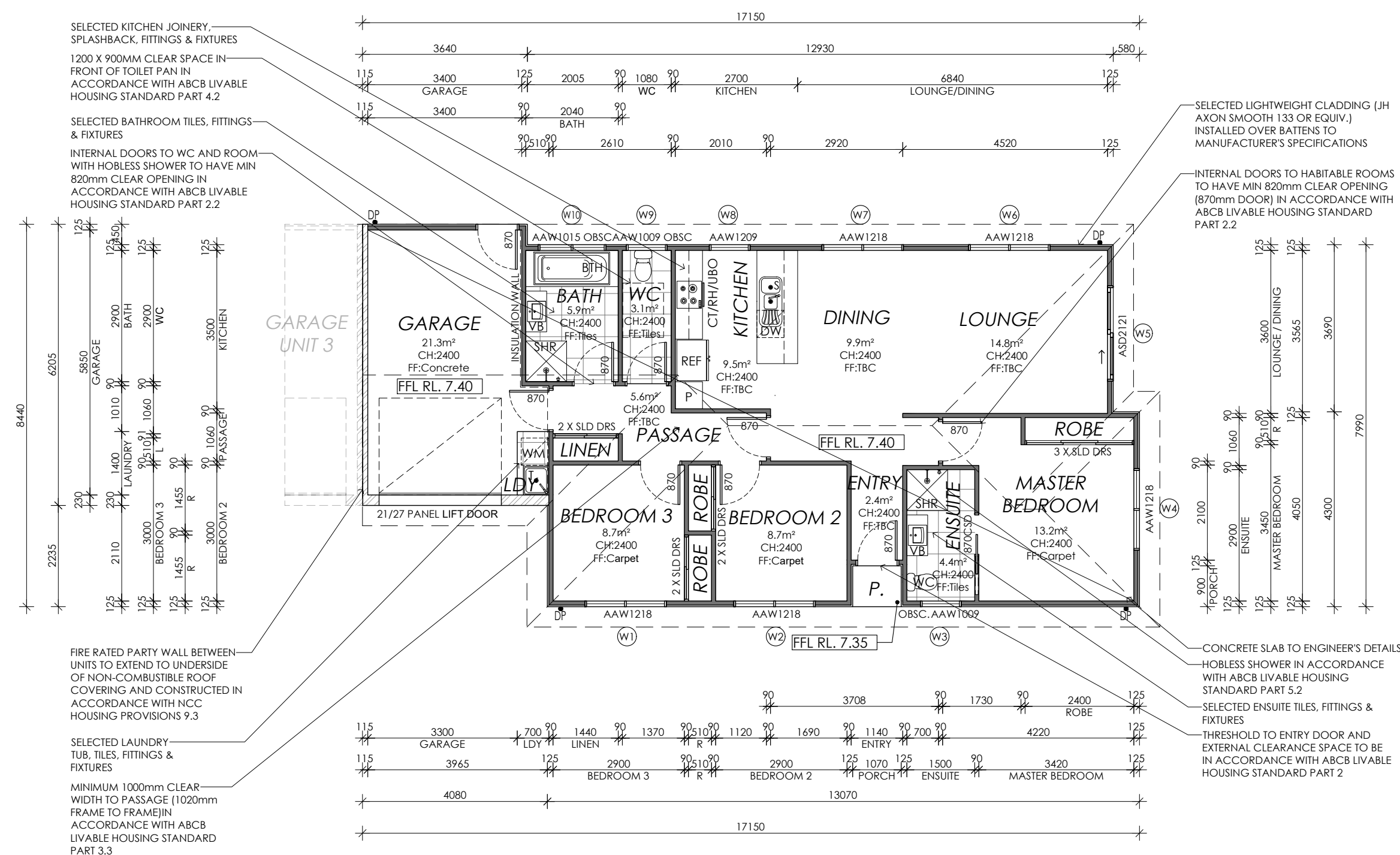
PRELIMINARY

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UNIT 2

CREATIVE HOMES
— HOBART —

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000



SELECTED BATHROOM TILES, FITTINGS-
& FIXTURES

INTERNAL DOORS TO WC AND ROOM
WITH HOBLESS SHOWER TO HAVE MIN
820mm CLEAR OPENING IN
ACCORDANCE WITH ABCB LIVABLE
HOUSING STANDARD PART 2.2

FIRE RATED PARTY WALL BETWEEN
UNITS TO EXTEND TO UNDERSIDE
OF NON-COMBUSTIBLE ROOF
COVERING AND CONSTRUCTED IN
ACCORDANCE WITH NCC
HOUSING PROVISIONS 9.3

SELECTED LAUNDRY
TUB, TILES, FITTINGS &
FIXTURES

MINIMUM 1000mm CLEAR
WIDTH TO PASSAGE (1020mm
FRAME TO FRAME) IN
ACCORDANCE WITH ABCB
LIVABLE HOUSING STANDARD
PART 3.3

—SELECTED LIGHTWEIGHT CLADDING (JH
AXON SMOOTH 133 OR EQUIV.)
INSTALLED OVER BATTENS TO
MANUFACTURER'S SPECIFICATIONS

INTERNAL DOORS TO HABITABLE ROOMS
TO HAVE MIN 820mm CLEAR OPENING
(870mm DOOR) IN ACCORDANCE WITH
ABCB LIVABLE HOUSING STANDARD
PART 2.2

- CONCRETE SLAB TO ENGINEER'S DETAILS
- HOBLESS SHOWER IN ACCORDANCE WITH ABCB LIVABLE HOUSING STANDARD PART 5.2
- SELECTED ENSUITE TILES, FITTINGS & FIXTURES
- THRESHOLD TO ENTRY DOOR AND EXTERNAL CLEARANCE SPACE TO BE IN ACCORDANCE WITH ABCB LIVABLE HOUSING STANDARD PART 2

Framing NCC H1D6
All timber framing, fixing and bracing shall comply with AS 1684 and the requirements of NCC H1D6.
Manufactured sizes must not be undersized to those specified, for all timber sizes, stress grades, spacing and wall bracing refer to Engineer's details.
Tie-down details shall be in accordance with Engineer's details and comply with NCC H1D6 (4). Structural steel members shall comply with the requirements of clauses in NCC H1D6 (3). Refer to Engineer's details where provided.

Glazing NCC H1D8
All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings) All glazing shall comply with the requirements of AS 2047 & AS 1288 and NCC H1D8.

Human impact safety requirements shall comply with NCC H1D8 (3) and Part 8.4 of the ABCB Housing provisions.

Note:
Builder and subcontractors to verify all dimension and levels prior to the commencement of any work. Give 24hrs minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with Engineer's and Surveyor's drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and Engineer's drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

Important notice for attention of Owners: the Owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the Owners responsibility to maintain the site in accordance with this document.

Energy efficiency:
Insulation must comply with AS/NZS4859.1 and be installed in accordance with ABCB housing provisions Part 13.2.2 and comply with minimum R values for climate zone 7. Bulk insulation between external studs to be insulated with min R2.0. (Ensure batts fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface). External walls are to be clad with vapour permeable reflective foil over the outside of the timber frame. Ceiling to be insulated with R4.0 and vapour permeable sarking. Floor to be insulated with Min R1.7. Batts where applicable must be installed in Ensuite, Bathroom, Laundry and Kitchen. All downlights to be IC rated.

Construction of the external walls, floor and roof for compliance with building sealing requirements shall comply with BCA 2019 Part 3.12

General:
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Wet areas: All wet areas shall comply with the requirements of ABCB Housing provisions Part 10.2. Provide waterproof plasterboard sheeling to all walls and ceilings. Provide ceramic tiles or other approved water resistant tiling in accordance with Part 10.2. To a minimum height of 1800mm to shower walls and to a height of min 150mm behind baths, basins, sinks, troughs, washing machines and wall fixtures.

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JOB ADDRESS: 9 Miena Drive Sorell		CLIENT: Matthew Chamberlain	
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET:	4 of 25
DRAWN: Q. Tra	DATE: August 2024	DESIGN TYPE:	Custom
CHECKED:	DATE:	DRAWING NO:	198076
SCALE: 1:100	REV: B		

AREAS:	
FLOOR AREA:	102.7 m ²
PORCH:	1.0 m ²
GARAGE:	23.7 m ²
TOTAL AREA:	127.4 m ²

LEGEND:	
DP	DOWNPIPE LOCATION
SHR	SHOWER
BTH	BATH
VB	VANITY BASIN
WC	TOILET
OHC	OVERHEAD CUPBOARDS
REF	REFRIGERATOR
P	PANTRY
RH	RANGE HOOD
UBO	UNDER BENCH OVEN
CT	COOK TOP
S	SINK
DW	DISH WASHER
T	TROUGH
WM	WASHING MACHINE
MH	MANHOLE
CSD	CAVITY SLIDING DOOR
AAW	ALUM. AWNING WINDOW
ASD	ALUM. SLIDING DOOR
B/O	BEAM OVER
BAL	BALUSTRADE

BAL	SELECTED BALUSTRADE TO BUILDER'S STANDARD DETAIL INSTALLED IN ACCORDANCE WITH NCC
	MASONRY ARTICULATION JOINT - LOCATION TO ENGINEER'S DETAILS
	CEILING MOUNTED INTERCONNECTED SMOKE DETECTORS, MAINS WIRED WITH BATTERY BACKUP, ALL IN ACCORDANCE WITH AS 3786.
DP	90mm DOWNPIPE

NOTE: LIFT OFF HINGES TO WC TO BE INSTALLED AS REQUIRED IN ACCORDANCE WITH NCC.

INTERNAL DOORS TO HABITABLE ROOMS TO HAVE MIN 820mm CLEAR OPENING (870mm DOOR) IN ACCORDANCE WITH ABCB LIVABLE HOUSING STANDARD PART 2.2

SELECTED LIGHTWEIGHT CLADDING (JH AXON SMOOTH 133 OR EQUIV.) INSTALLED OVER BATTENS TO MANUFACTURER'S SPECIFICATIONS

CONCRETE SLAB TO ENGINEER'S DETAILS
HOBLESS SHOWER IN ACCORDANCE WITH ABCB LIVABLE HOUSING STANDARD PART 5.2

SELECTED ENSUITE TILES, FITTINGS & FIXTURES

THRESHOLD TO ENTRY DOOR AND EXTERNAL CLEARANCE SPACE TO BE IN ACCORDANCE WITH ABCB LIVABLE HOUSING STANDARD PART 2



Sorell Council

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UNIT 3

PRELIMINARY

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CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.

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REV:	DESCRIPTION:	BY:	DATE:
SK	ISSUED FOR CLIENT REVIEW	IB	8/7/24
A	ISSUED FOR CLIENT REVIEW	QT	5/8/24
B	COUNCIL RFI	IB	13/6/25



CREATIVE HOMES
HOBART

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 9 Miena Drive Sorell		CLIENT: Matthew Chamberlain	
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET:	5 of 25
DRAWN: Q. Tra	DATE: August 2024	DESIGN TYPE:	Custom
CHECKED:	DATE:	DRAWING NO:	198076
SCALE: 1:100	REV: B		

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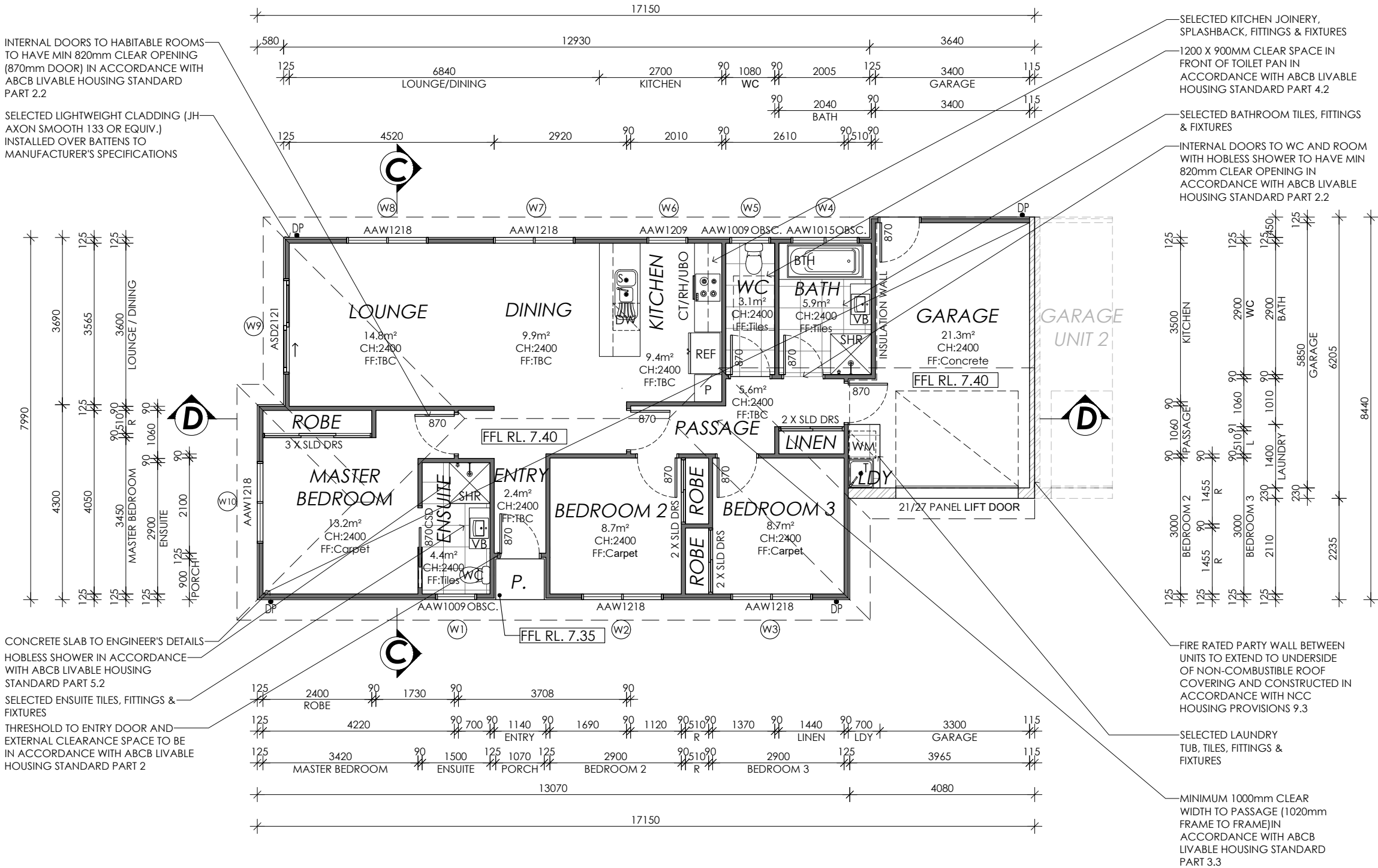
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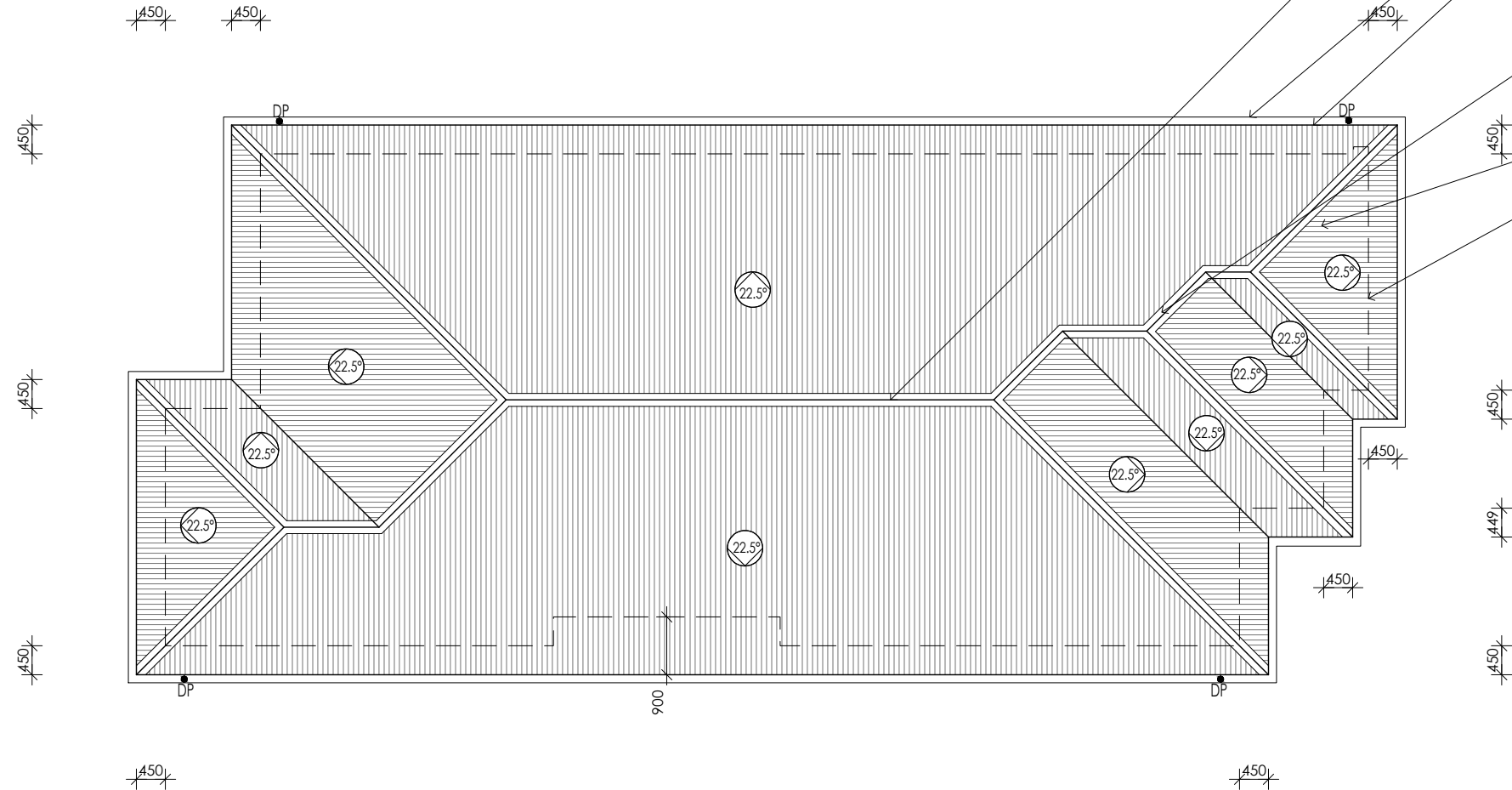
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—LINE OF BUILDING UNDER



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UNIT 1

PROPOSED ROOF PLAN

● DP 90mm DOWNPIPE

PRELIMINARY

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SK	ISSUED FOR CLIENT REVIEW	IB	8/7/24
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B	COUNCIL RFI	IB	13/6/25



CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS:	
9 Miena Drive	
Sorell	
DESIGNER: I. Brown	ACCRED. NO.: CC6652
DRAWN: Q. Tra	DATE: August 2024
CHECKED:	DATE:
SCALE: 1:100	REV: B

CLIENT:	Matthew Chamberlain
SHEET:	6 of 25
DESIGN TYPE:	Custom
DRAWING NO:	198076

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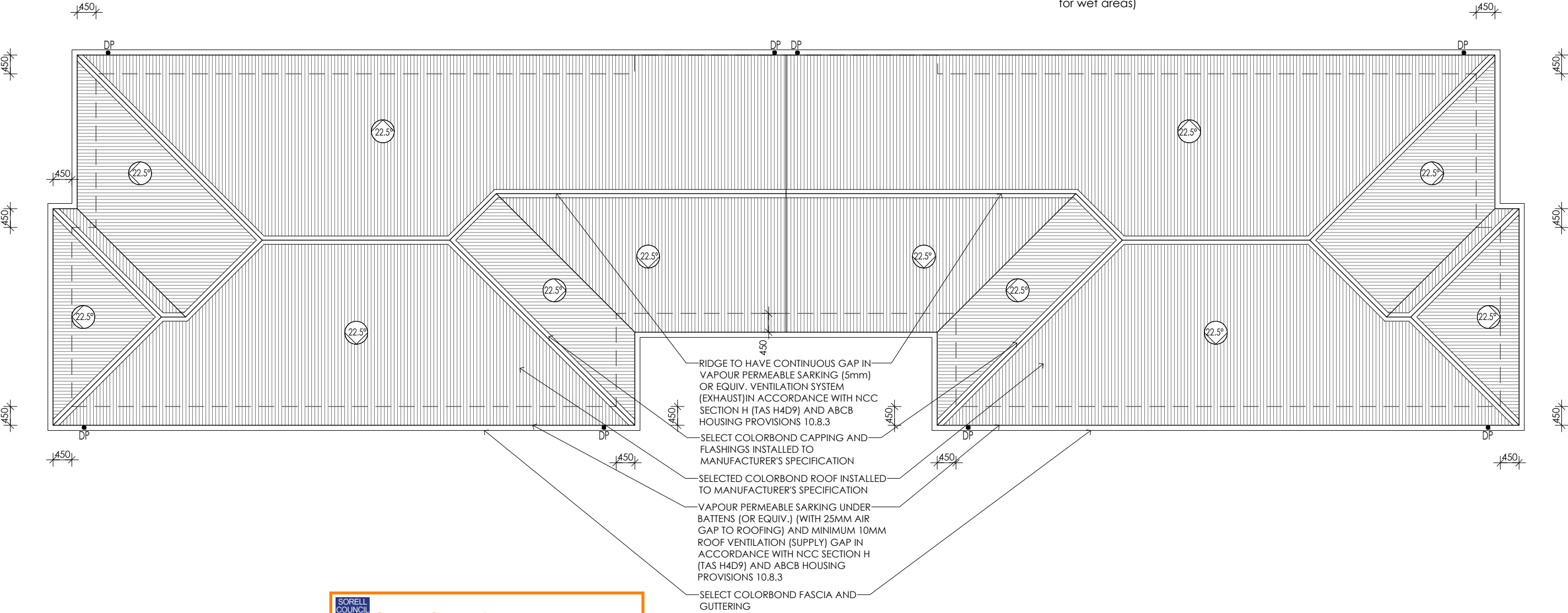
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PROPOSED FLOOR PLAN

UNIT 2 & 3

PRELIMINARY

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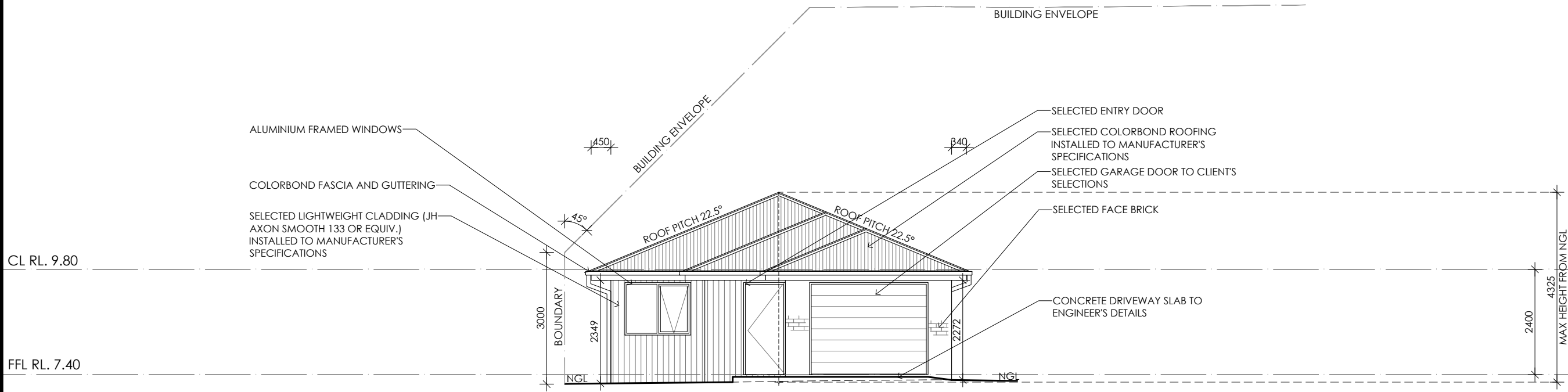
07		CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.	REV:	DESCRIPTION:	BY:	DATE:
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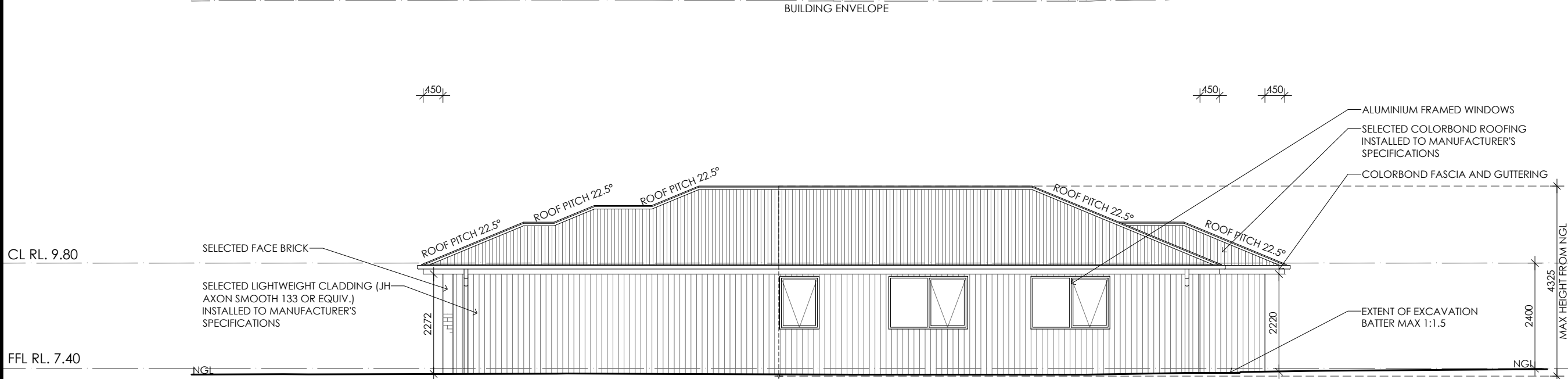
CREATIVE HOMES
HOBART

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 9 Miena Drive Sorell		CLIENT: Matthew Chamberlain	
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 7 of 25	
DRAWN: Q. Tra	DATE: August 2024	DESIGN TYPE: Custom	
CHECKED:	DATE:	DRAWING NO: 198076	
SCALE: 1:100	REV: B		



EASTERN ELEVATION



NORTHERN ELEVATION



Sorell Council
Development Application: 5.2024.325.1 -
Response to Request For Information - 9
Miena Drive, Sorell - P2.pdf
Plans Reference: P2
Date received: 13/06/2025

UNIT 1

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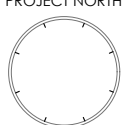
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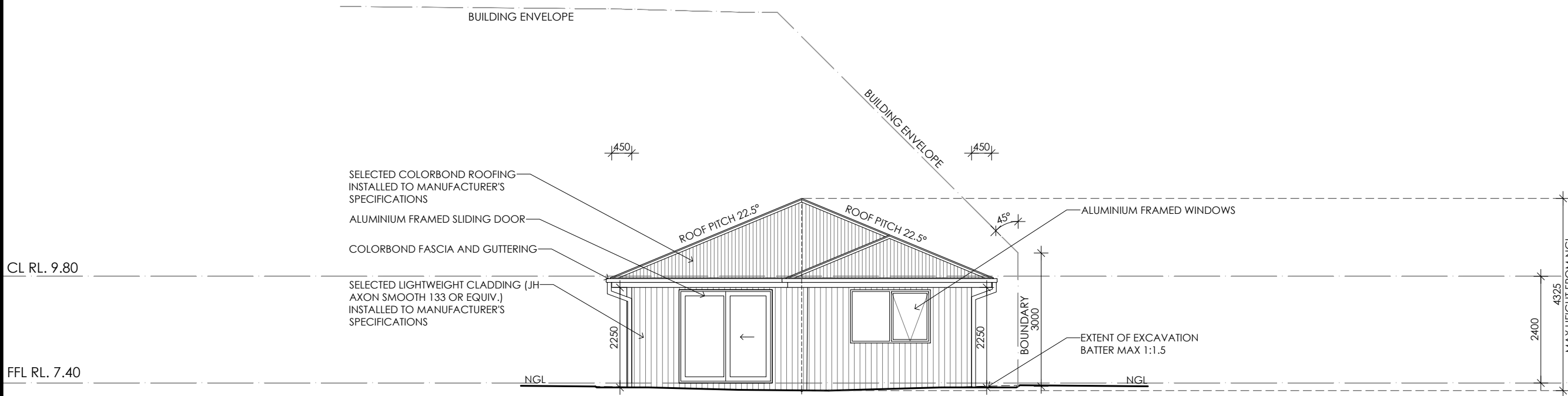
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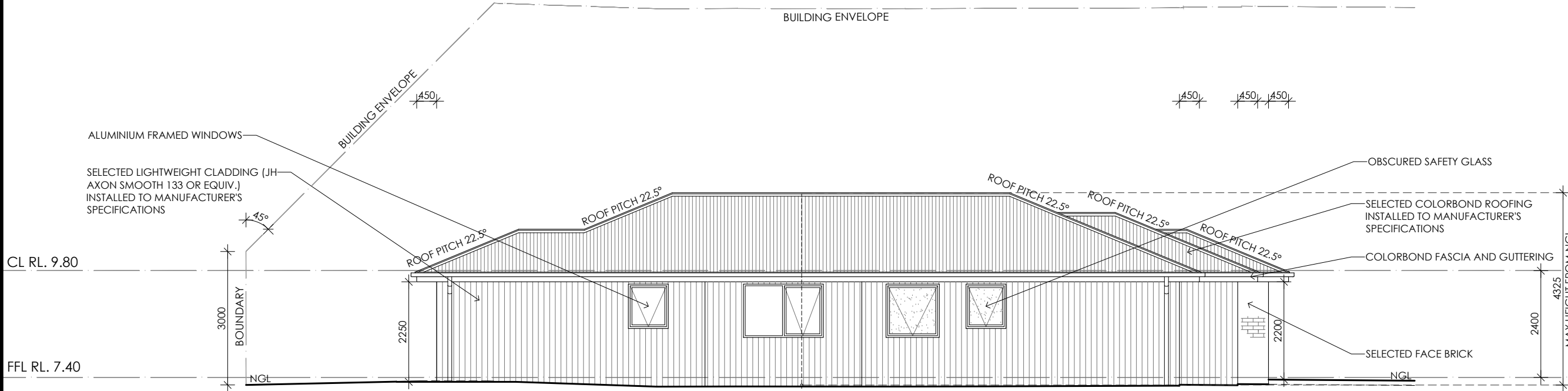
CREATIVE HOMES
HOBART

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 9 Miena Drive Sorell		CLIENT: Matthew Chamberlain	
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 8 of 25	
DRAWN: Q. Tra	DATE: August 2024	DESIGN TYPE: Custom	
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SCALE: 1:100	REV: B		



WESTERN ELEVATION



SOUTHERN ELEVATION

**Sorell Council**

Development Application: 5.2024.325.1 -
Response to Request For Information - 9
Miena Drive, Sorell - P2.pdf
Plans Reference: P2
Date received: 13/06/2025

UNIT 1

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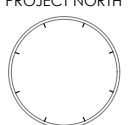
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PRELIMINARY

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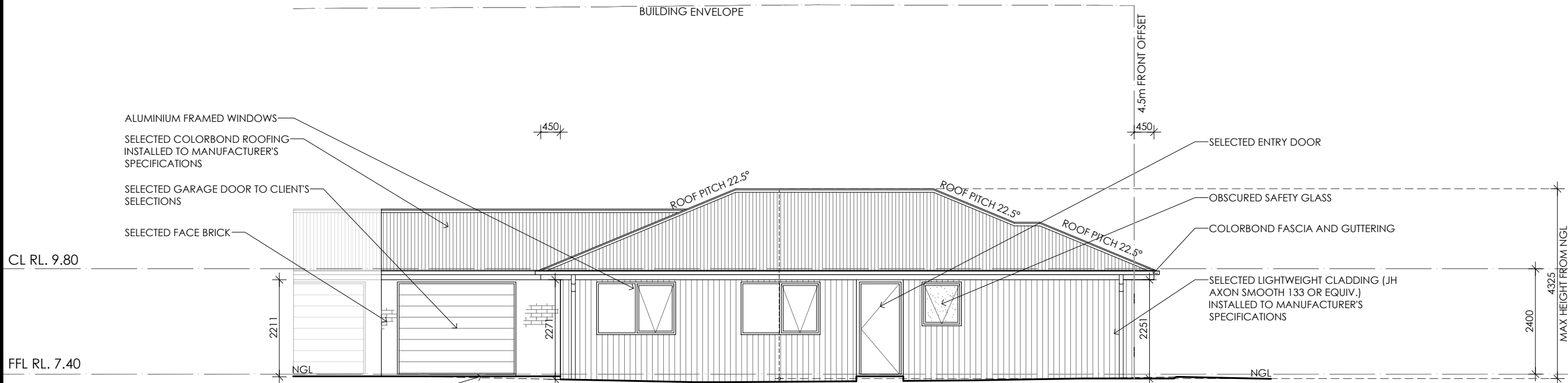
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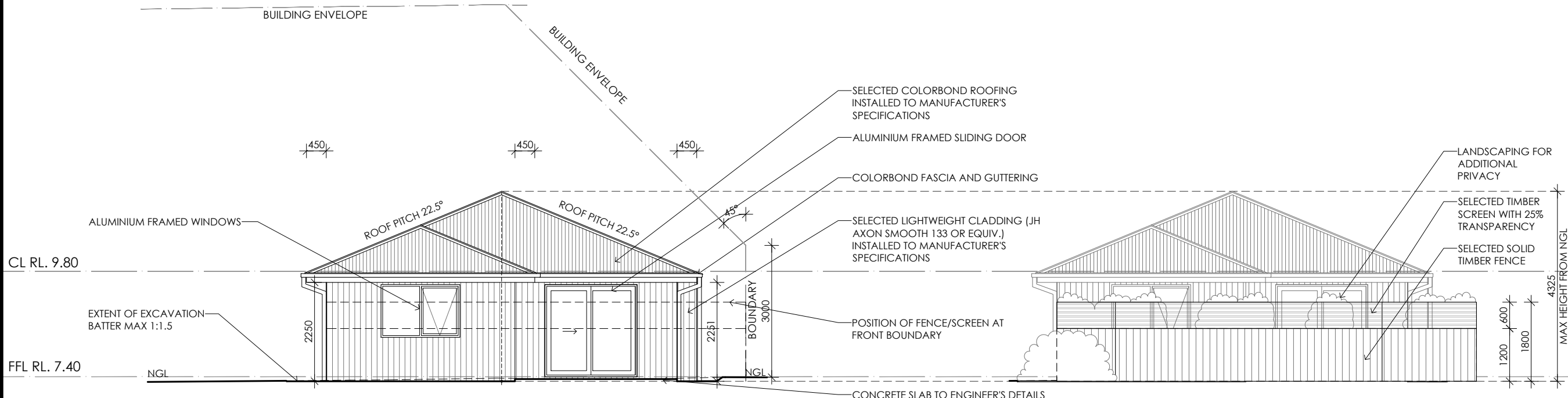
**CREATIVE HOMES
HOBART**

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 9 Miena Drive Sorell		CLIENT: Matthew Chamberlain	
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 9 of 25	
DRAWN: Q. Tra	DATE: August 2024	DESIGN TYPE: Custom	
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SOUTHERN ELEVATION



EASTERN ELEVATION

EASTERN ELEVATION - FRONTAGE FENCE

Sorell Council
Development Application: 5.2024.325.1 -
Response to Request For Information - 9
Miena Drive, Sorell - P2.pdf
Plans Reference: P2
Date received: 13/06/2025

UNIT 2

SCREENS - MIN 25% TRANSPARENCY IN ACCORDANCE
WITH COUNCIL - TIMBER SLAT GAPS TO BE $\frac{1}{3}$ OF TIMBER
WIDTH = 25%
WHERE WITHIN 4.5m FRONTAGE - FENCE SHALL BE SOLID
TO 1.2m HIGH, THEN SCREEN TO 1.8m HIGH

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For construction of floor wastes refer to NCC ABCB Housing provisions part 10.2.12. For typical installation requirements for substrate preparation, penetrations, flashings/ junctions, membranes, screeds, hobs, baths, showers, door jambs and screens refer to ABCB Housing provisions part 10.2.14-32.

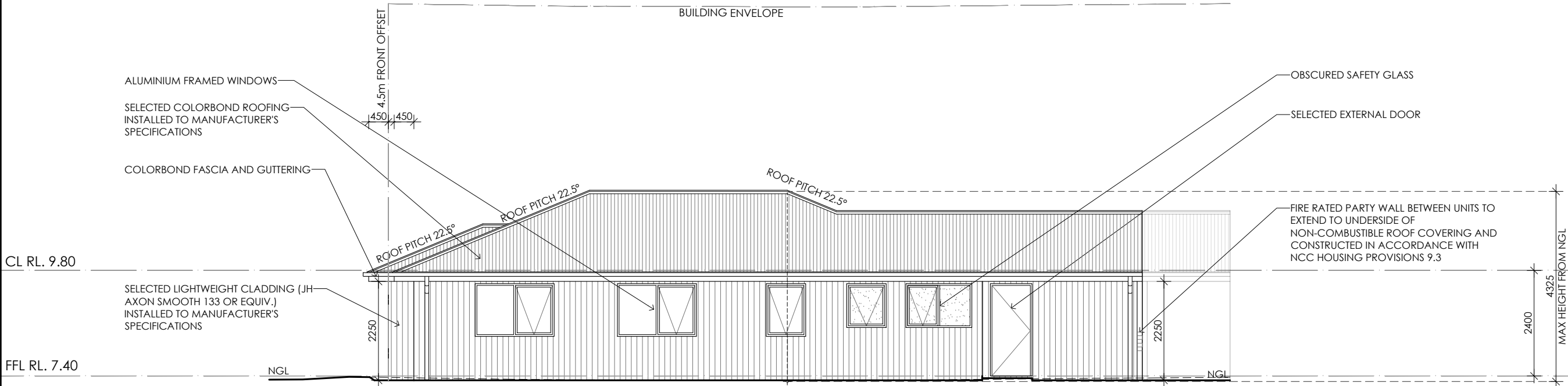
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PRELIMINARY

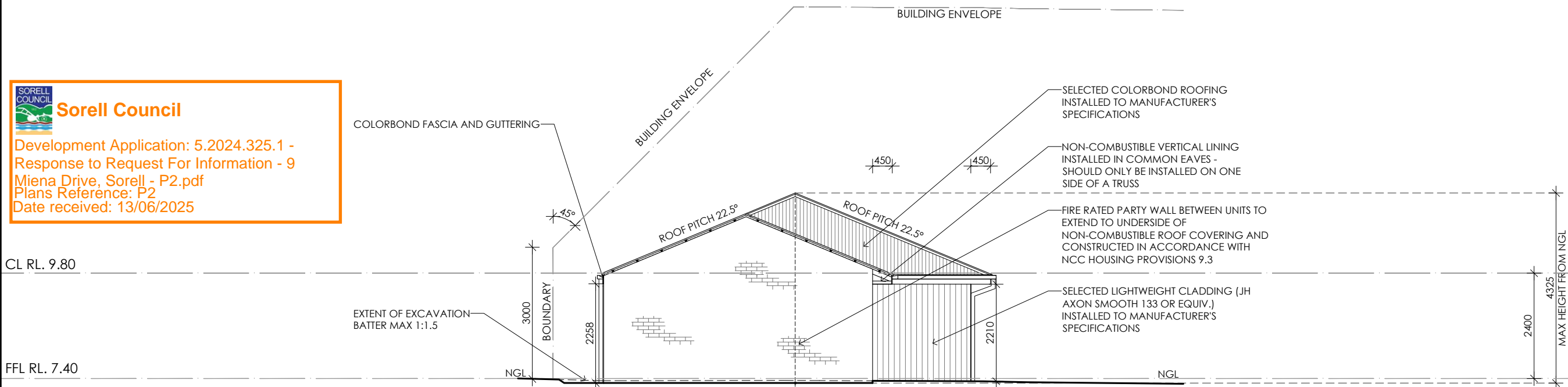
10	PROJECT NORTH	CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.	REV:	DESCRIPTION:	BY:	DATE:
			SK	ISSUED FOR CLIENT REVIEW	IB	8/7/24
			A	ISSUED FOR CLIENT REVIEW	QT	5/8/24
			B	COUNCIL RFI	IB	13/6/25

CREATIVE HOMES HOBART
CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 9 Miena Drive Sorell		CLIENT: Matthew Chamberlain	
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 10 of 25	
DRAWN: Q. Tra	DATE: August 2024	DESIGN TYPE: Custom	
CHECKED:	DATE:	DRAWING NO: 198076	
SCALE: 1:100	REV: B		



NORTHERN ELEVATION



WESTERN ELEVATION

UNIT 2

Framing NCC H1D6
All timber framing, fixing and bracing shall comply with AS 1684 and the requirements of NCC H1D6. Manufactured sizes must not be undersized to those specified, for all timber sizes, stress grades, spacing and wall bracing refer to Engineer's details. Tie-down details shall be in accordance with Engineer's details and comply with NCC H1D6 (4). Structural steel members shall comply with the requirements of clauses in NCC H1D6 (3). Refer to Engineer's details where provided.

Glazing NCC H1D8
All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings) All glazing shall comply with the requirements of AS 2047 & AS 1288 and NCC H1D8.

Human impact safety requirements shall comply with NCC H1D8 (3) and Part 8.4 of the ABCB Housing provisions.

Note:
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the Owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the Owners responsibility to maintain the site in accordance with this document.

Energy efficiency:
Insulation must comply with AS/NZS4859.1 and be installed in accordance with ABCB housing provisions Part 13.2.2 and comply with minimum R values for climate zone 7. Bulk insulation between external studs to be insulated with min R2.0. (Ensure batts fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface). External walls are to be clad with vapour permeable reflective foil over the outside of the timber frame. Ceiling to be insulated with R4.0 and vapour permeable sarking. Floor to be insulated with Min R1.7 batts where applicable. Seal exhaust fans to Ensuite, Bathroom, Laundry and Kitchen. All downlights to be IC rated. Construction of the external walls, floor and roof for compliance with building sealing requirements shall comply with BCA 2019 Part 3.12

General:
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Wet areas: All wet areas shall comply with the requirements of ABCB Housing provisions Part 10.2. Provide waterproof plasterboard sheeting to all walls and ceilings. Provide ceramic tiles or other approved water resistant lining in accordance with Part 10.2.9 to a minimum height of 1800mm to shower walls and to a height of min 150mm behind baths, basins, sinks, troughs, washing machines and wall fixtures.

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Sorell Council

Development Application: 5.2024.325.1 -
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Miena Drive, Sorell - P2.pdf
Plans Reference: P2
Date received: 13/06/2025

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CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.
DO NOT SCALE DRAWINGS.
ALWAYS USE WRITTEN DIMENSIONS.

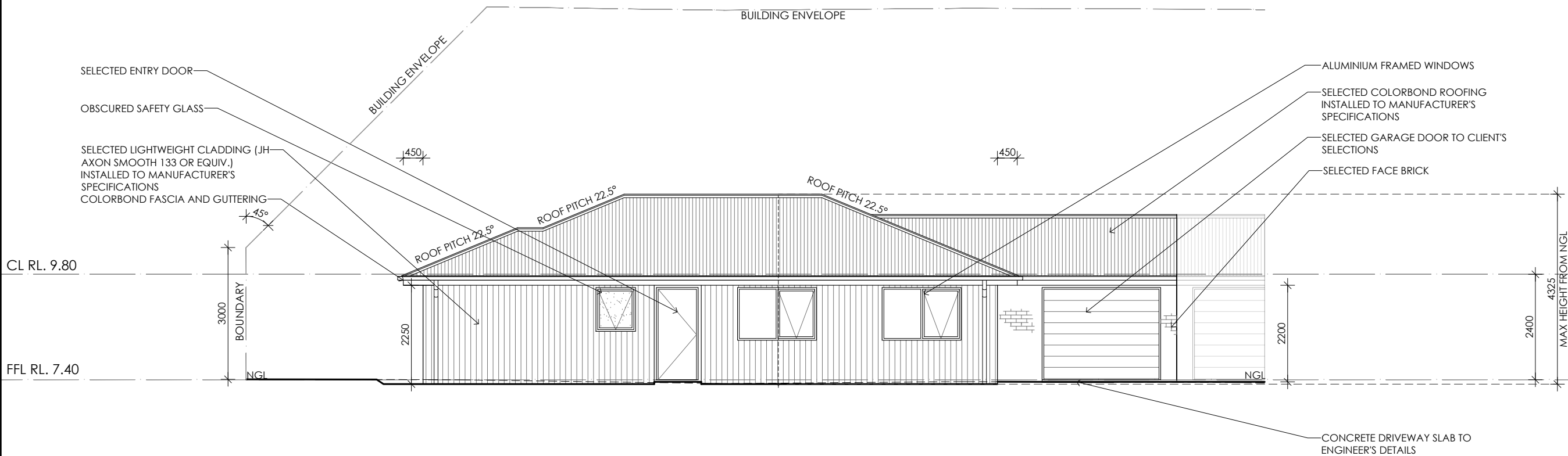
REV:	DESCRIPTION:	BY:	DATE:
SK	ISSUED FOR CLIENT REVIEW	IB	8/7/24
A	ISSUED FOR CLIENT REVIEW	QT	5/8/24
B	COUNCIL RFI	IB	13/6/25



CREATIVE HOMES
HOBART

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 9 Miena Drive Sorell		CLIENT: Matthew Chamberlain	
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 11 of 25	
DRAWN: Q. Tra	DATE: August 2024	DESIGN TYPE: Custom	
CHECKED:	DATE:	DRAWING NO: 198076	
SCALE: 1:100	REV: B		

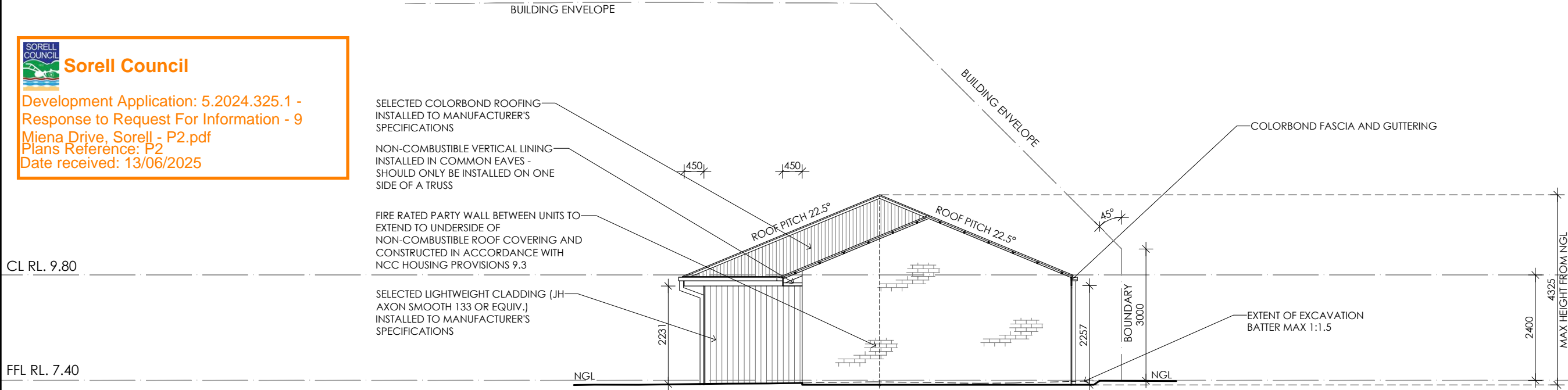


SOUTHERN ELEVATION



Sorell Council

Development Application: 5.2024.325.1 -
Response to Request For Information - 9
Miena Drive, Sorell - P2.pdf
Plans Reference: P2
Date received: 13/06/2025



EASTERN ELEVATION

UNIT 3

Framing NCC H1D6
All timber framing, fixing and bracing shall comply with AS 1684 and the requirements of NCC H1D6. Manufactured sizes must not be undersized to those specified, for all timber sizes, stress grades, spacing and wall bracing refer to Engineer's details. Tie-down details shall be in accordance with Engineer's details and comply with NCC H1D6 (4). Structural steel members shall comply with the requirements of clauses in NCC H1D6 (3). Refer to Engineer's details where provided.

Glazing NCC H1D8
All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings) All glazing shall comply with the requirements of AS 2047 & AS 1288 and NCC H1D8.

Human impact safety requirements shall comply with NCC H1D8 (3) and Part 8.4 of the ABCB Housing provisions.

Note:
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Energy efficiency:
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General:
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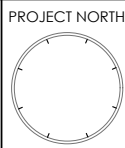
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PRELIMINARY

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DO NOT SCALE DRAWINGS.
ALWAYS USE WRITTEN DIMENSIONS.

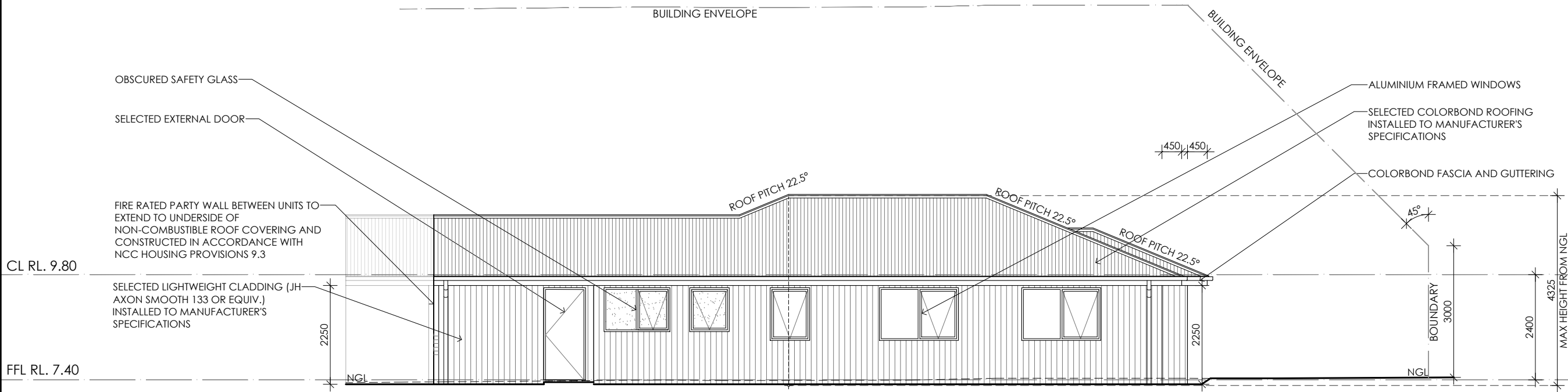
REV:	DESCRIPTION:	BY:	DATE:
SK	ISSUED FOR CLIENT REVIEW	IB	8/7/24
A	ISSUED FOR CLIENT REVIEW	QT	5/8/24
B	COUNCIL RFI	IB	13/6/25



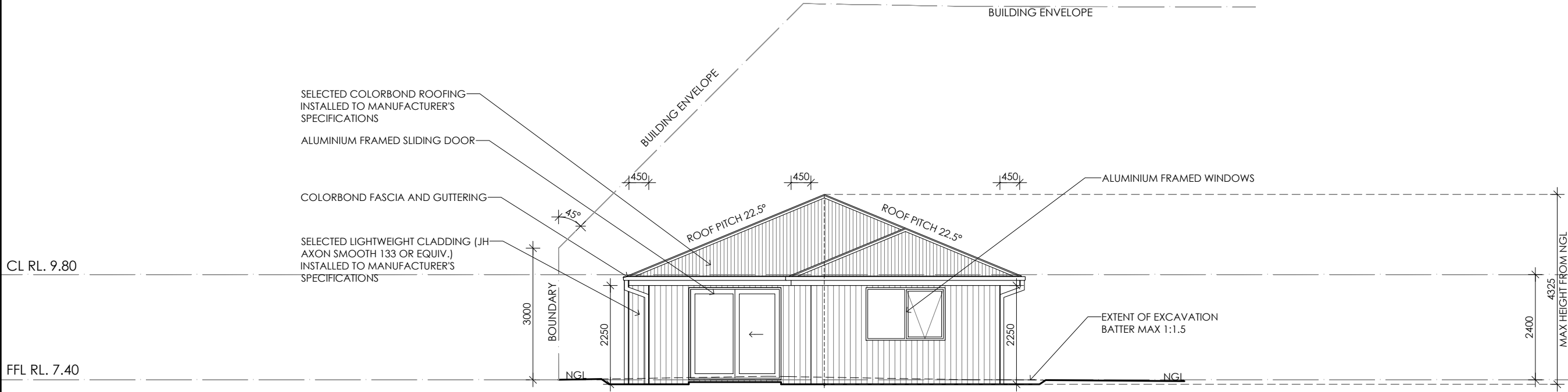
CREATIVE HOMES
HOBART

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 9 Miena Drive Sorell		CLIENT: Matthew Chamberlain	
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 12 of 25	
DRAWN: Q. Tra	DATE: August 2024	DESIGN TYPE: Custom	
CHECKED:	DATE:	DRAWING NO: 198076	
SCALE: 1:100	REV: B		



NORTHERN ELEVATION



WESTERN ELEVATION

UNIT 3

Framing NCC H1D6
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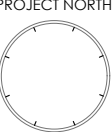
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**Sorell Council**

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Response to Request For Information - 9
Miena Drive, Sorell - P2.pdf
Plans Reference: P2
Date received: 13/06/2025

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13		CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.	REV:	DESCRIPTION:	BY: DATE:
			SK	ISSUED FOR CLIENT REVIEW	IB 8/7/24
			A	ISSUED FOR CLIENT REVIEW	QT 5/8/24
			B	COUNCIL RFI	IB 13/6/25

**CREATIVE HOMES
HOBART**

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 9 Miena Drive Sorell		CLIENT: Matthew Chamberlain	
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 13 of 25	
DRAWN: Q. Tra	DATE: August 2024	DESIGN TYPE: Custom	
CHECKED:	DATE:	DRAWING NO: 198076	
SCALE: 1:100	REV: B		

Framing NCC H1D6
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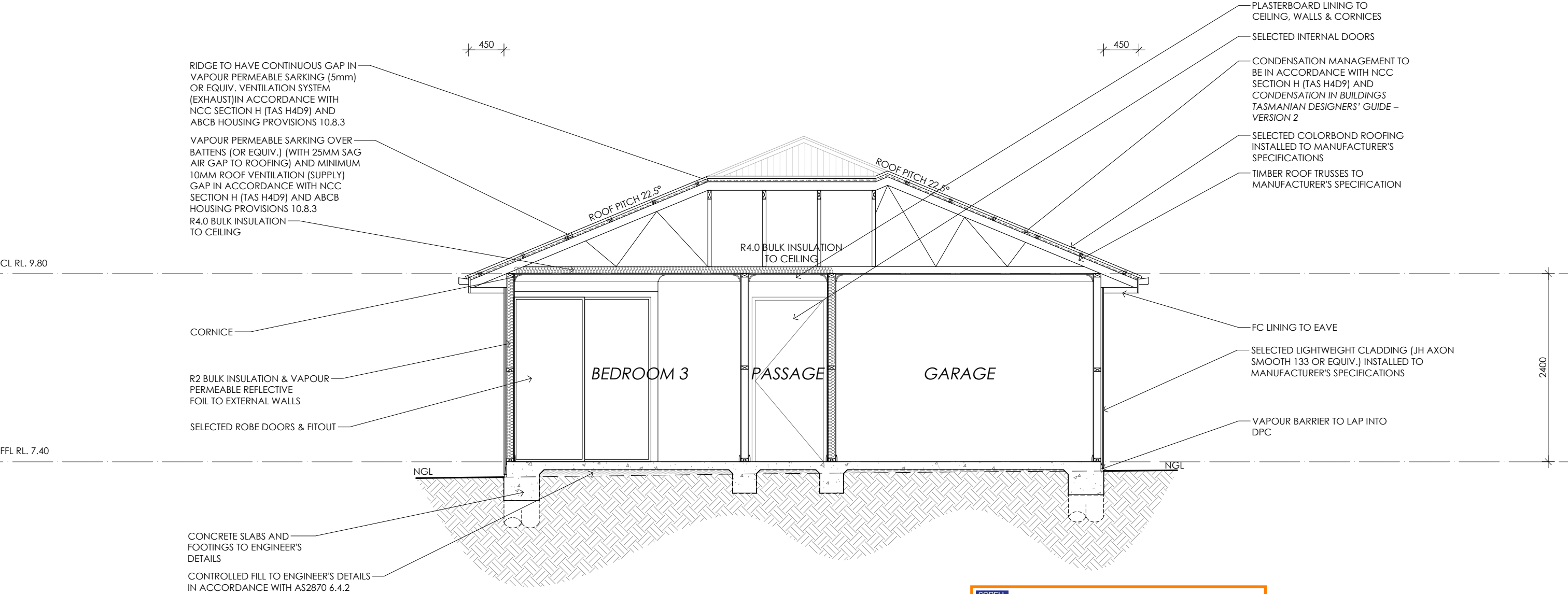
Energy efficiency:
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SECTION A-A UNIT 1

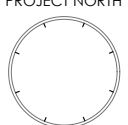


Sorell Council
Development Application: 5.2024.325.1 -
Response to Request For Information - 9
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Plans Reference: P2
Date received: 13/06/2025

TRUSS MANUFACTURER TO NOTE:
ALL TRUSSES TO BE DESIGNED TO
BE SUPPORTED BY ALL EXTERNAL
WALLS FOR BOTH DEAD AND
WIND LOADS.

PRELIMINARY

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14		CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.	REV:	DESCRIPTION:	BY:	DATE:
			SK	ISSUED FOR CLIENT REVIEW	IB	8/7/24
			A	ISSUED FOR CLIENT REVIEW	QT	5/8/24
			B	COUNCIL RFI	IB	13/6/25



**CREATIVE HOMES
HOBART**

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 9 Miena Drive Sorell		CLIENT: Matthew Chamberlain	
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 14 of 25	
DRAWN: Q. Tra	DATE: August 2024	DESIGN TYPE: Custom	
CHECKED:	DATE:	DRAWING NO: 198076	
SCALE: 1:50	REV: B		

Framing NCC H1D6. All timber framing, fixing and bracing shall comply with AS 1684 and the requirements of NCC H1D6. Manufactured sizes must not be undersized to those specified, for all timber sizes, stress grades, spacing and wall bracing refer to Engineer's details. Tie-down details shall be in accordance with Engineer's details and comply with NCC H1D6 (4). Structural steel members shall comply with the requirements of clauses in NCC H1D6 (3). Refer to Engineer's details where provided.

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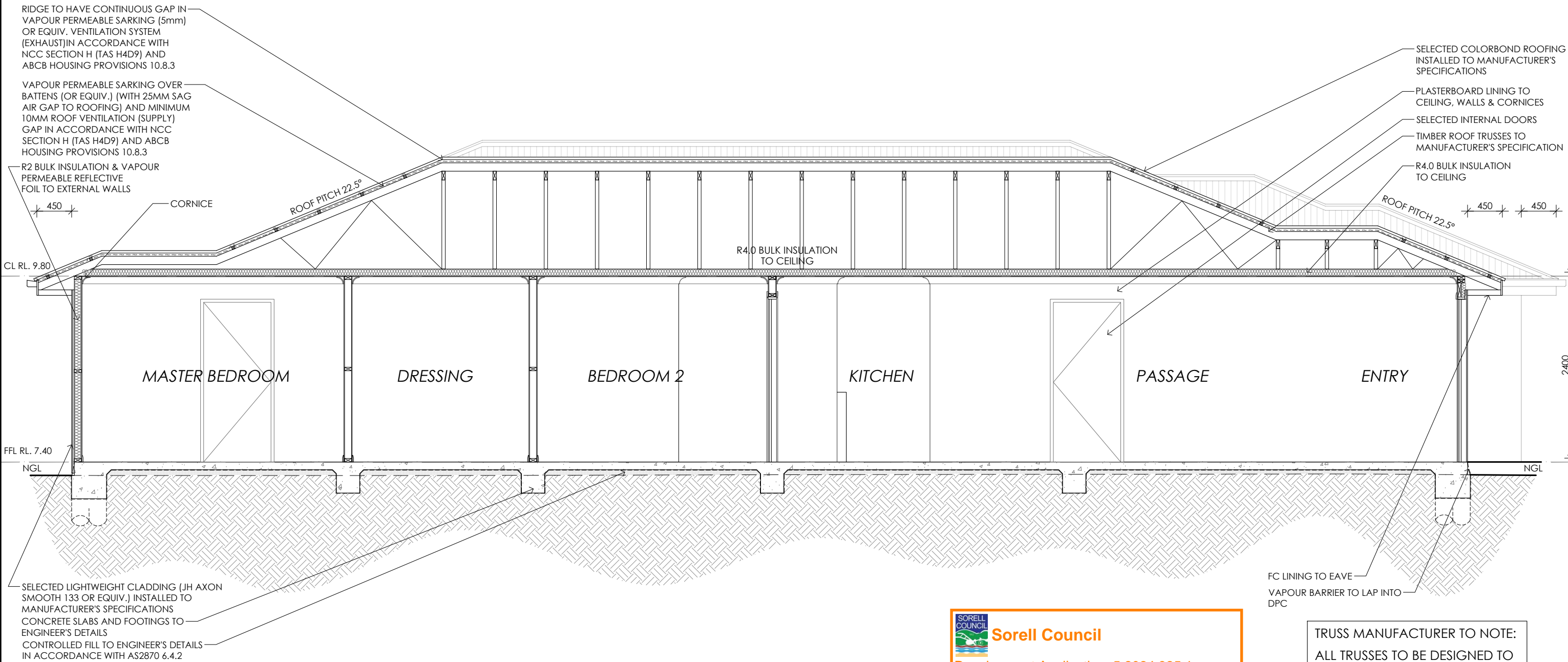
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SECTION B-B UNIT 1

PRELIMINARY

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CONTRACTOR MUST VERIFY ALL DIMENSIONS
AND LEVELS AT THE JOB PRIOR TO COMMENCING
ANY WORK OR MAKING ANY SHOP DRAWINGS.

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REV:	DESCRIPTION:
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SK	ISSUED FOR CLIENT REVIEW
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A	ISSUED FOR CLIENT REVIEW
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B	COUNCIL RFI
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BY:

IB	8/7/24
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QT	5/8/24
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IB	13/6/25
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CREATIVE HOMES
— HOBART —

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS:
9 Miena Drive
Sorell

DESIGNER: I. Brown

DRAWN: Q. Tra

CHECKED:

SCALE: 1:50

ACCRED. NO.: CC6652

DATE: August 2024

DATE: _____

REV: B

CLIENT:
Matthew Chamberlain

SHEET: 15 of 25

DESIGN TYPE: Custom

DRAWING NO: 100070

198076

TRUSS MANUFACTURER TO NOTE:

ALL TRUSSES TO BE DESIGNED TO BE SUPPORTED BY ALL EXTERNAL WALLS FOR BOTH DEAD AND WIND LOADS.

Framing NCC H1D6
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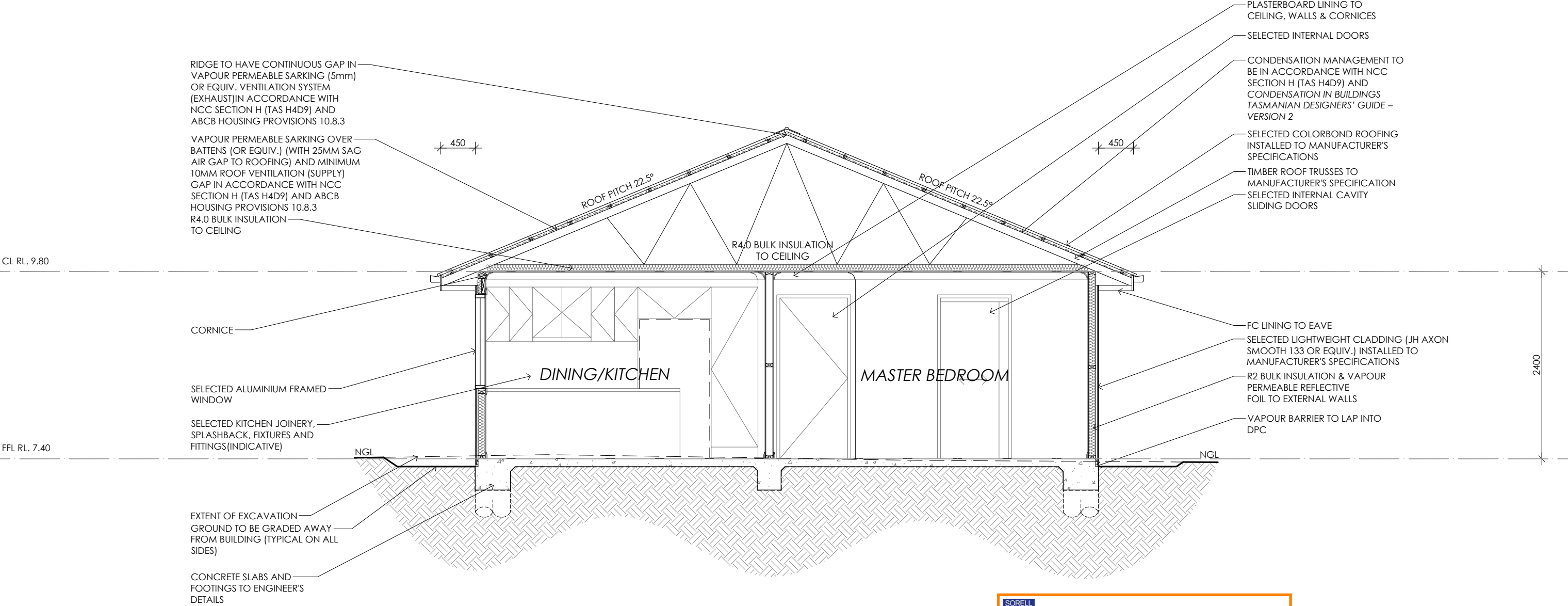
Energy efficiency:
Insulation must comply with AS/NZS4859.1 and be installed in accordance with ABCB housing provisions Part 13.2.2 and comply with minimum R values for climate zone 7.
Bulk insulation between external studs to be insulated with min R2.0. (Ensure batts fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface). External walls are to be clad with vapour permeable reflective foil over the outside of the timber frame. Ceiling to be insulated with R4.0 and

vapour permeable sarking. Floor to be insulated with R2.0 batts where applicable. Seal exhaust fans to Ensuite, Bathroom, Laundry and Kitchen. Construction of the external walls, floor and roof for compliance with building sealing requirements shall comply with BCA 2019 Part 3.12

General:
All flashings, weep holes and damp proof coursing to be in accordance with NCC Housing provisions Part 5.7. Fibre cement sheet in accordance with NCC Housing provisions Part 7.5. Block construction in accordance NCC Housing provisions Part 5. Plasterboard linings to internal walls and ceilings with selected cornice. (see below for wet areas)

Wet areas: All wet areas shall comply with the requirements of ABCB Housing provisions Part 10.2. Provide waterproof plasterboard sheeting to all walls and ceilings. Provide ceramic tiles or other approved water resistant lining in accordance with Part 10.2.9 to a minimum height of 1800mm to shower walls and to a height of min 150mm behind baths, basins, sinks, troughs, washing machines and wall fixtures.

For construction of floor wastes refer to NCC ABCB Housing provisions part 10.2.12. For typical installation requirements for substrate preparation, penetrations, flashings/ junctions, membranes, screeds, hobs, baths, showers, door jambs and screens refer to ABCB Housing provisions part 10.2.14-32.



SECTION C-C UNIT 3 SHOWN - DETAIL TYPICAL FOR BOTH UNIT 2&3

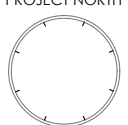
**Sorell Council**

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Response to Request For Information - 9
Miena Drive, Sorell - P2.pdf
Plans Reference: P2
Date received: 13/06/2025

TRUSS MANUFACTURER TO NOTE:
ALL TRUSSES TO BE DESIGNED TO
BE SUPPORTED BY ALL EXTERNAL
WALLS FOR BOTH DEAD AND
WIND LOADS.

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PRELIMINARY

16		CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.	REV:	DESCRIPTION:	BY:	DATE:
			SK	ISSUED FOR CLIENT REVIEW	IB	8/7/24
			A	ISSUED FOR CLIENT REVIEW	QT	5/8/24
			B	COUNCIL RFI	IB	13/6/25

**CREATIVE HOMES
HOBART**

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 9 Miena Drive Sorell		CLIENT: Matthew Chamberlain	
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET:	16 of 25
DRAWN: Q. Tra	DATE: August 2024	DESIGN TYPE:	Custom
CHECKED:	DATE:	DRAWING NO:	198076
SCALE: 1:50	REV: B		

Framing NCC H1D6
All timber framing, fixing and bracing shall comply with AS 1684 and the requirements of NCC H1D6. Manufactured sizes must not be undersized to those specified, for all timber sizes, stress grades, spacing and wall bracing refer to Engineer's details. Tie-down details shall be in accordance with Engineer's details and comply with NCC H1D6 (4). Structural steel members shall comply with the requirements of clauses in NCC H1D6 (3). Refer to Engineer's details where provided.

Glazing NCC H1D8
All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings) All glazing shall comply with the requirements of AS 2047 & AS 1288 and NCC H1D8.

Human impact safety requirements shall comply with NCC H1D8 (3) and Part 8.4 of the ABCB Housing provisions.

Note:
Builder and subcontractors to verify all dimension and levels prior to the commencement of any work. Give 24hrs minimum notice where amendments are required to design of working drawings. These drawings are to be read in

conjunction with Engineer's and Surveyor's drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and Engineer's drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

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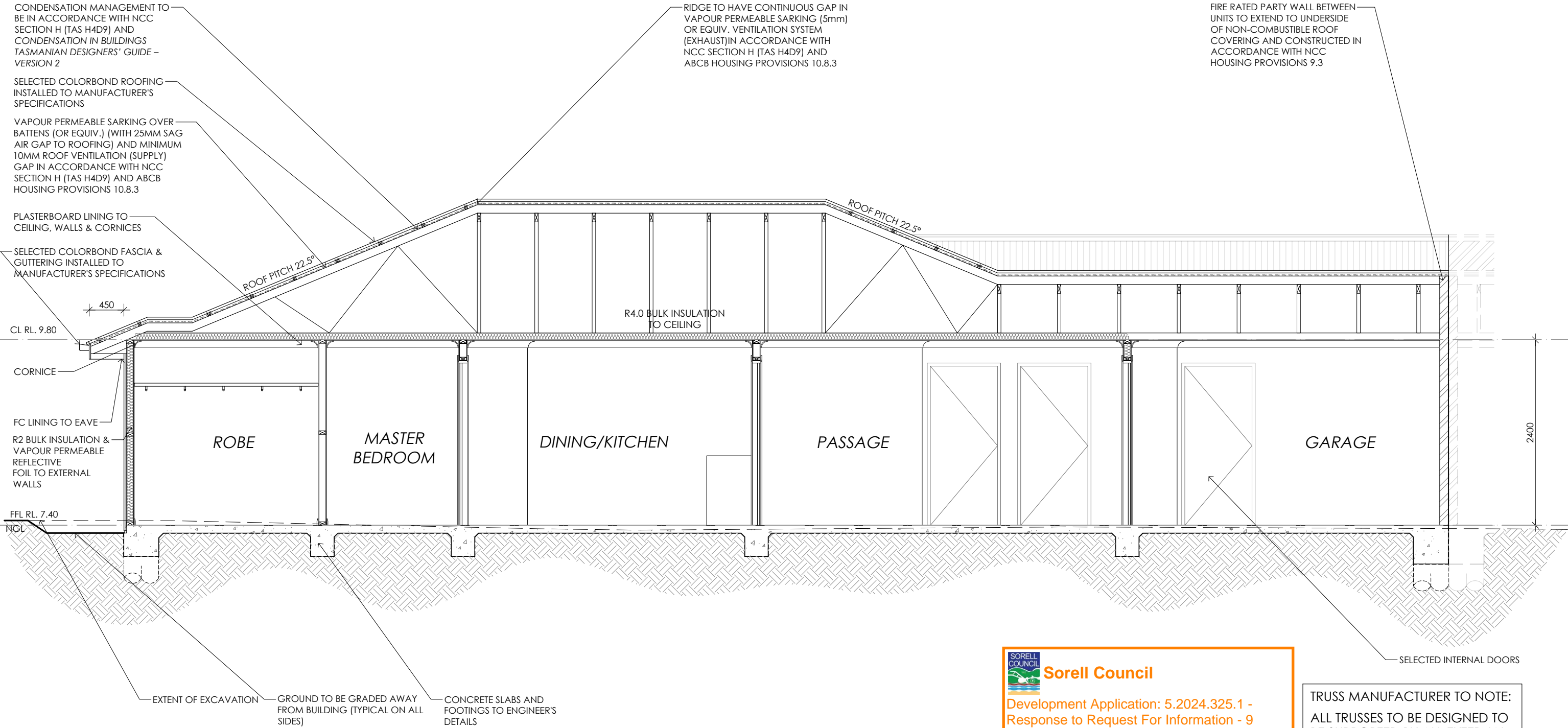
Energy efficiency:
Insulation must comply with AS/NZS4859.1 and be installed in accordance with ABCB housing provisions Part 13.2.2 and comply with minimum R values for climate zone 7.
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SECTION D-D UNIT 3 SHOWN - DETAIL TYPICAL FOR BOTH UNIT 2&3

 **Sorell Council**

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Plans Reference: P2
Date received: 13/06/2025

TRUSS MANUFACTURER TO NOTE:
ALL TRUSSES TO BE DESIGNED TO BE SUPPORTED BY ALL EXTERNAL WALLS FOR BOTH DEAD AND WIND LOADS.

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17

PROJECT NORTH

CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.

DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.

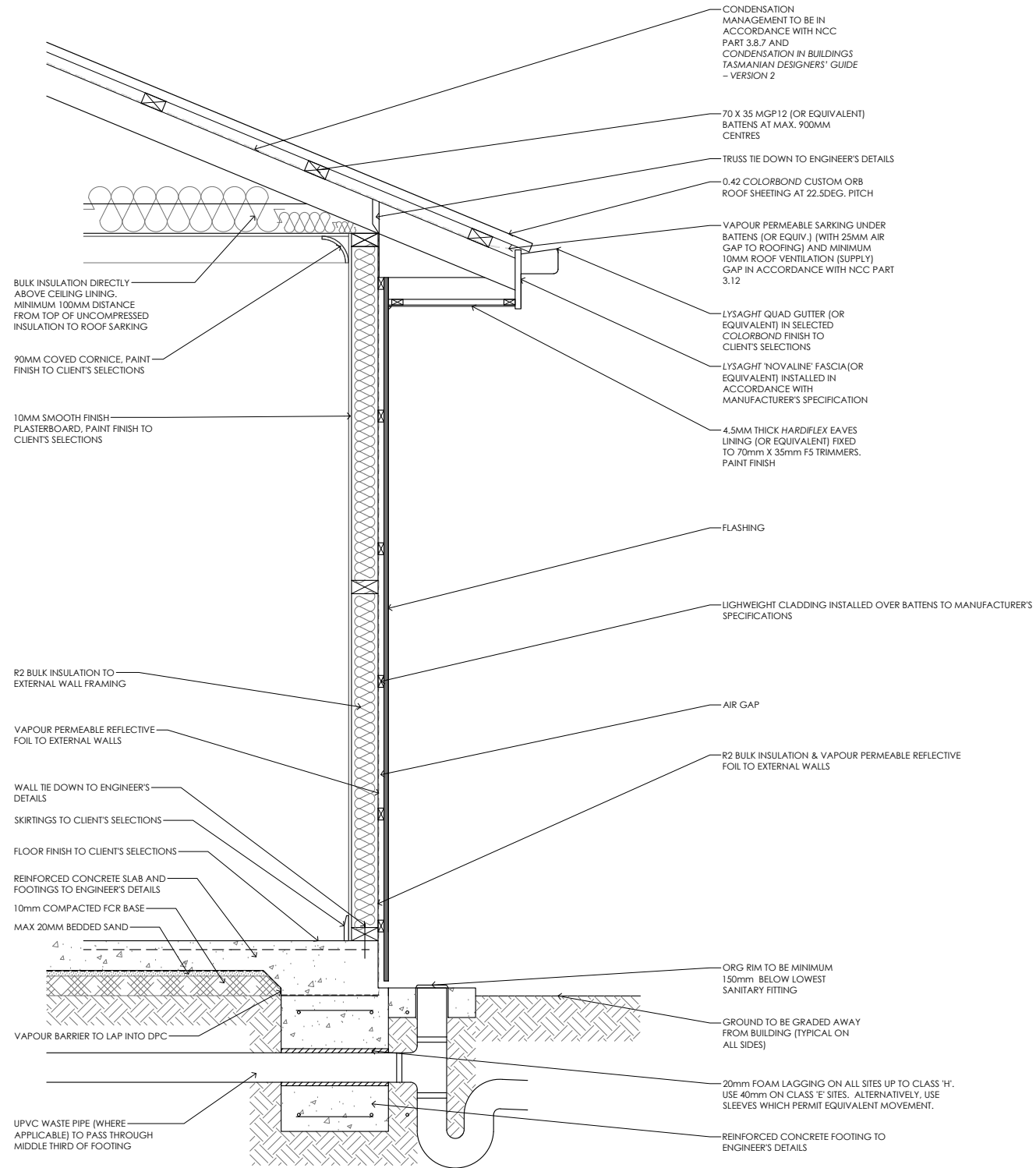
PRELIMINARY

REV:	DESCRIPTION:	BY:	DATE:
SK	ISSUED FOR CLIENT REVIEW	IB	8/7/24
A	ISSUED FOR CLIENT REVIEW	QT	5/8/24
B	COUNCIL RFI	IB	13/6/25

 **CREATIVE HOMES HOBART**

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 9 Miena Drive Sorell		CLIENT: Matthew Chamberlain
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 17 of 25
DRAWN: Q. Tra	DATE: August 2024	DESIGN TYPE: Custom
CHECKED:	DATE:	DRAWING NO: 198076
SCALE: 1:50	REV: B	



Sorell Council

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Miena Drive, Sorell - P2.pdf
Plans Reference: P2
Date received: 13/06/2025

FLOOR, WALL & ROOF DETAIL SCALE 1:20

TYPICAL SECTION DETAILS

PRELIMINARY

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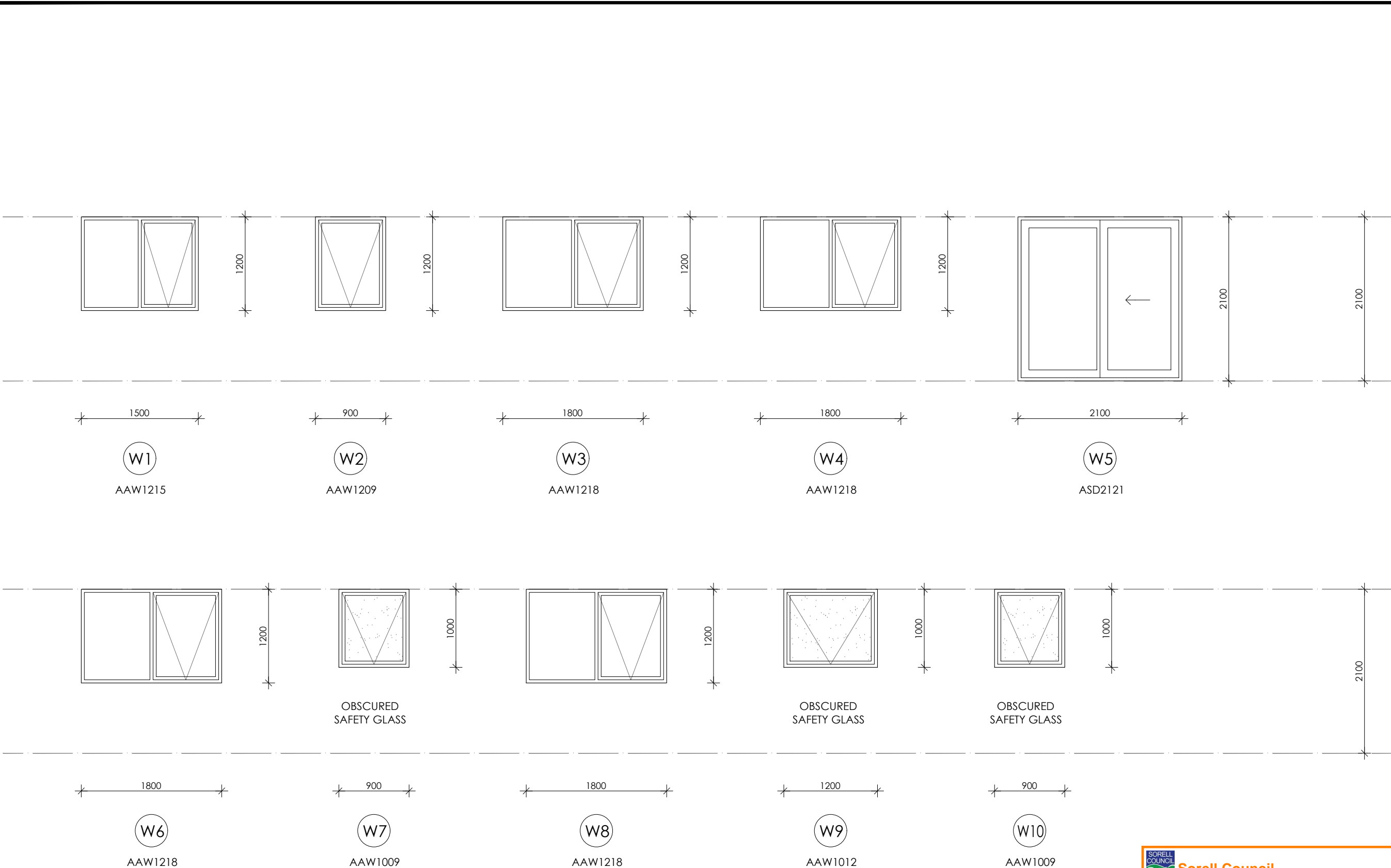
18		CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.	REV:	DESCRIPTION:	BY:	DATE:
			SK	ISSUED FOR CLIENT REVIEW	IB	8/7/24
			A	ISSUED FOR CLIENT REVIEW	QT	5/8/24
			B	COUNCIL RFI	IB	13/6/25



CREATIVE HOMES
HOBART

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 9 Miena Drive Sorell		CLIENT: Matthew Chamberlain	
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET:	18 of 25
DRAWN: Q. Tra	DATE: August 2024	DESIGN TYPE:	Custom
CHECKED:	DATE:	DRAWING NO:	198076
SCALE: AS SHOWN	REV: B		



Framing NCC H1D6
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**Sorell Council**

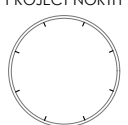
Development Application: 5.2024.325.1 -
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Miena Drive, Sorell - P2.pdf
Plans Reference: P2
Date received: 13/06/2025

WINDOW SCHEDULE UNIT 1

fg FIXED GLAZING

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PRELIMINARY

19		PROJECT NORTH	CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.	REV:	DESCRIPTION:	BY:	DATE:
				SK	ISSUED FOR CLIENT REVIEW	IB	8/7/24
				A	ISSUED FOR CLIENT REVIEW	QT	5/8/24
				B	COUNCIL RFI	IB	13/6/25

**CREATIVE HOMES
HOBART**

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 9 Miena Drive Sorell		CLIENT: Matthew Chamberlain	
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 19 of 25	
DRAWN: Q. Tra	DATE: August 2024	DESIGN TYPE: Custom	
CHECKED:	DATE:	DRAWING NO: 198076	
SCALE: 1:50	REV: B		



Framing NCC H1D6
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**Sorell Council**

Development Application: 5.2024.325.1 -
Response to Request For Information - 9
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Plans Reference: P2
Date received: 13/06/2025

WINDOW SCHEDULE UNIT 2

fg FIXED GLAZING


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PROJECT NORTH

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REV:	DESCRIPTION:	BY:	DATE:
SK	ISSUED FOR CLIENT REVIEW	IB	8/7/24
A	ISSUED FOR CLIENT REVIEW	QT	5/8/24
B	COUNCIL RFI	IB	13/6/25

**CREATIVE HOMES HOBART**

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 9 Miena Drive Sorell		CLIENT: Matthew Chamberlain
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 20 of 25
DRAWN: Q. Tra	DATE: August 2024	DESIGN TYPE: Custom
CHECKED:	DATE:	DRAWING NO: 198076
SCALE: 1:50	REV: B	



Sorell Council

Development Application: 5.2024.325.1 -
Response to Request For Information - 9
Miena Drive, Sorell - P2.pdf
Plans Reference: P2
Date received: 13/06/2025

Framing NCC H1D6
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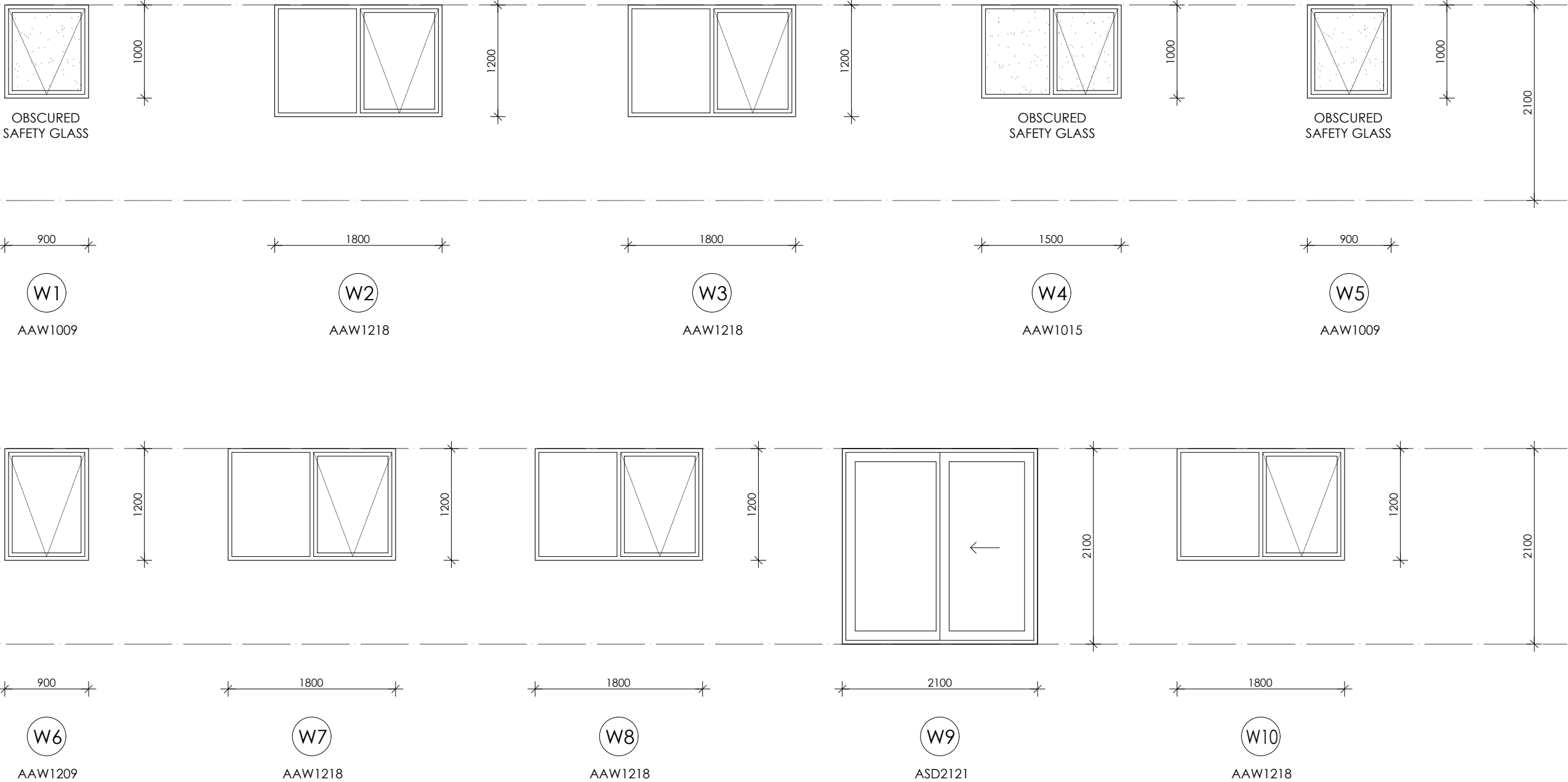
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WINDOW SCHEDULE UNIT 3

fg FIXED GLAZING

PRELIMINARY

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CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.
DO NOT SCALE DRAWINGS.
ALWAYS USE WRITTEN DIMENSIONS.

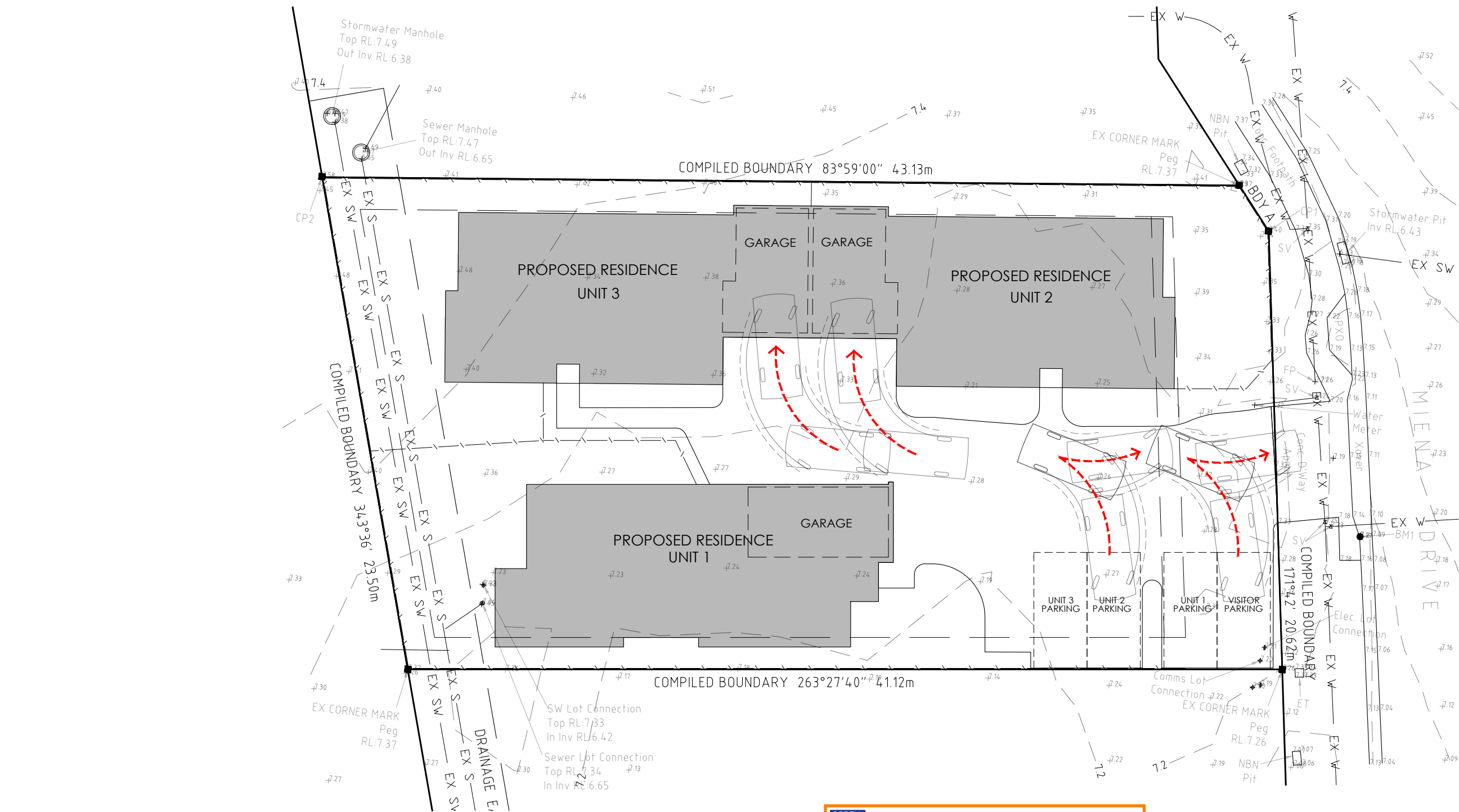
REV:	DESCRIPTION:	BY:	DATE:
SK	ISSUED FOR CLIENT REVIEW	IB	8/7/24
A	ISSUED FOR CLIENT REVIEW	QT	5/8/24
B	COUNCIL RFI	IB	13/6/25



CREATIVE HOMES
HOBART

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 9 Miena Drive Sorell		CLIENT: Matthew Chamberlain	
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 21 of 25	
DRAWN: Q. Tra	DATE: August 2024	DESIGN TYPE: Custom	
CHECKED:	DATE:	DRAWING NO: 198076	
SCALE: 1:50	REV: B		



PROPOSED TURNING PATHS

UNIT 2 & 3 GARAGE ENTRY PATH & VISITOR & UNIT 2 PARKING SPACE EXIT PATH


**Sorell Council**


Development Application: 5.2024.325.1 -
Response to Request For Information - 9
Miena Drive, Sorell - P2.pdf
Plans Reference: P2
Date received: 13/06/2025

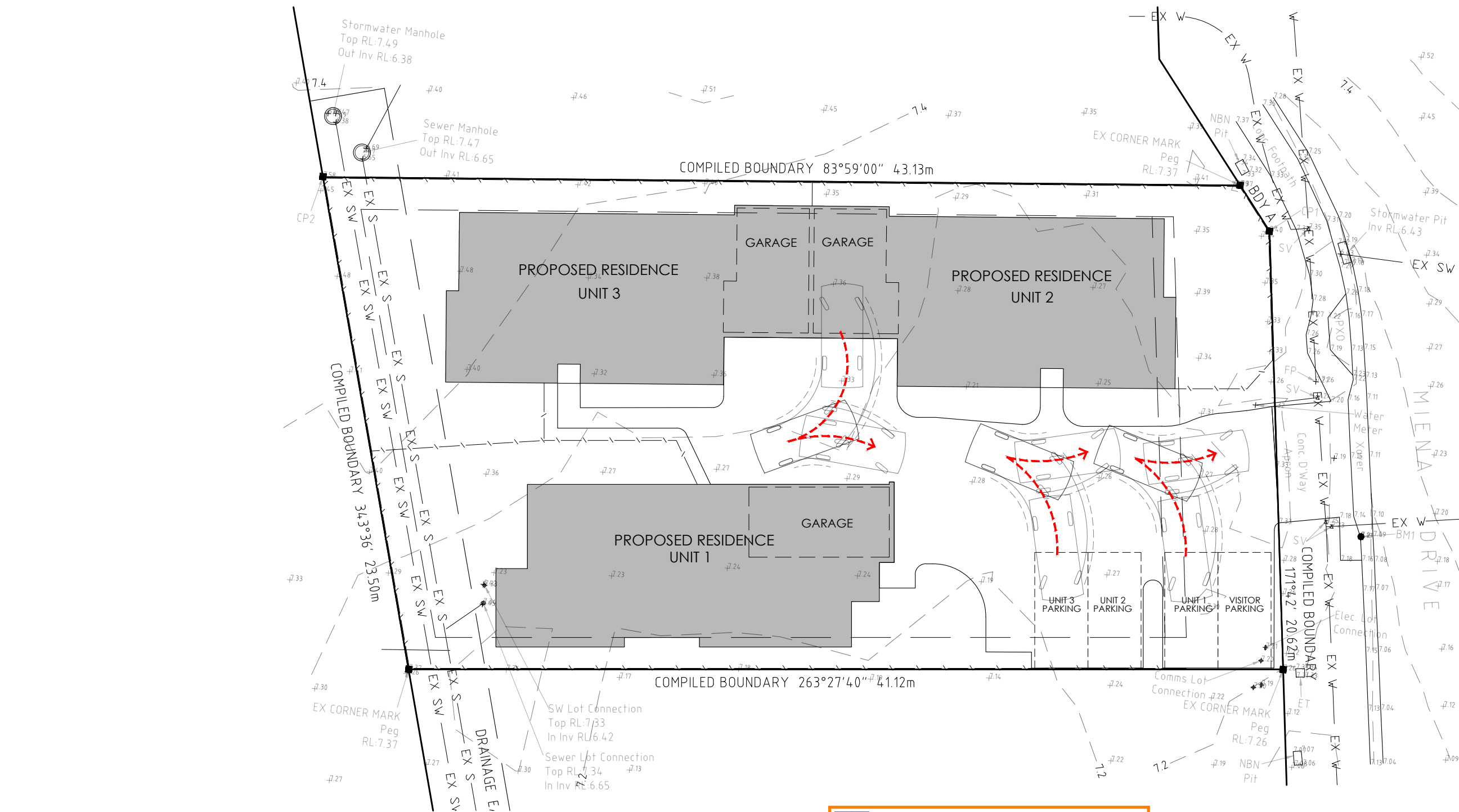
NOTE: ALL TURNING PATHS HAVE BEEN
CALCULATED FOR A B85 VEHICLE IN
ACCORDANCE WITH AS2890.1

PRELIMINARY

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24		CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.	REV:	DESCRIPTION:	BY:	DATE:
			SK	ISSUED FOR CLIENT REVIEW	IB	8/7/24
			A	ISSUED FOR CLIENT REVIEW	QT	5/8/24
			B	COUNCIL RFI	IB	13/6/25

 CREATIVE HOMES HOBART <small>CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000</small>	JOB ADDRESS: 9 Miena Drive Sorell		CLIENT: Matthew Chamberlain	
	DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 24 of 25	
	DRAWN: Q. Tra	DATE: August 2024	DESIGN TYPE: Custom	
	CHECKED:	DATE:	DRAWING NO: 198076	
SCALE: 1:200		REV: B		



PROPOSED TURNING PATHS

UNIT 2 GARAGE EXIT PATH &
UNIT 1 & 3 PARKING SPACE EXIT PATH




Sorell Council
Development Application: 5.2024.325.1 -
Response to Request For Information - 9
Miena Drive, Sorell - P2.pdf
Plans Reference: P2
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NOTE: ALL TURNING PATHS HAVE BEEN
CALCULATED FOR A B85 VEHICLE IN
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PRELIMINARY

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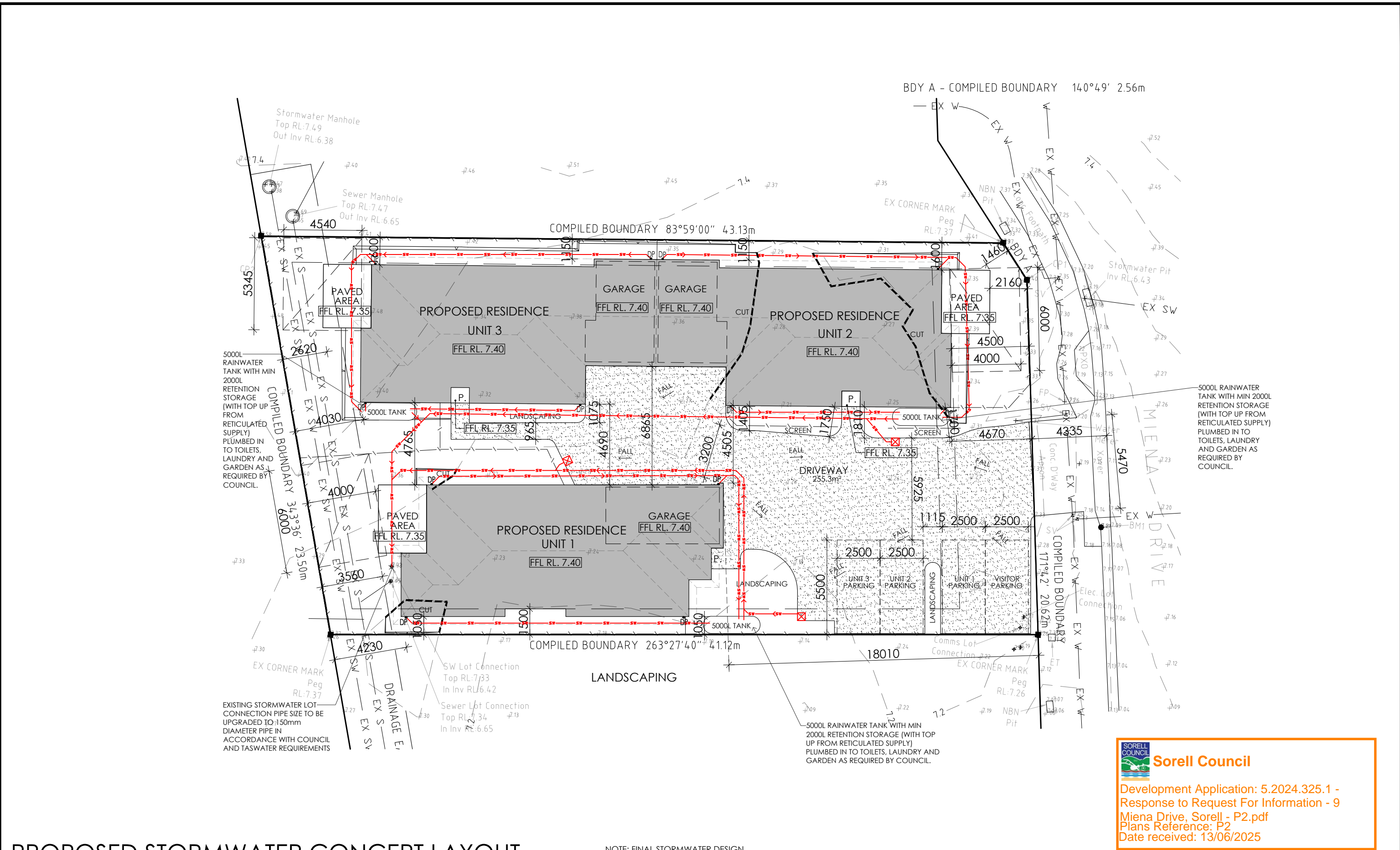
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JOB ADDRESS: 9 Miena Drive Sorell		CLIENT: Matthew Chamberlain	
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET:	24 of 25
DRAWN: Q. Tra	DATE: August 2024	DESIGN TYPE:	Custom
CHECKED:	DATE:	DRAWING NO:	198076
SCALE: 1:200	REV: B		



PROPOSED STORMWATER CONCEPT LAYOUT

NOTE: FINAL STORMWATER DESIGN
TO BE TO ENGINEER'S DETAILS

PRELIMINARY

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25		CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.	REV:	DESCRIPTION:	BY:	DATE:	 CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000	JOB ADDRESS: 9 Miena Drive Sorell	CLIENT: Matthew Chamberlain	
			SK	ISSUED FOR CLIENT REVIEW	IB	8/7/24				
			A	ISSUED FOR CLIENT REVIEW	QT	5/8/24				
			B	COUNCIL RFI	IB	13/6/25				
								DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 25 of 25
								DRAWN: Q. Tra	DATE: August 2024	DESIGN TYPE: Custom
								CHECKED:	DATE:	DRAWING NO: 198076
								SCALE: 1:200	REV: B	