

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: 2 Rowan Avenue, Primrose Sands

PROPOSED DEVELOPMENT:

DWELLING (RETROSPECTIVE)

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Monday 7th July 2025**.

Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the General Manager. Representations must be received no later than **Monday 7th July 2025**

APPLICANT: 20 TWENTY PROPERTY DEVELOPMENTS

APPLICATION NO: DA 2024 / 00175 1

DATE: 19 June 2025

Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	Use:
	Development:
	<i>Large or complex proposals should be described in a letter or planning report.</i>
Design and construction cost of proposal: \$	

Is all, or some the work already constructed:	No: <input type="checkbox"/> Yes: <input type="checkbox"/>
---	--

Location of proposed works:	Street address:
	Suburb: Postcode:
	Certificate of Title(s) Volume: Folio:

Current Use of Site
---------------------	-------

Current Owner/s:	Name(s).....
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Is the Property on the Tasmanian Heritage Register?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Council or Crown land section on page 3</i>
If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form https://www.sorell.tas.gov.au/services/engineering/		



Sorell Council

Development Application:5.2024.175.1 -
 Response to Request for information -
 P3.pdf
 Plan Reference:P3
 Date received:25/11/2024

CERTIFICATE OF TITLE

LAND TITLES ACT 1980



TASMANIA

TORRENS TITLE

VOLUME		FOLIO
79379		11
EDITION	DATE OF ISSUE	
2	20-Feb-2023	
Page 1		of 1

I certify that the person described in Schedule 1 is the registered proprietor of an estate in fee simple (or such other estate or interest as is set forth in that Schedule) in the land within described subject to such exceptions, encumbrances, interests and entries specified in Schedule 2 and to any additional entries in the Folio of the Register.

Recorder of Titles



DESCRIPTION OF LAND

Parish of CARLTON, Land District of PEMBROKE
Lot 11 on Diagram 79379 (formerly being 454-13D)
Derivation : Part of Lot 31145 (1072 Acres) Granted to E.J.
Kennedy
Prior CT 2023/90

SCHEDULE 1

M991246 TRANSFER to CRAIG EDWARD JOHNSTON Registered
20-Feb-2023 at 12.02 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

A222526 BENEFITING EASEMENT: Right of carriageway over the piece of land containing 16 perches shown on Diagram No. 82024 created by Order

A222526 BENEFITING EASEMENT: Right of drainage over the Drainage Easement shown passing through Lot 14 (marked D.C.) on Diagram No. 79379 created by Order

A222526 BURDENING EASEMENT: Right of drainage (appurtenant to Lots 7-10 on Diagram No. 79379) over the Drainage Easement shown passing through the said land within described created by Order

A222526 FENCING COVENANT created by Order



Sorell Council

Development Application: Development
Application - 2 Rowan Avenue, Primrose Sands -
P1.pdf
Plans Reference:P1
Date Received:25/07/2024



R. F. ADKINS

[illegible]

COUNTY OF PEMBROKE
PARISH OF CARLTON
Part of Lot 2085 (1075 A.C.) c/o L. Edmund J. Kennedy.
454/13
Measurements are in feet



Sorell Council

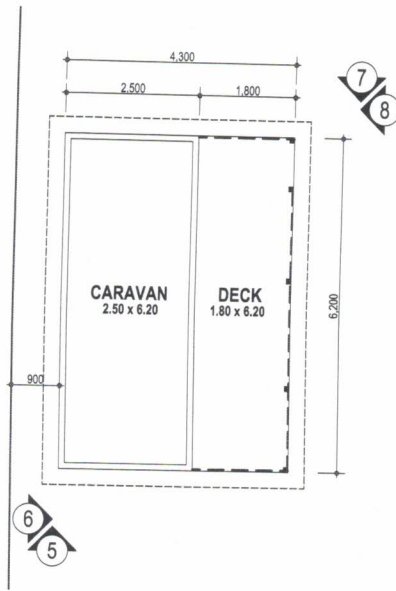
Development Application: Development
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K. J. Adams
855-5100000
Page 4 (of 4 pages)

Bed plates 90x35?? Pine
Studs 90x45 pine.
Noggins 90x45 Pine
Flooring - yellow Tongue Floor

* NB

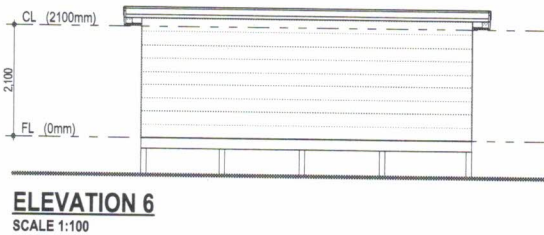
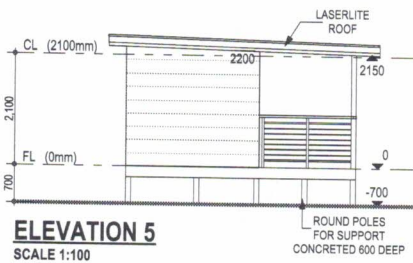
Caravan NOT in
Requested Item
by Council.



8
Studs 450
window
Headers. 250 x 45.
Hardwood.

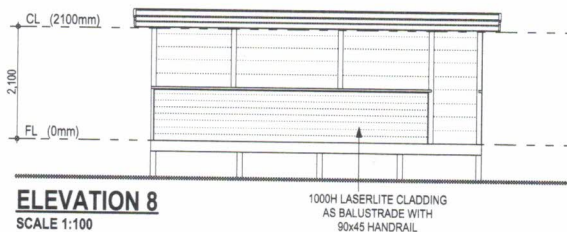
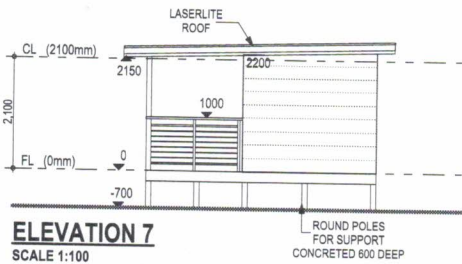
Heights as per
Plans

Floor Joists as per
engineers drawings
Rofters etc as per
engineers drawing.



Sorell Council

Development Application: Devvelopment
Application - 2 Rowan Avenue, Primrose Sands -
P1.pdf
Plans Reference:P1
Date Received:25/07/2024



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STRUCterre
consulting engineers

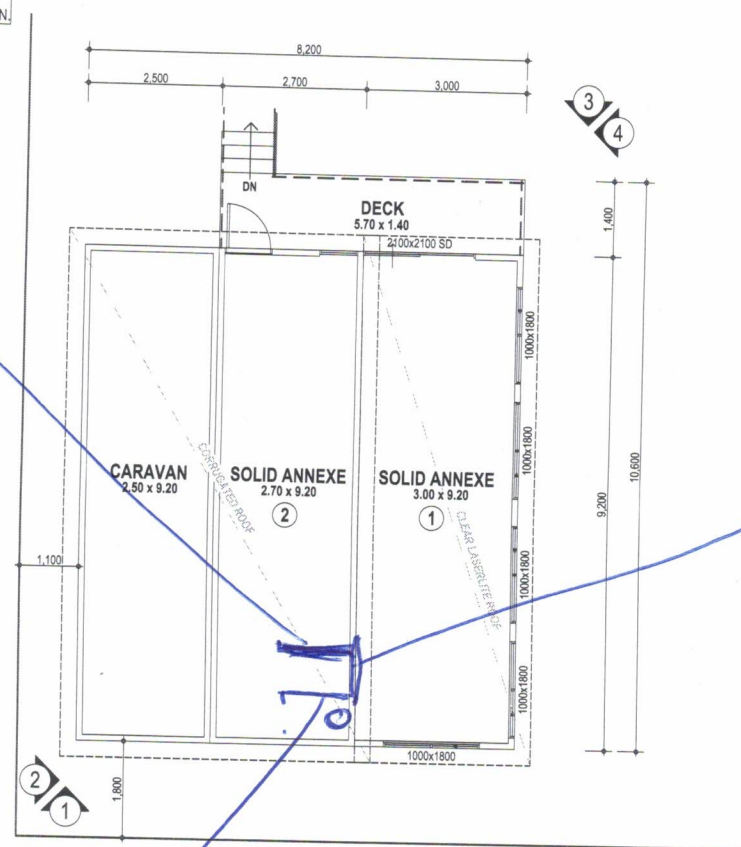
VNIX
SUPPORT • BIM • SERVICES

PROPOSED ALTERATION & ADDITION FOR:
CRAIG & VIKKI JOHNSTON

ADDRESS
2 ROWAN AVENUE, PRIMROSE
SANDS

Rev.	Amendment	Drawn	Date	CARAVAN 1	
A	ISSUED FOR DISCUSSION	VN-ARC	14-03-23	SCALE:	1:100, 1:4.24
				DRAWN:	VN-ARC
				CHECKED:	
				DWG NO :	2 OF 3

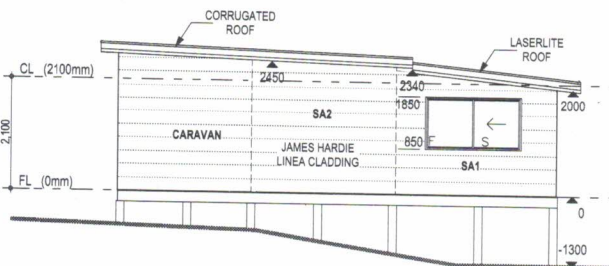
ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
BUILDER TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING
CONSTRUCTION. NOTIFY DESIGNER OF ANY DISCREPANCIES
BEFORE PROCEEDING DRAWINGS SHALL NOT BE USED FOR
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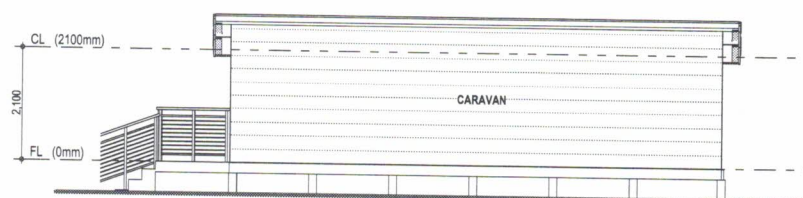
nib wall
Floor to ceiling
1.300 Long
100 wide

Sliding
Door
2100 H
2050 W.

Taller wall 1300 long
1000 wide

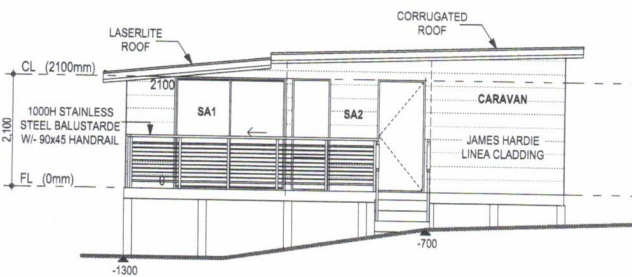


ELEVATION 1
SCALE 1:100

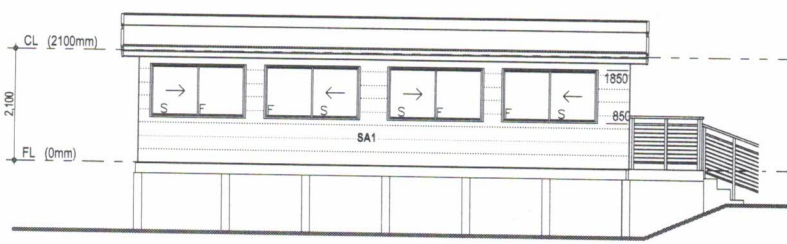


ELEVATION 2
SCALE 1:100

**Sorell Council**
Development Application: Development
Application - 2 Rowan Avenue, Primrose Sands -
P1.pdf
Plans Reference: P1
Date Received: 25/07/2024



ELEVATION 3
SCALE 1:100



ELEVATION 4
SCALE 1:100

	Area m ²	Perimeter m
1. CARAVAN 1	15.500	17.400
2. DECK 1	11.160	16.000
3. CARAVAN 2	75.440	34.800
4. DECK 2	7.982	14.204

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consulting engineers
**VNIX**
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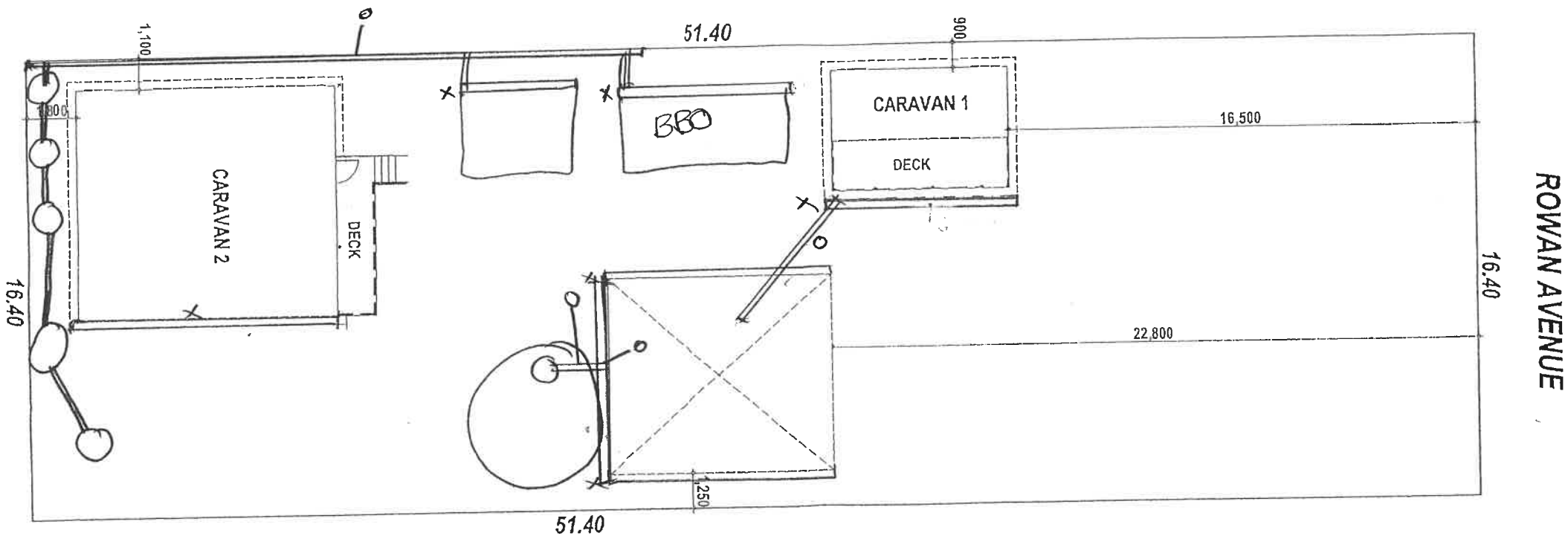
PROPOSED ALTERATION & ADDITION FOR:
CRAIG & VIKKI JOHNSTON
ADDRESS
**2 ROWAN AVENUE, PRIMROSE
SANDS**

Rev.	Amendment	Drawn	Date	CARAVAN 2	
A	ISSUED FOR DISCUSSION	VN-ARC	14-03-23	SCALE:	1:1, 1:100
				DRAWN:	VN-ARC
				CHECKED:	
				DWG NO :	3 OF 3

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X Gutter
O Downpipe
□ Tanks

over flow from
Tanks currently
go to wastewater
(Proposing to send to
Road when drains are
complete.
or into natural
Easment water flow.



**Sorell Council**

Development Application: Advertising Documents
- 2 Rowan Avenue, Primrose Sands
-5.2024.175.1.pdf
Plans Reference:P4
Date Received:20/06/2025

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CRAIG & VIKKI JOHNSTON				2 ROWAN AVENUE, PRIMROSE SANDS			
Rev.	Amendment	Drawn	Date	SCALE:			
A	ISSUED FOR DISCUSSION	VN-ARC	14-03-23	1:200, 1:1			
				DRAWN: VN-ARC			
				CHECKED:			
				DWG NO: 1 OF 3			
				SITE PLAN			

Points 4 & 5

[illegible]

Cross over was non
existent
3.700
x 3500
(Gravel x Cross)

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				DRAWN:	VN-ARC
				CHECKED:	
				DWG NO :	1 OF 3



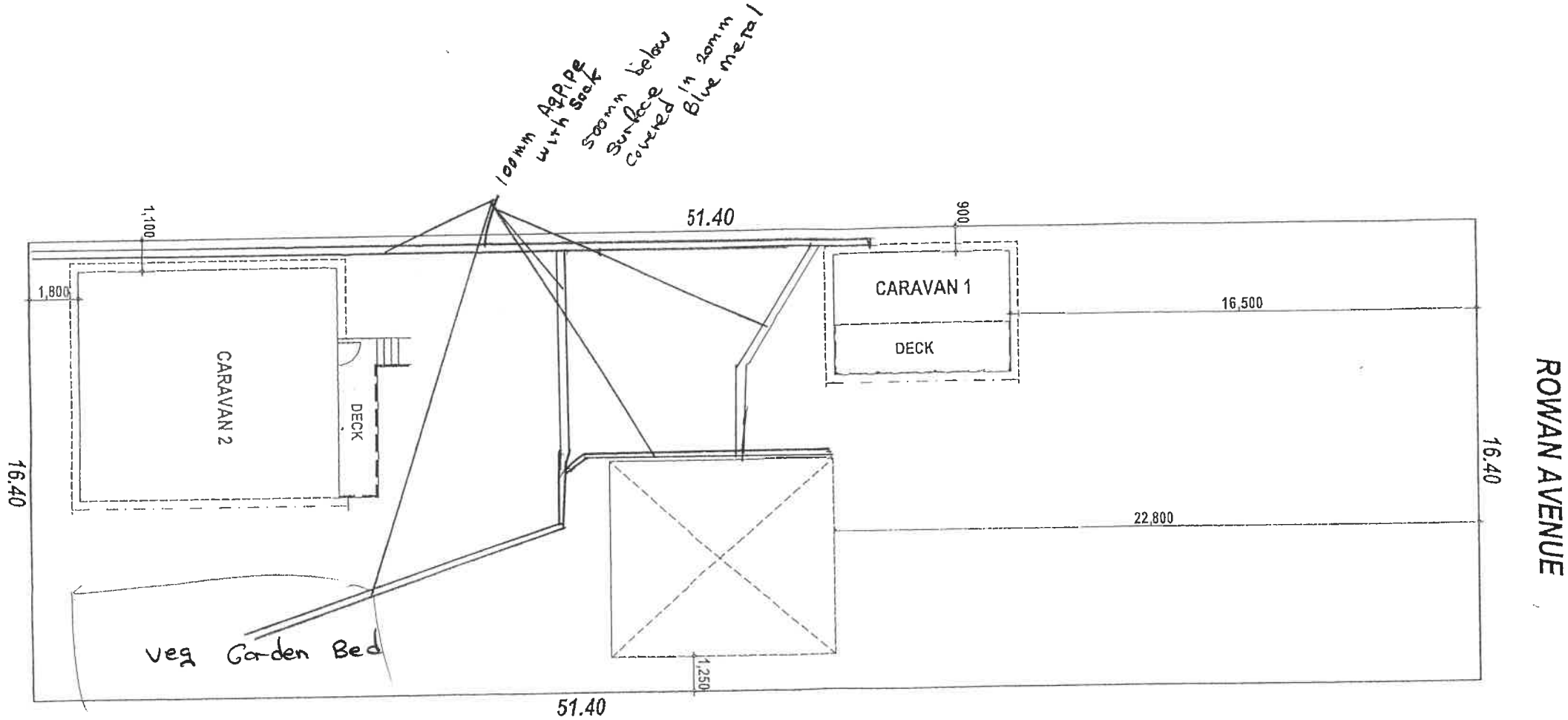
**SORELL
COUNCIL**

Sorell Council

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POINTS 6 & 7



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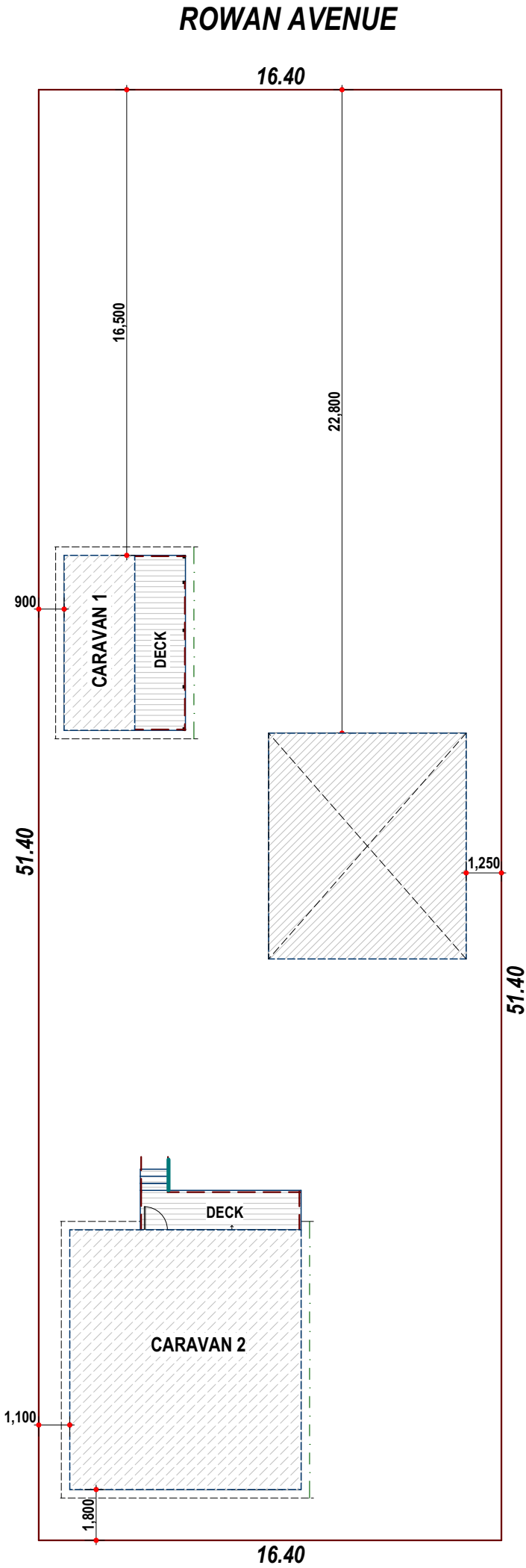
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				CHECKED:
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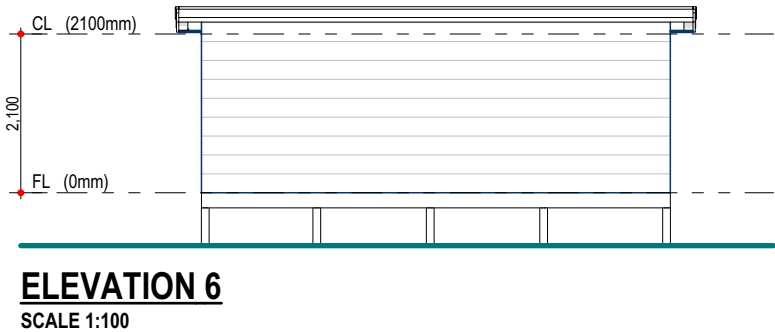
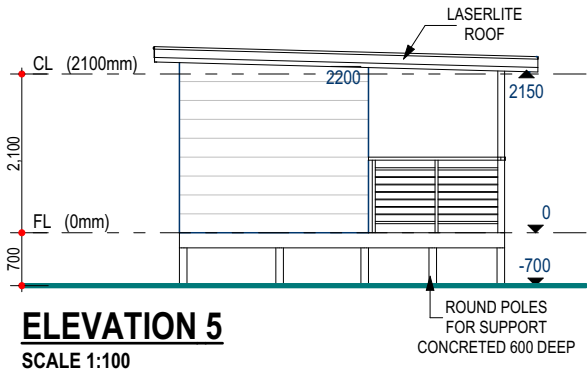
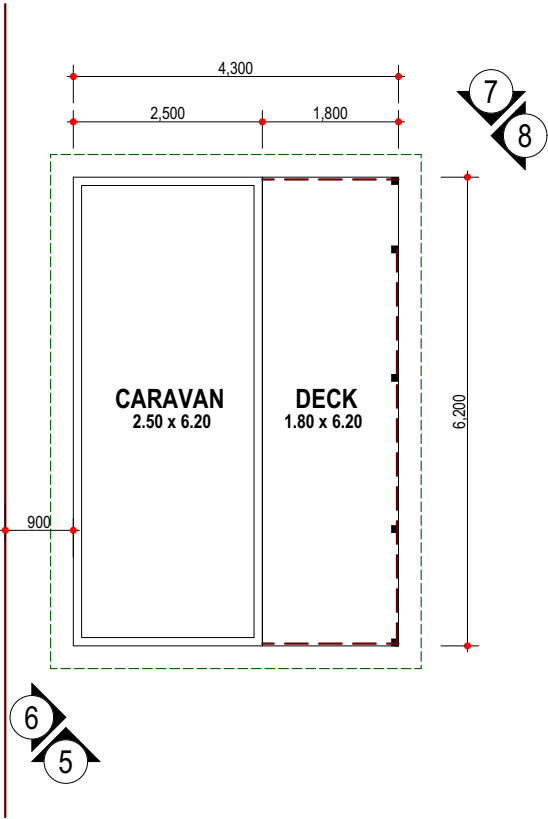


**Sorell Council**

Development Application: Devvelopment
Application - 2 Rowan Avenue, Primrose Sands -
P1.pdf
Plans Reference:P1
Date Received:25/07/2024

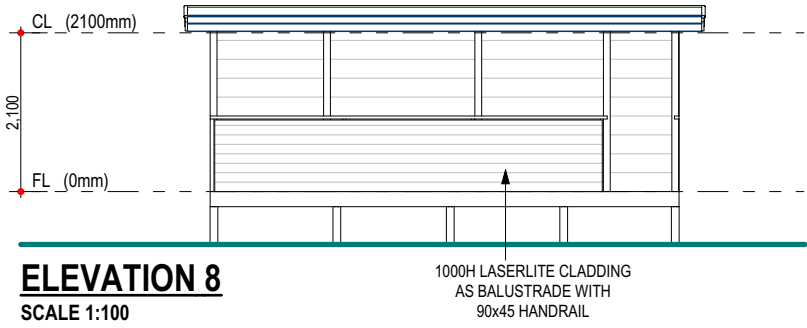
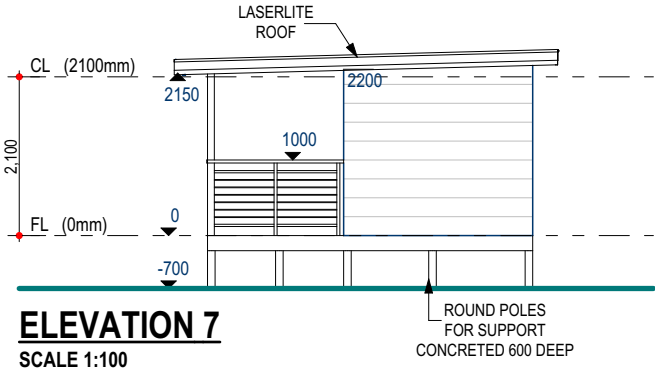
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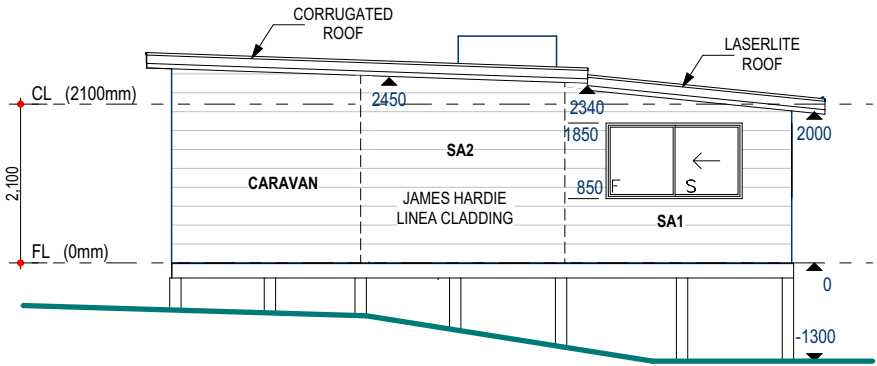
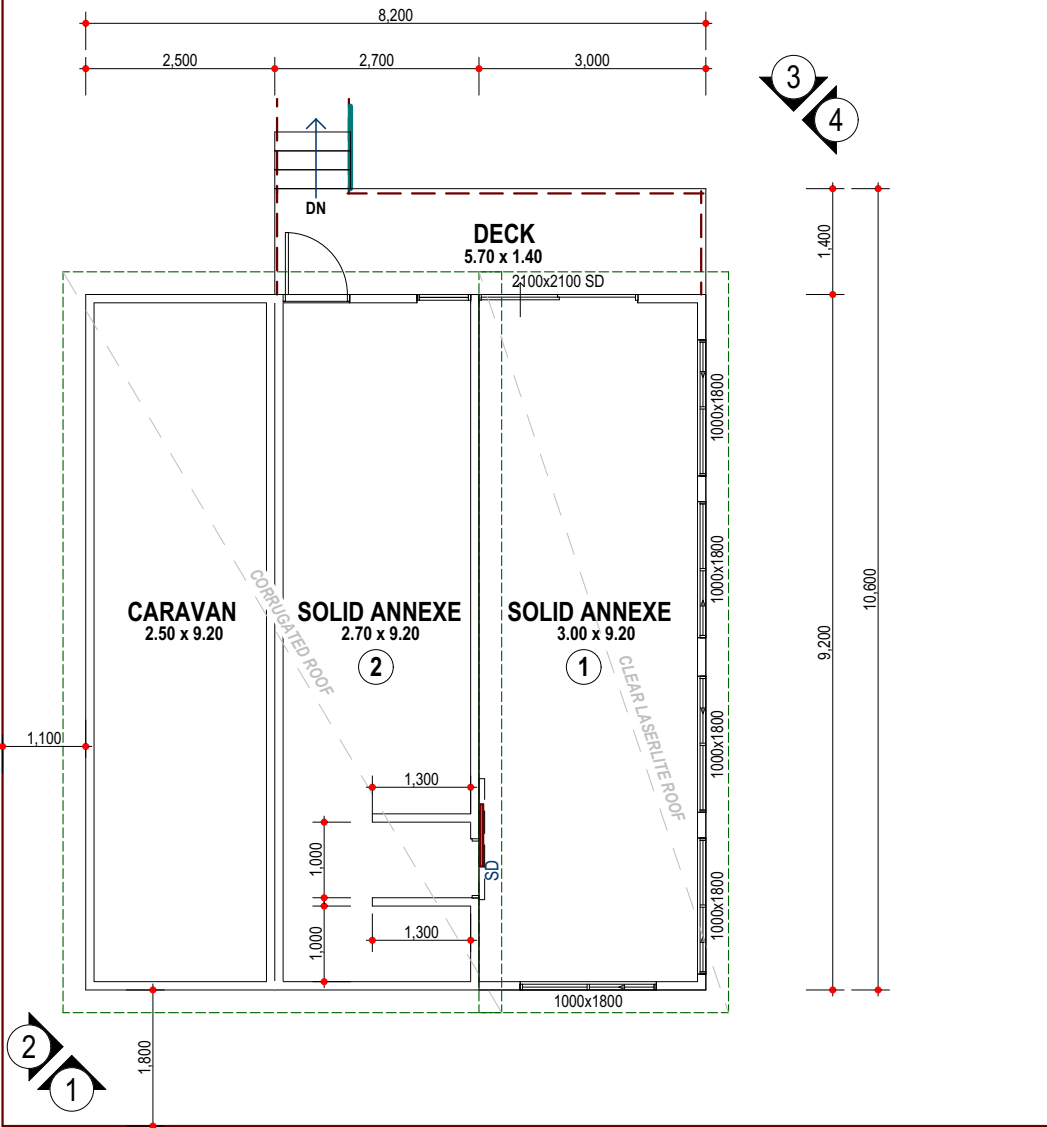
**Sorell Council**

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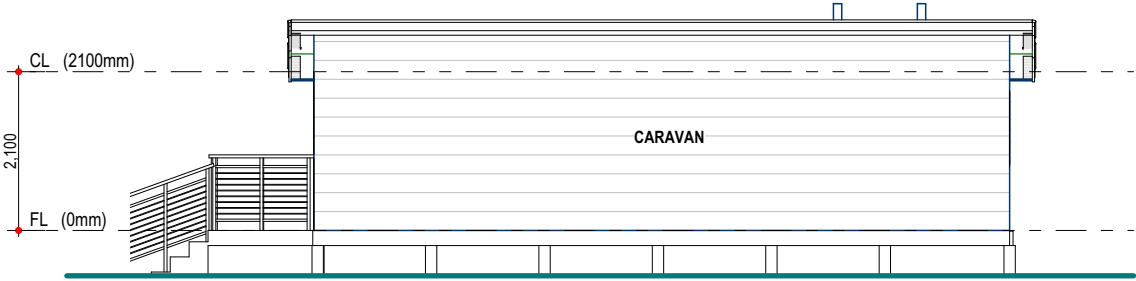


Rev.	Amendment	Drawn	Date	CARAVAN 1	
A	ISSUED FOR DISCUSSION	VN-ARC	14-03-23	SCALE:	1:100
B	ISSUED FOR CONSTRUCTION	VN-ARC	22-03-23		
C	RFI	VN-ARC	03-04-24	DRAWN:	VN-ARC
				CHECKED:	
				DWG NO :	2 OF 3

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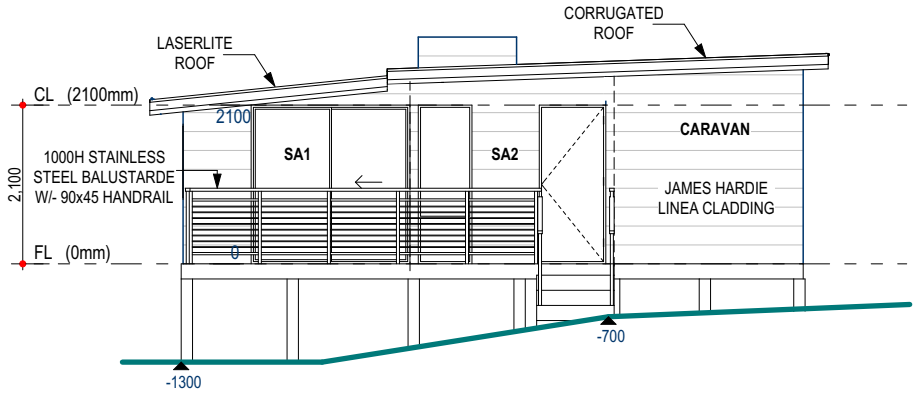


ELEVATION 1
SCALE 1:100

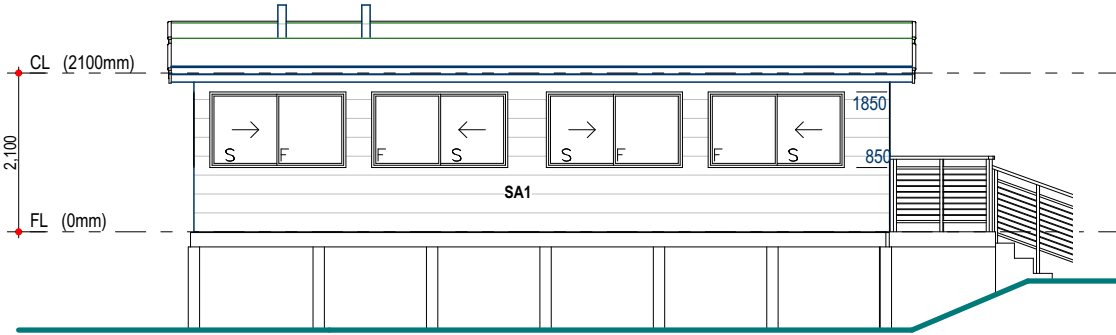


ELEVATION 2
SCALE 1:100

Sorell Council
Development Application: Devvelpoment
Application - 2 Rowan Avenue, Primrose Sands -
P1.pdf
Plans Reference:P1
Date Received:25/07/2024



ELEVATION 3
SCALE 1:100



ELEVATION 4
SCALE 1:100

	Area m ²	Perimeter m
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PROPOSED ALTERATION & ADDITION FOR:
CRAIG & VIKKI JOHNSTON

ADDRESS
**2 ROWAN AVENUE, PRIMROSE
SANDS**

Rev.	Amendment	Drawn	Date	CARAVAN 2	
A	ISSUED FOR DISCUSSION	VN-ARC	14-03-23	SCALE:	1:100
B	ISSUED FOR CONSTRUCTION	VN-ARC	22-03-23	DRAWN:	VN-ARC
C	RFI	VN-ARC	03-04-24	CHECKED:	
				DWG NO :	3 OF 3

AS CONSTRUCTED ALTERATIONS

2 ROWAN AVENUE, PRIMROSE SANDS

ENGINEERING DRAWINGS

No	DRAWING
001	GENERAL NOTES
002	SMALL CARAVAN FOOTINGS & DECK FRAMING PLANS
003	SMALL CARAVAN ROOF FRAMING PLAN
101	LARGE CARAVAN FOOTINGS PLAN
102	LARGE CARAVAN GROUND FLOOR FRAMING PLAN
103	LARGE CARAVAN ROOF FRAMING PLAN
201	TIE DOWN NOTES

RELEVANT CODES USED

THE FOLLOWING AUSTRALIAN STANDARDS HAVE BEEN USED FOR ENGINEERING DESIGN:

- CONCRETE FOOTINGS IN ACCORDANCE WITH AS2870.
- CONCRETE DESIGNED IN ACCORDANCE WITH AS3600.
- WIND CLASSIFICATION IN ACCORDANCE WITH AS4055.
- STEEL IN ACCORDANCE WITH AS4100.
- TIMBER FRAMING IN ACCORDANCE WITH AS1684.
- TIMBER BRACING AND TIE DOWNS IN ACCORDANCE WITH AS1684.



Slawomir (Slawek) Misiun
Civil/ Structural Engineer
MIE Aust. 927148
Accredited Building Practitioner
No. CC4102M



ALPHA CONSULTING
ENGINEERS & MANAGERS

M: 0438 433 113
E: info@alphaconsulting.com.au
W: alphaconsulting.com.au

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ENGINEERING

GENERAL

- G1 All dimensions shown should be checked on site. Do not scale dimensions.
- G2 These drawings to be read in conjunction with architectural drawings. Any discrepancies should be referred to the project manager, prior to proceeding with any work.
- G3 Builders responsibility to comply with all planning conditions.
- G4 Refer to architectural drawings for all set downs.
- G5 No changes to design are allowed without engineer's approval.
- G6 Founding to be inspected by building surveyor, engineer or Engineer's representative - refer to C.S.I.R.O. document for house maintenance.

EXCAVATION AND SITE PREPARATION

- F1 The site is to be stripped of all vegetation and organic material prior to cutting or filling
- F2 All trenches must be clean and free from all loose material.
- F3 Bases of footings shall be horizontal U.N.O.

* If trenching or other site work indicates the presence of foundation materials significantly different than those indicated on drawings, please notify this office as soon as possible.

CONCRETE

- C1 Workmanship, materials and design shall be in accordance with AS 3600 and associated codes listed therein and the specification.
- C2 Concrete shall be 25 MPa minimum unless noted otherwise, with 20mm nominal maximum aggregate size and 80mm slump
- C3 Do not place conduits, pipes and the like within concrete cover.
- C4 All concrete shall be properly cured by keeping all exposed surfaces in a moist or damp condition for at least the first 7 days after placement.
Concrete must be maintained continuously wet for at least the first three days. Plastic sheeting is preferred to retain moisture and it will be necessary to provide additional water during the initial period.
- C5 Where brittle floor coverings are to be used (eg. tiled areas), extra measures are required to control the effect of shrinkage cracking. Some measures include the following:
- a flexible grout bed shall be provided under tiles.
- the placement of floor coverings shall be delayed (3 months minimum)

REINFORCEMENT

- R1 Reinforcement designations are : N: D500N bar deformed to AS/NZ 4671 in accordance with AS 3600 and associated codes listed therein and the specification.
- R2 Reinforcement is to be placed evenly, straight and adequately tied to prevent any movement during pouring of concrete.
- R3 Where splicing is required, the minimum lap length in all cases shall be in accordance with the following table, unless noted otherwise:

N12	500
N16	750
N20	1100

- R4 Trench mesh to be lapped 40 bar diameter throughout. U.N.O.
- R5 Where reinforcement is continuous through a pour break, scabble, remove all loose material and dampen the old face before pouring against it.
- R6 Reinforcement is represented diagrammatically and not necessarily in true projection.
- R7 Cover to Reinforcement as noted on drawings.
- R8 Fix all reinforcement and correctly tie in position using adequate bar chairs and spacer blocks in order that no disturbance of the reinforcement or puncturing of the membrane occurs during concrete pouring.

STEELWORK:

- S1 Workmanship, materials and design shall be in accordance with A.S. 4100, associated codes listed therein and the specification.
- S2 Unless noted otherwise steel elements shall be of the following grades:
General sections - AS/NZS 3679
C.H.S., R.H.S. & S.H.S. - AS/NZS 1163
Purlins and girts - grade G450 - Z275 to A.S. 1397
Hot-rolled steel flat products - AS/NZS 1594
- S3 Refer to architectural drawings for lintels, cleats and members not specifically shown on these drawings.
- S4 Bolting procedures are identified as follows:

Bolting Procedure	Grade MPa	Bolt TO A.S.	method of installation
4.6/S	4.6	AS 1111	Snug Tightened

- S5 Welding categories shall be as follows
Unless noted otherwise GP to A.S. 1554 Purlin & Girt Cleats GP to A.S. 1554
- S6 Unless noted otherwise all fillet welds shall be 6mm continuous fillet welds.
- S7 All steelworks to be blasted to class 2 and painted in accordance with architectural specifications.
- S8 Contractor to provide and leave in place all temporary bracing where as required to stabilise the structure during erection until all perimeter bracing members are in place.

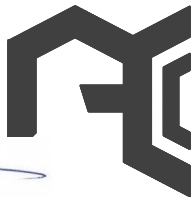
**Sorell Council**

Development Application: Devvelopment Application - 2 Rowan Avenue, Primrose Sands - P1.pdf

Plans Reference:P1

Date Received:25/07/2024

Slawomir (Slawek) Misiun
Civil/ Structural Engineer
MIE Aust. 927148
Accredited Building Practitioner
No. CC4102M



ALPHA CONSULTING
ENGINEERS & MANAGERS
M: 0438 433 113
E: info@alphaconsulting.com.au
W: alphaconsulting.com.au

Project
AS CONSTRUCTED ALTERATIONS
2 ROWAN AVENUE,
PRIMROSE SANDS

Drawing
GENERAL NOTES

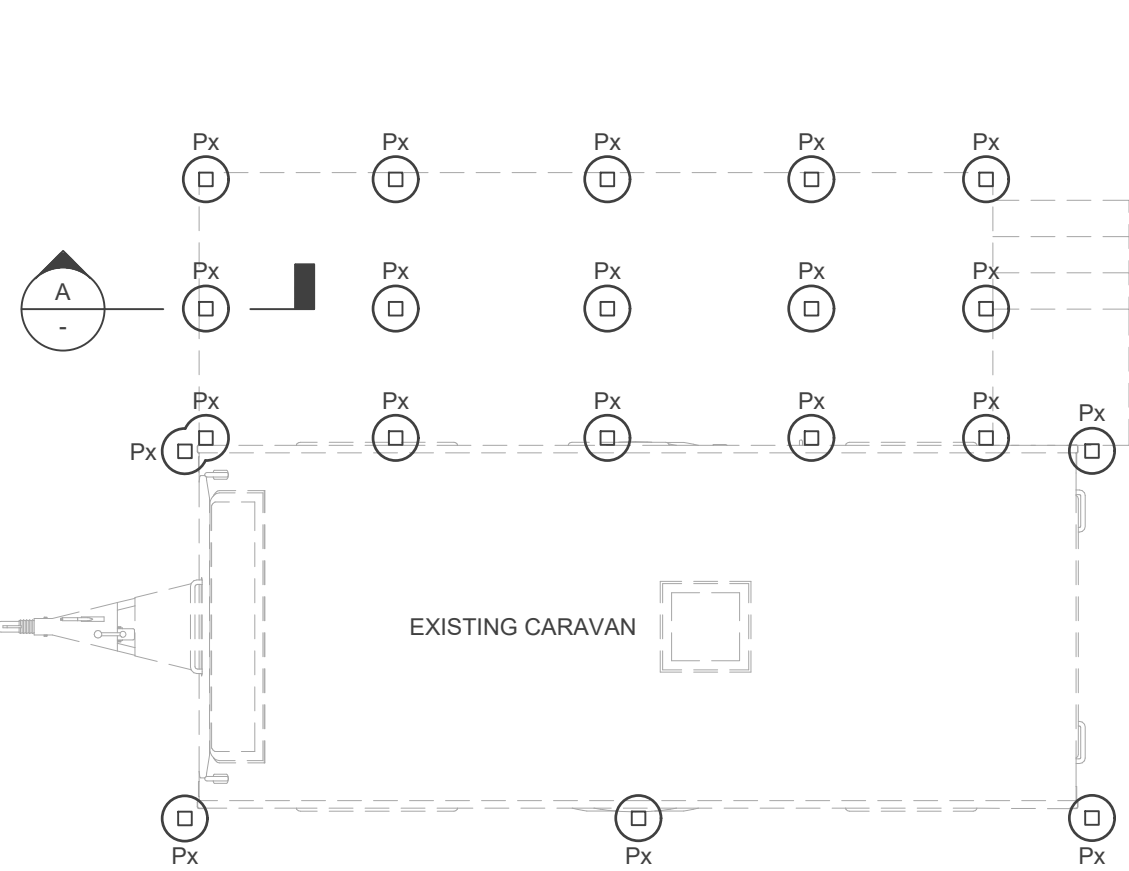
Designed
S.M.

Approved
S.M.

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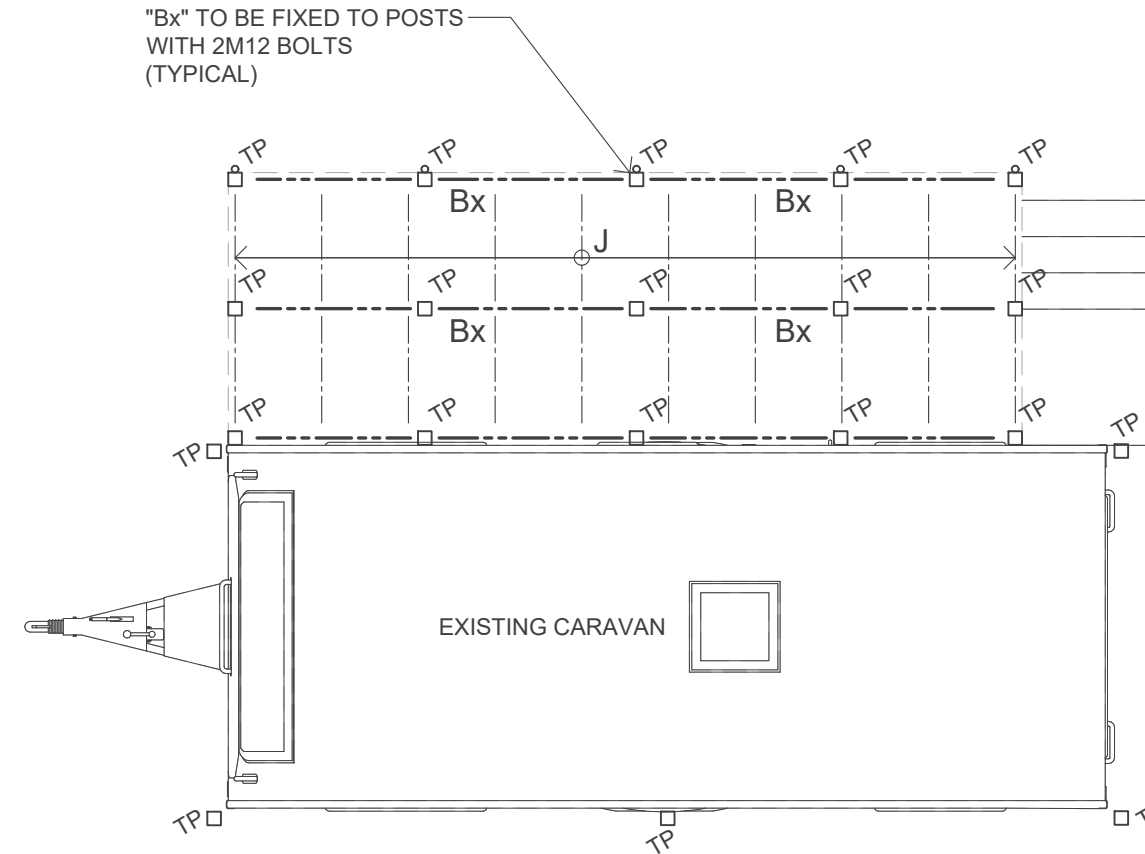
Date 03/02/2024	Drawn B.L.	Scale AS INDIC.
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Project/Drawing A23201 - 001	Rev A
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FOOTINGS PLAN

1:50

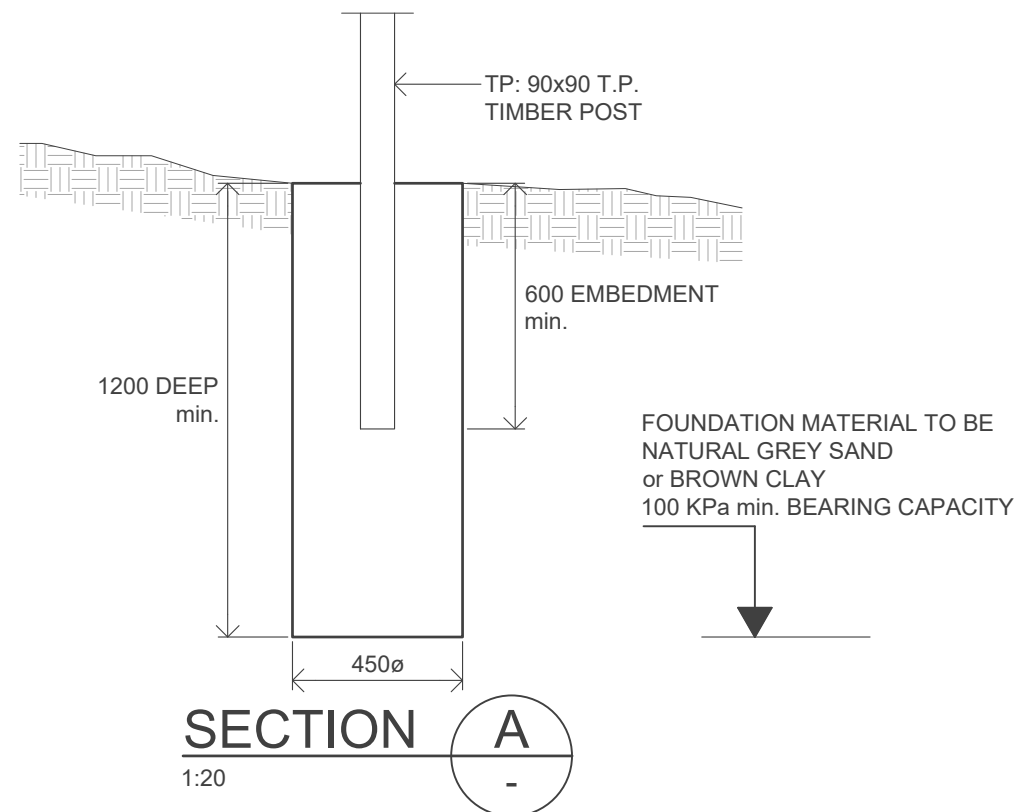


DECK FRAMING PLAN

1:50

LEGEND

- Px: 450Ø CONCRETE BORED PIER
1200 DEEP min.
- Bx: 140x45 MGP10 DECK BEARER
- J: 90x45 MGP10 at 600 CRS
DECK JOIST
- TP: 90x90 T.P. TIMBER POST
- FOOTINGS ARE DESIGNED TO CLASS
"S" IN ACCORDANCE WITH A.S. 2870.
- FOUNDING MATERIAL TO BE NATURAL
SAND AND OF min. BEARING CAPACITY
OF 100 kPa

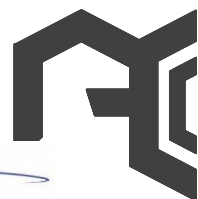


SECTION A

1:20



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Project
AS CONSTRUCTED ALTERATIONS
2 ROWAN AVENUE,
PRIMROSE SANDS

Drawing
SMALL CARAVAN
FOOTINGS & DECK
FRAMING PLANS

Designed
S.M.

Approved
S.M.

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Date
03/02/2024

Drawn
B.L.

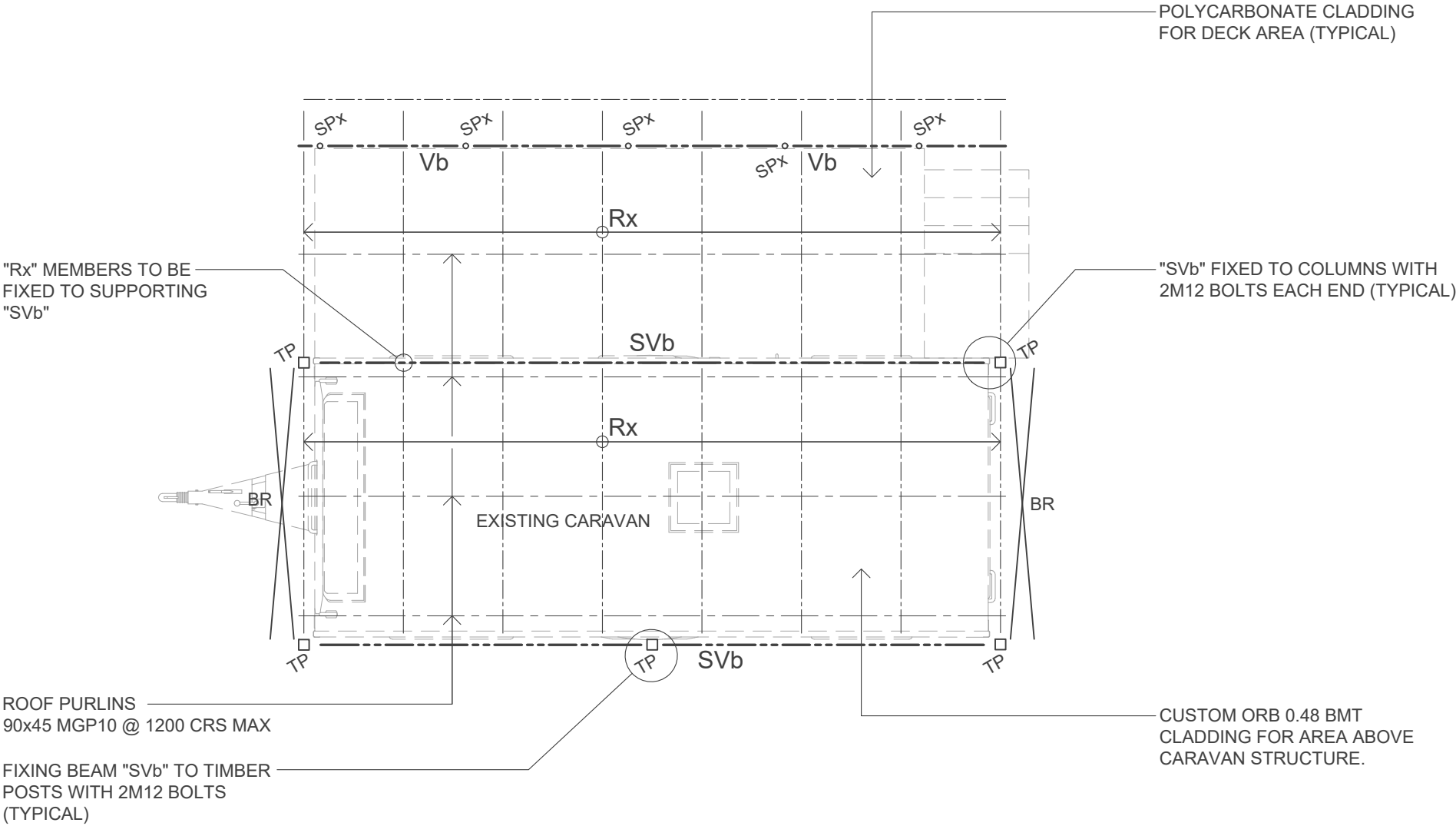
Scale
1:50, 1:20

Project/Drawing
A23201 - 002

Rev
A

WIND SITE CLASSIFICATION N3
IN ACCORDANCE WITH A.S.4055 & A.S.1684.2,
MAXIMUM WIND SPEED FOR BUILDING
Vu=50m/s

- LEGEND**
- BR: DIAGONAL 30x0.8 METAL STRAP BRACING
- Rx: 90x45 MGP10 RAFTERS at 900 CRS
- SPx: 45x3.2 CHS STEEL POST
STEEL POST TO BE CAST INTO CONCRETE PIERS
400 min. (TYPICAL)
- SVb: C15015 STEEL VERANDAH BEAM
- TP: 90x90 T.P. TIMBER POST
- Vb: 90x45 T.P. TIMBER VERANDAH BEAMS
(2 BEAMS PARALLEL @ 450 CRS min.)



ROOF FRAMING PLAN

1:50

**Sorell Council**

Development Application: Development Application - 2 Rowan Avenue, Primrose Sands - P1.pdf
Plans Reference:P1
Date Received:25/07/2024

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Project
**AS CONSTRUCTED ALTERATIONS
2 ROWAN AVENUE,
PRIMROSE SANDS**

Drawing
**SMALL CARAVAN ROOF
FRAMING PLANS**

Designed
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Date 03/02/2024	Drawn B.L.	Scale 1:50
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Project/Drawing
A23201 - 003

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A

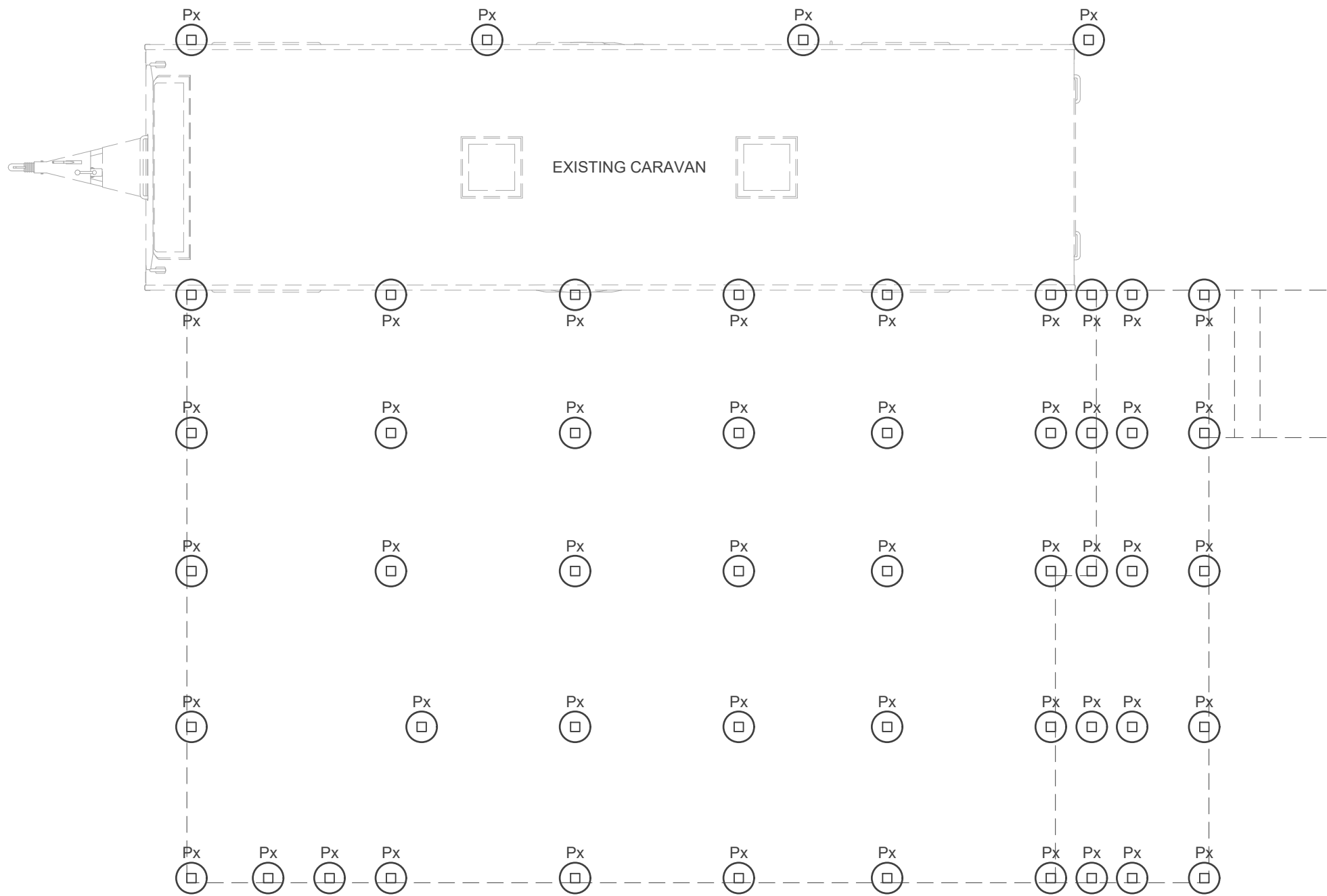
LEGEND

Px: min. 300ø CONCRETE BORED PIER
1200 DEEP min. INTO GROUND

NOTE:
EXISTING FOOTING LOCATIONS
SHOWN AS APPROXIMATE ONLY,
DISTANCE BETWEEN FOOTINGS
WITH TOLERANCE OF +/- 100mm

FOOTINGS ARE DESIGNED TO CLASS
"S" IN ACCORDANCE WITH A.S. 2870.

FOUNDING MATERIAL TO BE NATURAL
SAND AND OF min. BEARING CAPACITY
OF 100 kPa



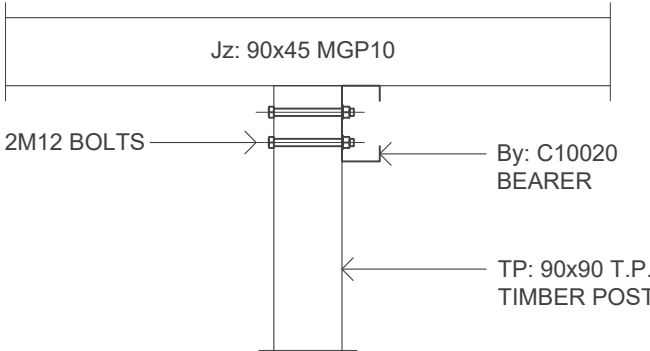
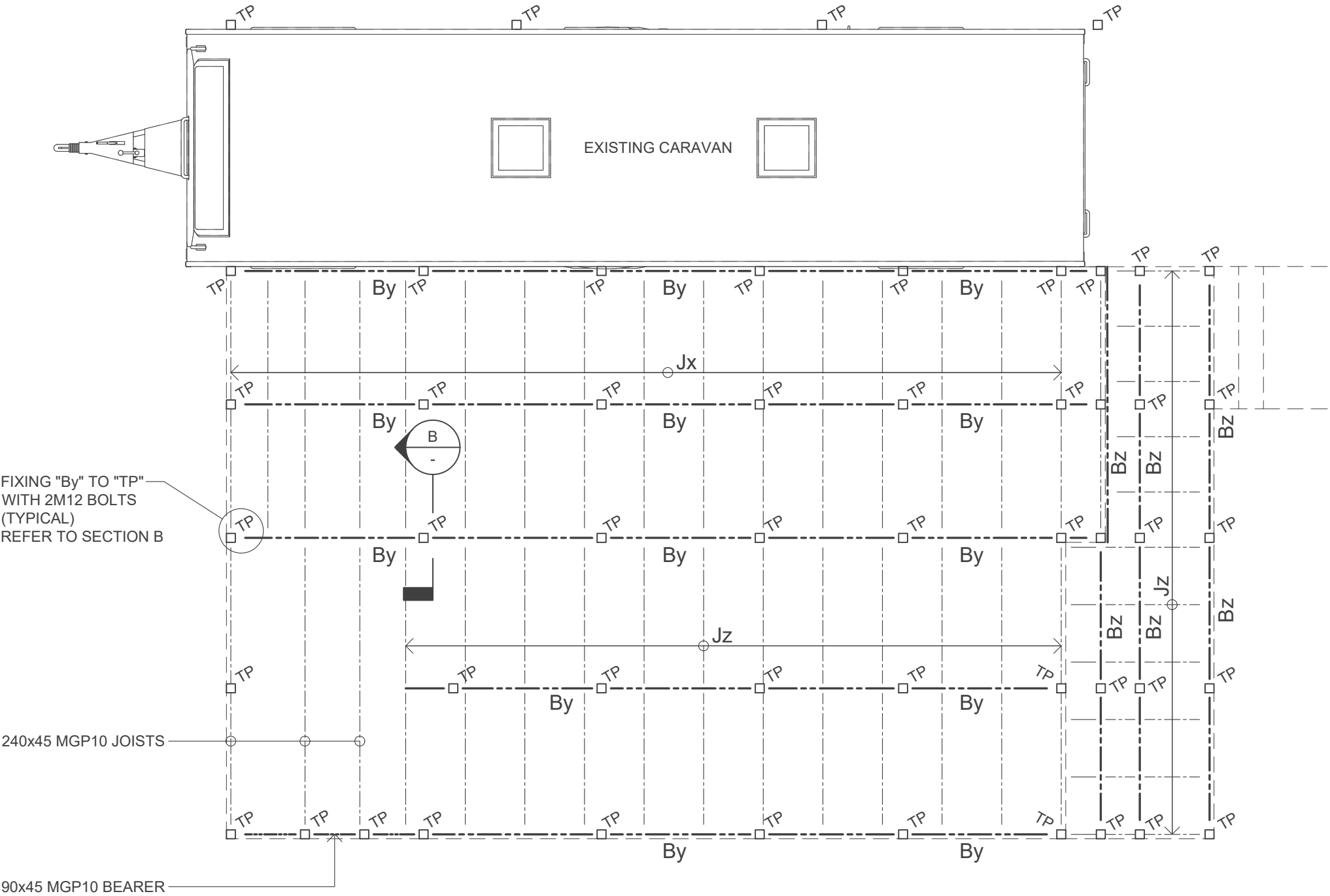
FOOTINGS PLAN

1:50

**Sorell Council**
Development Application: Devvelopment
Application - 2 Rowan Avenue, Primrose Sands -
P1.pdf
Plans Reference:P1
Date Received:25/07/2024

LEGEND

- By: C10020 BEARER
- Bz: 2/90x45 MGP10 DECK BEARER
- Jx: 140x45 MGP10 at 600 CRS FLOOR JOISTS
- Jz: 90x45 MGP10 at 600 CRS FLOOR JOISTS
- TP: 90x90 T.P. TIMBER POST

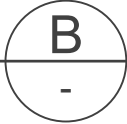


TYPICAL CONNECTION
BEAM TO POST
(FOR TIMBER BEAMS SIMILAR)

GROUND FLOOR FRAMING PLAN

1:50

SECTION



1:10

 **Sorell Council**
Development Application: Development
Application - 2 Rowan Avenue, Primrose Sands -
P1.pdf
Plans Reference: P1
Date Received: 25/07/2024

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Project
**AS CONSTRUCTED ALTERATIONS
2 ROWAN AVENUE,
PRIMROSE SANDS**

Drawing
**LARGE CARAVAN
GROUND FLOOR
FRAMING PLANS**

Designed
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Approved
S.M.

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Date 03/02/2024	Drawn B.L.	Scale 1:50, 1:10
Project/Drawing A23201 - 102		Rev A

LEGEND

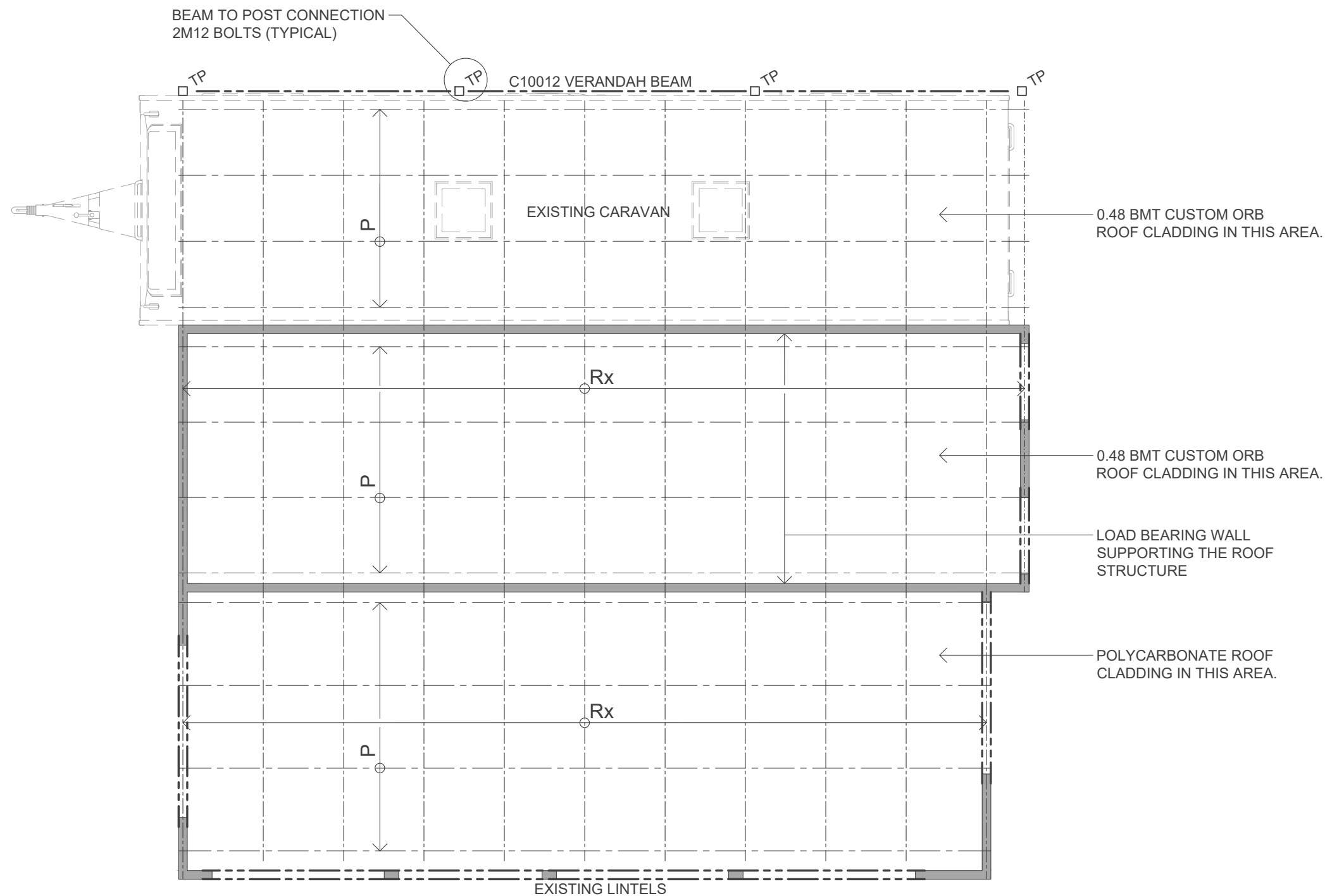
Rx: 90x45 MGP10 RAFTERS
at 900 CRS

P: 90x45 MGP10 ROOF PURLINS
at 900 CRS

TP: 90x90 T.P. TIMBER POST

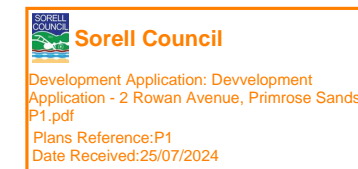
NOTE:
ALL LINTELS 120x45 MGP10 or SIMILAR.

WIND SITE CLASSIFICATION N3
IN ACCORDANCE WITH A.S.4055 & A.S.1684.2,
MAXIMUM WIND SPEED FOR BUILDING
Vu=50m/s



ROOF FRAMING PLAN

1:50



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Project
AS CONSTRUCTED ALTERATIONS
2 ROWAN AVENUE,
PRIMROSE SANDS

Drawing
LARGE CARAVAN
ROOF FRAMING
PLAN

Designed
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Approved
S.M.

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Date
03/02/2024

Drawn
B.L.

Scale
1:50

Project/Drawing
A23201 - 103

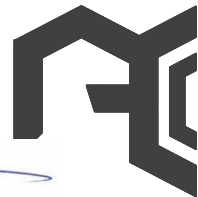
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N3 - SHEET ROOF - 6000 ULW

LOWER STOREY FLOOR FRAME TO SUPPORT		SINGLE OR UPPER STOREY FRAME TO FLOOR FRAME OR SLAB	
BEARER / POST	4/75 X 3.33Ø OR 5/75 X 3.05Ø NAILS AND 1/30 X 0.8 GI STRAP OVER BEARER AND FIXED BOTH ENDS TO STUMP WITH 4/2.8Ø NAILS EACH END	BOTTOM PLATE / JOIST	1/M10 BOLT THROUGH TO BEARER @ 1200 CRS MAX 100 AWAY FROM JOIST LOCATION
BEARER / BRICK WALL, PIER	1/M10 BOLT OR 50 X 4 MILD STEEL FLAT BAR FIXED TO BEARER WITH M10 BOLT AND CAST INTO FOOTING.	BOTTOM PLATE / SLAB	CHEMICAL , EXPANSION OR FIRED PROPRIETARY FASTENER @ 900 CRS 5.4kN UPLIFT CAPACITY
BEARER / CONCRETE POST	6Ø ROD CAST INTO STUMP AND BENT OVER.	PLATE / STUD	30 X 0.8 GI STRAPS @ 900 MAX CRS. 6/2.8Ø NAILS EACH END TURN STRAP 100 MIN. DOWN FACE OF STUD
BEARER / STEEL POST	1/M10 COACH BOLT.	BEAM OR LINTEL / STUD	30 X 0.8 GI STRAP @ 900 CRS MIN. 250 DOWN FACE OF STUD. 6/2.8Ø NAILS EACH END, M10 BOLT OR GI STRAP TO FLOOR FRAME OR SLAB @ SIDE OF OPENING
FLOOR JOIST / BEARER	2/75 X 3.05Ø NAILS	BEAM OR LINTEL / POST	TIMBER POST - 2/M10 BOLTS STEEL POST - 50 X 6 MS PLATE, 1/M10 BOLT
LOWER STOREY WALL FRAME TO FLOOR FRAME / SLAB		RAFTER, TRUSS / WALL FRAME	2/30 X 0.8 LOOPED STRAPS @ 900 MAX CRS 3/2.8Ø NAILS EACH END
PLATE / STUD	30 X 0.8 GI STRAP 4/2.8Ø NAILS EACH END MIN. 100 DOWN FACE OF STUD	RAFTER / BEAM, LINTEL	CONCEALED FIXINGS 4 FRAMING ANCHORS @ 900 MAX CRS. 4/2.8Ø NAILS EACH END OF ANCHOR. EXPOSED FIXINGS 50 x 1.8 GI STRAP OVER RAFTER. 75mm No. 14 TYPE 17 SCREW EACH SIDE OF RAFTER INTO TOP OF BEAM END FIXINGS 4/No. 14 TYPE 17 SCREWS THROUGH BEAM INTO END OF RAFTERS, MIN 35mm PENETRATION INTO RAFTERS.
BOTTOM PLATE / FLOOR JOIST	1/M10 BOLT THROUGH BEARER @ 3000 CRS		
BOTTOM PLATE / SLAB	CHEMICAL , EXPANSION OR FIRED PROPRIETARY FASTENER @ 900 CRS 5.4kn UPLIFT CAPACITY		
-	-		
SINGLE OR UPPER STOREY FLOOR FRAME TO SUPPORT		RAFTER / RIDGE	CONCEALED FIXINGS 4 FRAMING ANCHOR @ 900 MAX CRS. 4/2.8Ø NAILS EACH END OF ANCHOR. EXPOSED FIXINGS 50 x 1.8 GI STRAP OVER RAFTER. 75mm No. 14 TYPE 17 SCREW EACH SIDE OF RAFTER INTO TOP OF BEAM END FIXINGS 4/No. 14 TYPE 17 SCREWS THROUGH BEAM INTO END OF RAFTERS, MIN 35mm PENETRATION INTO RAFTERS.
BEARER / POST	2/ 30 X 0.8 GI STRAPS @ 1800 CRS, 4/2.8Ø EACH END STRAP INTO POST 2/2.8Ø NAILS INTO TOP OF BEARER	RIDGE BOARD, HIP RAFTERS / WALLS	1/30 x 0.8 GI LOOPED STRAP @ 1800 MAX CRS, 4/2.8Ø NAILS TIED DOWN TO INTERNAL WALLS AND EXTERNAL WALLS AT GABLE ENDS, WITH 30 x 0.8 GI STRAP 4/2.8 Ø NAILS EACH END OVER RIDGE
BEARER / BRICK WALL, PIER	1/M10 BOLT THROUGH BEARER. BOLT TIED TO FOOTING		
BEARER / CONCRETE POST	75 X 8 MS FISHTAIL PLATE CAST INTO POST. 1/M10 BOLT THROUGH BEARER		
BEARER / STEEL POST	75 X 8 MS PLATE, 1/M12 BOLT THROUGH		
FLOOR JOIST / TOP PLATE, BEARER	2 METAL FRAMING ANCHORS 4/2.8Ø NAILS IN EACH LEG	ROOF BATTEN / RAFTER, TRUSS	2/75 X 3.05Ø DEFORMED SHANK NAILS GENERALLY 1/75 No. 14 TYPE 17 SCREW WITHIN 1200 OF ROOF EDGES.



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Project
AS CONSTRUCTED ALTERATIONS
2 ROWAN AVENUE,
PRIMROSE SANDS

Drawing
TIE DOWN NOTES

Designed
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Approved
S.M.

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Date
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Drawn
B.L.

Scale
N.T.S.

Project/Drawing
A23201 - 201

Rev
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