



**Attachment to item number 5.1 -**

*Planning Assessment Report – Irene Inc Planning &  
Urban Design;  
Site Classification & Dispersive Soil Assessment Report*



7<sup>th</sup> April 2024

Sorell Council

Email: [sorell.council@sorell.tas.gov.au](mailto:sorell.council@sorell.tas.gov.au)

Dear Planning Officer

## RESPONSE TO REQUEST FOR FURTHER INFORMATION - 5 INVERNESS STREET

The following has been prepared in response to the further information request.

### GENERAL RESIDENTIAL ZONE

The following response is provided to the General Residential Zone development standards.

#### 8.4.1 Residential density for multiple dwellings

**Objectives:** *That the density of multiple dwellings:*

- (a) makes efficient use of land for housing; and*
- (b) optimises the use of infrastructure and community services.*

#### PLANNING SCHEME REQUIREMENTS

**A1**

*Multiple dwellings must have a site area per dwelling of not less than 325m<sup>2</sup>.*

#### COMMENTS

**A1**

No multiple dwellings are proposed.

#### 8.4.2 Setbacks and building envelope for all dwellings

**Objectives:** *The siting and scale of dwellings:*

- (a) provides reasonably consistent separation between dwellings and their frontage within a street;*
- (b) provides consistency in the apparent scale, bulk, massing and proportion of dwellings;*
- (c) provides separation between dwellings on adjoining properties to allow reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space; and*
- (d) provides reasonable access to sunlight for existing solar energy installations.*

#### PLANNING SCHEME REQUIREMENTS

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Tel (03) 6234 9281  
Fax (03) 6231 4727  
Mob 0418 346 283  
Email [planning@ireneinc.com.au](mailto:planning@ireneinc.com.au)

## A1

*Unless within a building area on a sealed plan, a dwelling, excluding garages, carports and protrusions that extend not more than 0.9m into the frontage setback, must have a setback from a frontage that is:*

- (a) if the frontage is a primary frontage, not less than 4.5m, or, if the setback from the primary frontage is less than 4.5m, not less than the setback, from the primary frontage, of any existing dwelling on the site;*
- (b) if the frontage is not a primary frontage, not less than 3m, or, if the setback from the frontage is less than 3m, not less than the setback, from a frontage that is not a primary frontage, of any existing dwelling on the site;*
- (c) if for a vacant site and there are existing dwellings on adjoining properties on the same street, not more than the greater, or less than the lesser, setback for the equivalent frontage of the dwellings on the adjoining sites on the same street; or*
- (d) if located above a non-residential use at ground floor level, not less than the setback from the frontage of the ground floor level.*

## P1

*A dwelling must have a setback from a frontage that is compatible with the streetscape, having regard to any topographical constraints.*

## COMMENTS

### A1

- a) Whilst the wall of the dwelling is set back 4.5m from the frontage, the portico entrance extends within this setback, thereby requiring assessment against the performance criteria.
- b) There is only one primary frontage to the site, therefore this provision is not applicable.
- c) The site is vacant, however there are no other existing dwellings on adjoining properties.
- d) The proposal is for a single-story dwelling, therefore this provision is not applicable.

### P1

Streetscape is defined by the scheme as:

*means the visual quality of a street depicted by road width, street planting, characteristics and features, public utilities constructed within the road reserve, the setback of buildings and structures from the property boundaries, the quality, scale, bulk and design of buildings and structures fronting the road reserve. For the purposes of determining streetscape for a particular site, the above matters are relevant when viewed from either side of the same street within 100m of each side boundary of the site, unless for a local heritage precinct or local historic landscape precinct listed in the relevant Local Provisions Schedule, where the extent of the streetscape may be determined by the relevant precinct provisions.*

The building wall itself is positioned 4.5 meters from the frontage, which aligns with the setback requirement under the scheme. The only element that encroaches into this setback is the small portico entryway. Given that the portico is a minor feature and does not significantly impact the overall setback of the dwelling, we contend that this does not create any adverse effects on the streetscape.

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The property is located in a new subdivision where no other houses have yet been constructed. While there are no existing dwellings to directly compare with, the development of similarly sized houses on adjacent lots is anticipated.

The site will be cut into to accommodate the rear of the house, reducing the overall height and bulk as viewed from the street.

Although there are no directly adjoining houses to compare with, the design of the dwelling, including its size, scale, and setback, is typical for new residential developments in similar subdivisions. The small portico entryway, a common architectural feature, does not introduce any unusual or out-of-scale elements. The dwelling is designed to ensure compatibility with the anticipated streetscape, which will be shaped by similarly sized homes with similar setbacks.

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## A2

*A garage or carport for a dwelling must have a setback from a primary frontage of not less than:*

- (a) 5.5m, or alternatively 1m behind the building line;*
  - (b) the same as the building line, if a portion of the dwelling gross floor area is located above the garage or carport; or*
  - (c) 1m, if the existing ground level slopes up or down at a gradient steeper than 1 in 5 for a distance of 10m from the frontage.*
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## COMMENTS

### A2

- a) The proposal includes a garage that is sited 1m behind the building line, thereby complying with (a).
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## A3

*A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions that extend not more than 0.9m horizontally beyond the building envelope, must:*

- (a) be contained within a building envelope (refer to Figures 8.1, 8.2 and 8.3) determined by:*
    - (i) a distance equal to the frontage setback or, for an internal lot, a distance of 4.5m from the rear boundary of a property with an adjoining frontage; and*
    - (ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above existing ground level at the side and rear boundaries to a building height of not more than 8.5m above existing ground level; and*
  - (b) only have a setback of less than 1.5m from a side or rear boundary if the dwelling:*
    - (i) does not extend beyond an existing building built on or within 0.2m of the boundary of the adjoining property; or*
    - (ii) does not exceed a total length of 9m or one third the length of the side boundary (whichever is the lesser).*
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**P3**

*The siting and scale of a dwelling must:*

- (a) not cause an unreasonable loss of amenity to adjoining properties, having regard to:*
  - (i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property;*
  - (ii) overshadowing the private open space of a dwelling on an adjoining property;*
  - (iii) overshadowing of an adjoining vacant property; and*
  - (iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property;*
- (b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area; and*
- (c) not cause an unreasonable reduction in sunlight to an existing solar energy installation on:*
  - (i) an adjoining property; or*
  - (ii) another dwelling on the same site.*

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**COMMENTS****A3**

A portion of the house extends beyond the building envelope, thereby requiring assessment against the performance criteria.

**P3**

a)

i) There are no adjoining dwellings, therefore this provision is not applicable.

ii) There are no adjoining dwellings, therefore this provision is not applicable

iii) Given that 7 Inverness Street is positioned directly to the south of the proposed development, some overshadowing is to be expected by any proposed development onsite. As illustrated in the attached shadow diagrams, at least 50% of the vacant lot will continue to receive direct sunlight between the hours of 9am and 3pm. This ensures that, whilst some overshadowing will occur, it will not result in an unreasonable loss of amenity to 7 Inverness Street.

iv) The proposed single-storey dwelling will not result in adverse visual impacts due to its scale, bulk, or proportions. Most of the lots in the subdivision are relatively small, averaging between 450-500m<sup>2</sup> in size. As such, it is typical for dwellings to occupy a larger proportion of the site, given the limited lot area.

The dwelling reaches a maximum height of 7m, which is within the height requirements of the acceptable solutions. The proposal also retains the required setbacks of 1.5m from side boundaries. Single storey dwellings are not unusual in the context of the area.

The deviation from the building envelope is a marginal extension due to the roofline and entryway, which does not significantly alter the overall massing or visual appearance of the dwelling when viewed from surrounding properties or the street.

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b) This provision pertains to the separation of existing, established properties within the area. The closest developed dwellings are located northwest of the proposal at 1-3 Oakmont Road, with the following setbacks observed between the two dwellings:



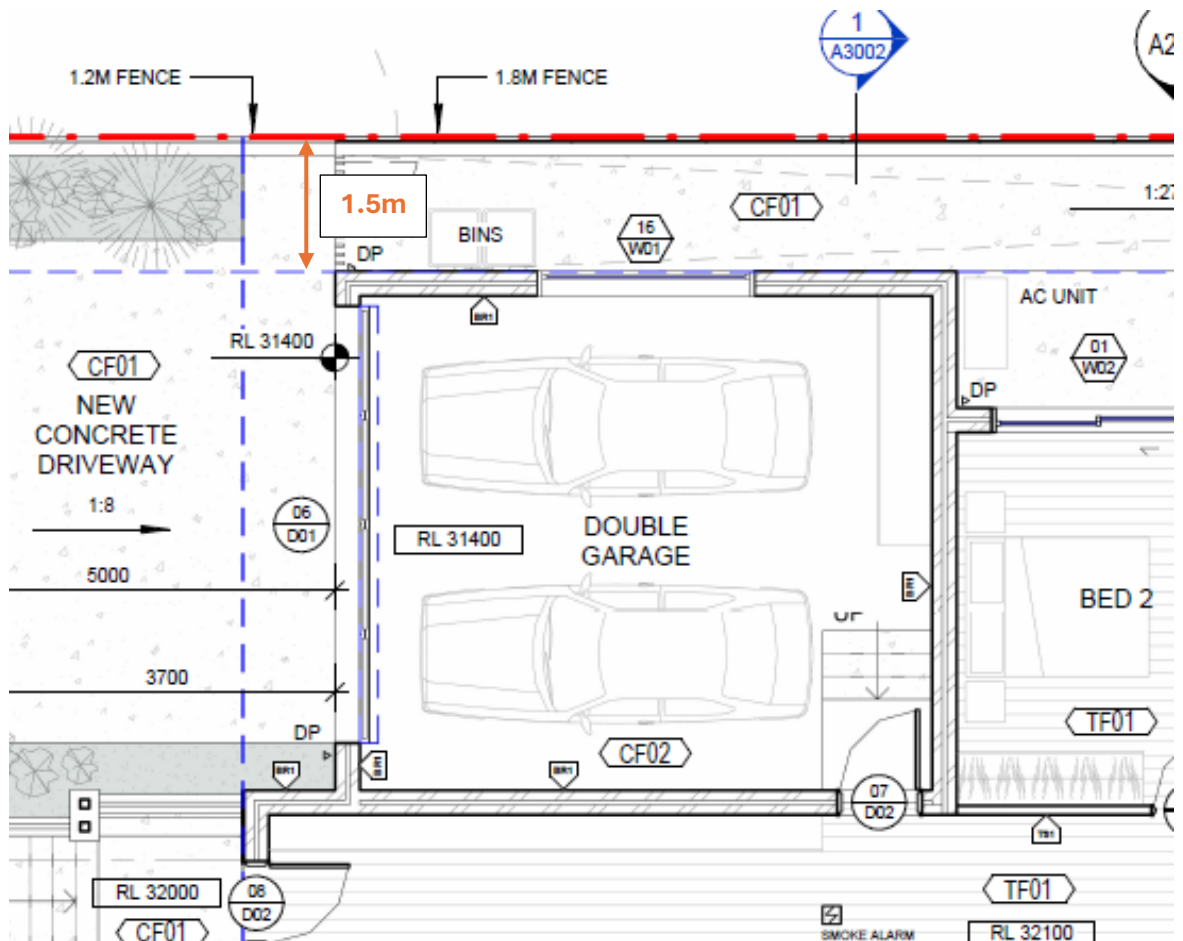
Figure 1: aerial imagery of 1 and 3 Oakmont Road, googleearth, 2025



Figure 2 aerial imagery of 1 and 3 Oakmont Road, googleearth, 2025

The separation between the established properties at 1 Oakmont and 3 Oakmont is approximately 2.3m.

The proposed dwelling walls are setback 1.5m from side boundaries at its closes point (excluding eaves to 0.6m wide).



If future adjoining properties adhere to the acceptable solution of a 1.5m setback, the separation between the proposal and those dwellings will be 3m, which exceeds the separation seen between the existing properties in the area. Therefore, the proposal is considered to comply with the provision.

c) There are no adjoining dwellings or additional dwellings onsite, and as such, there is no reduction in sunlight to any existing solar energy installations.

#### 8.4.3 Site coverage and private open space for all dwellings

##### Objectives:

That dwellings are compatible with the amenity and character of the area and provide:

- (a) for outdoor recreation and the operational needs of the residents;
- (b) opportunities for the planting of gardens and landscaping; and
- (c) private open space that is conveniently located and has access to sunlight.

##### PLANNING SCHEME REQUIREMENTS

A1

*Dwellings must have:*

- (a) a site coverage of not more than 50% (excluding eaves up to 0.6m wide); and*
- (b) for multiple dwellings, a total area of private open space of not less than 60m<sup>2</sup> associated with each dwelling, unless the dwelling has a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer).*

**P1**

*Dwellings must have:*

- (a) site coverage consistent with that existing on established properties in the area;*
- (b) private open space that is of a size and with dimensions that are appropriate for the size of the dwelling and is able to accommodate:*
  - (i) outdoor recreational space consistent with the projected requirements of the occupants and, for multiple dwellings, take into account any common open space provided for this purpose within the development; and*
  - (ii) operational needs, such as clothes drying and storage; and*
- (c) reasonable space for the planting of gardens and landscaping.*

**COMMENTS**

**A1**

The total site area is 446.7m<sup>2</sup>, with the site coverage (not including eaves up to 0.6m wide across the entire perimeter of the house) is approximately 229m<sup>2</sup>, equating to 51.3%. As the site coverage exceeds the acceptable solutions, assessment against the performance criteria is required.

**P1**

a) The area immediately surrounding the site is currently vacant, following a recent subdivision. As per ESRI imagery, there are some completed properties with the following site coverage.

ADDRESS	SITE AREA	SITE COVERAGE
3 Oakmont Road	551m <sup>2</sup>	Approx. 285m <sup>2</sup> (51%)
15 Birkdale place	833 m <sup>2</sup>	Approx. 311m <sup>2</sup> (37.3%)
1 oakmoant road	820m <sup>2</sup>	Approx. 295m <sup>2</sup> (35.98%)

The scheme does not define 'consistency' explicitly, and as such, the ordinary dictionary definition: *agreeing or accordant; compatible; not self-opposed or self-contradictory*

The proposed site coverage aligns with the typical development patterns in the area. While the immediate area has limited development, there are examples within the subdivision, such as 3 Oakmont Road, where site coverage exceeds 50%. The proposal's slight exceedance of the acceptable solutions is considered negligible, especially given the presence of properties with similar site coverage. As such, it is deemed compatible with the surrounding context and consistent with the broader development trends in the area.

b) The proposal includes adequate private open space in the form of a 60m<sup>2</sup> rear yard. This yard area comprises of a deck approx. 35m<sup>2</sup> in size, with an additional area for landscaping approx. 20m<sup>2</sup> in size. These areas provide ample room for outdoor dining, clothes drying, and storage.

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c) The proposal provides adequate space for planting and gardening along the frontage and rear of the dwelling.

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## **A2**

*A dwelling must have private open space that:*

*(a) is in one location and is not less than:*

*(i) 24m<sup>2</sup>; or*

*(ii) 12m<sup>2</sup>, if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer);*

*(b) has a minimum horizontal dimension of not less than:*

*(i) 4m; or*

*(ii) 2m, if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer);*

*(c) is located between the dwelling and the frontage only if the frontage is orientated between 30 degrees west of true north and 30 degrees east of true north; and*

*(d) has a gradient not steeper than 1 in 10.*

## **P2**

*A dwelling must have private open space that includes an area capable of serving as an extension of the dwelling for outdoor relaxation, dining, entertaining and children's play and is:*

*(a) conveniently located in relation to a living area of the dwelling; and*

*(b) orientated to take advantage of sunlight.*

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## **COMMENTS**

### **A2**

The proposal includes a single area of private open space at the rear of the dwelling, covering a total of 60m<sup>2</sup>. This space consists of a deck and landscaped area. The combined landscaped and deck area has a maximum width of 4.5m, is not located between the dwelling or the frontage, with both the deck and planting area respectively retaining a flat gradient.

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### **8.4.4 Sunlight to private open space of multiple dwellings**

**Objectives:** *That the separation between multiple dwellings provides reasonable opportunity for sunlight to private open space for dwellings on the same site.*

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## **PLANNING SCHEME REQUIREMENTS**

### **A1**

*A multiple dwelling, that is to the north of the private open space of another dwelling on the same site, required to satisfy A2 or P2 of clause 8.4.3, must satisfy (a) or (b), unless excluded by (c):*

*(a) the multiple dwelling is contained within a line projecting (see Figure 8.4):*

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- (i) at a distance of 3m from the northern edge of the private open space; and
- (ii) vertically to a height of 3m above existing ground level and then at an angle of 45 degrees from the horizontal;
- (b) the multiple dwelling does not cause 50% of the private open space to receive less than 3 hours of sunlight between 9.00am and 3.00pm on 21st June; and
- (c) this Acceptable Solution excludes that part of a multiple dwelling consisting of:
  - (i) an outbuilding with a building height not more than 2.4m; or
  - (ii) protrusions that extend not more than 0.9m horizontally from the multiple dwelling.

#### COMMENTS

A1

No multiple dwellings are proposed, therefore, this provision is not applicable.

#### 8.4.5 Width of openings for garages and carports for all dwellings

**Objectives:** To reduce the potential for garage or carport openings to dominate the primary frontage.

#### PLANNING SCHEME REQUIREMENTS

A1

A garage or carport for a dwelling within 12m of a primary frontage, whether the garage or carport is free-standing or part of the dwelling, must have a total width of openings facing the primary frontage of not more than 6m or half the width of the frontage (whichever is the lesser).

#### COMMENTS

A1

The garage opening has a width of less than 5m, thereby complying.

#### 8.4.6 Privacy for all dwellings

**Objectives:** To provide a reasonable opportunity for privacy for dwellings.

#### PLANNING SCHEME REQUIREMENTS

A1

A balcony, deck, roof terrace, parking space, or carport for a dwelling (whether freestanding or part of the dwelling), that has a finished surface or floor level more than 1m above existing ground level must have a permanently fixed screen to a height of not less than 1.7m above the finished surface or floor level, with a uniform transparency of not more than 25%, along the sides facing a:

- (a) side boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 3m from the side boundary;
- (b) rear boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 4m from the rear boundary; and

- (c) dwelling on the same site, unless the balcony, deck, roof terrace, parking space, or carport is not less than 6m:
- (i) from a window or glazed door, to a habitable room of the other dwelling on the same site; or
- (ii) from a balcony, deck, roof terrace or the private open space of the other dwelling on the same site.

## COMMENTS

### A1

The rear deck is situated less than 1m from the Natural Ground Level, so no assessment of this deck is required.

Regarding the portico entryway, while the term "balcony" is not specifically defined by the scheme, it aligns with the ordinary dictionary definition:

*a balustraded or raised platform projecting from the wall of a building.*<sup>1</sup>

As the entryway is more than 1 metre above NGL, it is classified as a balcony, and therefore requires further assessment.

- a) A screen is provided along the southern side of the balcony with a transparency of 25%.
- b) The balcony is located more than 4m from the rear boundary, and as such, this provision is not applicable.
- c) No other dwelling is situated on the site, therefore this provision is not applicable.

### A2

*A window or glazed door to a habitable room of a dwelling, that has a floor level more than 1m above existing ground level, must satisfy (a), unless it satisfies (b):*

- (a) the window or glazed door:
- (i) is to have a setback of not less than 3m from a side boundary;
- (ii) is to have a setback of not less than 4m from a rear boundary;
- (iii) if the dwelling is a multiple dwelling, is to be not less than 6m from a window or glazed door, to a habitable room, of another dwelling on the same site; and
- (iv) if the dwelling is a multiple dwelling, is to be not less than 6m from the private open space of another dwelling on the same site.
- (b) the window or glazed door:
- (i) is to be offset, in the horizontal plane, not less than 1.5m from the edge of a window or glazed door, to a habitable room of another dwelling;
- (ii) is to have a sill height of not less than 1.7m above the floor level or have fixed obscure glazing extending to a height of not less than 1.7m above the floor level; or

<sup>1</sup> Macquarie Dictionary, 2025

(iii) is to have a permanently fixed external screen for the full length of the window or glazed door, to a height of not less than 1.7m above floor level, with a uniform transparency of not more than 25%.

#### COMMENTS

a) The FFL is less than 1m above existing NGL for most of the house. The only habitable window with a FFL greater than 1m is the living room window facing the frontage. This window is set back more than 3m from the side boundary and 4m from the rear boundary, with no other multiple dwellings onsite. Therefore, the window satisfies (a).

#### A3

*A shared driveway or parking space (excluding a parking space allocated to that dwelling) must be separated from a window, or glazed door, to a habitable room of a multiple dwelling by a horizontal distance of not less than:*

- (a) 2.5m; or
- (b) 1m if:
  - (i) it is separated by a screen of not less than 1.7m in height; or
  - (ii) the window, or glazed door, to a habitable room has a sill height of not less than 1.7m above the shared driveway or parking space, or has fixed obscure glazing extending to a height of not less than 1.7m above the floor level.

#### COMMENTS

#### A3

This provision is not applicable as the proposal is for a single dwelling.

### 8.4.7 Frontage fences for all dwellings

**Objectives:** *The height and transparency of frontage fences:*

- (a) provides adequate privacy and security for residents;
- (b) allows the potential for mutual passive surveillance between the road and the dwelling; and
- (c) is reasonably consistent with that on adjoining means next to, or having a common boundary with properties.

#### PLANNING SCHEME REQUIREMENTS

#### A1

No Acceptable Solution.

#### P1

*A fence (including a free-standing wall) for a dwelling within 4.5m of a frontage must:*

- (a) provide for security and privacy while allowing for passive surveillance of the road; and
- (b) be compatible with the height and transparency of fences in the street, having regard to:



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- (i) *the topography of the site; and*
  - (ii) *traffic volumes on the adjoining road.*
- 

**COMMENTS**

Within 4.5m of the frontage, the fence has a height of 1.2m, thereby meeting the requirements of exemption 4.6.3.

The remainder of the fence is to a height of 1.8m along the side and rear boundary, also meeting the relevant exemptions.

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**8.4.8 Waste storage for multiple dwellings**

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**Objectives:** *To provide for the storage of waste and recycling bins for multiple dwellings.*

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**PLANNING SCHEME REQUIREMENTS**

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**A1**

*A multiple dwelling must have a storage area, for waste and recycling bins, that is not less than 1.5m<sup>2</sup> per dwelling and is within one of the following locations:*

- (a) *an area for the exclusive use of each dwelling, excluding the area in front of the dwelling; or*
  - (b) *a common storage area with an impervious surface that:*
    - (i) *has a setback of not less than 4.5m from a frontage;*
    - (ii) *is not less than 5.5m from any dwelling; and*
    - (iii) *is screened from the frontage and any dwelling by a wall to a height not less than 1.2m above the finished surface level of the storage area.*
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**COMMENTS**

The proposal is for a single residential dwelling, therefore, this provision is not applicable.

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Should you have any queries, please do not hesitate to contact the office on (03) 6234 9281.

Kind regards,



Michela Fortini  
**PLANNER**  
**IRENEINC PLANNING & URBAN DESIGN**



**Statewide Geotechnics**

ABN 93 844 683 471

55 Leonard Avenue  
Moonah TAS 7009

Telephone: 0499 498 337  
Email: statewidegeo@gmail.com

## SITE CLASSIFICATION & DISPERSIVE SOIL ASSESSMENT REPORT

Proposed Residential Development  
5 Inverness Street, Midway Point

**Prepared for:** Stronghold Engineers Pty Ltd

**Date of investigation:** 5<sup>th</sup> January 2025

**Date of report:** 27<sup>th</sup> January 2025

**Prepared by:** Drew Bedelph, Engineering Geologist



**Sorell Council**

Development Application: 5.2024.312.1 -  
Response to Request For Information - 5  
Inverness Street, Midway Point - P6.pdf  
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1. Figure 1 – Site Layout and Test Location Plan

## Appendices

1. Appendix A – Borehole Logs and Descriptive Terms
2. Appendix B – Form 55 Certificate of Qualified Person
3. Appendix C – DPIPWE Technical Reference Manual '*Dispersive Soils and their Management*'

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## 1. Introduction

At the request of Jeremy Lin of Stronghold Engineers Pty Ltd, Statewide Geotechnics have undertaken a geotechnical investigation at the site of a proposed residential development at 5 Inverness Street, Midway Point (Title Reference 185905/97, Property ID 9375746).

The investigation has been conducted for the purposes of assessing general subsurface conditions at the site and consequently assigning a Site Classification in accordance with AS2870-2011: '*Residential Slabs and Footings*', assigning a Wind Classification in accordance with AS4055-2012: '*Wind Loads for Housing*', and providing an assessment and management plan for dispersive soils to satisfy the *Tasmanian Planning Scheme – Sorell Local Provisions Schedule*, specifically Clause SOR-S1.8 'Development Standards for Subdivision', the objective of which is to ensure that subdivision within an area of potentially dispersive soils minimises the potential for development to cause:

- (a) erosion; and
- (b) risk to property and the environment.

There is no acceptable solution. Performance Criteria P1 prescribes that "Each lot, or a lot proposed in a plan of subdivision, must minimise the risks associated with dispersive soil to property and the environment, having regard to:

- (a) the dispersive potential of soils in the vicinity of proposed building areas, driveways, services and the development area generally;
- (b) the potential of the subdivision to affect or be affected by erosion, including gully and tunnel erosion;
- (c) the dispersive potential of soils in the vicinity of water drainage lines, infiltration areas and trenches, water storages, ponds, dams and disposal areas;
- (d) the level of risk and potential consequences for property and the environment from potential erosion, including gully and tunnel erosion;
- (e) management measures that would reduce risk to an acceptable level; and
- (f) the advice contained in a dispersive soil management plan".

## **2. Site Conditions**

The subject property comprises an approximately 450m<sup>2</sup> vacant allotment within a newly-developed subdivision and is situated on the eastern, upslope side of Inverness Street just south of the intersection of Oakmont Road. The site slopes at a gentle angle of up to 5° towards the west and, at the time the investigation was undertaken, was noted to be devoid of vegetation.

The 1:250,000 scale regional geology map of SE Tasmania, published by Mineral Resources Tasmania ('MRT'), shows the geology of the site and surrounds to be underlain by a surface covering of Quaternary age sand overlying insitu Triassic age quartz sandstone rock.

The Tasmanian State Government's interactive planning scheme map viewer, 'iPlan', indicates that the site and surrounds is underlain by "*potentially dispersive soil*" as a consequence of the prevailing Triassic age sandstone and derived soils.

Examination of the 1:25,000 scale MRT Landslide Hazard Band map of the Midway Point area indicates that the site is situated within an 'Unclassified' area which is deemed acceptable for building without further investigation.

## **3. Field Investigation**

The field investigation was conducted on the 5<sup>th</sup> January 2025 and involved a detailed site inspection followed by the drilling of two boreholes to a refusal depth of 1.50m using a Proline drilling rig. The strength of subsurface materials encountered within the investigation boreholes were assessed down-hole, where possible, using a hand shear vane.

The locations of the boreholes are shown on attached Figure 1, whilst copies of the borehole logs and descriptive terms used are provided in Appendix A.

The boreholes encountered uniform subsurface conditions at the site, comprising a surface layer of loose to moderately dense sandy topsoil to 0.30m underlain by stiff to very stiff medium plasticity residual clay, coloured brown. Weathered sandstone rock, presenting as dense to very dense clayey sand was encountered in the lowermost 0.30m of both holes, with refusal being met on hard material interpreted to be MW or better insitu sandstone at a depth of 1.50m in both boreholes. The boreholes were both noted to be dry on completion.

These findings are in general agreement with both the 1:25,000 scale geological map of the area and the findings of investigations conducted on nearby allotments.

#### **4. Dispersive Soil Assessment**

Two samples of residual clay encountered in the field investigation were subjected to Emerson Class Number dispersion testing to determine the dispersiveness of the on-site materials.

Both samples yielded an Emerson Class 2 (2), indicating slightly dispersive material. The results are consistent with the visual analysis of the materials made at the time the field investigation was undertaken.

The findings of the field and laboratory tests indicate that there is a low risk associated with dispersive soils and potential erosion on the site. On this basis it is assessed that the development will not negatively impact the site and surrounds and is therefore deemed to satisfy conditions (a) – (d) of section E21.0 P1 of the *Sorell Interim Planning Scheme* (2015), provided the recommendations provided in Section 6 below are adhered to.

#### **5. Site Classification**

After considering the site geology, drainage, soil conditions and plasticity characteristics of the subsurface materials encountered, the site has been classified as follows:

##### **CLASS M (AS2870-2011)**

Notwithstanding this, and in the instance that deeper footings are designed to found on or in the insitu sandstone rock layer encountered at 1.20m-1.40m depth below existing ground level, footings may be proportioned for a **CLASS A** site.

Foundation designs in accordance with this classification are to be subject to the overriding conditions of Section 6 below.

This classification is applicable only for ground conditions as encountered at the time of this investigation. If cut or fill earthworks are undertaken, or other works that alter the conditions of the site, then the Site Classification may need to be reassessed.

#### **6. Discussion and Recommendations**

##### **6.1 Dispersive Soil Management**

The following management measures are recommended for development on the site:

- As far as possible, minimise soil disturbance and avoid leaving areas of bare soil exposed during and after construction;
- As far as possible, use alternatives to 'cut and fill' construction, such as pier and post foundations;
- Where possible, avoid the use of trenches for the supply of services i.e. water & power. If trenches must be used, ensure that repacked spoil is properly compacted, treated with gypsum at rate of 1Kg/m<sup>2</sup> and topsoiled. Where possible, trenches to be placed shallow in the surface soil layer and mounded over to achieve the required cover depth. If buried, the trench must be backfilled in layers of no more than 200mm with clay with 5% by weight gypsum added. The trench must be finished with at least 150mm depth of non-dispersive suitable topsoil and finished to a level at least 75mm above natural ground to allow for possible settlement;
- All stormwater runoff from the dwelling to be directed to Council mains;
- Ensure runoff from hard areas is adequately captured and not allowed to flow across the ground surface or pond in low areas of the site;
- Drainage of any site cut must not employ conventional rock drain construction; it must adhere to recommendations for dispersive soils, unless founded entirely in rock;
- Establish and maintain vegetation cover on exposed areas of ground, and if any bare area of soil develops then it must be top-dressed with suitable topsoil and additional vegetation planted; and
- Ensure that excavated spoils are not reused on site in landscaping unless the material is appropriately treated with gypsum, compacted, and capped with natural soil and gypsum.

The client's attention is drawn to the Tasmanian Department of Primary Industries, Water and Environment technical reference manual '*Dispersive Soils and their Management*' (2009) as a guide to undertaking works on the site, a copy of which is attached herein in Appendix C.

## **6.2 Foundation Design**

Specific attention and consideration should be given to the design of footings as required by AS2870-2011.

In addition to the normal founding requirements arising from the above classification, particular conditions at the site determine that the founding medium for all footings should be as follows:

**Silty CLAY, medium plasticity, trace gravel, brown,  
encountered between 0.30m below existing ground level.**

An allowable bearing pressure of 100kPa is available for edge beams, strips and pads founded as above, provided the site is prepared as follows:

1. Earthworks should be carried out in accordance with AS3798-2007 '*Earthworks for Residential and Commercial Developments*';
2. Any organics or other deleterious materials should be removed from the building footprint;
3. Any floating boulders encroaching on the building footprint and preventing a uniform founding medium from being established should be removed and replaced with lean-mix concrete; and
4. Any sands or granular materials disturbed in bases of footing excavations should be compacted.

The Site Classification in Section 5 assumes that the natural drainage and infiltration conditions at the site will not be significantly affected for the proposed development work on the site. The client must take care to ensure that surface water is not permitted to collect adjacent to the structure and that significant changes to seasonal soil moisture equilibria do not develop as a result of service trench construction or tree root action.

The client's attention is drawn to Appendix B of AS2870 and CSIRO Building Technical File BTF18-2011 '*Foundation Maintenance and Footing Performance: A Homeowner's Guide*' as a guide to maintenance requirements for the proposed structure on the Site.

Although the auger hole data indicates that the site conditions are relatively uniform, variations in soil conditions may occur in areas of the site not specifically covered by the field investigation. The base of all footings should therefore be inspected to ensure that the founding medium meets the requirements referenced herein with respect to type and strength of founding material.

## **7. Wind Classification**

After considering the terrain, shielding and topography of the site, the site has been classified as follows:

**N2 (AS4055-2012)**



## **FIGURE 1**

### **Site Layout and Test Location Plan**



**BH1**  
● Approximate borehole location

Drawn	DB
Approved	
Date	27/01/2025
Scale	Not to scale
Original size	A4



Client:	Stronghold Engineers Pty Ltd	
Project:	Dispersive soil assessment and Site Classification, 5 Inverness Street Midway Point	
Title:	Site Layout and Test Location Plan	
Project no:	SC856	Figure no: Figure 1



## **APPENDIX A**

### **Borehole Logs and Descriptive Terms**



Sheet 1 of 1


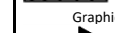
Drill Model and Mounting:	Proline rig	Slope:	deg.	R.L. Surface	
Hole Diameter:	100 mm	Bearing:	deg.	Datum	Operator: DGB

<u>Method</u>	<u>Support</u>	<u>Samples and Tests</u>	<u>Moisture Condition</u>	<u>Consistency/ relative rock density</u>
	C - Casing M - Mud  Penetration  No Resistance Ranginf to Refusal  Graphic Log  Inflow Outflow Water Level	U60 Undisturbed Sample U50 50mm Diameter D Disturbed Sample N Standard Penetration N* SPT + Sample Nc Cone Penetrometer	D Dry M Moist W Wet  <u>Plastic Limit</u>  < PL = PL > PL	VS - Very Soft S - Soft F - Firm St - Stiff VSt - Very Stiff H - Hard Fb - Friable VL - Very Loose L - Loose MD - Moderately Dense VD - Very Dense
		<b>Classification Symbols and Soil Description</b> - Based on Unified Soil Classification Systsem		



Sheet 1 of 1

Drill Model and Mounting:	Proline rig	Slope:	deg.	R.L. Surface	
Hole Diameter:	100 mm	Bearing:	deg.	Datum	Operator: DGB

<u>Method</u>	<u>Support</u>	<u>Samples and Tests</u>	<u>Moisture Condition</u>	<u>Consistency/ relative rock density</u>
	C - Casing M - Mud  Penetration  Graphic Log 	U60 Undisturbed Sample U50 50mm Diameter D Disturbed Sample N Standard Penetration N* SPT + Sample Nc Cone Penetrometer	D Dry M Moist W Wet  <u>Plastic Limit</u> < PL = PL > PL	VS - Very Soft S - Soft F - Firm St - Stiff VSt - Very Stiff H - Hard Fb - Friable VL - Very Loose L - Loose MD - Moderately Dense VD - Very Dense
		<b>Classification Symbols and Soil Description</b> - Based on Unified Soil Classification Systsem		

## DESCRIPTIVE TERMS - BOREHOLE/EXCAVATION LOG

### Method

S auger screwing	W washbore	B blade bucket
D auger drilling	N natural exposure	C cable tool
R roller/tricone	E existing excavation	H hammer drill

### Water

*	not observed
▼	observed water level
◀	observed water inflow
▶	observed water outflow
R	refer report for details

### Notes, samples, tests, etc

U45	undisturbed sample, 45mm diameter
D	disturbed sample
N*	Standard Penetration Test
	N indicates SPT value
	* indicates sample retrieved

### Structure, additional observations

PP	pocket penetrometer test, figure indicates soil strength (kPa)
V	vane shear test, figure indicates soil strength (kPa)
DCP	dynamic cone penetrometer test, figure indicates blows/depth increment.

### Soil profile

known boundary	probable boundary	possible boundary
	-----	? _ ? _ ? _ ? _

### Moisture condition

(based on appearance and feel)

dry (D)	Looks and feels dry, cohesive soils usually hard powdery or friable, granular soils run freely through the fingers.
moist (M)	Soils feel cool, darker in colour. Cohesive soils usually weakened by moisture, granular soils tend to cohere, no free water on hands.
wet (W)	Soils feel cool, darker in colour. Cohesive soils usually weakened, granular soils tend to cohere, free water collects on hands when remoulding.

### Consistency

(based on undrained shear strength ( $C_u$ ), estimated, or measured by vane shear test)

very soft	soft	firm	stiff	very stiff	hard
VS	S	F	St	VSt	H

$C_u$ (kPa)                      12.5                      25                      50                      100                      200

### Density Index

(generally estimated or based on penetrometer results)

very loose	loose	medium dense	dense	very dense
VL	L	MD	D	VD

Density Index  $I_d$ (%)                      15                      35                      65                      85

## **APPENDIX B**

### **Form 55 Certificate of Qualified Person**

# CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

To: **Jeremy Lin**

Owner /Agent

**Stronghold Engineers Pty Ltd**

Address

Suburb/postcode

Form **55**

## Qualified person details:

Qualified person: **Drew Bedelph T/A Statewide Geotechnics**

Address: **55 Leonard Avenue**

Phone No: **0499498337**

**MOONAH TAS**

**7009**

Fax No: **-**

Licence No: **n/a**

Email address: **statewidegeo@gmail.com**

Qualifications and Insurance details: **BSc (Hons) with major in Geology, Professional Indemnity Insurance (AIG Australia Ltd, policy number 1023401768, \$1,000,000 cover)**

*(description from Column 3 of the Director of Building Control's Determination)*

Speciality area of expertise: **Engineering Geology**

*(description from Column 4 of the Director of Building Control's Determination)*

## Details of work:

Address: **5 Inverness Street**

Lot No: **97**

**MIDWAY POINT TAS**

**7171**

Certificate of title No: **185905**

The assessable item related to this certificate: **Dispersive soil assessment and foundation classification for proposed buildings in accordance with AS2870-2011**

*(description of the assessable item being certified)*

*Assessable item includes –*

- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

## Certificate details:

Certificate type: **Foundation classification**

*(description from Column 1 of Schedule 1 of the Director of Building Control's Determination)*

This certificate is in relation to the above assessable item, at any stage, as part of - *(tick one)*

building work, plumbing work or plumbing installation or demolition work: ☒

or

a building, temporary structure or plumbing installation: ☐

In issuing this certificate the following matters are relevant –



Documents:

Dispersive soil assessment and site classification report dated 27<sup>th</sup> January 2025 by Drew Bedelph, Statewide Geotechnics

Relevant  
calculations:

Not applicable

References:

As per the assessment and site classification report dated 27<sup>th</sup> January 2025  
Appendix B of AS2870-2011  
CSIRO Building Technical File BTF-18-2011 'Foundation Maintenance and Footing Performance: A Homeowner's Guide'

*Substance of Certificate: (what it is that is being certified)*

An investigation was conducted for the purposes of assessing dispersive soils and general geological conditions at the site and consequently assigning a Site Classification in accordance with AS2870-2011: 'Residential Slabs and Footings'.

*Scope and/or Limitations*

The classification is applicable only for ground conditions encountered at the time of the investigation. If cut/fill earthworks are undertaken, or the structure/s moved from the site/s assessed, then further investigation and reclassification will be required.

**I certify the matters described in this certificate.**

Qualified person:

*Signed:*



*Certificate No:*

*Date:*

27/01/2025

## **APPENDIX C**

**DPIPWE Technical Reference Manual -**

***‘Dispersive Soils and their Management’***

DRAWING SCHEDULE			
Sheet Number	Sheet Name	Current Revision	Current Revision Date
A0000	Cover Sheet	D	2025.03.31
A0100	Site Plan	D	2025.03.31
A0120	Wall Type Details	D	2025.03.31
A1102	Ground Floor Plan	D	2025.03.31
A1103	Roof Plan	D	2025.03.31
A2001	North Elevation	D	2025.03.31
A2003	West Elevation	D	2025.03.31
A2004	South Elevation	D	2025.03.31
A2005	East Elevation	D	2025.03.31
A3001	Section A	D	2025.03.31
A3002	Section B	D	2025.03.31
A4001	Door Schedule	D	2025.03.31
A4002	Window Schedule	D	2025.03.31
A4003	Material and Finish Schedule	D	2025.03.31
A8001	Shadow Diagrams	B	2025.03.31
A9001	Perspectives	D	2025.03.31



**Sorell Council**

Development Application: 5.2024.312.1 -  
Response to Request For Information - 5  
Inverness Street, Midway Point - P6.pdf  
Plans Reference: P6  
Date Received: 07/04/2025

NOTES

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REV	DATE	DESCRIPTION
A	2024.11.21	Issued for coordination
B	2025.01.22	Issued for coordination
C	2025.02.10	Issued for coordination
D	2025.03.31	Issued for RFI

PROJECT

**5 INVERNESS STREET**

5 Inverness Street, Midway Point, TAS 7171

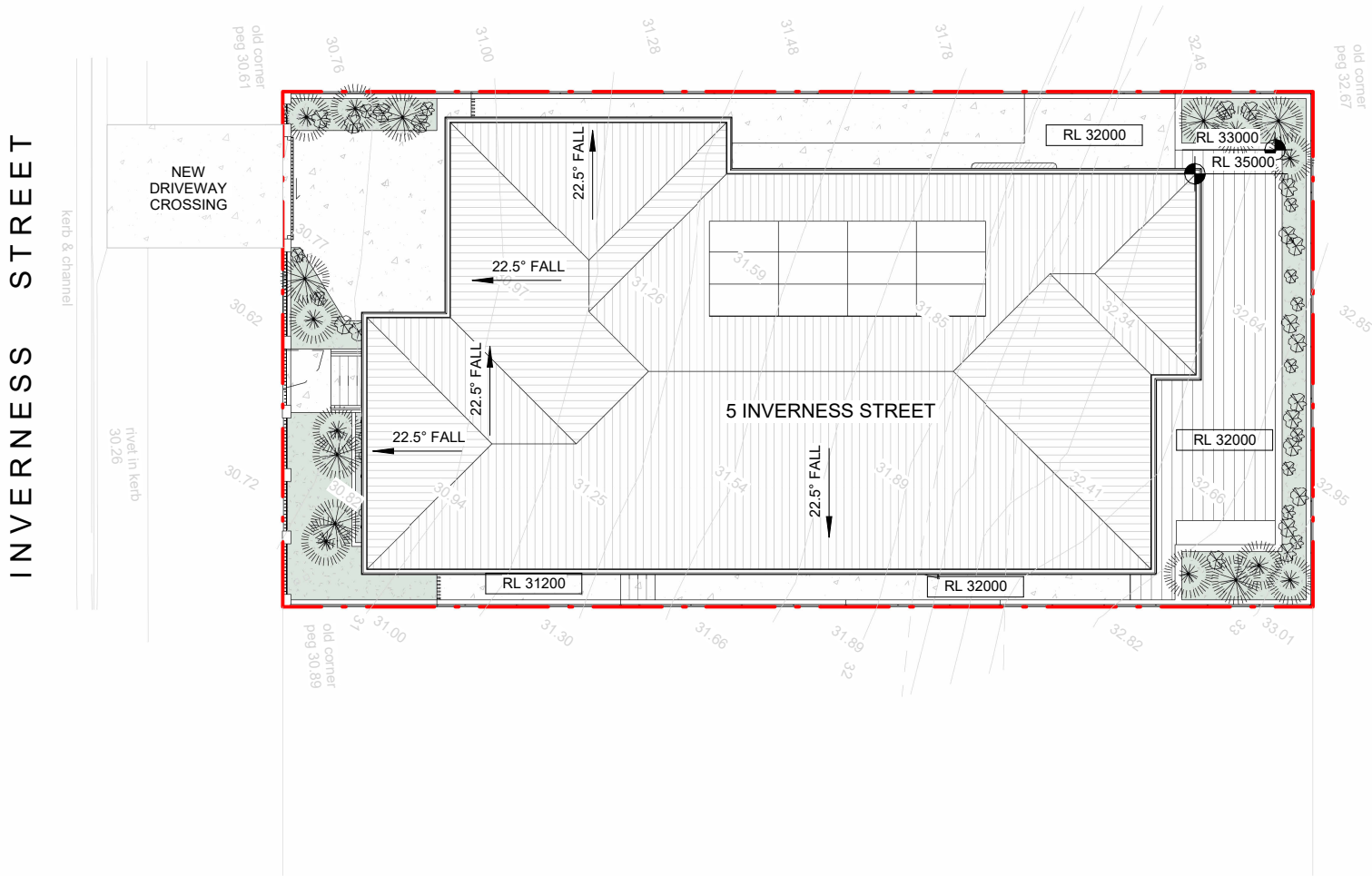
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PROJECT NUMBER	P538	PROJECT ADDRESS	5 Inverness Street, Midway Point, TAS 7171		
DRAWING NUMBER	A0000	DRAWING TITLE	Cover Sheet		
SCALE		PAPER SIZE	A3	REVISION	D
DRAWN BY	SH	REVIEWED BY	RN	STATUS	Preliminary



**SITE AREA:**

450 m<sup>2</sup>

**GFA CALCULATION:**

GROUND FLOOR = 189 m<sup>2</sup>

TOTAL = 189 m<sup>2</sup>

**LANDSCAPED AREA CALCULATION:**

TOTAL PROPOSED LANDSCAPED AREA:

42.0 m<sup>2</sup>

**MAX. SITE COVERAGE (50%):**

225 m<sup>2</sup>

**TOTAL PROPOSED SITE COVERAGE AREA:**

219 m<sup>2</sup>



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Development Application: 5.2024.312.1 -  
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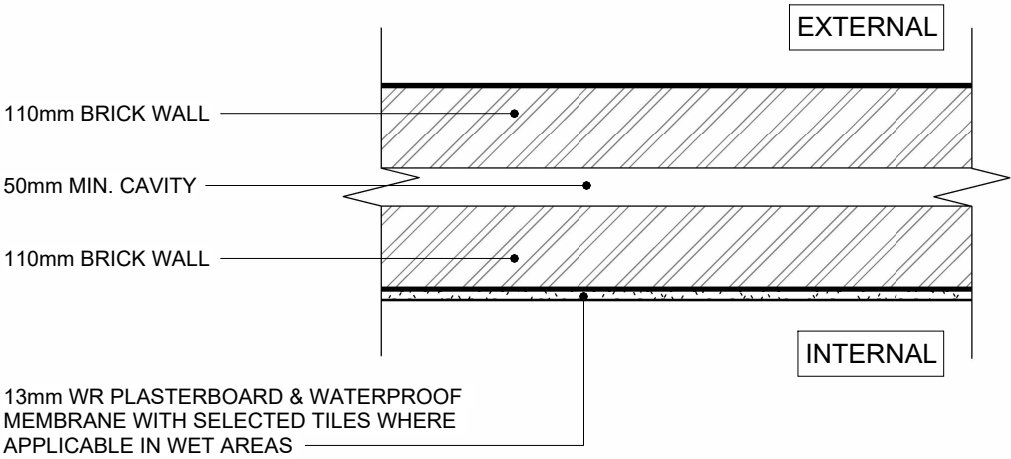
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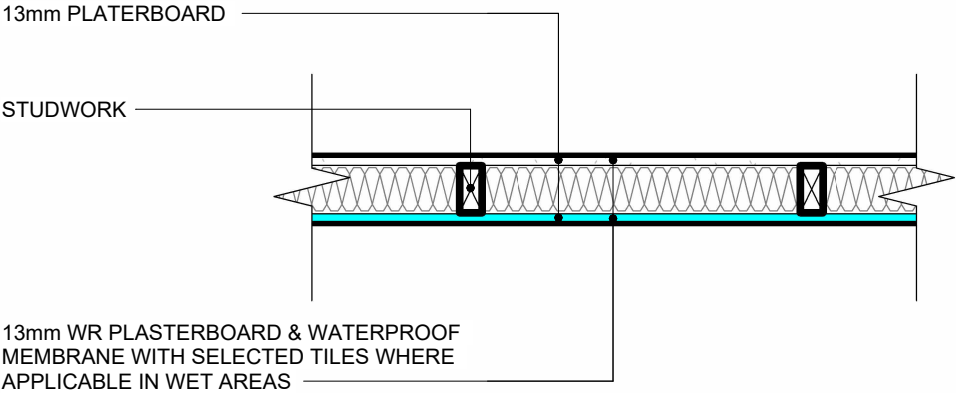
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DRAWING NUMBER	A0100	DRAWING TITLE	Site Plan		
SCALE	1 : 200	PAPER SIZE	A3	REVISION	D
DRAWN BY	SH	REVIEWED BY	RN	STATUS	Preliminary



BR1 - EXTERNAL WALL - BRICK WALL



TS1 - INTERNAL PARTITIONS





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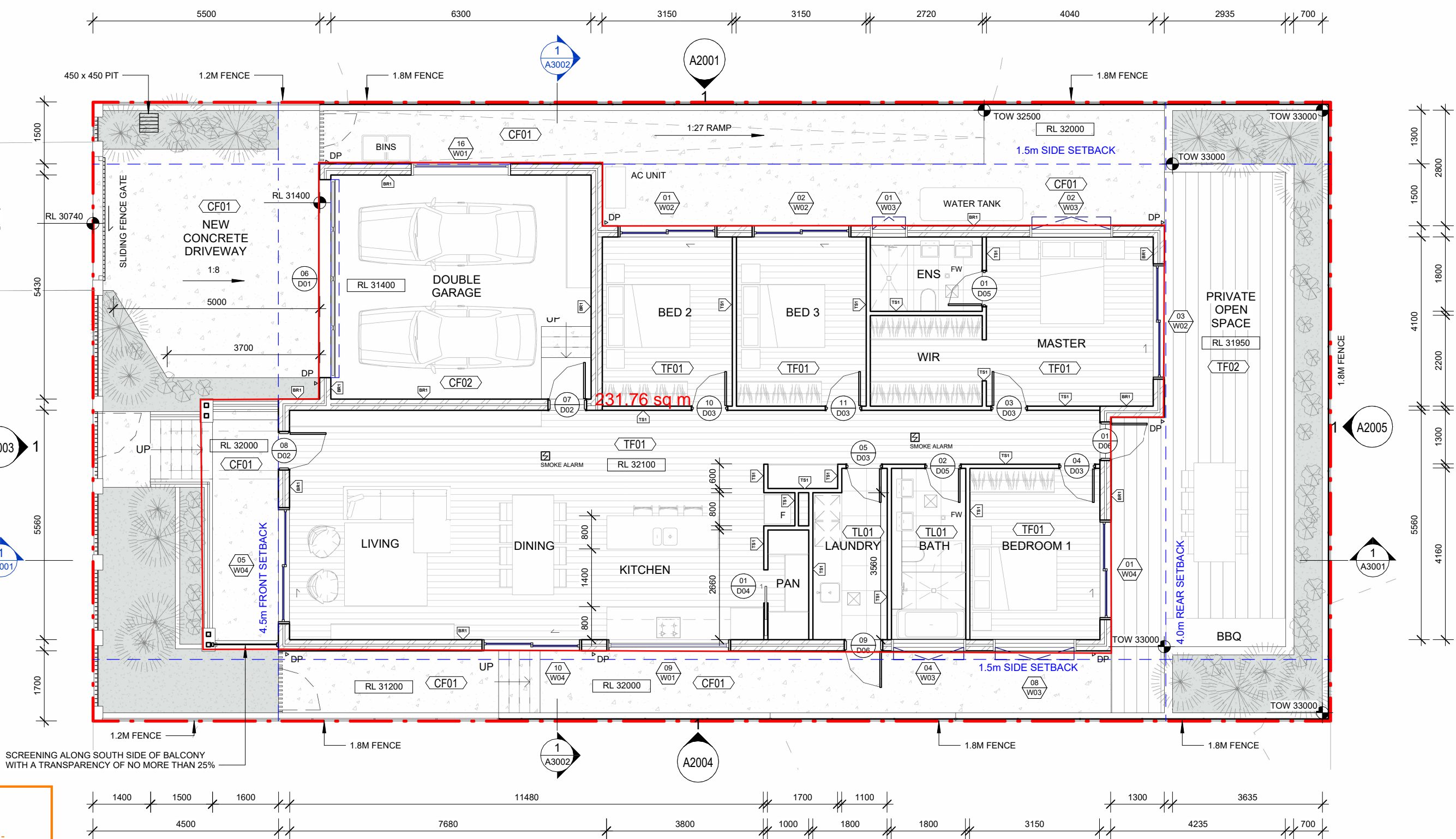
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PROJECT NUMBER	P538	PROJECT ADDRESS	5 Inverness Street, Midway Point, TAS 7171		
DRAWING NUMBER	A0120	DRAWING TITLE	Wall Type Details		
SCALE	1 : 10	PAPER SIZE	A3	REVISION	D
DRAWN BY	SH	REVIEWED BY	RN	STATUS	Preliminary





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Development Application: 5.2024.312.1 -  
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Inverness Street, Midway Point - P6.pdf  
Plans Reference: P6  
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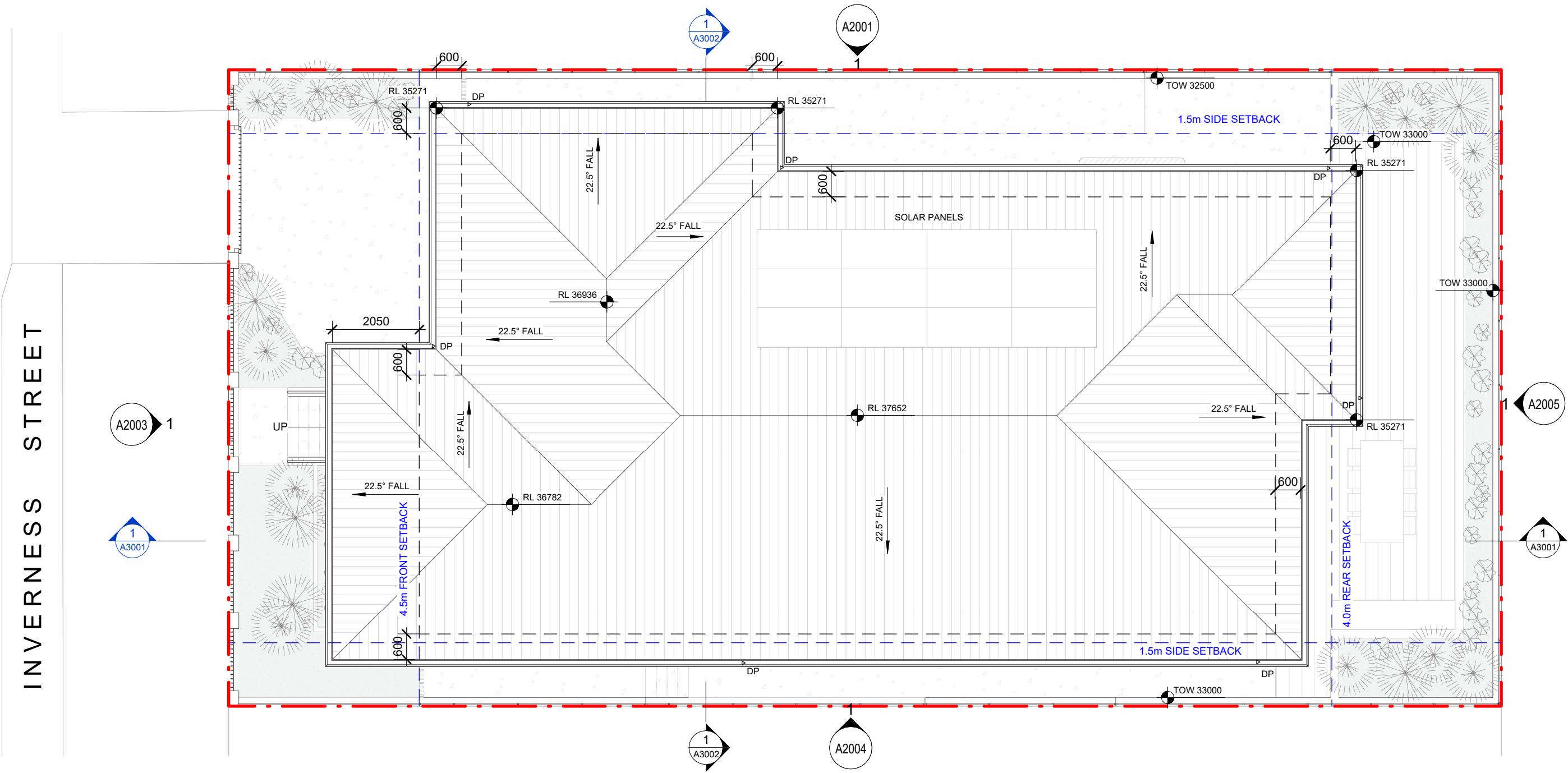
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DRAWING NUMBER	A1102	DRAWING TITLE	Ground Floor Plan

SCALE	1 : 100	PAPER SIZE	A3	REVISION	D
DRAWN BY	SH	REVIEWED BY	RN	STATUS	Preliminary









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Development Application: 5.2024.312.1 -  
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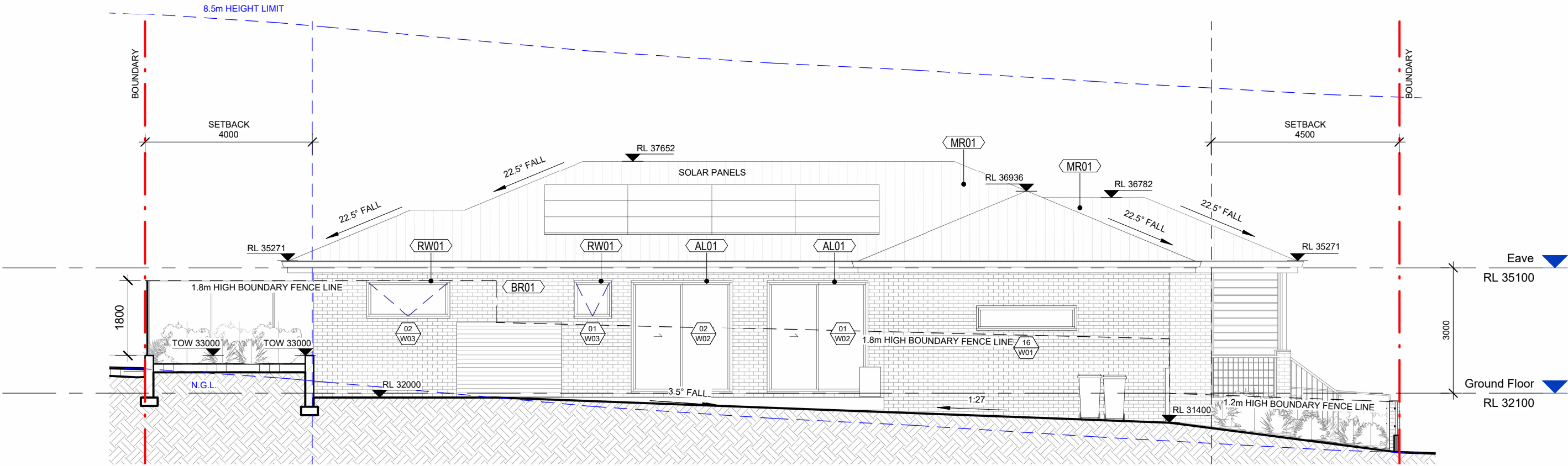
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DRAWING NUMBER	A1103	DRAWING TITLE	Roof Plan		
SCALE	1 : 100	PAPER SIZE	A3	REVISION	D
DRAWN BY	SH	REVIEWED BY	RN	STATUS	Preliminary



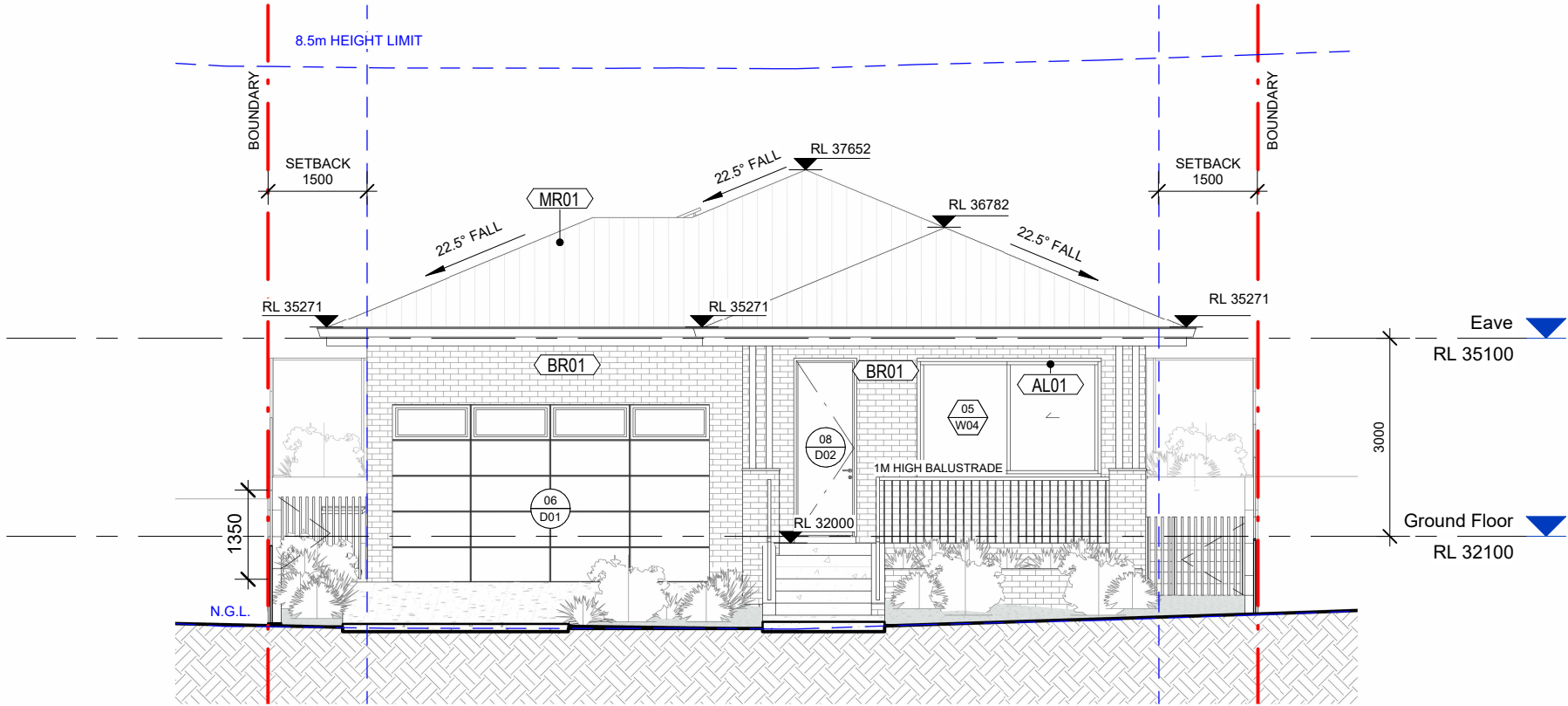


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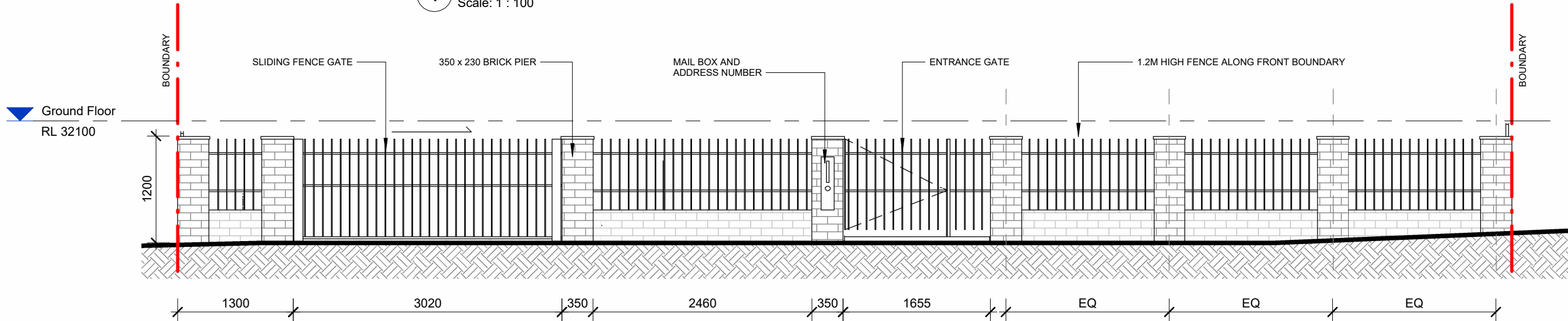
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NOTES		REV		DATE	DESCRIPTION	PROJECT		ARCHITECT		CLIENT	PROJECT NUMBER		PROJECT ADDRESS	
<div>- ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS.</div> <div>- CONTRACTOR TO ENSURE CONSISTENCY BETWEEN SIMILAR MATERIAL IS MAINTAINED.</div> <div>- PREPARE &amp; MAKE GOOD ALL SURFACES &amp; SUBSTRATE AS REQUIRED TO RECEIVE NEW FINISHES AS PER MANUFACTURER'S SPECIFICATION.</div> <div>- ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORK. ALL DIMENSIONS MUST BE CHECKED &amp; VERIFIED ON SITE PRIOR TO CONSTRUCTION &amp; MANUFACTURE OF ANY ITEM.</div> <div>- THIS DRAWING IS COPYRIGHT AND THE PROPERTY OF THE AUTHOR. IT MUST NOT BE RETAINED, COPIED OR USED WITHOUT THE EXPRESS AUTHORITY OF PLAY CO PTY LTD.</div>		A		2024.11.21	Issued for coordination	5 INVERNESS STREET		 P L A Y			P538		5 Inverness Street, Midway Point, TAS 7171	
		B		2025.01.22	Issued for coordination						A2001		North Elevation	
		C		2025.02.10	Issued for coordination	5 Inverness Street, Midway Point, TAS 7171		PLAY CO PTY LTD ABN 206 135 521 86 SUITE 402 11 HELP STREET CHATSWOOD NSW 2067 WWW.PLAY-CO.COM.AU			1 : 100		A3	
		D		2025.03.31	Issued for RFI						SH		RN	
											PAPER SIZE		REVISION	
											D		D	
											STATUS		Preliminary	





1 West Elevation  
Scale: 1 : 100



2 Front Fence Elevation  
Scale: 1 : 50

NOTES

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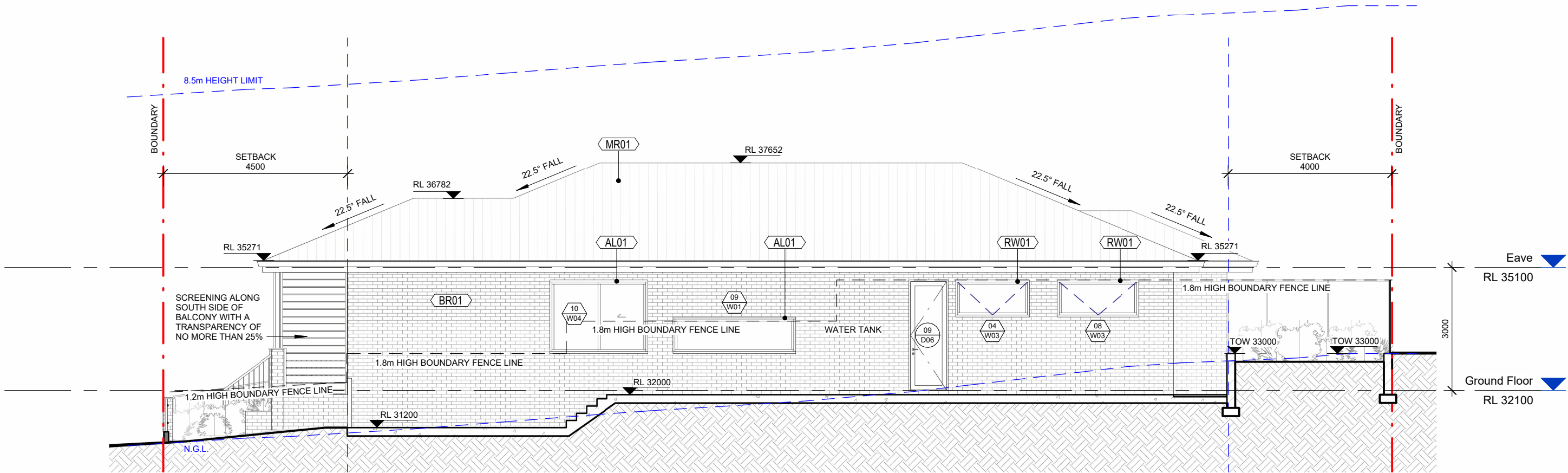
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PROJECT  
**5 INVERNESS STREET**  
5 Inverness Street, Midway Point, TAS 7171

ARCHITECT  
**PLAY**  
PLAY CO PTY LTD  
ABN 206 135 521 86  
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PROJECT NUMBER	P538	PROJECT ADDRESS	5 Inverness Street, Midway Point, TAS 7171		
DRAWING NUMBER	A2003	DRAWING TITLE	West Elevation		
SCALE	As indicated	PAPER SIZE	A3	REVISION	D
DRAWN BY	SH	REVIEWED BY	RN	STATUS	Preliminary



NOTES

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REV	DATE	DESCRIPTION
A	2024.11.21	Issued for coordination
B	2025.01.22	Issued for coordination
C	2025.02.10	Issued for coordination
D	2025.03.31	Issued for RFI

PROJECT

5 INVERNESS  
STREET

5 Inverness Street, Midway  
Point, TAS 7171

ARCHITECT



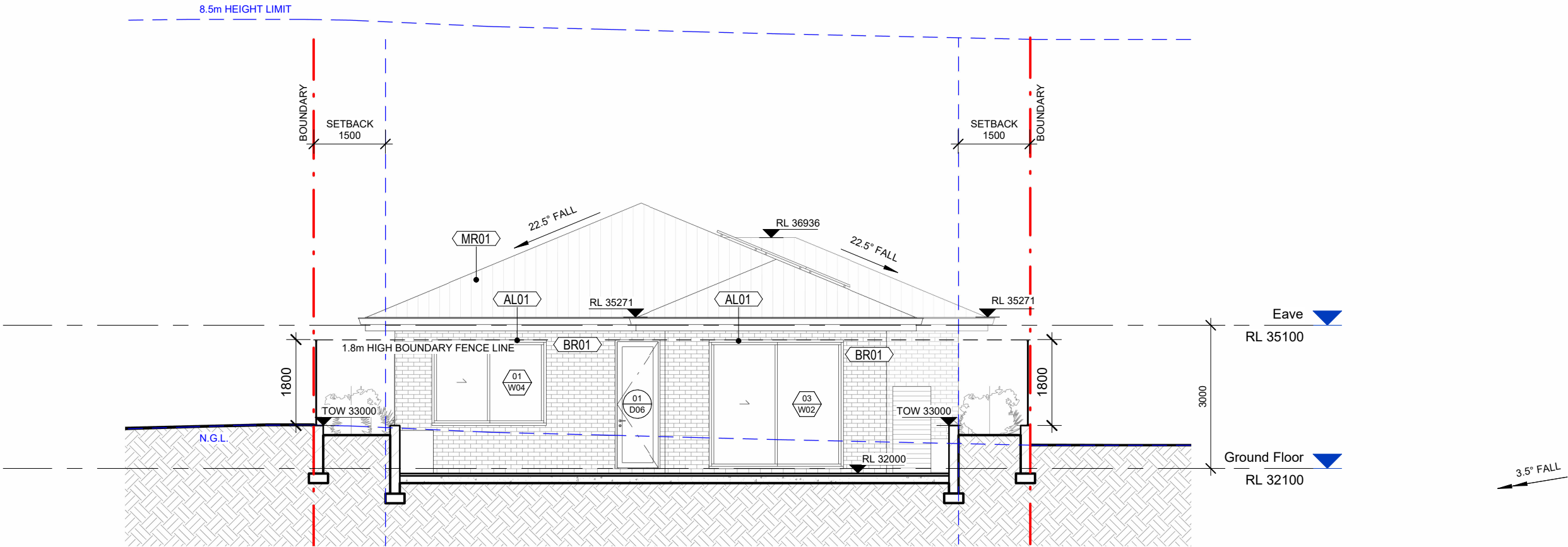
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PROJECT NUMBER P538 PROJECT ADDRESS 5 Inverness Street, Midway Point, TAS 7171

DRAWING NUMBER A2004 DRAWING TITLE South Elevation

SCALE	1 : 100	PAPER SIZE	A3	REVISION	D
DRAWN BY	SH	REVIEWED BY	RN	STATUS	Preliminary



NOTES

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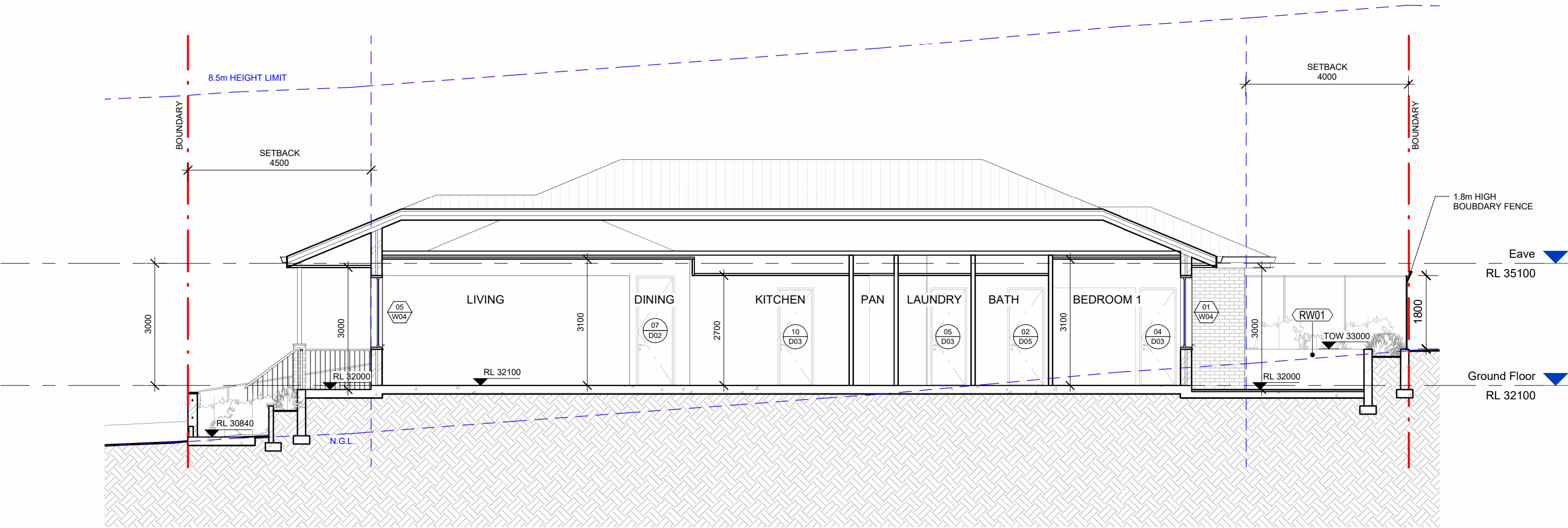
PROJECT  
**5 INVERNESS STREET**  
5 Inverness Street, Midway Point, TAS 7171

ARCHITECT  
**PLAY**  
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PROJECT NUMBER	P538	PROJECT ADDRESS	5 Inverness Street, Midway Point, TAS 7171		
DRAWING NUMBER	A2005	DRAWING TITLE	East Elevation		
SCALE	1 : 100	PAPER SIZE	A3	REVISION	D
DRAWN BY	SH	REVIEWED BY	RN	STATUS	Preliminary





NOTES

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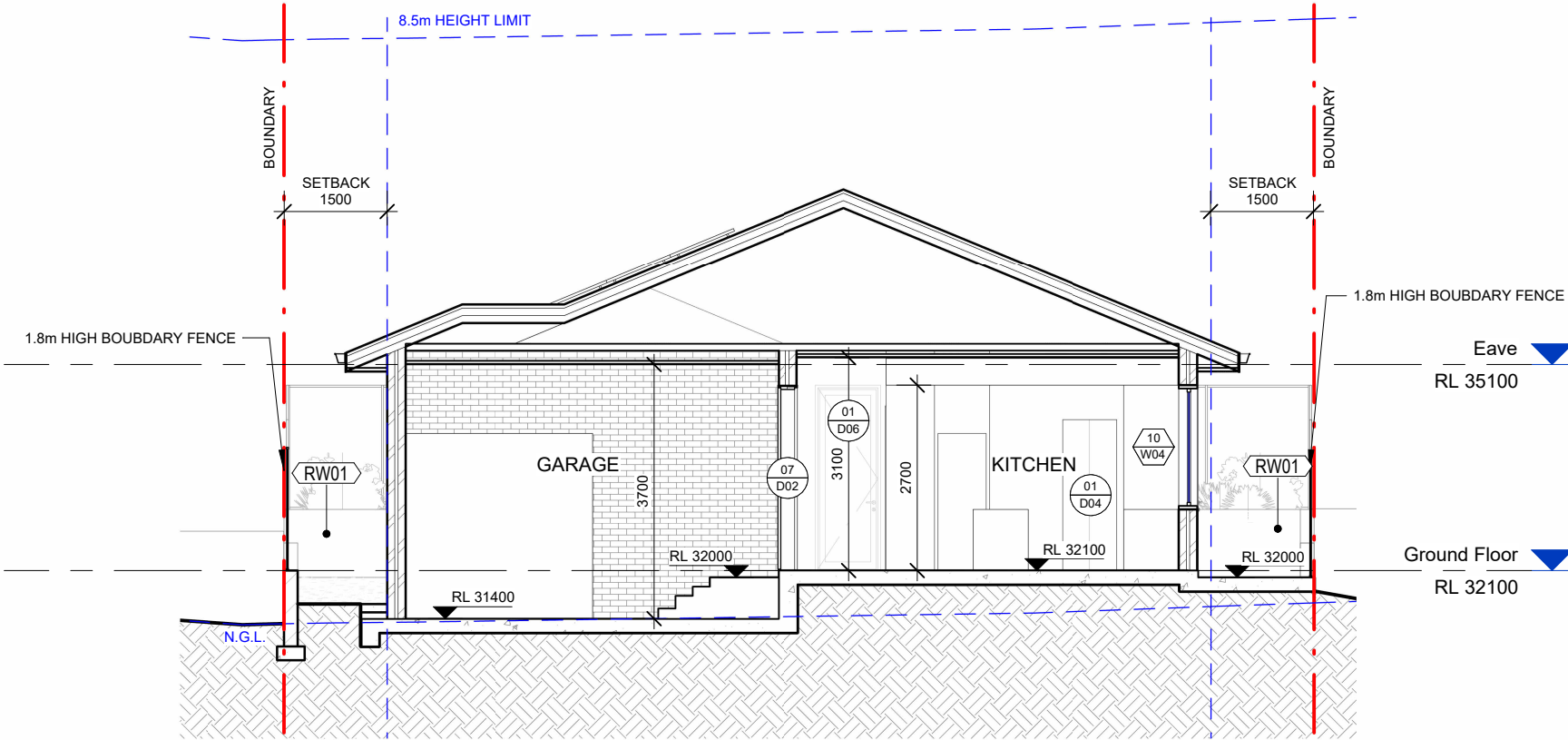
REV	DATE	DESCRIPTION
A	2024.11.21	Issued for coordination
B	2025.01.22	Issued for coordination
C	2025.02.10	Issued for coordination
D	2025.03.31	Issued for RFI

PROJECT  
**5 INVERNESS STREET**  
5 Inverness Street, Midway Point, TAS 7171

ARCHITECT  
**PLAY**  
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PROJECT NUMBER	P538	PROJECT ADDRESS	5 Inverness Street, Midway Point, TAS 7171		
DRAWING NUMBER	A3001	DRAWING TITLE	Section A		
SCALE	1 : 100	PAPER SIZE	A3	REVISION	D
DRAWN BY	SH	REVIEWED BY	RN	STATUS	Preliminary



NOTES

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D	2025.03.31	Issued for RFI

PROJECT

**5 INVERNESS STREET**

5 Inverness Street, Midway Point, TAS 7171

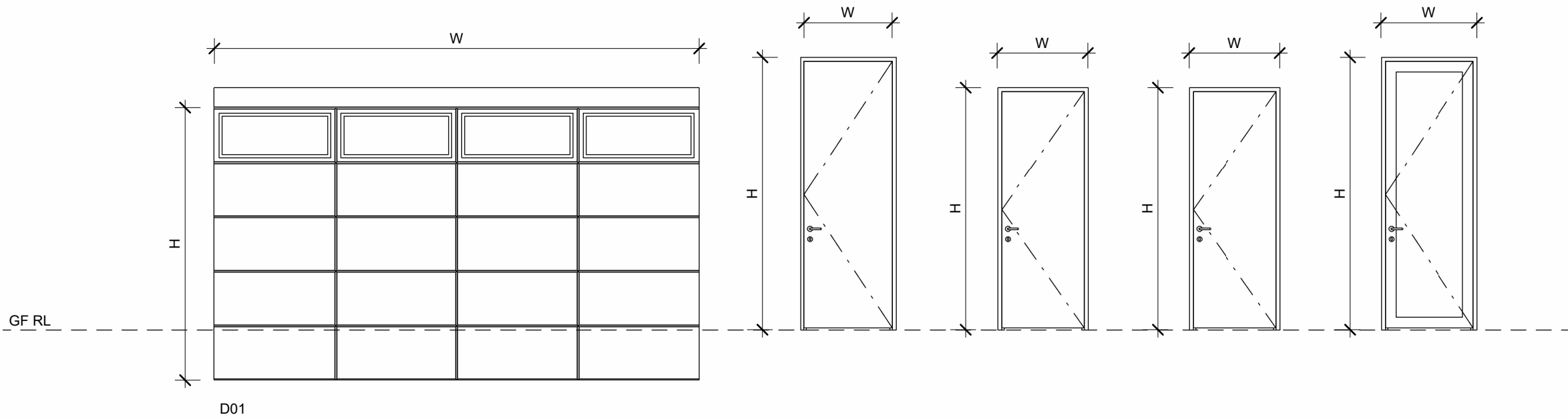
ARCHITECT

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PROJECT NUMBER	P538	PROJECT ADDRESS	5 Inverness Street, Midway Point, TAS 7171		
DRAWING NUMBER	A3002	DRAWING TITLE	Section B		
SCALE	1 : 100	PAPER SIZE	A3	REVISION	D
DRAWN BY	SH	REVIEWED BY	RN	STATUS	Preliminary



Door Schedule						
Type Mark	Mark	Height (H)	Width (W)	Description	Comments	Count
D01	06	2700	4800	Panel Lift Garage Door		1
D02	07	2700	950	Single Panel Swing Door (External)		1
D02	08	2700	950	Single Panel Swing Door (External)		1
D03	03	2400	900	Single Panel Swing Door (Internal)		1
D03	04	2400	900	Single Panel Swing Door (Internal)		1
D03	05	2400	900	Single Panel Swing Door (Internal)		1
D03	10	2400	900	Single Panel Swing Door (Internal)		1
D03	11	2400	900	Single Panel Swing Door (Internal)		1
D04	01	2200	800	Single Panel Sliding Door		1
D05	01	2400	900	Single Panel Swing Door (Wet Area)		1
D05	02	2400	900	Single Panel Swing Door (Wet Area)		1
D06	01	2700	950	Single Panel Swing Glazing Door		1
D06	09	2700	950	Single Panel Swing Glazing Door		1



**Sorell Council**  
Development Application: 5.2024.312.1 -  
Response to Request For Information - 5  
Inverness Street, Midway Point - P6.pdf  
Plans Reference: P6  
Date Received: 07/04/2025

NOTES

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REV	DATE	DESCRIPTION
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D	2025.03.31	Issued for RFI

PROJECT  
**5 INVERNESS STREET**  
  
5 Inverness Street, Midway Point, TAS 7171

ARCHITECT

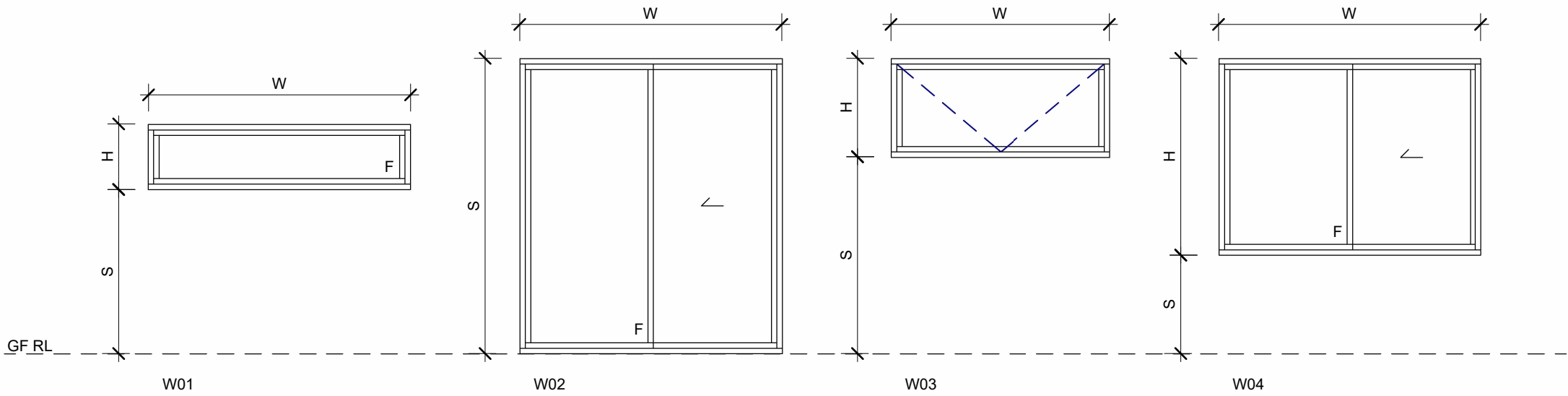


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PROJECT NUMBER	P538	PROJECT ADDRESS	5 Inverness Street, Midway Point, TAS 7171		
DRAWING NUMBER	A4001	DRAWING TITLE	Door Schedule		
SCALE	1 : 50	PAPER SIZE	A3	REVISION	D
DRAWN BY	SH	REVIEWED BY	RN	STATUS	Preliminary



Window Schedule							
Type Mark	Mark	Sill Height (S)	Height (H)	Width (W)	Description	Comments	Count
W01	09	900	900	3000	Single Panel Fixed Window		1
W01	16	1500	600	2400	Single Panel Fixed Window		1
W02	01	0	2700	2400	2-Panel Sliding Glazing Door		1
W02	02	0	2700	2400	2-Panel Sliding Glazing Door		1
W02	03	0	2700	2800	2-Panel Sliding Glazing Door		1
W03	01	1800	900	900	Single Panel Awning Window	Frosted Glass Panel	1
W03	02	1800	900	2000	Single Panel Awning Window		1
W03	04	1800	900	1800	Single Panel Awning Window	Frosted Glass Panel	1
W03	08	1800	900	2000	Single Panel Awning Window		1
W04	01	900	1800	2400	2-Panel Sliding Window		1
W04	05	900	1800	2800	2-Panel Sliding Window		1
W04	10	900	1800	2400	2-Panel Sliding Window		1



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Inverness Street, Midway Point - P6.pdf  
Plans Reference: P6  
Date Received: 07/04/2025

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PROJECT  
**5 INVERNESS STREET**  
  
5 Inverness Street, Midway Point, TAS 7171



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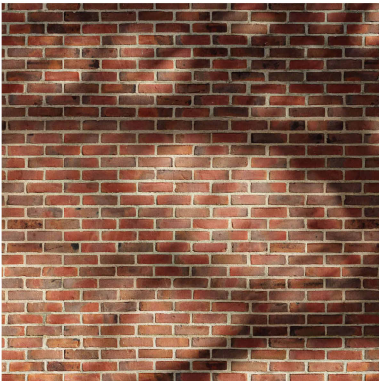
CLIENT

PROJECT NUMBER	P538	PROJECT ADDRESS	5 Inverness Street, Midway Point, TAS 7171		
DRAWING NUMBER	A4002	DRAWING TITLE	Window Schedule		
SCALE	1 : 50	PAPER SIZE	A3	REVISION	D
DRAWN BY	SH	REVIEWED BY	RN	STATUS	Preliminary





**AL01**  
ALUMINIUM POWERCOATED FINISH TO  
WINDOWS AND WINDOW SHROUD



**BR01**  
BRICK FINISH TO EXTERIOR WALLS



**CF01**  
EXPOSED AGGREGATE CONCRETE FLOOR  
PAVEMENT



**CF02**  
POLISHED CONCRETE FLOOR



**TF01**  
TIMBER FINISH FLOORING



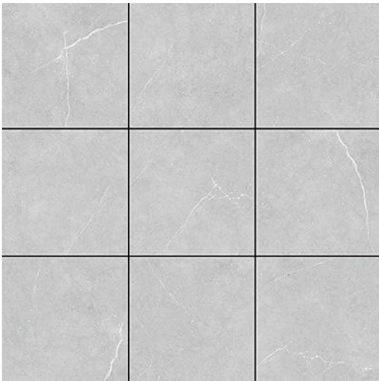
**TF02**  
WEATHER-TREATED TIMBER DECKING



**MR01**  
COLORBOND ROOF SHEETS



**RW01**  
RENDER WALL FINISH



**TL01**  
TILE FINISH TO WET AREAS



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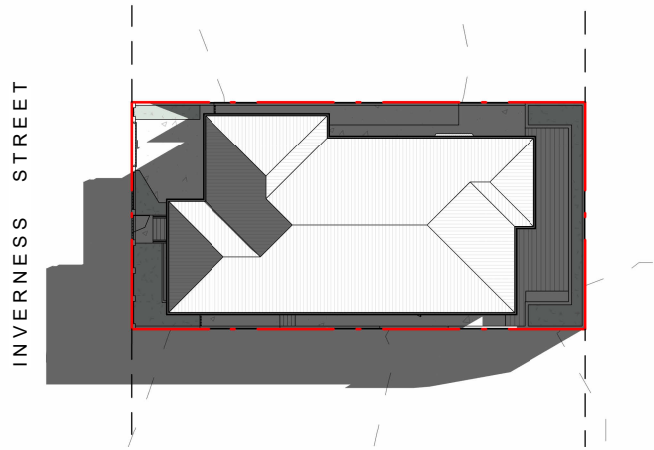
PROJECT
5 INVERNESS STREET
5 Inverness Street, Midway Point, TAS 7171

ARCHITECT
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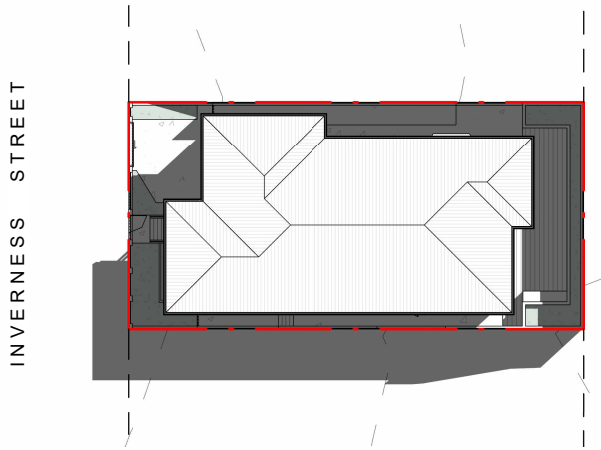
CLIENT

PROJECT NUMBER	P538	PROJECT ADDRESS	5 Inverness Street, Midway Point, TAS 7171		
DRAWING NUMBER	A4003	DRAWING TITLE	Material and Finish Schedule		
SCALE	1 : 10	PAPER SIZE	A3	REVISION	D
DRAWN BY	SH	REVIEWED BY	RN	STATUS	Preliminary

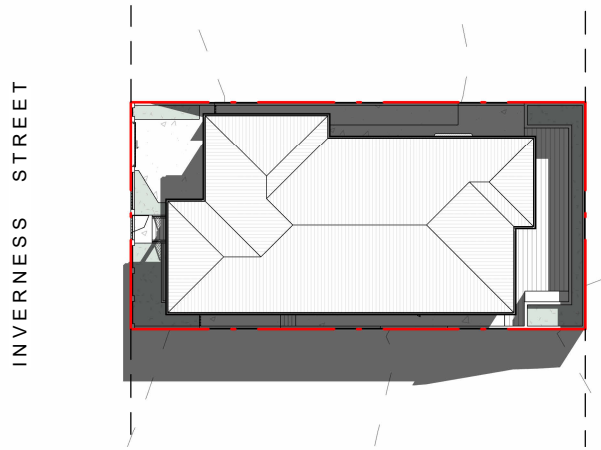




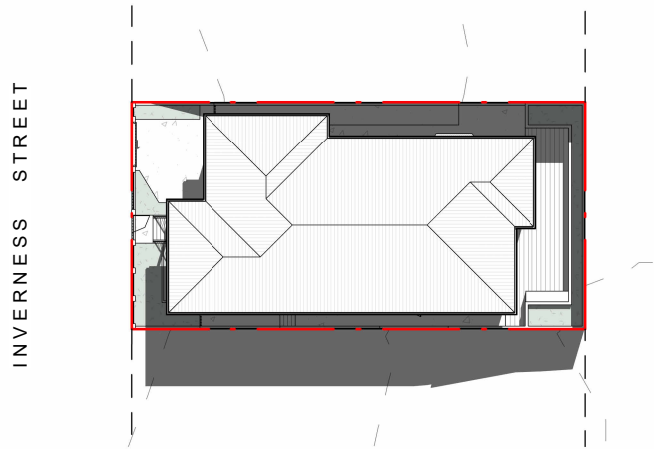
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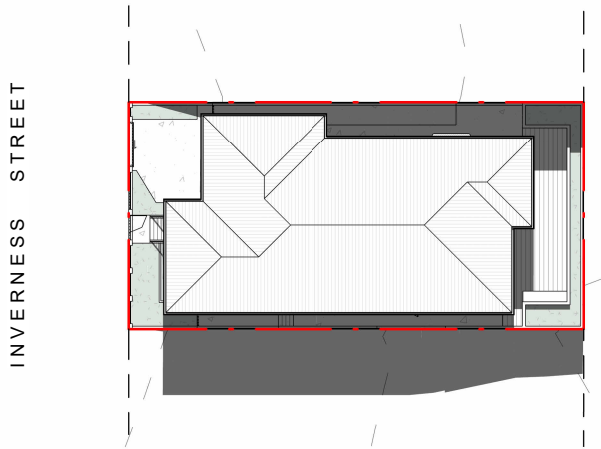
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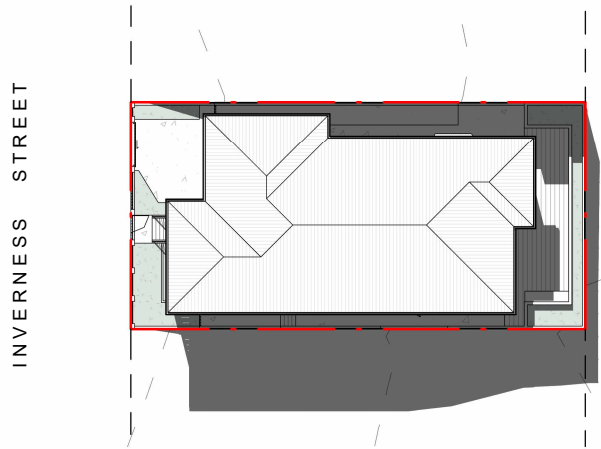
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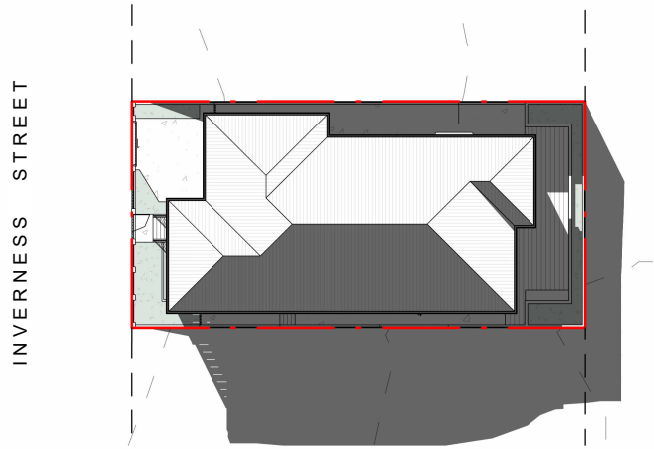
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5 Shadow Plan\_06.21\_1300  
Scale: 1 : 500



6 Shadow Plan\_06.21\_1400  
Scale: 1 : 500



7 Shadow Plan\_06.21\_1500  
Scale: 1 : 500



Sorell Council

Development Application: 5.2024.312.1 -  
Response to Request For Information - 5  
Inverness Street, Midway Point - P6.pdf  
Plans Reference: P6  
Date Received: 07/04/2025

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REV	DATE	DESCRIPTION
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REV	DATE	DESCRIPTION
A	2025.02.10	Issued for coordination
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PROJECT  
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PROJECT NUMBER P538 PROJECT ADDRESS 5 Inverness Street, Midway Point, TAS 7171

DRAWING NUMBER A8001 DRAWING TITLE Shadow Diagrams

SCALE	1 : 500	PAPER SIZE	A3	REVISION	B
DRAWN BY	SH	REVIEWED BY	RN	STATUS	Preliminary