

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: 63 Friendship Drive, Sorell

PROPOSED DEVELOPMENT:

DWELLING

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Monday 26th May 2025**.

Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the General Manager. Representations must be received no later than **Monday 26th May 2025**.

APPLICANT: Construct Creative Pty Ltd

APPLICATION NO: DA 2025 / 87 1

DATE: 09 May 2025

Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	Use: Dwelling
	Development: Construction of a single dwelling
	Large or complex proposals should be described in a letter or planning report.
Design and construction cost of proposal:	\$ 442,300.00


Is all, or some the work already constructed:	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>
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Location of proposed works:	Street address: 63 Friendship Drive
	Suburb: SORELL Postcode: 7172
	Certificate of Title(s) Volume: 185351 Folio: 91

Current Use of Site	Vacant Land
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Current Owner/s:	Name(s) Lynmore Holdings Pty Ltd
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Is the Property on the Tasmanian Heritage Register?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	If yes, please provide written advice from Heritage Tasmania
Is the proposal to be carried out in more than one stage?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	If yes, please clearly describe in plans
Have any potentially contaminating uses been undertaken on the site?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	If yes, please complete the Additional Information for Non-Residential Use
Is any vegetation proposed to be removed?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	If yes, please ensure plans clearly show area to be impacted
Does the proposal involve land administered or owned by either the Crown or Council?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	If yes, please complete the Council or Crown land section on page 3
<p>If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form</p> <p>https://www.sorell.tas.gov.au/services/engineering/</p>		

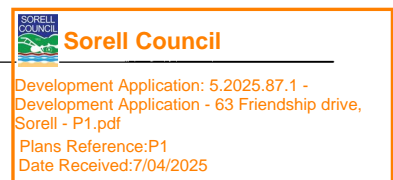


Sorell Council

Development Application: 5.2025.87.1 -
Development Application - 63 Friendship drive,
Sorell - P1.pdf
Plans Reference: P1
Date Received: 7/04/2025

Declarations and acknowledgements	
<ul style="list-style-type: none"> I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land. I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council's representatives to enter the land at any time during normal business hours. I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies. I/we declare that, in accordance with s52(1) of the <i>Land Use Planning and Approvals Act 1993</i>, that I have notified the owner(s) of the intention to make this application. I/we declare that the information in this application is true and correct. <p><i>Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council's Privacy Policy available on the Council website.</i></p>	
<ul style="list-style-type: none"> I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only. 	
<ul style="list-style-type: none"> Where the General Manager's consent is also required under s.14 of the <i>Urban Drainage Act 2013</i>, by making this application I/we also apply for that consent. 	
Applicant Signature:	Signature:  Date: 07/04/2025

Crown or General Manager Land Owner Consent	
<p>If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the <i>Land Use Planning and Approvals Act 1993</i>).</p> <p>Please note:</p> <ul style="list-style-type: none"> If General Manager consent is required, please first complete the General Manager consent application form available on our website www.sorell.tas.gov.au If the application involves Crown land you will also need a letter of consent. Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development. 	
<p>I _____ being responsible for the administration of land at _____ declare that I have given permission for the making of this application for _____</p>	
Signature of General Manager, Minister or Delegate:	Signature: _____ Date: _____



PROJECT ADDRESS: 63 FRIENDSHIP DRIVE, SORELL

TITLE REFERENCE: VOLUME: 185351 FOLIO: 91

CLIENTS: HALEY SOUTHGATE & EMMANUEL OPIRA

DESIGNER: Inge Brown, CC 6652

DRAWINGS: 01 COVER PAGE
02 PROPOSED SITE PLAN
03 PROPOSED FLOOR PLAN
04 PROPOSED ROOF PLAN
05 PROPOSED ELEVATIONS
06 PROPOSED ELEVATIONS
07 SECTION A-A
08 TYPICAL SECTION DETAILS
09 WINDOW SCHEDULE

FLOOR AREAS: FLOOR AREA: 127.4 m²
PORCH: 1.0 m²
GARAGE: 43.5 m²

TOTAL AREA: 171.9 m²
DECK: 9.7 m²

SOIL CLASSIFICATION: --

WIND CLASSIFICATION: --

CLIMATE ZONE: 7

BUSHFIRE ATTACK LEVEL: N/A - NOT WITHIN OVERLAY

ALPINE AREA: N/A

CORROSION ENVIRONMENT: N/A

DOCUMENTATION INDEX

The documentation listed below should be read in conjunction with these drawings and form the basis of construction documentation for the project

Document	Revision	By
Working drawings planning issue (these drawings)	C	Creative Homes Hobart
Survey plan SP241596-01	A	Survey Plus
Soil assessment		Doyle Soil Consulting

Sorell Council

Development Application: 5.2025.87.1 Response to Request For Information - 63 Friendship Drive, Sorell - P2.pdf
Plans Reference: P2
Date Received: 05/05/2025

GENERAL NOTES:

1. THIS PLAN HAS BEEN PREPARED BY SURVEY PLUS FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
2. TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED BY SURVEY PLUS AT THE TIME OF THIS SURVEY.
3. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.
4. SURVEY PLUS CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.

5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF SURVEY PLUS.
6. HORIZONTAL DATUM IS MGA (GDA94).
7. VERTICAL DATUM IS AHD.
8. CONTOUR INTERVAL IS 0.2 METRE, INDEX IS 1.0 METRE.
9. SURVEY BY ROBOTIC TOTAL STATION AND GPS.
10. IMPORTED DATA SHOWN ON THIS PLAN WAS OBTAINED FOR PUBLIC AVAILABLE DATA FROM VARIOUS GOVERNMENT AUTHORITIES. THIS INFORMATION IS PROVIDED FOR GUIDANCE ONLY. THE ACCURACY OF ANY IMPORTED DATA IS PER THE ACCURACY QUOTED BY THE SOURCE AND IS IN NO WAY GUARANTEED BY SURVEY PLUS. USERS MUST NOT RELY ON THIS DATA FOR ON-GROUND LOCATION OF BOUNDARIES AND/OR SERVICES.

- LIST DATA IMPORT
- TasWater-SewerLateralLine
 - TasWater-SewerMain
 - TasWater-SewerMaintenanceHole
 - TasWater-SewerPressurisedMain

- TasWater-WaterHydrant
 - TasWater-WaterLateralLine
 - TasWater-WaterMain
 - CadastralParcel-OwnerInformation
11. BOUNDARIES ARE COMPILED ONLY FROM SP185351 AND RELEVANT SURVEY INFORMATION OBTAINED FROM LAND TITLES OFFICE AND ARE APPROXIMATE AND SUBJECT TO SURVEY.
12. ALL WINDOWS WERE NOT ABLE TO BE LOCATED DUE TO OBSTRUCTION OF LINE OF SIGHT FROM TOTAL STATION. WINDOW LOCATIONS ARE APPROXIMATE ONLY DUE TO BEING UNABLE TO BE PERPENDICULAR TO WINDOWS WHEN LOCATING WITH TOTAL STATION.
13. 3D DATA TURNED OFF IN LAYER CONTROL.
- 3D TIN
 - MAJOR CONTOUR 3D
 - MINOR CONTOUR 3D

GPS DATA SCALE LOCATION

JOB CONTROL POINT

POINT NO: #1

DESCRIPTION: NAIL IN GRASS


GPS SCALE FACTOR = 1.000378996

E: 547377.391

N: 5263724.758

RL: 41.146

EPU = 0.04±



Sorell Council

Development Application: 5.2025.87.1 Response to Request For Information - 63 Friendship Drive, Sorell - P2.pdf

Plans Reference: P2

Date Received: 05/05/2025

NOTES

SITE PREPARATION

THE SITE IS TO BE DISTURBED AS MINIMALLY AS POSSIBLE TO THE EXTENT REQUIRED TO CARRY OUT THE BUILDING WORKS.

EARTHWORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH NCC PART 3.2.

UN-RETAINED EMBANKMENT GRADIENTS SHALL BE IN ACCORDANCE WITH NCC TABLE 3.2.1.

DRAINAGE SHALL BE IN ACCORDANCE WITH NCC PART 3.3.2.

THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNES, WEAKENING & UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.

LOCATION OF ALL EXISTING SERVICES TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.

ATTENTION OF OWNER

THE OWNERS ATTENTION IS DRAWN TO THE FACT THAT FOUNDATIONS AND ASSOCIATED DRAINAGE FOR ALL SITES REQUIRES CONTINUING MAINTENANCE TO ASSIST FOOTING PERFORMANCE. ADVICE FOR FOUNDATION MAINTENANCE IS CONTAINED IN THE CSIRO BUILDING TECHNOLOGY FILE 18 AND IT IS THE OWNERS RESPONSIBILITY TO MAINTAIN THE SITE IN ACCORDANCE WITH THIS DOCUMENT.

SOIL AND WATER MANAGEMENT NOTES:

DRAINAGE LINES ARE TO BE INSTALLED PRIOR TO THE PLACEMENT OF ROOF AND GUTTERING. ONCE DWELLING IS ROOFED, CONNECT IMMEDIATELY. APPLY TEMPORARY COVERING TO DISTURBED AREAS THAT WILL REMAIN EXPOSED FOR 14 DAYS OR MORE DURING CONSTRUCTION (EG. WATERPROOF BLANKET, VEGETATION OR MULCH)

PROTECT ANY NEARBY OR ON-SITE DRAINAGE PITS FROM SEDIMENT BY INSTALLING SEDIMENT TRAPS AROUND THEM.

LIMIT ENTRY/EXIT TO ONE POINT AND STABILISE. INSTALL FACILITIES TO REMOVE DIRT/ MUD FROM VEHICLE WHEELS BEFORE THEY LEAVE THE SITE.

SITE TO BE VEGETATED AND PLANTED ACCORDING TO THE HOBART REGIONAL SOIL AND WATER MANAGEMENT CODE OF PRACTICE.

BUILDER AND SUBCONTRACTORS TO VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. GIVE 24 HOURS MINIMUM NOTICE WHERE AMENDMENTS ARE REQUIRED TO DRAWINGS. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH DOCUMENTATION LISTED ON THE COVER PAGE. DO NOT SCALE DRAWINGS.

DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE. BUILDING SPECIFICATION AND ENGINEERS DRAWINGS SHALL OVERRIDE ARCHITECTURAL DRAWINGS.

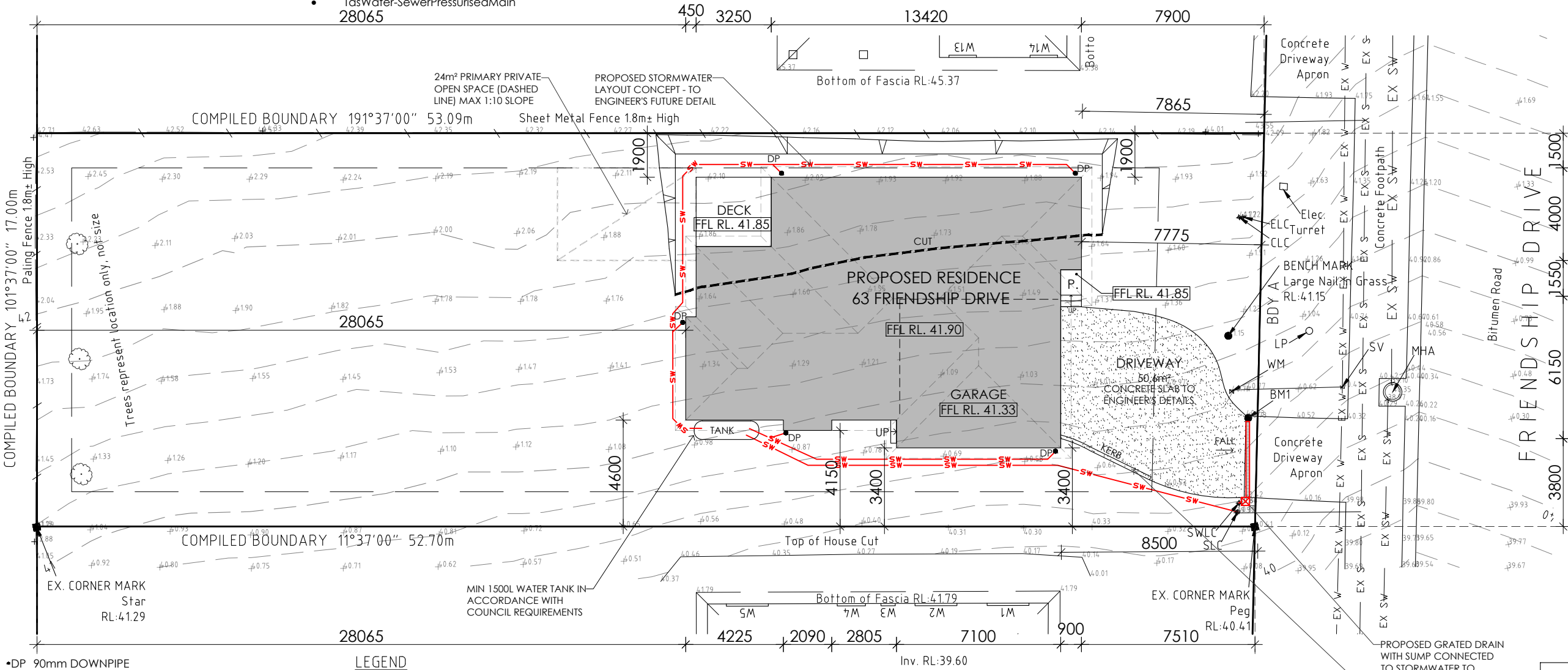
-THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWING SHEETS, CONSULTANTS DRAWINGS, DOCUMENTS, SCHEDULES AND SPECIFICATIONS (AS APPLICABLE).

-THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNES, WEAKENING & UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.

- LOCATION OF ALL EXISTING ONSITE SERVICES TO BE CONFIRMED ONSITE PRIOR TO CONSTRUCTION

IMPORTANT!

SITE INFORMATION AS DRAWN IS APPROXIMATE ONLY. FINAL SITE INFORMATION IS SUBJECT TO A DETAILED CONTOUR SURVEY BY LICENSED SURVEYOR.



•DP 90mm DOWNPIPE

NOTE: ALL PROPOSED STORMWATER TO BE DISCHARGED TO EXISTING INFRASTRUCTURE

EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IMPLEMENTED ON THE SITE IN ACCORDANCE WITH COUNCIL REQUIREMENTS

PROPOSED SITE PLAN

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02	PROJECT NORTH	CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.	DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.	REV:	DESCRIPTION:	BY:	DATE:
				SK	ISSUED FOR CLIENT REVIEW	NN	17/01/25
				A	ISSUED FOR CLIENT REVIEW	NN	28/02/25
				B	DESIGN AMENDMENTS	IB	17/04/25
				C	DESIGN AMENDMENTS	IB	30/04/25

PRELIMINARY



CREATIVE HOMES
HOBART

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS:
63 Friendship Drive
Sorell

DESIGNER: I. Brown

DRAWN: N. Nguyen

CHECKED:

SCALE: 1:200

ACCRED. NO.: CC6652

DATE: January 2025

DATE:

REV: C

CLIENT:
Haley Southgate
& Emmanuel Opira

SHEET: 2 of 9




DESIGN TYPE: Custom

DRAWING NO: 0128

SOIL CLASSIFICATION:	--
WIND CLASSIFICATION:	--

SITE COVERAGE	
SITE AREA	899.2 m²
PROPOSED BUILDING FOOTPRINT	171.9 m²
PROPOSED SITE COVERAGE	19.12 %

LEGEND:

DP	DOWNPIPE LOCATION
SHR	SHOWER
BTH	BATH
VB	VANITY BASIN
WC	TOILET
OHC	OVERHEAD CUPBOARDS
REF	REFRIGERATOR
P	PANTRY
RH	RANGE HOOD
UBO	UNDER BENCH OVEN
CT	COOK TOP
S	SINK
DW	DISH WASHER
T	TROUGH
WM	WASHING MACHINE
MH	MANHOLE
CSD	CAVITY SLIDING DOOR
AAW	ALUM. AWNING WINDOW
AFW	ALUM. FIXED WINDOW
ASD	ALUM. SLIDING DOOR
B/O	BEAM OVER
BH	BULKHEAD
BAL	SELECTED BALUSTRADE TO BUILDER'S STANDARD DETAIL INSTALLED IN ACCORDANCE WITH NCC
	MASONRY ARTICULATION JOINT - LOCATION TO ENGINEER'S DETAILS
	CEILING MOUNTED INTERCONNECTED SMOKE DETECTORS, MAINS WIRED WITH BATTERY BACKUP, ALL IN ACCORDANCE WITH AS 3786.
	DP 90mm DOWNPIPE

 **Sorell Council**

Development Application: 5.2025.87.1 Response
to Request For Information - 63 Friendship Drive,
Sorell - P2.pdf
Plans Reference: P2
Date Received: 05/05/2025

17120

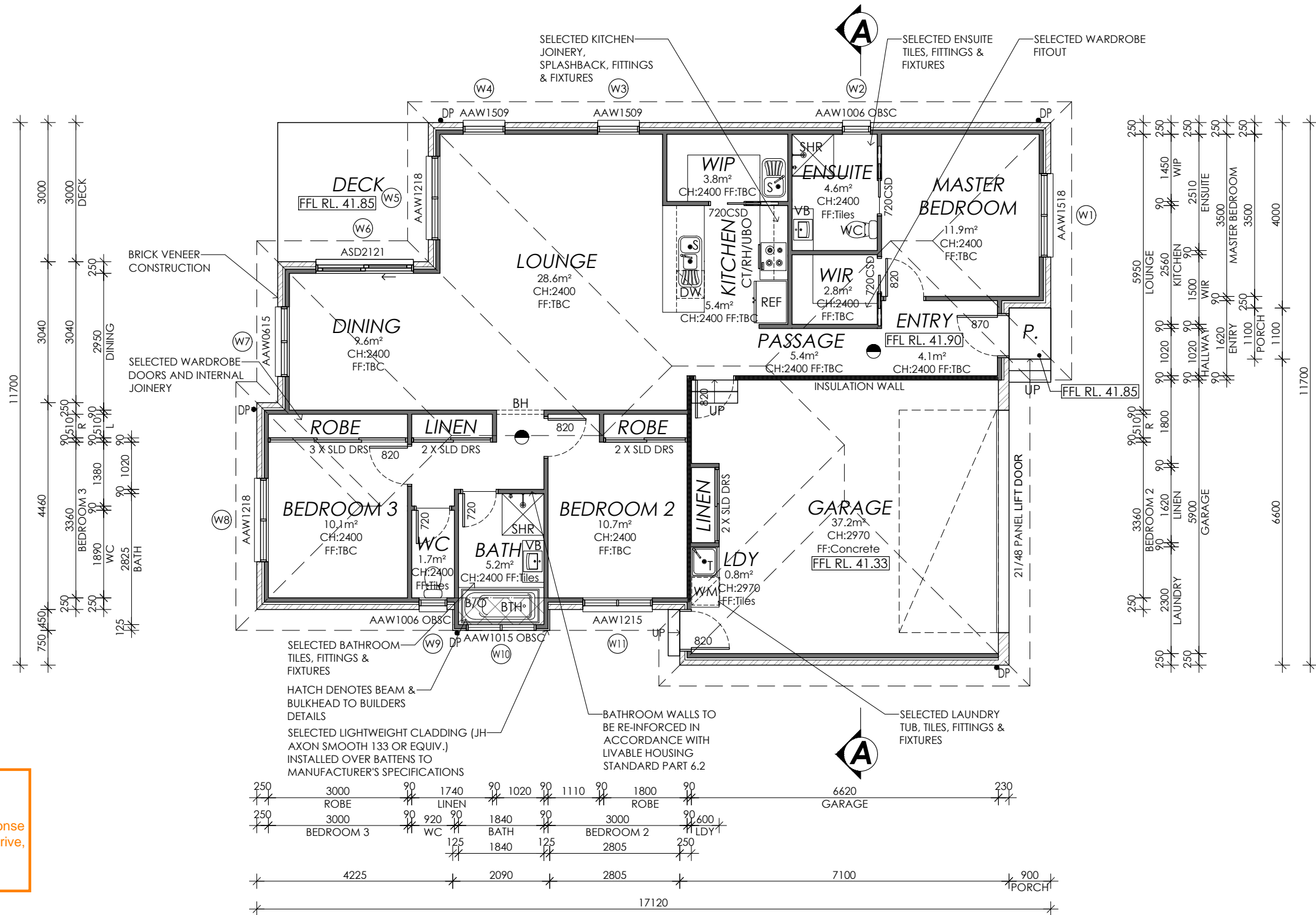
450 3250 250 4800 90 2610 90 1840 90 3400 250

13420

3250 DECK 250 4800 90 2610 WIP 90 1840 ENSUITE 90 3400 MASTER BEDROOM 250

250 3250 DINING 4800 LOUNGE 90 2610 KITCHEN 90 1840 WIR 90 2500 ENTRY 900 PORCH

620 1840 LINEN



For construction of floor wastes refer to NCC ABCB Housing provisions part 10.2.12. For typical installation requirements for substrate preparation, penetrations, flashings/ junctions, membranes, screeds, hobs, baths, showers, door jambs and screens refer to ABCB Housing provisions part 10.2.14-32.

 CREATIVE HOMES
HOBART

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 63 Friendship Drive Sorell		CLIENT: Haley Southgate & Emmanuel Opira	
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET:	3 of 9
DRAWN: N. Nguyen	DATE: January 2025	DESIGN TYPE:	Custom
CHECKED:	DATE:	DRAWING NO:	0128
SCALE: 1:100	REV: C		

Development Application: 5.2025.87.1 Response
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Sorell - P2.pdf
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Framing NCC H1D6
All timber framing, fixing and bracing shall comply with AS 1684 and the requirements of NCC H1D6. Manufactured sizes must not be undersized to those specified, for all timber sizes, stress grades, spacing and wall bracing refer to Engineer's details. Tie-down details shall be in accordance with Engineer's details and comply with NCC H1D6 (4). Structural steel members shall comply with the requirements of clauses in NCC H1D6 (3). Refer to Engineer's details where provided.

Glazing NCC H1D8
All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings) All glazing shall comply with the requirements of AS 2047 & AS 1288 and NCC H1D8.

Human impact safety requirements shall comply with NCC H1D8 (3) and Part 8.4 of the ABCB Housing provisions.

Note: Builder and subcontractors to verify all dimension and levels prior to the commencement of any work. Give 24hrs minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with Engineer's and Surveyor's drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and Engineer's drawings shall provide architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

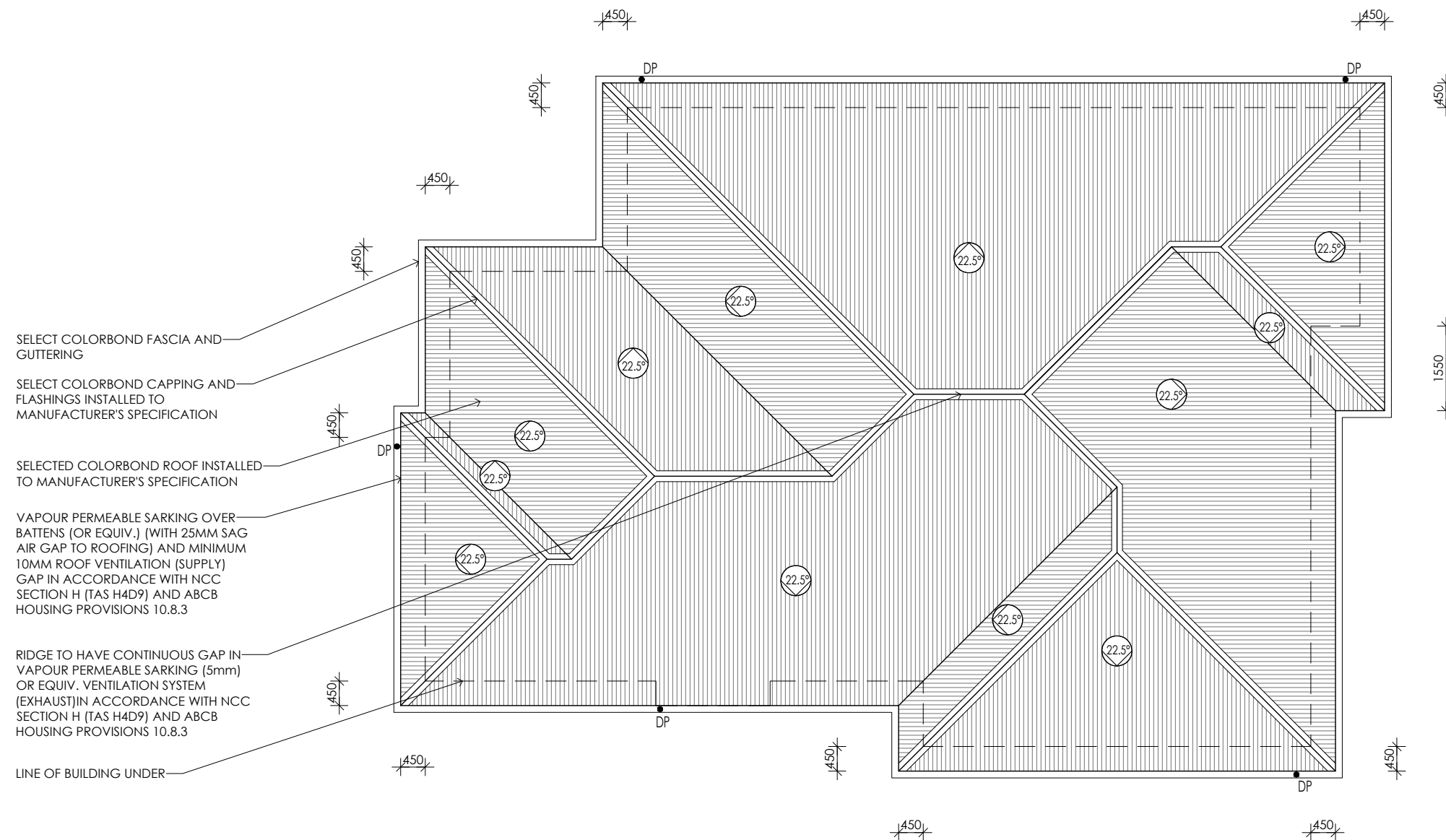
Important notice for attention of Owners
the Owners attention is drawn to the fact
that foundations and associated
drainage in all sites requires continuing
maintenance to assist footing
performance. Advice for foundation
maintenance is contained in the CSIRO
building technology file 18 and it is the
Owners responsibility to maintain the site
in accordance with this document.

Energy efficiency:
Insulation must comply with AS/NZS4859, and be installed in accordance with ABCB housing provisions Part 13.2.2 and comply with minimum R values for climate zone 7.
Bulk insulation between external studs to be insulated with min R2.0. (Ensure batts fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface). External walls are to be clad with vapour permeable reflective foil over the outside of the timber frame. Ceiling to be insulated with R4.0 and vapour permeable sarking. Floor to be insulated with Min R1.7 batts where applicable.
Seal exhaust fans to Ensite, Bathroom, Laundry and Kitchen. All downlights to be IC rated. Construction of the external walls, floor and roof for compliance with building sealing requirements shall comply with BCA 2019 Part 3, 12.

General:
All flashings, weep holes and damp proof coursing to be in accordance with NCC Housing provisions Part 5.7. Fibre cement sheet in accordance with NCC Housing provisions Part 7.5. Block construction in accordance NCC Housing provisions Part 5. Plasterboard linings to internal walls and ceilings with selected cornice. (see below for wet areas)

Wet areas: All wet areas shall comply with the requirements of ABCB Housing provisions Part 10.2. Provide waterproof plasterboard sheeting to all walls and ceilings. Provide ceramic tiles or other approved water resistant lining in accordance with Part 10.2.9 to a minimum height of 1800mm to shower walls and to a height of min 150mm behind baths, basins, sinks, troughs, washing machines and wall fixtures.

For construction of floor wastes refer to NCC ABCB Housing provisions part 10.2.12. For typical installation requirements for substrate preparation, penetrations, flashings/ junctions, membranes, screeds, hobs, baths, showers, door jams and screens refer to ABCB Housing provisions part 10.2.14-32.




PROPOSED ROOF PLAN

PRELIMINARY

● DP 90mm DOWNPIPE

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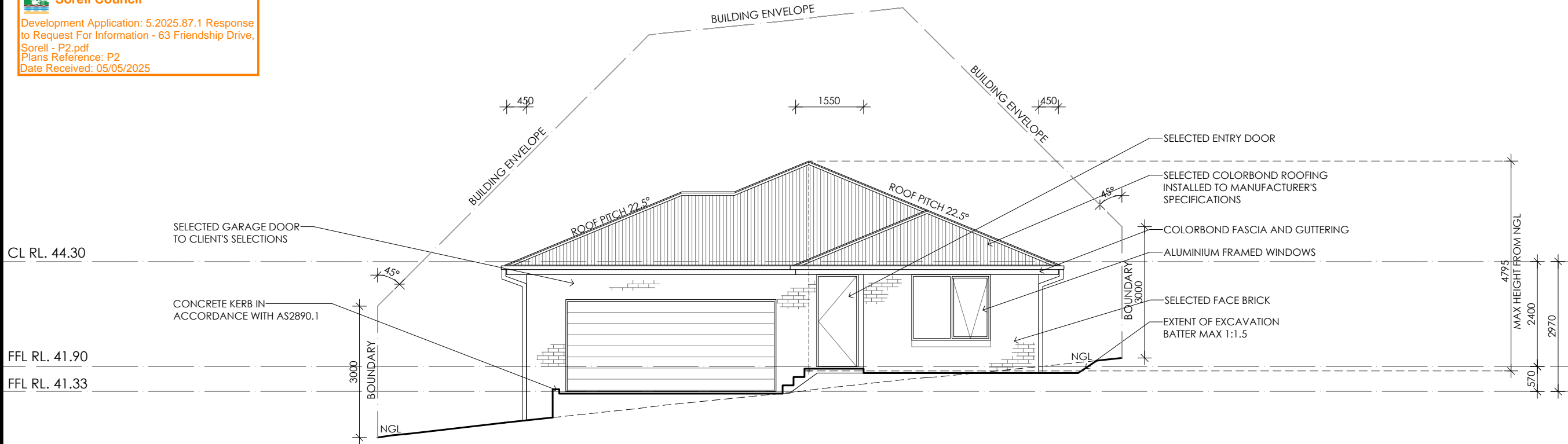
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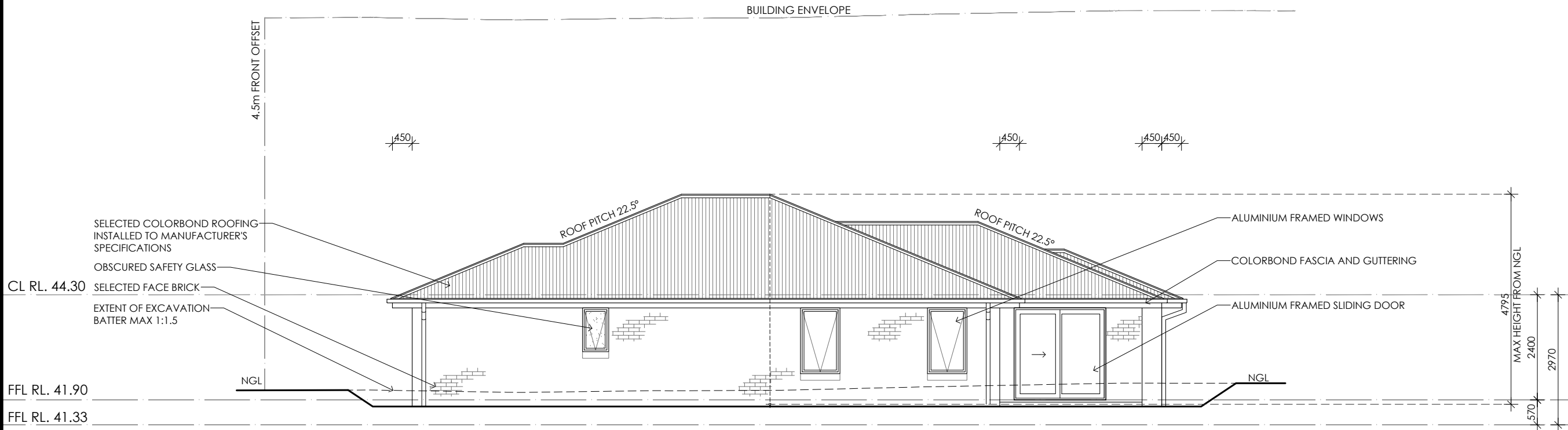
CREATIVE HOMES
— HOBART —

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 63 Friendship Drive Sorell		CLIENT: Haley Southgate & Emmanuel Opira
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 4 of 9
DRAWN: N. Nguyen	DATE: January 2025	DESIGN TYPE: Custom
CHECKED:	DATE:	DRAWING NO: 0128
SCALE: 1:100	REV: C	



SOUTHERN ELEVATION



EASTERN ELEVATION

Framing NCC H1D6
All timber framing, fixing and bracing shall comply with AS 1684 and the requirements of NCC H1D6. Manufactured sizes must not be undersized to those specified, for all timber sizes, stress grades, spacing and wall bracing refer to Engineer's details. Tie-down details shall be in accordance with Engineer's details and comply with NCC H1D6 (4). Structural steel members shall comply with the requirements of clauses in NCC H1D6 (3). Refer to Engineer's details where provided.

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All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings) All glazing shall comply with the requirements of AS 2047 & AS 1288 and NCC H1D8.

Human impact safety requirements shall comply with NCC H1D8 (3) and Part 8.4 of the ABCB Housing provisions.

Note:
Builder and subcontractors to verify all dimension and levels prior to the commencement of any work. Give 24hrs minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with Engineer's and Surveyor's drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and Engineer's drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

Important notice for attention of Owners: the Owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the Owners responsibility to maintain the site in accordance with this document.

Energy efficiency:
Insulation must comply with AS/NZS4859.1 and be installed in accordance with ABCB housing provisions Part 13.2.2 and comply with minimum R values for climate zone 7. Bulk insulation between external studs to be insulated with min R2.0. (Ensure batts fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface). External walls are to be clad with vapour permeable reflective foil over the outside of the timber frame. Ceiling to be insulated with R4.0 and vapour permeable sarking. Floor to be insulated with Min R1.7 batts where applicable. Seal exhaust fans to Ensuite, Bathroom, Laundry and Kitchen. All downlights to be IC rated. Construction of the external walls, floor and roof for compliance with building sealing requirements shall comply with BCA 2019 Part 3.12


General:
All flashings, weep holes and damp proof coursing to be in accordance with NCC Housing provisions Part 5.7. Fibre cement sheet in accordance with NCC Housing provisions Part 7.5. Block construction in accordance NCC Housing provisions Part 5. Plasterboard linings to internal walls and ceilings with selected cornice. (see below for wet areas)

Wet areas: All wet areas shall comply with the requirements of ABCB Housing provisions Part 10.2. Provide waterproof plasterboard sheeting to all walls and ceilings. Provide ceramic tiles or other approved water resistant lining in accordance with Part 10.2.9 to a minimum height of 1800mm to shower walls and to a height of min 150mm behind baths, basins, sinks, troughs, washing machines and wall fixtures.

For construction of floor wastes refer to NCC ABCB Housing provisions part 10.2.12. For typical installation requirements for substrate preparation, penetrations, flashings/ junctions, membranes, screeds, hobs, baths, showers, door jambs and screens refer to ABCB Housing provisions part 10.2.14-32.

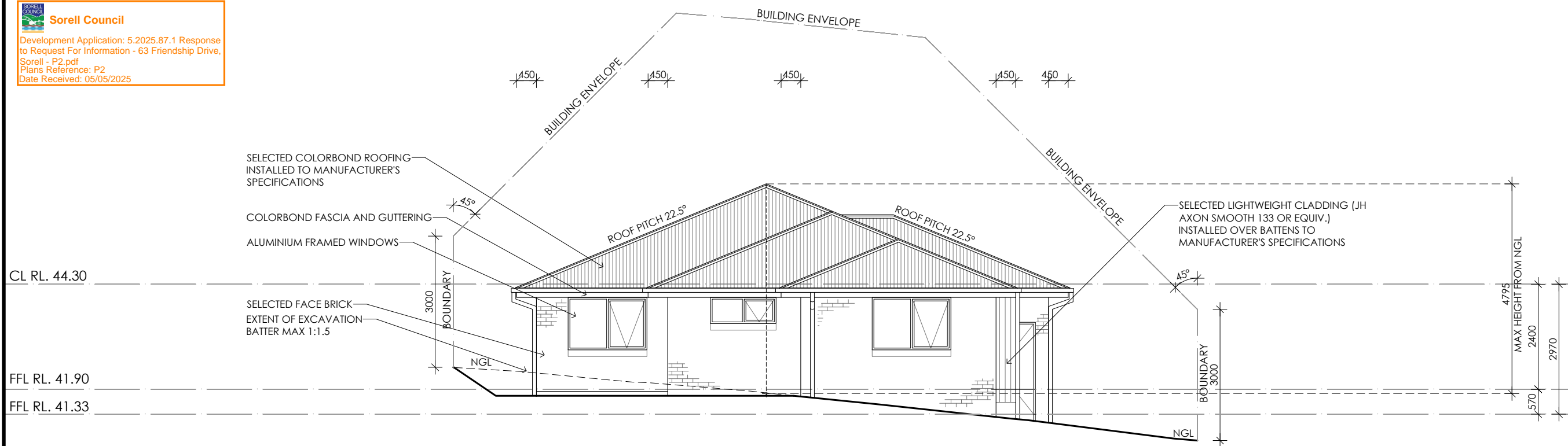
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PRELIMINARY

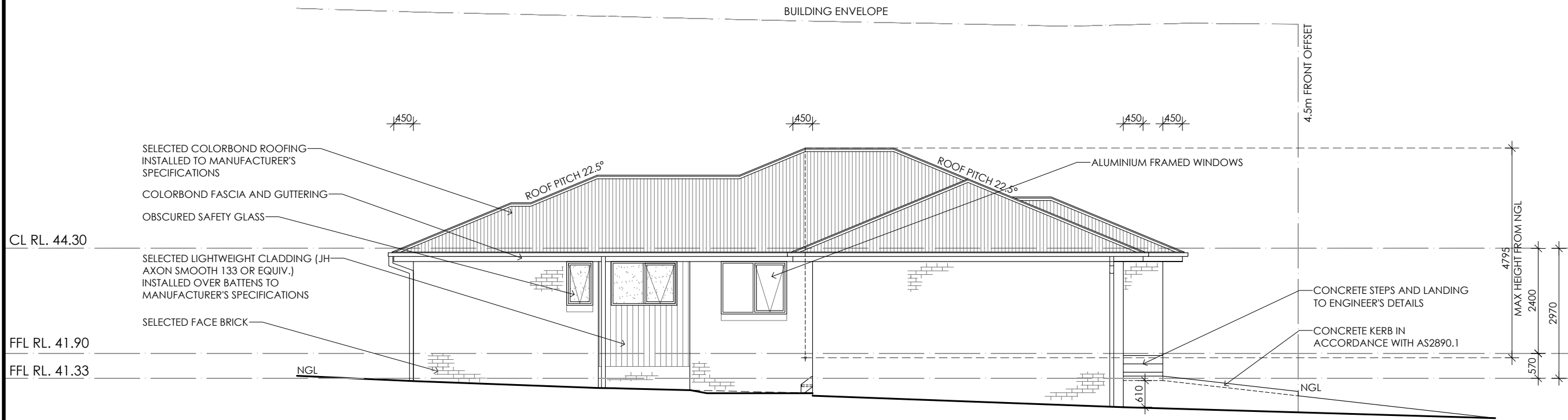
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			B	DESIGN AMENDMENTS	IB	17/04/25
			C	DESIGN AMENDMENTS	IB	30/04/25



JOB ADDRESS: 63 Friendship Drive Sorell		CLIENT: Haley Southgate & Emmanuel Opira	
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 5 of 9	
DRAWN:N. Nguyen	DATE: January 2025	DESIGN TYPE: Custom	
CHECKED:	DATE:	DRAWING NO:	
SCALE: 1:100	REV: C	0128	



NORTHERN ELEVATION



WESTERN ELEVATION

Framing NCC H1D6
All timber framing, fixing and bracing shall comply with AS 1684 and the requirements of NCC H1D6. Manufactured sizes must not be undersized to those specified, for all timber sizes, stress grades, spacing and wall bracing refer to Engineer's details. Tie-down details shall be in accordance with Engineer's details and comply with NCC H1D6 (4). Structural steel members shall comply with the requirements of clauses in NCC H1D6 (3). Refer to Engineer's details where provided.

Glazing NCC H1D8
All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings) All glazing shall comply with the requirements of AS 2047 & AS 1288 and NCC H1D8.

Human impact safety requirements shall comply with NCC H1D8 (3) and Part 8.4 of the ABCB Housing provisions.

Note:
Builder and subcontractors to verify all dimension and levels prior to the commencement of any work. Give 24hrs minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with Engineer's and Surveyor's drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and Engineer's drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

Important notice for attention of Owners:
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Energy efficiency:
Insulation must comply with AS/NZS4859.1 and be installed in accordance with ABCB housing provisions Part 13.2.2 and comply with minimum R values for climate zone 7. Bulk insulation between external studs to be insulated with min R2.0. (Ensure batts fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface). External walls are to be clad with vapour permeable reflective foil over the outside of the timber frame. Ceiling to be insulated with R4.0 and vapour permeable sarking. Floor to be insulated with Min R1.7 batts where applicable. Seal exhaust fans to Ensuite, Bathroom, Laundry and Kitchen. All downlights to be IC rated. Construction of the external walls, floor and roof for compliance with building sealing requirements shall comply with BCA 2019 Part 3.12

General:
All flashings, weep holes and damp proof coursing to be in accordance with NCC Housing provisions Part 5.7. Fibre cement sheet in accordance with NCC Housing provisions Part 7.5. Block construction in accordance NCC Housing provisions Part 5. Plasterboard linings to internal walls and ceilings with selected cornice. (see below for wet areas)

Wet areas: All wet areas shall comply with the requirements of ABCB Housing provisions Part 10.2. Provide waterproof plasterboard sheeting to all walls and ceilings. Provide ceramic tiles or other approved water resistant lining in accordance with Part 10.2.9 to a minimum height of 1800mm to shower walls and to a height of min 150mm behind baths, basins, sinks, troughs, washing machines and wall fixtures.

For construction of floor wastes refer to NCC ABCB Housing provisions part 10.2.12. For typical installation requirements for substrate preparation, penetrations, flashings/ junctions, membranes, screeds, hobs, baths, showers, door jambs and screens refer to ABCB Housing provisions part 10.2.14-32.

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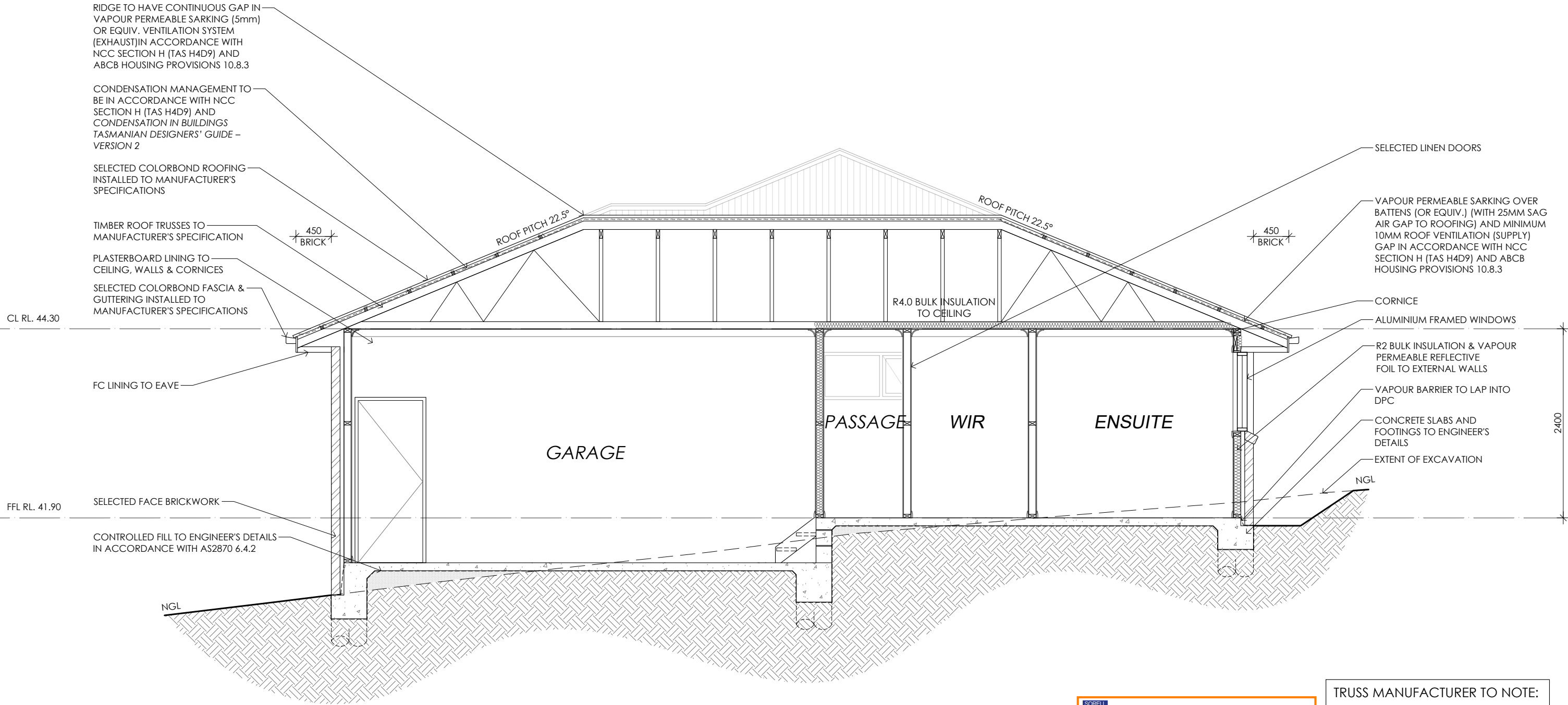
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SECTION A-A

PRELIMINARY

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07



CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.

DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.

REV:	DESCRIPTION:	BY:	DATE:
SK	ISSUED FOR CLIENT REVIEW	NN	17/01/25
A	ISSUED FOR CLIENT REVIEW	NN	28/02/25
B	DESIGN AMENDMENTS	IB	17/04/25
C	DESIGN AMENDMENTS	IB	30/04/25



CREATIVE HOMES
HOBART

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

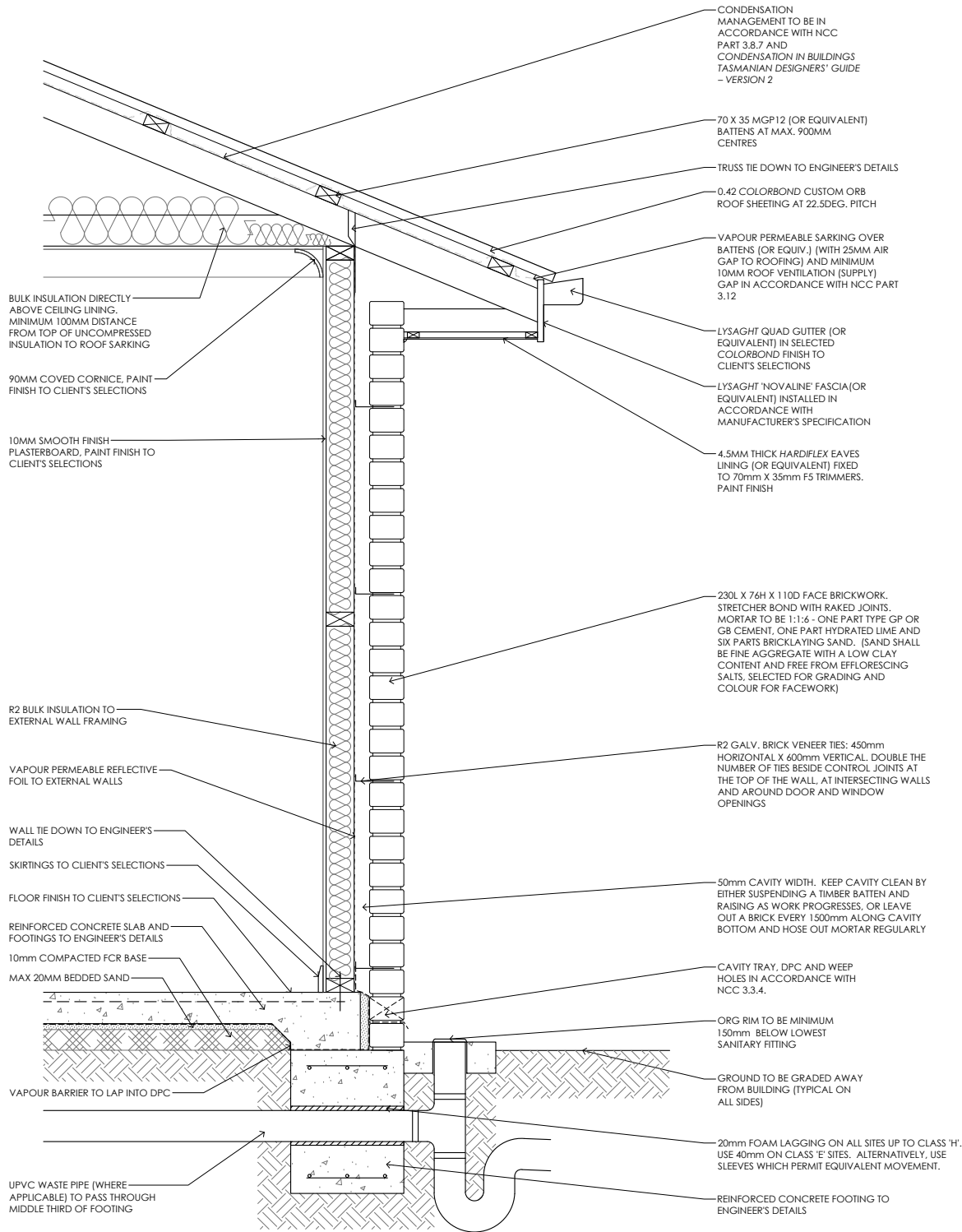


Sorell Council

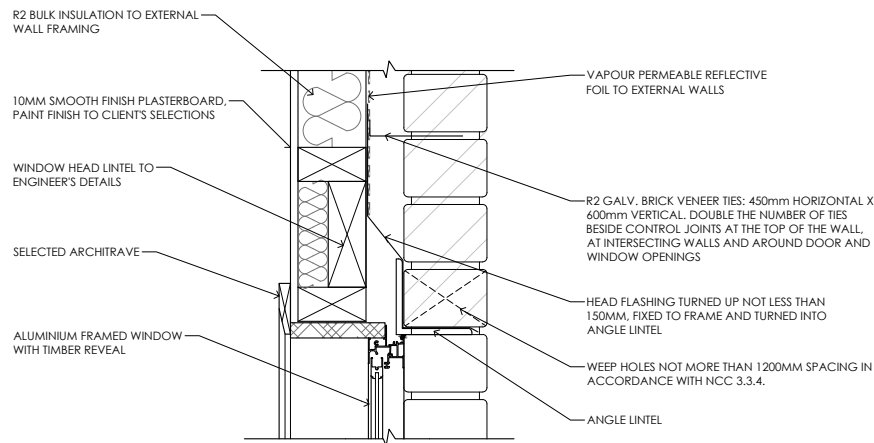
Development Application: 5.2025.87.1 Response to Request For Information - 63 Friendship Drive, Sorell - P2.pdf
Plans Reference: P2
Date Received: 05/05/2025

TRUSS MANUFACTURER TO NOTE:
ALL TRUSSES TO BE DESIGNED TO BE SUPPORTED BY ALL EXTERNAL WALLS FOR BOTH DEAD AND WIND LOADS.

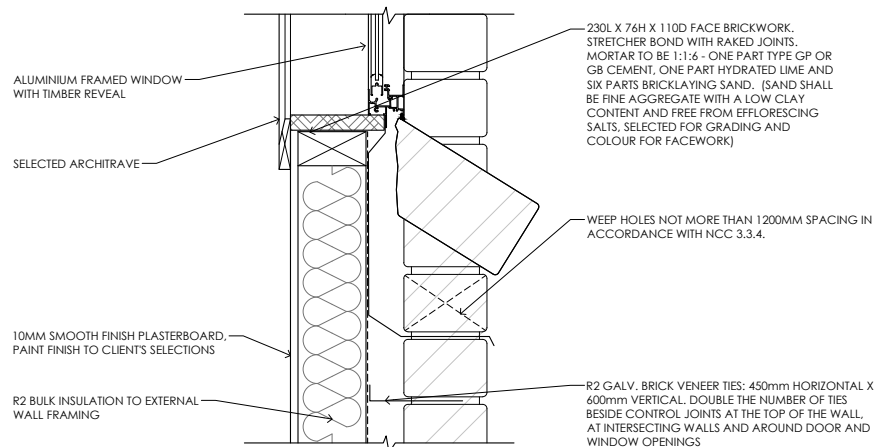
JOB ADDRESS: 63 Friendship Drive Sorell		CLIENT: Haley Southgate & Emmanuel Opira
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 7 of 9
DRAWN: N. Nguyen	DATE: January 2025	DESIGN TYPE: Custom
CHECKED:	DATE:	DRAWING NO: 0128
SCALE: 1:50	REV: C	



FLOOR, WALL & ROOF DETAIL SCALE 1:20



WINDOW HEAD DETAIL SCALE 1:10

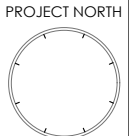


WINDOW SILL DETAIL SCALE 1:10

TYPICAL SECTION DETAILS

PRELIMINARY

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08		CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.	REV:	DESCRIPTION:	BY:	DATE:
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DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET:	8 of 9
DRAWN: N. Nguyen	DATE: January 2025	DESIGN TYPE:	Custom
CHECKED:	DATE:	DRAWING NO:	0128
SCALE: AS SHOWN	REV: C		



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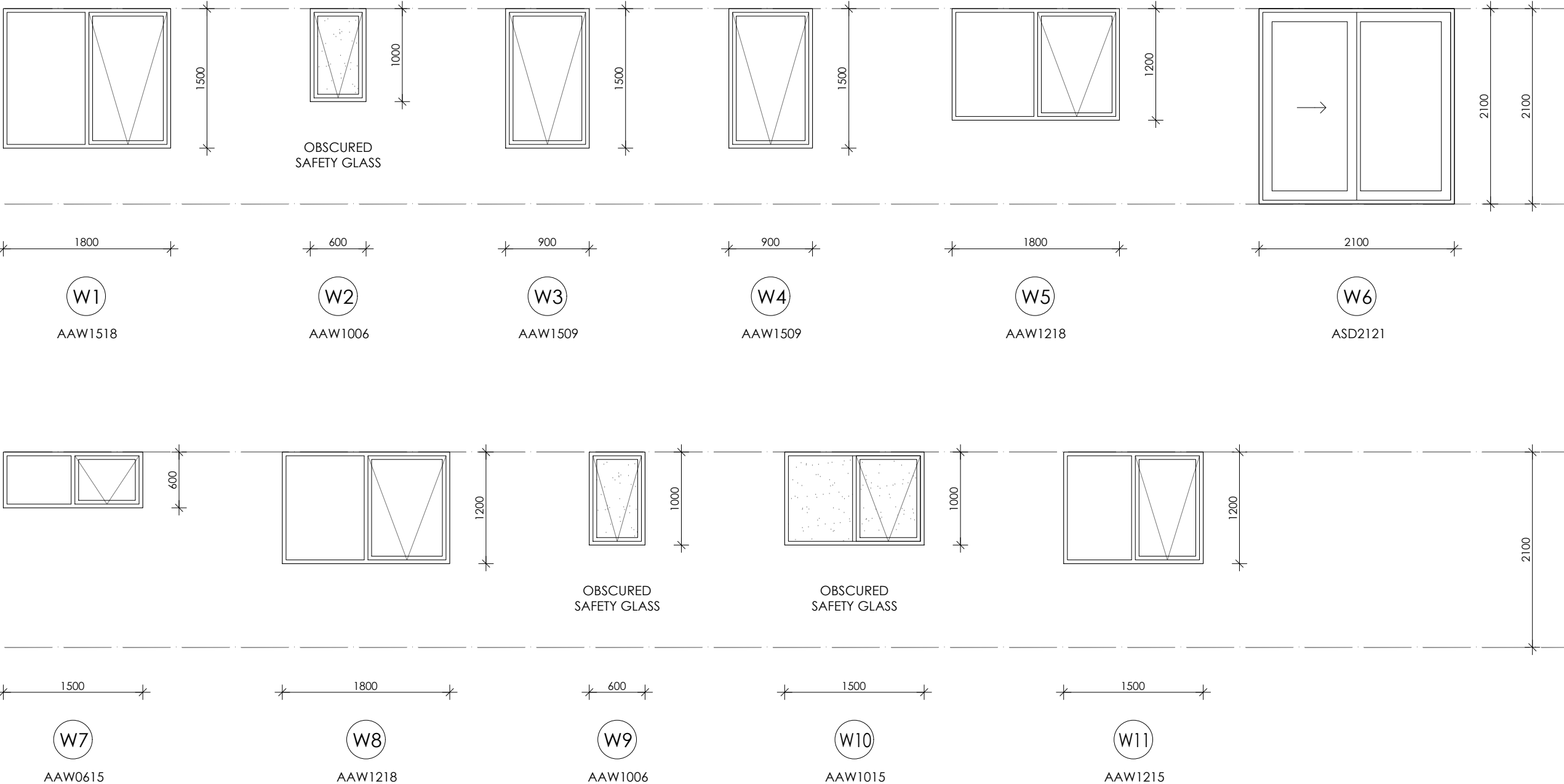
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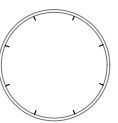
WINDOW SCHEDULE

fg FIXED GLAZING

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09

PROJECT NORTH




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