



SORELL COUNCIL

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: 10 Sunningdale Close, Midway Point

PROPOSED DEVELOPMENT:

DWELLING

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Monday 13th May 2024**. Any person may make representation in relation to the proposal/s by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the General Manager. Representations must be received no later than **Monday 13th May 2024**.

APPLICANT: Sjm Property Developments

DATE: 24 April 2024

APPLICATION NO: 5.2024.66.1

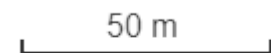


10 Sunningdale Close, Midway Point - Representation Close Monday 13th May 2024

24-Apr-2024



Disclaimer: This map is a representation of the information currently held by Sorell Council. While every effort has been made to ensure the accuracy of the product, Council accepts no responsibility for any errors or omissions. Any feedback on omissions or errors would be appreciated.



Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	Use: Residential
	Development: Dwelling
	<i>Large or complex proposals should be described in a letter or planning report.</i>
Design and construction cost of proposal:	\$ 600,000 approx

Is all, or some the work already constructed:	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>
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Location of proposed works:	Street address: 10 Sunningdale Close
	Suburb: MIDWAY POINT TAS Postcode: 7171
	Certificate of Title(s) Volume: 184768 Folio: 82

Current Use of Site	Vacant
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Current Owner/s:	Name(s) ONE CONTRACT PTY LTD (Unregistered Dealing Report)
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Is the Property on the Tasmanian Heritage Register?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Council or Crown land section on page 3</i>

If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form
<https://www.sorell.tas.gov.au/services/engineering/>



Sorell Council
 Development Application: Development Application - 10 Sunningdale Close, Midway Point - P1.pdf
 Plans Reference: P1
 Date Received: 4/04/2024

Part B continued: Please note that Part B of this form is publicly exhibited

Declarations and acknowledgements

- I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land.
- I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council’s representatives to enter the land at any time during normal business hours.
- I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies.
- I/we declare that, in accordance with s52(1) of the *Land Use Planning and Approvals Act 1993*, that I have notified the owner(s) of the intention to make this application.
- I/we declare that the information in this application is true and correct.

Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council’s Privacy Policy available on the Council website.

- I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.
- Where the General Manager’s consent is also required under s.14 of the *Urban Drainage Act 2013*, by making this application I/we also apply for that consent.

Applicant Signature:	Signature: <u>Anda Buwam</u> Date: <u>03/04/2024</u>
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Crown or General Manager Land Owner Consent

If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the *Land Use Planning and Approvals Act 1993*).

Please note:

- If General Manager consent is required, please first complete the General Manager consent application form available on our website www.sorell.tas.gov.au
- If the application involves Crown land you will also need a letter of consent.
- Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.

I N/A being responsible for the administration of land at _____

declare that I have given permission for the making of this application for _____



Sorell Council

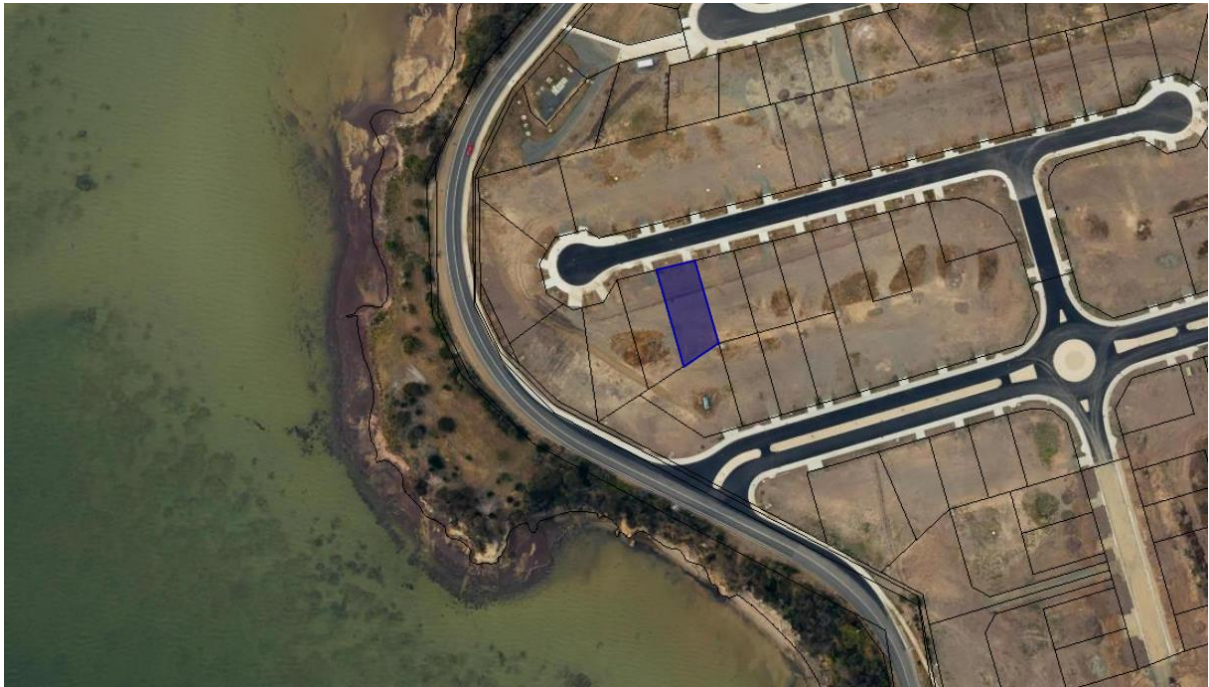
Development Application: Development Application - 10 Sunningdale Close, Midway Point - P1.pdf

Plans Reference: P1

Date Received: 4/04/2024

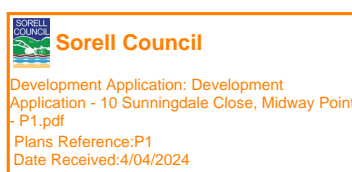
Signature of General Manager, Minister or Delegate:	Signature: _____ Date: _____
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BUSHFIRE HAZARD REPORT



Proposed residential dwelling
10 Sunningdale Close
Midway Point, 7171

Dated 3rd March 2024
Report by David Lyne BFP-144



11 Granville Avenue
Geilston Bay, 7015
M: 0421 852 987
dave_lyne@hotmail.com

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Appendix A – Topographic Map with Cadastral & Contour Overlay - indicates subject site

Appendix B – Site photos and designers site plan

Appendix C – Bushfire Hazard Management Plan, by David Lyne – certified date 03.03.2024; & Certificate of Others (Form 55) 1476/24



1. Introduction

I have been engaged by SJM Property Developments to prepare a bushfire report and plan for a new residential dwelling in the suburb of Midway Point. The intent of this report is to confirm the suitability of the bushfire prone parcel of land to be successfully developed for the dwelling in accordance with the Directors Determination – bushfire hazard areas v1.1 (the Code).

The assessment describes the site and surrounding area, classifying the vegetation, assessing the slope and environmental features. This report should be included with approval documentation forming part of the certified documentation intended to satisfy the Directors Determination. The body of the report describes the site and assesses the requirements to be implemented to satisfy the requirements of the Directors Determination.

2. Limitation of Report

This report has been prepared for the above mentioned clients for their use and distribution only. The intent of the report is to provide supporting documentation for the Development Application (specifically vegetation clearance/maintenance distances) and the Building Application. Should submitted Application Plans differ from the Certified Plans in this report then an amended design review should be conducted to determine the suitability of any amendments in relation to the Bushfire Prone Area Requirements of AS3959-2018.

It is also to be noted that the assessment has been conducted according to the site inspection being conducted in March 2024 and does not take into account the possibility of altered site conditions either naturally occurring or where currently maintained or excluded vegetation conditions change due to a lack of ongoing maintenance.

It should be noted that compliance with the recommendations contained in this assessment does not mean that there is no residual risk to life safety or property as a result of bushfire. A residual level of risk remains which recognizes that removing the risk to life and property in absolute terms is not achievable while people continue to build in bushfire prone areas. This limitation is expressed in the following extract from AS 3959 (2018) which states (in the forward), *It should be borne in mind that the measures contained in this Standard cannot guarantee that a building will survive a bushfire event on every occasion. This is substantially due to the degree of vegetation management, the unpredictable nature and behaviour of fire, and extreme weather conditions.*

This level of residual risk is inherent in all bushfire standards and also applies to this assessment.

3. Site Description and Background

10 Sunningdale Close Midway Point is an existing land parcel located in the municipality of the Sorell Council. The property is currently low threat vegetation, with neighbouring properties currently low threat vegetation to all directions. There is a band of unmanaged woodland vegetation that follows the river bank to the west of the site.

The site has access to a pre-approved public road – Sunningdale Close, which links to Penna Road and eventually the Tasman Highway. This allotment is provided with a reticulated hydrant water supply for firefighting.

3.1 Property Details

Address: 10 Sunningdale Close, Midway Point 7171

Municipality: Sorell Council

Zoned: General Residential

Lot Number: 18768/82

Type of Development: New Residential dwelling

Classified BAL: **BAL-12.5**





Appendix A: Photo 1 – Aerial photo with Cadastral Overlay – Subject site highlighted blue.

3.2 Classification of Vegetation

The vegetation affecting the site has been classified in accordance with Clause 2.2.3 of AS 3959-2018. The Bushfire-Prone vegetation affecting the site is predominantly **Woodland – Group B** in accordance with AS3959-2018.


In this case, in accordance with Clause 2.2.2 of AS 3959-2018, the relevant Fire Danger Index for Tasmania of 50 (FDI 50).

When considering the definition of Bushfire Prone Area under the Directors Determination it is evident the proposed dwelling location is within 100 metres of greater than 1 hectare of vegetation classified in accordance with AS 3959-2018 and is therefore considered 'Bushfire Prone'.

From the proposed dwelling site a 360° survey has been conducted to determine the vegetation type, proximity and slope under the vegetation which is of the highest hazard rating. In this case the **Woodland – Group B** is the highest hazard vegetation surrounding the proposed dwelling.

Note: in a bushfire there is a possibility of fire attack from any direction, not just the direction of the highest hazard.

Photo 1 above indicates the Bushfire Prone Vegetation described. Refer to Appendix B for current conditions as at time of inspection.

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3.3 Slope

The Effective slope of the land under the classified vegetation is determined in accordance with Clause 2.2.5 of AS 3959- 2018.

The *effective* slope under the bushfire prone vegetation is generally Upslope/Flatland to the east; downslope 0-5° to the north, south and to the west.

Refer to Appendix A Image for topographic contour information.

4. Bushfire Assessment

In accordance with Clause 2.2 of AS 3959-2018, the Simplified Procedure has been applied to determine the Bushfire Attack Level (BAL) for the proposed dwelling site. In accordance with the Directors Determination, fire-fighting water supply and vehicle access are also considered and discussed in relation to the proposed dwelling.

4.1 Bushfire Attack Level

Considering the current conditions, in accordance with AS3959-2018 the dwelling site is capable of achieving **BAL-12.5** (the minimum required standard being BAL-29 required by the Directors Determination).

The desired BAL rating to be applied in this instance will be **BAL-12.5**. The vegetation within the Hazard Management Area (HMA) is to be continually managed to a low threat level - as per Clause 2.2.3.2 of AS3959-2018.



Table 1 – Bushfire Attack Level Assessment Summary and Notes

Property Details

Applicants Name	SJM Property Developments	Phone	0407 542 974
Municipality	Sorell Council	Zoning	General Residential
Certificate of Title/Lot No.	184768/82	Lot Size	600m ²
Address	10 Sunningdale Close, Midway Point 7171		

Type of Building Work

New Class 1a Buildings	<input checked="" type="checkbox"/>
New Class 10a Building	<input type="checkbox"/>
New Class 2 Building	<input type="checkbox"/>
New Class 3 Building	<input type="checkbox"/>
Alteration/Additions to an existing building	<input type="checkbox"/>

Description of building work: e.g. *single dwelling with attached garage*
New residential dwelling

Bush Fire Attack Level (BAL)

Relevant fire danger index: (see clause 2.2.2)

FDI 50

Assess the vegetation within 100m in all directions (tick relevant group)

Note 1: Refer to table 2.3 and figures 2.3 & 2.4 for description and classification of vegetation.

Note 2: If there is no classified vegetation within 100m of the site then the BAL is LOW for that part of the site.

Vegetation Classification (See Table 2.3)	North <input checked="" type="checkbox"/>	South <input checked="" type="checkbox"/>	East <input checked="" type="checkbox"/>	West <input checked="" type="checkbox"/>
	North East <input type="checkbox"/>	South-West <input type="checkbox"/>	South-East <input type="checkbox"/>	North-West <input type="checkbox"/>
Group -	Low threat veg.	Low threat veg.	Low threat veg.	B. Woodland

Exclusions (where applicable)	Circle relevant paragraph descriptor from clause 2.2.3.2			
	(a) (b) (c) (d) (e) (f)	(a) (b) (c) (d) (e) (f)	(a) (b) (c) (d) (e) (f)	(a) (b) (c) (d) (e) (f)

Distance of the site from classified vegetation (see clause 2.2.4)

Distance to classified vegetation	Show distances in meters			
	N/A	N/A	N/A	75m

Effective Slope	Upslope			
Slope under the classified vegetation	Upslope/0°	Upslope/0°	Upslope/0°	Upslope/0°
	Downslope			
	>0 to 5° X	>0 to 5° X	>0 to 5° <input type="checkbox"/>	>0 to 5° X
	>5 to 10° <input type="checkbox"/>	>5 to 10° <input type="checkbox"/>	>5 to 10° <input type="checkbox"/>	>5 to 10° <input type="checkbox"/>
	>10 to 15° <input type="checkbox"/>	>10 to 15° <input type="checkbox"/>	>10 to 15° <input type="checkbox"/>	>10 to 15° <input type="checkbox"/>
	>15 to 20° <input type="checkbox"/>	>15 to 20° <input type="checkbox"/>	>15 to 20° <input type="checkbox"/>	>15 to 20° <input type="checkbox"/>

BAL value for each side of the site	BAL-LOW	BAL-LOW	BAL-LOW	BAL-12.5
Separation to achieve BAL-29	N/A	N/A	N/A	12-<18m
Separation to achieve BAL-19	N/A	N/A	N/A	18-<26m
Separation to achieve BAL-12.5	N/A	N/A	N/A	26-<100m

Construction Requirements

For this particular development a BAL-12.5 rating would suit all directions of this site, construction will be generally compliant with AS3959 -2018 Sections 3 and 5.

4.2 Road / Vehicle Access

The primary access to the lot is from a sealed public road – Sunningdale Close, which connects to Oakmont Road and eventually the Tasman Highway. As there is a hydrant within 120m of the proposed dwelling, there are no requirements to upgrade the driveway and access for firefighting purposes.

4.3 Water supply for firefighting

The proposed development has access to a reticulated water supply suitable for firefighting. There is an existing water hydrant located to the north of the front boundary of the property.

5. Conclusion

The site has been classified as **BAL-12.5** as per the assessment processes outlined in AS3959-2018. The separation distances shown above are the areas to be maintained and kept in a way to reduce the fuel loads present in order to achieve lower BAL ratings. For this particular site and for where the proposed building is to be constructed, a **BAL-12.5** rating is easily achieved and would suit all directions of the site.

6. References

- Directors Determination – Bushfire hazard areas v1.1

- LIST map version. Aerial Photograph [online]. Available from: <http://www.thelist.tas.gov.au/listmap/listmap>

- Standards Australia 2018, *Construction of buildings in bushfire prone areas*, AS 3959-2018.



Statement

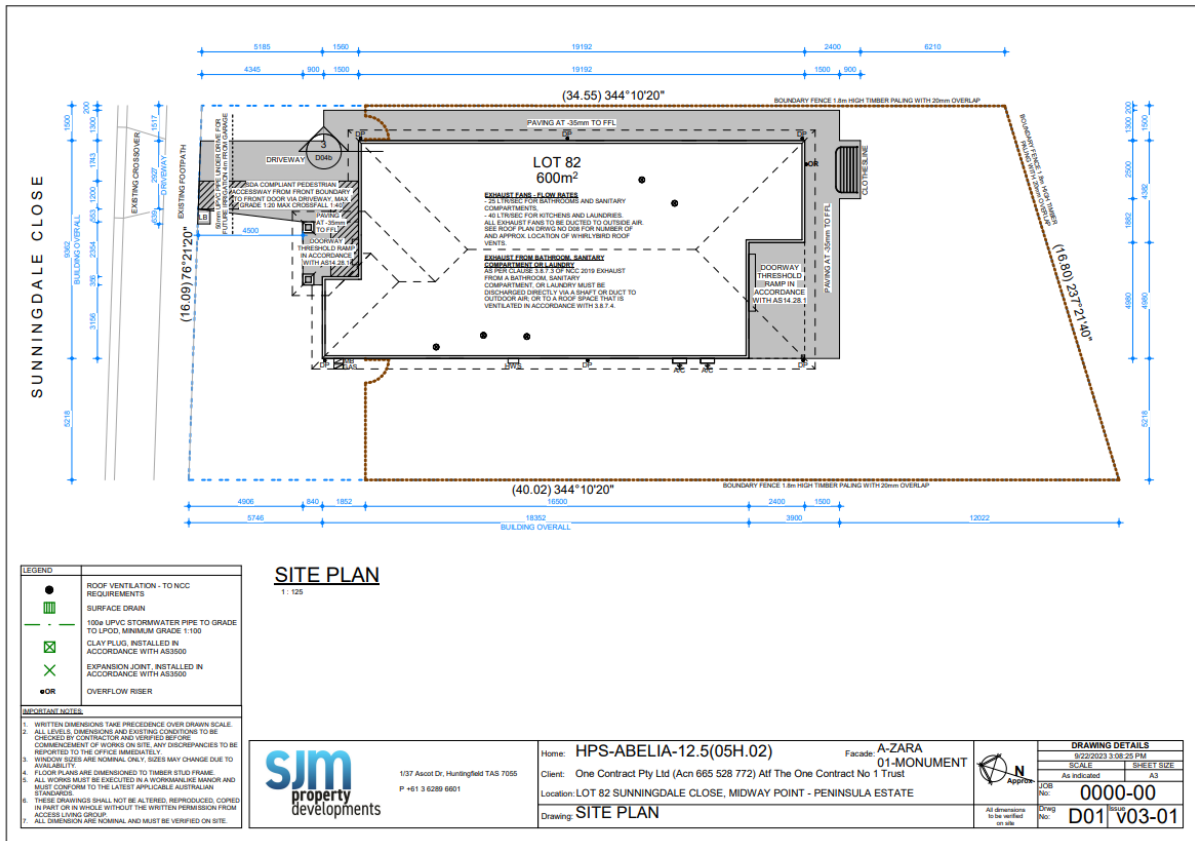
I have taken all reasonable steps to ensure that the information provided in this assessment is accurate and reflects the conditions on and around the site and allotment on the date of this assessment.


It should be noted that this report does not take into account the possibility of altered site conditions either naturally occurring or where currently maintained or excluded vegetation conditions change due to lack of ongoing maintenance. Compliance with the recommendations contained in this assessment does not mean that there is no residual risk to safety of life or property as a result of bushfire.

Signed: 

Date: 03/03/2024.....

Appendix B – Site photos and designers site plan



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Development Application: Development Application - 10 Sunningdale Close, Midway Point - P1.pdf
Plans Reference: P1
Date Received: 4/04/2024



Looking North



Looking South

 **Sorell Council**
Development Application: Development
Application - 10 Sunningdale Close, Midway Point
- P1.pdf
Plans Reference:P1
Date Received:4/04/2024



Looking East



Looking West

 **Sorell Council**
Development Application: Development
Application - 10 Sunningdale Close, Midway Point
- P1.pdf
Plans Reference: P1
Date Received: 4/04/2024

HAZARD MANAGEMENT AREAS - HMA

Hazard Management Area includes the area to protect the Building as well as the access and water supplies. The entirety of this allotment should be treated as HMA.

Vegetation in the Hazard Management area is to be managed and maintained in a minimum fuel condition.

The HMA is determined from the unmanaged vegetation on neighbouring allotments, and should the level of the unmanaged vegetation increase the BHMP and HMA should be reviewed to determine the ongoing suitability of the BHMP and HMA associated with the development.

MAINTENANCE SCHEDULE

- Removal of fallen limbs, leaf and bark litter;
- Cut lawns short (less than 100mm) and maintain;
- Remove pine bark and other garden mulch;
- Complete under-brushing and thin out the under storey;
- Prune low hanging trees to ensure separation from ground litter;
- Prune larger trees to establish and maintain horizontal and vertical canopy separation;
- Maintain storage of petroleum fuels;
- Remove fallen limbs, leaf and bark litter from roofs, gutters and around the building;

BUSHFIRE PROTECTION MEASURES

To reduce the risk of bushfire attack, continual maintenance of bushfire protection measures including building maintenance, managed vegetation areas, water supply and road construction are to be undertaken by successive owners for perpetuity.

WATER SUPPLY

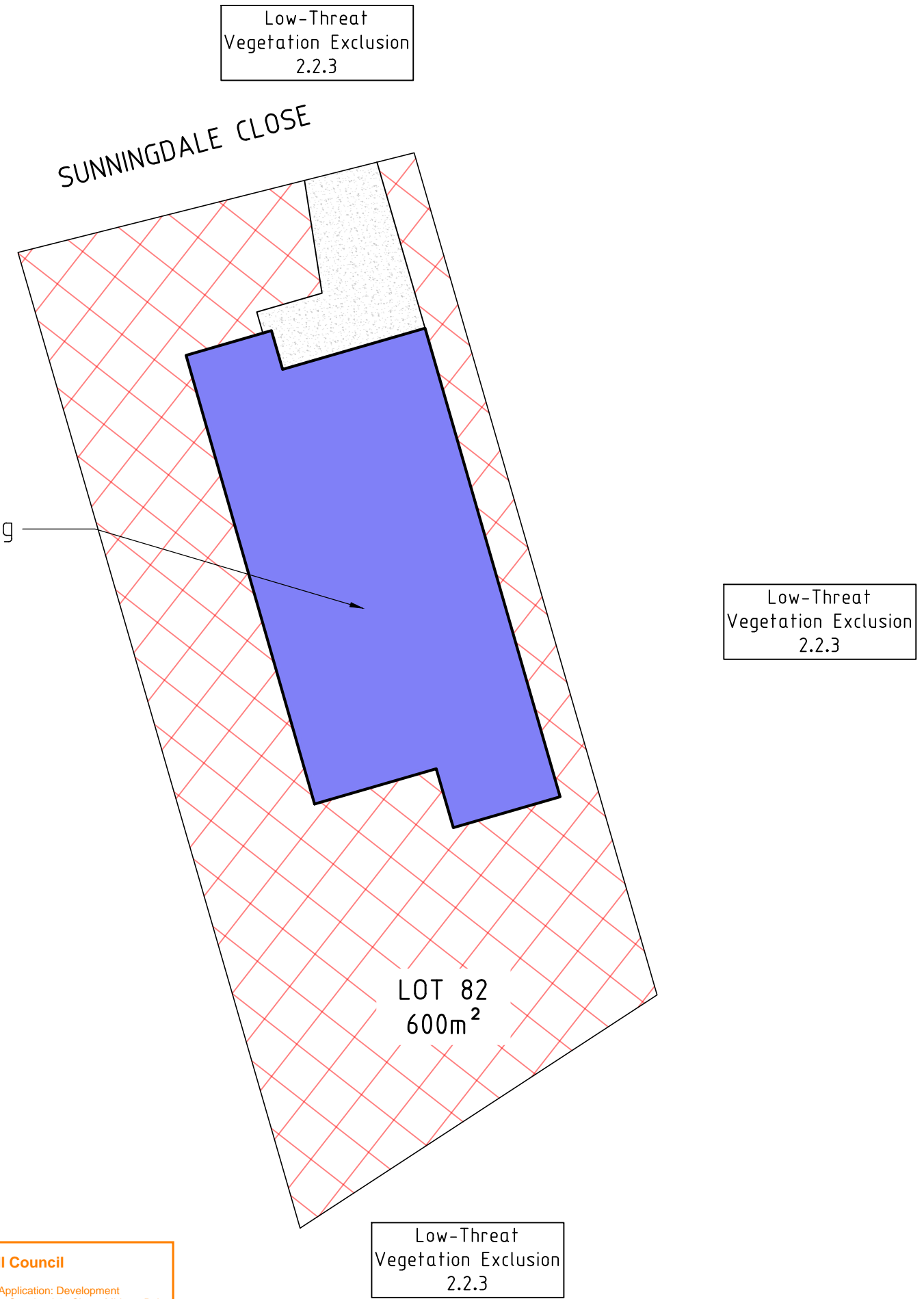
There is an existing fire hydrant within 120m of the most disadvantaged section of the dwelling.

PLAN TO BE READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) REPORT

NOTIFY COUNCIL AND CERTIFYING BUSHFIRE PRACTITIONER IF ANY VARIATION IN BUILDING SETOUT OR VEGETATION HAZARDS OCCUR

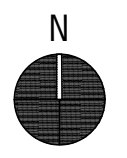
ENSURE THIS PLAN AND ACCOMPANYING REPORT DO NOT CONFLICT WITH OTHER RELEVANT REPORTS AND ASSESSMENTS

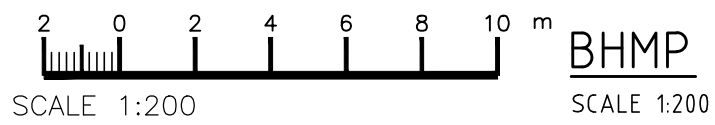
HAZARD MANAGEMENT AREA
 Low threat, maintained vegetation in accordance with AS 3959 - Clause 2.2.3.2 (e) & (f). Building is to be constructed to meet BAL-12.5 requirements



SITE PLAN NTS

Sorell Council
 Development Application: Development Application - 10 Sunningdale Close, Midway Point - P1.pdf
 Plans Reference: P1
 Date Received: 4/04/2024

Prepared By David Lyne - BFP 144	
SJM Property Developments 10 Sunningdale Close, Midway Point Tasmania 7171 Job No: 1476	
	
11 GRANVILLE AVENUE GEILSTON BAY, TASMANIA 7015 PH: 0421 852 987 EMAIL: dave_lyne@hotmail.com Accredited Designer: David Lyne CC7063	
PLEASE READ CAREFULLY	
THIS PLAN CERTIFIED CORRECT IS THE ONE REFERRED TO IN THE BUILDING CONTRACT AND I UNDERSTAND CHANGES HEREAFTER MAY NOT BE POSSIBLE.	
FINAL PLAN: ANY REQUESTED VARIATIONS TO YOUR HOUSE PLAN WILL INCUR AN AMENDMENT / ADMINISTRATION MINIMUM FEE	
SIGNATURES	
CLIENT:	DATE:
CLIENT:	DATE:
BUILDER:	DATE:
DWG NO: 1476	SHEET: 01
SCALE AT A3: 1:200	DATE: 03.03.2024
DRAWN: DL	CHECK: DL
REV	0



CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

To: Owner /Agent
 Address
 Suburb/postcode

Form **55**

Qualified person details:

Qualified person:
Address: Phone No:
 Fax No:
Licence No: Email address:

Qualifications and Insurance details: (description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Speciality area of expertise: (description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Details of work:

Address: Lot No:
 Certificate of title No:

The assessable item related to this certificate: (description of the assessable item being certified)

Development Application: Development Application - 10 Sunningdale Close, Midway Point - P1.pdf
Plans Reference:P1
Date Received:4/04/2024
Assessable item includes –
- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

Certificate details:

Certificate type: (description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)

This certificate is in relation to the above assessable items, at any stage, as part of – (tick one)

building work, plumbing work or plumbing installation or demolition work

OR

a building, temporary structure or plumbing installation

In issuing this certificate the following matters are relevant

Documents:

Bushfire Hazard Report – New residential dwelling
Bushfire Hazard Management Plan

Relevant

- In Accordance with AS3959-2018; and
- the Building Regulations (TAS).

calculations:



References:

- AS3959-2018;
- the Building Regulations (TAS); and
- Building Code of Australia (BCA).

Substance of Certificate: (what it is that is being certified)

The above mentioned report concludes that a BAL-12.5 rating is achievable and easily maintained for the dwelling on this site

Scope and/or Limitations

The assessment has been conducted according to information provided by the designer/client and freely available historical data and does not take into account the possibility of altered site conditions from the data relied upon.

It should be noted compliance with the recommendations contained in the certified documents does not mean that there is no residual risk to life safety and property as a result of bushfire. The limitation is expressed in the following extract from AS3959-2018, which states:

It should be borne in mind that the measures contained in this Standard cannot guarantee that a building will survive a bushfire event on every occasion. This is substantially due to the degree of vegetation management, the unpredictable nature and behaviour of fire, and extreme weather conditions.

The level of residual risk is inherent in all bushfire standards and also applies to this certification.


The assessment has been undertaken and certification provided on the understanding that; -

1. The certificate only deals with the potential bushfire risk all other statutory assessments are outside the scope of this report.

2. The report only identifies the size, volume and status of vegetation at the time the site inspection was undertaken and cannot be relied upon for any future development. Impacts of future development and vegetation growth have not been considered.

I certify the matters described in this certificate.

Qualified person:

Signed: 

Certificate No:

1476/24

Date:

03/03/2024

DISPERSIVE SOIL ASSESSMENT

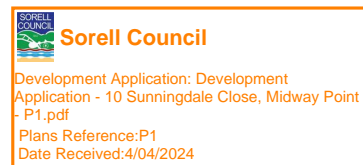
10 Sunningdale Close

Midway Point

February 2024



GEO-ENVIRONMENTAL
SOLUTIONS



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Investigation Details

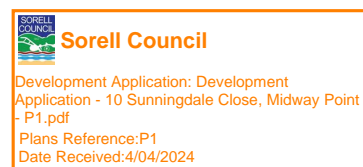
Client:	SJM Property Developments (Aus) Pty Ltd
Site Address:	10 Sunningdale Close, Midway Point
Date of Inspection:	26/02/2024
Proposed Works:	New house
Investigation Method:	Geoprobe 540UD - Direct Push
Inspected by:	M. Campbell

Site Details

Certificate of Title (CT):	184768/82
Title Area:	Approx. 595.7 m ²
Applicable Planning Overlays:	Bushfire-prone Areas, Priority Vegetation, Airport obstacle limitation area, Waterway and Coastal Protection Areas
Slope & Aspect:	4° W facing slope
Vegetation:	Grass & Weeds Disturbed

Background Information

Geology Map:	MRT
Geological Unit:	Triassic Sandstone
Climate:	Annual rainfall 400mm
Water Connection:	Mains
Sewer Connection:	Serviced-Mains
Testing and Classification:	AS2870:2011, AS1726:2017 & AS4055:2021



Investigation

A number of bore holes were completed to identify the distribution and variation of the soil materials at the site, bore hole locations are indicated on the site plan. See soil profile conditions presented below. Tests were conducted across the site to obtain bearing capacities of the material at the time of this investigation.

Soil Profile Summary

BH 1 Depth (m)	BH 2 Depth (m)	USCS	Description
0.00-0.10	0.00-0.10	SM	Silty SAND: grey, brown, slightly moist, loose,
0.10-0.70	0.10-0.60	CI	Silty CLAY: medium plasticity, grey, brown, slightly moist, stiff,
0.70-0.80	0.60-0.70	GC	Clayey GRAVEL: yellow, brown, dry very dense, refusal.

Site Notes

The soil on site has formed from Triassic sandstone. The subsoil was tested for dispersion using the Emerson Test and was found to be dispersive Class 2(3) -obvious milkiness, >50% of the aggregate affected.

Dispersive Soil Assessment

The dispersive soil assessment of the property considers the proposed construction area.

Potential for dispersive soils

The site has been identified as an area subject to a tunnel erosion hazard according to ‘*Dispersive Soils and Their Management: Technical Reference Manual*’. This is due to the soils present on site that developed from Triassic sediments that contain considerable fine sand/silt content and low to medium plasticity clays. Triassic sediments in the local area known to produce soils with an excess of sodium on the soil exchange complex, which can cause soil dispersion. Under some circumstances the presence of dispersive soils can also lead to significant erosion, and in particular tunnel erosion. Based upon field survey of the property, no visible tunnel or gully erosion was identified. However, a soil sampling program was undertaken to identify the presence of dispersive soils in the proposed development areas.

Soil sampling and testing

Two samples were taken at the site for assessment of dispersion. An Emerson (1968) Dispersion test was conducted to determine if these samples were dispersive.

The results showed that the soils on site are dispersive in the construction areas (Class 2 (3)). All construction on site should refer to the DPIWE management of dispersive soils publication.

It is recommended that construction be planned and executed in accordance with recommendations for dispersive soils. In particular, it is recommended that the dispersive soils not to be utilised as structural fill in the proposed construction areas. Careful water management is also required to ensure water does not pond on the soil surface and excess water is excluded from bare exposed soil soils as well as the natural drainage depression.

Based upon the test results there is a moderate risk of soil dispersion and significant erosion on the site, and as such a number of specific recommendations have been made in the following sections.

Management Recommendations

A number of site and soil management measures are recommended for development on the site.

The proposed site cut/fill and driveway areas must be managed by:

- Applying a geo-fabric, jute mesh or similar material to the exposed batters of any cutting on site and revegetating the slope
- Applying a surface layer of at least 50mm of suitable crushed rock/gravel to the driveway surface (and any proposed house pad), with adequate compaction to ensure a relatively impervious surface to maintain site surface stability
- Vegetation on any fill batters must be established and maintained, if any bare area of soil on the batter develops then it must be top-dressed with suitable topsoil and additional vegetation planted

The risk of erosion and tunnel erosion associated with construction must be minimized by:

- Any new water, power, or other service trenches within the property must ensure recommendations for dispersive soils are followed:
 - o Where possible trenches to be placed shallow in topsoil and mounded over to achieve the required cover depth
 - o If buried the trench must be backfilled in layers of no more than 200mm with clay with 5% by weight gypsum added (the clay must be sufficiently moist to allow good compaction)

- o The trench must be finished with at least 150mm depth of non-dispersive suitable topsoil and finished to a level at least 75mm above natural ground to allow for possible settlement.
- Vegetation cover must be maintained wherever possible on the property

- It is recommended foundations for the proposed dwelling be placed onto underlying rock in accordance with the structural engineers' recommendations. Alternatively, foundations may be placed into the natural soil. However, care must be taken to ensure all exposed soil in the foundation area is compacted and 1Kg/m² of gypsum is applied. Excavated fill from the construction area is not recommended for reuse on site in landscaping unless it is appropriately treated with gypsum, compacted, and capped with topsoil with natural soil and gypsum and

- All stormwater runoff from the dwelling and shed to be directed to water tanks for site reuse as possible, with water tank overflow dissipated via surface spreaders and not into subsurface absorption drains (unless the drains are adequately treated with gypsum and lined)
- Drainage of the proposed site cut must not employ conventional rock drain construction; it must adhere to recommendations for dispersive soils (unless founded entirely in rock)
- All excavation works on site should be monitored for signs of soil dispersion and remedial action taken as required – in particular any excavated fill from the construction area is not recommended for reuse on site in landscaping unless it is appropriately treated with gypsum, compacted, and capped with topsoil

Conclusions

There is a low to moderate risk associated with dispersive soils and potential erosion on the site provided all the management recommendations are followed. All exposed soils on cut/fill batters must be covered with topsoil and seeded with well suited pasture species to avoid rainwater, runoff, surface water flows from intercepting exposed subsoils. Wastewater absorption areas must be constructed during dry weather, treated with gypsum, only placed to shallow depths, and be covered over as quickly as possible.

A number of site management recommendations have been made in this report and further information can also be found in the publication “Dispersive soils and their management – Technical manual” (DPIWE Tas 2009)

It is recommended that during construction that GES be notified of any major variation to the soil conditions as predicted in this report.



Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD
Environmental and Engineering Soil Scientist

Appendix 1– Soil test results

Laboratory Test Results

Sample Submitted By: M Campbell
Date Submitted: 27/02/24
Sample Identification: 2 samples – 10 Sunningdale Close
Soil to be tested: Emerson soil dispersion test
Result:

Sample	Texture	Emerson class	Description
BH1 – 0.3m	Clay	Class 2:3	Some dispersion >50% affected
BH2 – 0.5m	Clay	Class 2:3	Some dispersion >50% affected

Sample Tested by: G McDonald

Disclaimer

This Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the Client. To the best of GES's knowledge, the information presented herein represents the client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that discussed in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organizations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

The scope of this study does not allow for the review of every possible geotechnical parameter or the soil conditions over the whole area of the site. Soil and rock samples collected from the investigation area are assumed to be representative of the areas from where they were collected and not indicative of the entire site. The conclusions discussed within this report are based on observations and/or testing at these investigation points.

This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required.

No responsibility is accepted for the use of any part of this report in any other context or for any other purpose by third a party.

AS2870:2011 SITE ASSESSMENT

10 Sunningdale Close

Midway Point

February 2024



GEO-ENVIRONMENTAL
SOLUTIONS



Disclaimer: The author does not warrant the information contained in this document is free from errors or omissions. The author shall not in any way be liable for any loss, damage or injury suffered by the User consequent upon, or incidental to, the existence of errors in the information.

Investigation Details

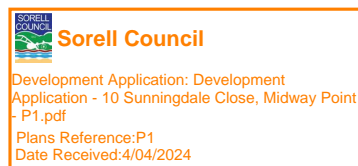
Client:	SJM Property Developments (Aus) Pty Ltd
Site Address:	10 Sunningdale Close, Midway Point
Date of Inspection:	26/02/2024
Proposed Works:	New house
Investigation Method:	Geoprobe 540UD - Direct Push
Inspected by:	M. Campbell

Site Details

Certificate of Title (CT):	184768/82
Title Area:	Approx. 595.7 m ²
Applicable Planning Overlays:	Bushfire-prone Areas, Priority Vegetation, Airport obstacle limitation area, Waterway and Coastal Protection Areas
Slope & Aspect:	4° W facing slope
Vegetation:	Grass & Weeds Disturbed

Background Information

Geology Map:	MRT
Geological Unit:	Triassic Sandstone
Climate:	Annual rainfall 400mm
Water Connection:	Mains
Sewer Connection:	Serviced-Mains
Testing and Classification:	AS2870:2011, AS1726:2017 & AS4055:2021



Investigation

A number of bore holes were completed to identify the distribution and variation of the soil materials at the site, bore hole locations are indicated on the site plan. See soil profile conditions presented below. Tests were conducted across the site to obtain bearing capacities of the material at the time of this investigation.

Soil Profile Summary

BH 1 Depth (m)	BH 2 Depth (m)	USCS	Description
0.00-0.10	0.00-0.10	SM	Silty SAND: grey, brown, slightly moist, loose,
0.10-0.70	0.10-0.60	CI	Silty CLAY: medium plasticity, grey, brown, slightly moist, stiff,
0.70-0.80	0.60-0.70	GC	Clayey GRAVEL: yellow, brown, dry very dense, refusal.

Site Notes

Soils on the site are developing from Triassic Sandstone. The clay fraction is likely to show moderate ground surface movement. The clay subsoils were found to be dispersive.

Site Classification

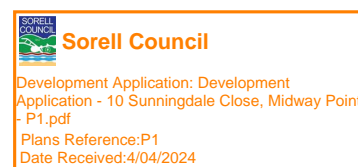
The site has been assessed and classified in accordance with AS2870:2011 “Residential Slabs and Footings”.

The site has been classified as:

Class M

Y^{rs} range: **20-40mm**

Notes: due to dispersive soil on site all foundations must be placed on underlying sandstone rock.



Wind Loading Classification

According to “AS4055:2021 - Wind Loads for Housing” the house site is classified below:

Wind Classification:	N3
Region:	A
Terrain Category:	1.0
Shielding Classification:	PS
Topographic Classification:	T1
Wind Classification:	N3
Design Wind Gust Speed – m/s ($V_{h,u}$):	50

Construction Notes & Recommendations

The site has been classified as **Class M** - see 'Site Classification' above.

All foundations must be placed on the underlying bedrock to minimise the potential for foundation movement due to dispersive soils. All excavation and backfilling must comply with guidelines for dispersive soils.


All earthworks on site must comply with AS3798:2012, and I further recommend that consideration be given to drainage and sediment control on site during and after construction. Care should also be taken to ensure compliance with eh dispersive soil management report for the property.

I also recommend that during construction that I and/or the design engineer be notified of any major variation to the foundation conditions as predicted in this report.



Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD

Director

 Sorell Council
Development Application: Development Application - 10 Sunningdale Close, Midway Point - P1.pdf Plans Reference:P1 Date Received:4/04/2024

Explanatory Notes

1 Scope of Works

The methods of description and classification of soils used in this report are based largely on Australian Standard 1726 – Geotechnical Site Investigations (AS1726:2017), with reference to Australian Standard 1289 – Methods for testing soils for engineering purposes (AS1289), for eventual Site Classification according to Australian Standard 2870 (AS2870:2011) – Residential Slabs and Footings and Australian Standard 1547 (AS1547:2012) On-site domestic wastewater management.

1.1 Site Classification AS2870:2011

Site classification with reference to the above Australian Standards are based on site reactivity.

Class	Foundation Conditions	Characteristic Surface Movement
A	Most sand and rock sites with little or no ground movement from moisture changes.	0mm
S	Slightly reactive clay sites, which may experience only slight ground movement from moisture changes.	0 – 20mm
M	Moderately reactive clay or silt sites, which may experience moderate ground movement from moisture changes.	20 – 40mm
H-1	Highly reactive clay sites, which may experience high ground movement from moisture changes.	40 – 60mm
H-2	Highly reactive clay sites, which may experience very high ground movement from moisture changes.	60 – 75mm
E	Extremely reactive sites, which may experience extreme ground movement from moisture changes.	>75mm

*Note: Soils where foundation performance may be significantly affected by factors other than reactive soil movement are classified as **Class P**.*

A site is classified as **Class P** when:

- The bearing capacity of the soil profile in the foundation zone is generally less than 100kpa
- If excessive foundation settlement may occur due to loading on the foundation.
- The site contains uncontrolled fill greater than 0.8m in depth for sandy sites and 0.4m in depth for other soil materials.
- The site is subject to mine subsistence, landslip, collapse activity or coastal erosion.
- The site is underlain by highly dispersive soils with significant potential for erosion
- If the site is subject to abnormal moisture conditions which can affect foundation performance

1.2 Soil Characterisation

This information explains the terms of phrase used within the soil description area of the report.

It includes terminology for cohesive and non-cohesive soils and includes information on how the Unified Soil Classification Scheme (USCS) codes are determined.

NON COHESIVE – SAND & GRAVEL		
Consistency Description	Field Test	Dynamic Cone Penetrometer blows/100 mm
Very loose (VL)	Easily penetrated with 13 mm reinforcing rod pushed by hand.	0 - 1
Loose (L)	Easily penetrated with 13 mm reinforcing rod pushed by hand. Can be excavated with a spade; 50 mm wooden peg can be easily driven.	1 - 3
Medium dense (MD)	Penetrated 300 mm with 13 mm reinforcing rod driven with 2 kg hammer, - hard shovelling.	3 - 8
Dense (D)	Penetrated 300 mm with 13 mm reinforcing rod driven with 2 kg hammer, requires pick for excavation: 50 mm wooden peg hard to drive.	8 - 15
Very dense (VD)	Penetrated only 25 - 50 mm with 13 mm reinforcing rod driven with 2 kg hammer.	>15

COHESIVE - SILT & CLAY		
Consistency Description	Field Test	Indicative undrained shear strength kPa
Very soft	Easily penetrated >40 mm by thumb. Exudes between thumb and fingers when squeezed in hand.	<12
Soft	Easily penetrated 10 mm by thumb. Moulded by light finger pressure	>12 and <25
Firm	Impression by thumb with moderate effort. Moulded by strong finger pressure	>25 and <50
Stiff	Slight impression by thumb cannot be moulded with finger.	>50 and <100
Very Stiff	Very tough. Readily indented by thumbnail.	>100 and <200
Hard	Brittle. Indented with difficulty by thumbnail.	>200

1.3 USCS Material Descriptions

Soils for engineering purposes are the unconsolidated materials above bedrock, they can be residual, alluvial, colluvial or aeolian in origin.

Major Divisions		Particle size mm	USCS Group Symbol	Typical Names	Laboratory Classification				NOTES	
COARSE GRAINED SOILS (more than half of material less than 63 mm is larger than 0.075 mm)	BOULDERS	200			% < 0.075 mm (2)	Plasticity of fine fraction	$C_u = \frac{D_{60}}{D_{30}}$	$C_c = \frac{(D_{30})^3}{(D_{60})(D_{10})}$	(1) Identify fines by the method given for fine-grained soils. (2) Borderline classifications occur when the percentage of fines (fraction smaller than 0.075 mm size) is greater than 5% and less than 12%. Borderline classifications require the use of SP-SM, GW-GC.	
	COBBLES	63								
	GRAVELS (more than half of coarse fraction is larger than 2.36 mm)	coarse	20	GW	Well graded gravels and gravel-sand mixtures, little or no fines	0-5	—	>4		Between 1 and 3
		medium	6	GP	Poorly graded gravels and gravel-sand mixtures, little or no fines, uniform gravels	0-5	—	Fails to comply with above		
		fine	2.36	GM	Silty gravels, gravel-sand-silt mixtures (1)	12-50	Below 'A' line or PI<4	—		—
				GC	Clayey gravels, gravel-sand-clay mixtures (1)	12-50	Above 'A' line and PI>7	—		—
	SANDS (more than half of coarse fraction is smaller than 2.36 mm)	coarse	0.6	SW	Well graded sands and gravelly sands, little or no fines	0-5	—	>6		Between 1 and 3
		medium	0.2	SP	Poorly graded sands and gravelly sands, little or no fines	0-5	—	Fails to comply with above		
		fine	0.075	SM	Silty sands, sand silt mixtures (1)	12-50	Below 'A' line or PI<4	—		—
				SC	Clayey sands, sand-clay mixtures (1)	12-50	Above 'A' line and PI>7	—		—
FINE GRAINED SOILS (more than half of material less than 63 mm is smaller than 0.075 mm)	SILTS & CLAYS (Liquid Limit ≤50%)	ML	Inorganic silts, very fine sands, rock flour, silty or clayey fine sands or clayey silts with slight plasticity	Use the gradation curve of material passing 63 mm for classification of fractions according to the criteria given in 'Major Divisions'	Plasticity Chart For classification of fine grained soils and fine fraction of coarse grained soils.					
		CL CI	Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clays							
		OL	Organic silts and clays of low plasticity							
	SILTS & CLAYS (Liquid Limit >50%)	MH	Inorganic silts, mic-aceous or diato-maceous fine sands or silts, elastic silts							
		CH	Inorganic clays of high plasticity, fat clays							
		OH	Organic silts and clays of high plasticity							
	HIGHLY ORGANIC SOILS	PT	Peat and other highly organic soils							

Grain size analysis is performed by two processes depending on particle size. Sand silt and clay particles are assessed using a standardised hydrometer test, and coarse sand and larger is assessed through sieving by USCS certified sieves. For more detail see the following section.

Soil Classification	Particle Size
Clay	Less than 0.002mm
Silt	0.002 – 0.06mm
Fine/Medium Sand	0.06 – 2.0mm
Coarse Sand	2.0mm – 4.75mm
Gravel	4.75mm – 60.00mm

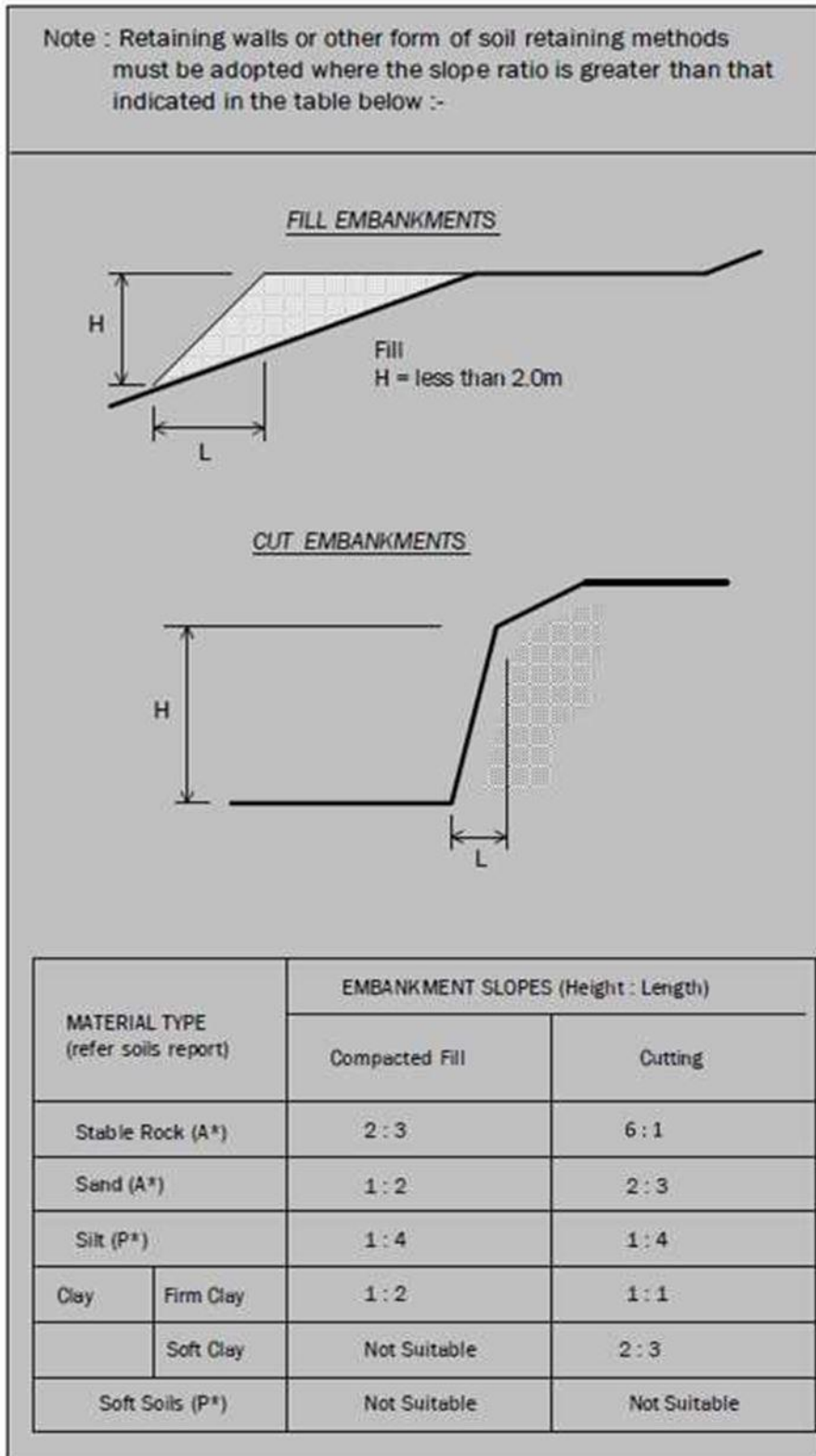
1.4 Bearing Capacities and DCP testing.

DCP and PSP weighted penetrometer tests – Dynamic Cone Penetrometer (DCP) and Perth Sand Penetrometer (PSP) tests are carried out by driving a rod into the ground with a falling weight hammer and measuring the blows for successive 100mm increments of penetration. Normally, there is a depth limitation of 1.2m but this may be extended in certain conditions by the use of extension rods. The methods for the two tests are quite similar.

- Dynamic Cone Penetrometer – a 16mm rod with a 20mm diameter cone end is driven with a 9kg hammer dropping 510mm (AS 1289, Test 6.3.2).
- Perth Sand Penetrometer – a 16mm diameter flat-ended rod is driven with a 9kg hammer, dropping 600mm (AS 1289 Test 6.3.3). This test was developed for testing the density of sands and is mainly used in granular soils and filling.

Site Anomalies – During construction GES will need to be notified of any major variation to the foundation conditions as predicted in this report.

1.5 Batter Angles for Embankments (Guide Only)



Glossary of Terms

Bearing Capacity – Maximum bearing pressure that can be sustained by the foundation from the proposed footing system under service loads which should avoid failure or excessive settlement.

Clay – (Mineral particles less than 0.002mm in diameter). Fine grained cohesive soil with plastic properties when wet. Also includes sandy clays, silty clays, and gravelly clays.

Dynamic Cone Penetrometer (DCP) – Field equipment used to determine underlying soil strength and therefore bearing capacity (kPa) by measuring the penetration of the device into the soil after each hammer blow.

Dispersive soil – A soil that has the ability to pass rapidly into suspension in water.

Footing – Construction which transfers the load from the building to the foundation.

Foundation – Ground which supports the building

Landslip – Foundation condition on a sloping site where downhill foundation movement or failure is a design consideration.

Qualified Engineer – A professional engineer with academic qualifications in geotechnical or structural engineering who also has extensive experience in the design of the footing systems for houses or similar structures.

Reactive Site – Site consisting of clay soil which swells on wetting and shrinks on drying by an amount that can damage buildings on light strip footings or unstiffened slabs. Includes sites classified as S, M, H-1, H-2 & E in accordance with AS2870-2011.

Sand – (Mineral particles greater than 0.02mm in diameter). Granular non-cohesive, non-plastic soil that may contain fines including silt or clay up to 15%.

Services – Means all underground services to the site including but not limited to power, telephone, sewerage, water & storm water.

Silt – (Mineral particles 0.002 – 0.02mm in diameter). Fine grained non-cohesive soil, non-plastic when wet. Often confers a silky smoothness of field texture, regularly includes clay and sand to form clayey silts, sandy silts and gravelly silts.

Site – The site title, as denoted by address, lot number, or Certificate of Title (CT) number, or Property Identification Number (PID).

Surface Movement (Ys) – Design movement (mm) at the surface of a reactive site caused by moisture changes.

Disclaimer

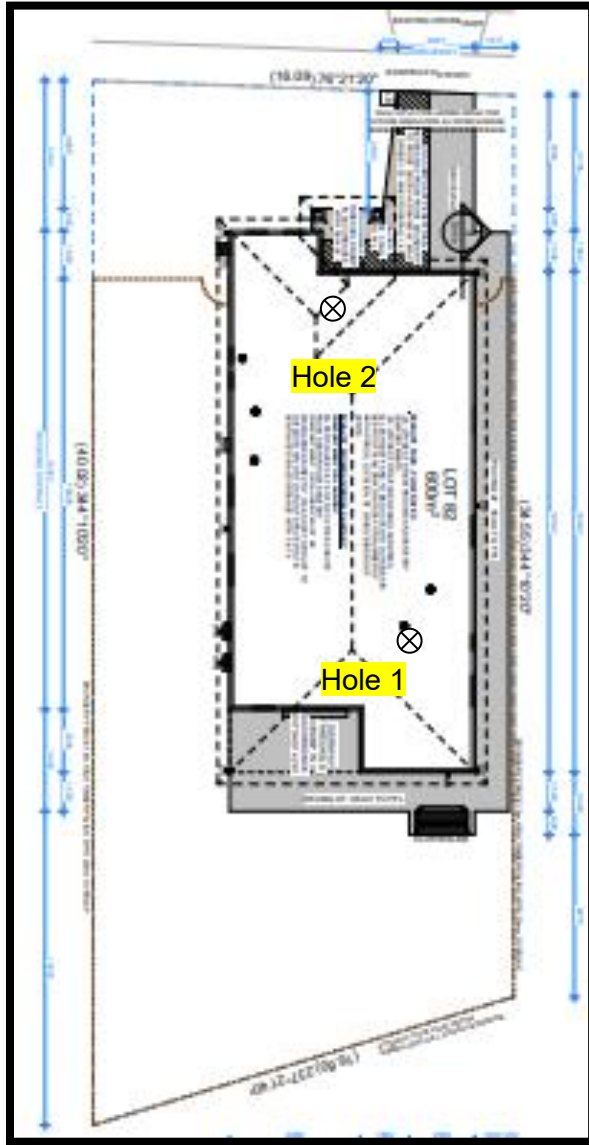
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Site Plan



 **Sorell Council**
Development Application: Development
Application - 10 Sunningdale Close, Midway Point
- P1.pdf
Plans Reference:P1
Date Received:4/04/2024

CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

Form **55**

To: *Owner /Agent*
 Address
 Suburb/postcode

Qualified person details:

Qualified person:
Address:
Licence No: Email address:
Phone No:
Fax No:

Qualifications and Insurance details: *(description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)*

Speciality area of expertise: *(description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)*

Details of work:

Address: Lot No:
Certificate of title No:

The assessable item related to this certificate: *(description of the assessable item being certified)*

Assessable item includes –

- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

Certificate details:

Certificate type: *(description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)*

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work

or

a building, temporary structure or plumbing installation:

In issuing this certificate the following matters are relevant –

Documents:	The attached soil report for the address detailed above in 'details of work'
Relevant calculations:	Reference the above report.
References:	AS2870:2011 residential slabs and footings AS1726:2017 Geotechnical site investigations CSIRO Building technology file – 18.

Substance of Certificate: (what it is that is being certified)

Site Classification consistent with AS2870-2011.

Scope and/or Limitations

The classification applies to the site as inspected and does not account for future alteration to foundation conditions as a result of earth works, drainage condition changes or variations in site maintenance.

I, John-Paul Cumming certify the matters described in this certificate.

Qualified person:

Signed:

Certificate No:

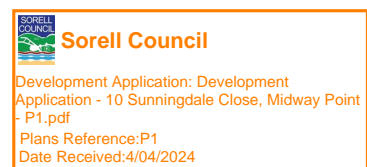
Date:

J10048

28/02/2024



A handwritten signature in black ink, appearing to read 'John Paul Cumming', written over a light grey background.



GEO-Environmental Solutions
 29 Kirksway Place, Battery Point
 Tasmania 7004
 Phone: 03 62231839



4 March 2024

Natural Values Assessment – Waterway and Coastal Protection Area

Project area – 10 Sunningdale Close, Midway Point TAS 7171



PID: 9706641

C/T: 184768/82

The following report is intended to demonstrate compliance with Code C7.0 (Waterways and Coastal Protection Area) of the Tasmania Planning Scheme – Sorell Council.

The proposal is for a new dwelling on the above address as shown on the attached site plan. The proposed site is in close proximity to the shore of the Pitt Water and therefore triggers Code C7.0 of the Tasmania Planning Scheme – Sorell which requires compliance with the standards outlined at C7.6.1 for Buildings and Works.

Table 1. Extract of Tasmania planning scheme C7.6.1 Buildings and Works

P1.1 Buildings and works within a waterway and coastal protection area must avoid or minimise adverse impacts on natural assets, having regard to:	
Performance Criteria	Comment / Compliance
(a) impacts caused by erosion, siltation, sedimentation and runoff;	The proposed development should only be approved with an appropriate, site specific soil and water management plan to reduce the risk of environmental harm and erosion. The site should regularly maintain and progressively stabilised through vegetation and landscaping to reduce the potential for erosion.
(b) impacts on riparian or littoral vegetation;	No riparian or littoral vegetation is present on the site
(c) maintaining natural streambank and streambed condition, where it exists;	No works proposed in stream or nearby.
(d) impacts on in-stream natural habitat, such as fallen logs, bank overhangs, rocks and trailing vegetation;	The in-stream natural habitat will not be disturbed under the current proposal.

(e) the need to avoid significantly impeding natural flow and drainage;	The watercourse is well defined, the proposed works area is located to avoid impending drainage and natural flow.
(f) the need to maintain fish passage, where known to exist;	The property does not have a watercourse on the site
(g) the need to avoid land filling of wetlands;	No wetlands are located at the project area.
(h) the need to group new facilities with existing facilities, where reasonably practical;	The project area is a vacant land lot which doesn't have any existing facilities on site.
(i) minimising cut and fill;	There is only a minimal proposed cut for the site required the proposed dwelling.
(j) building design that responds to the particular size, shape, contours or slope of the land;	The project area consists of a predominantly rectangular-shaped lot, where the proposed dwelling is strategically positioned at the centre. This placement allows for efficient site development, minimizing the need for unnecessary excavations, while ensuring convenient access from Sunningdale Close.
(k) minimising impacts on coastal processes, including sand movement and wave action;	The site is located more than 120m way from the shoreline and the wave action or sand movement.
(l) minimising the need for future works for the protection of natural assets, infrastructure and property;	No further works required other than regular maintenance.
(m) the environmental best practice guidelines in the Wetlands and Waterways Works Manual; and	All works should be undertaken in compliance with the 'Wetlands and Waterways Works Manual' (DPIWE, 2003).
(n) the guidelines in the Tasmanian Coastal Works Manual.	All proposed works should be following the guidelines of the Tasmania Coastal Works Manual.

A2.

Acceptable Solutions	Comment / Compliance
Building and works within a Future Coastal Refugia Area must be within a building area on a plan of subdivision approved under this planning scheme.	No development will occur within a Future Coastal Refugia Area

A3.

Acceptable Solutions	Comment / Compliance
Development within a waterway and coastal protection area or a future coastal refugia area must not involve a new stormwater point discharge into a watercourse, wetland or lake.	No new stormwater discharge points are proposed to watercourse, wetland or lake. The proposed dwelling will be connected to an existing stormwater and sewage line outlets of the north portion of the site.

A4.

Dredging or reclamation must not occur within a waterway and coastal protection area or a future coastal refugia area	
Acceptable Solutions	Comment / Compliance
Dredging or reclamation must not occur within a waterway and coastal protection area or a future coastal refugia area.	There is no proposed dredging or reclamation on the site.

A5.

Coastal protection works or watercourse erosion or inundation protection works must not occur within a waterway and coastal protection area or a future coastal refugia area.	
Acceptable Solutions	Comment / Compliance
Coastal protection works or watercourse erosion or inundation protection works must not occur within a waterway and coastal protection area or a future coastal refugia area.	No coastal protection works, or waterway erosion or inundation protection works are proposed within the Waterway and Coastal Protection Area or a future coastal refugia area. If such activities are to be undertaken, then they must be designed by a suitably qualified person to minimise adverse impacts on natural coastal processes.

The attachment in Appendix 2 shows the proposed works and the WCP overlay of the project area. The assessment has been completed based on the site plan (refer to Appendix 3). The Integrated Conservation Value for the waterway has been identified as LOW (NVA report run on the 29/02/2024). Table 1 associated figures and plan demonstrate compliance with the performance criteria of section C7.6.1 of Tasmanian Planning Scheme – Sorell Council.

In considering the objectives of the Code 7 it is anticipated that there will be no unnecessary or unacceptable impacts on natural values as a result of the proposed dwelling and that any future development that is facilitated by the proposed dwelling is unlikely to lead to unnecessary or unacceptable impacts on natural values.



Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD
Environmental and Engineering Soil Scientist



Sorell Council
 Development Application: Development
 Application - 10 Sunningdale Close, Midway Point
 - P1.pdf
 Plans Reference:P1
 Date Received:4/04/2024

Appendix 1. Natural Value Report

Natural Values Atlas Report

Authoritative, comprehensive information on Tasmania's natural values.

Reference:

Requested For: 10 Sunningdale Close Midway Point

Report Type: Summary Report

Timestamp: 10:49:00 PM Thursday 29 February 2024

Threatened Flora: buffers Min: 500m Max: 5000m

Threatened Fauna: buffers Min: 500m Max: 5000m

Raptors: buffers Min: 500m Max: 5000m

Tasmanian Weed Management Act Weeds: buffers Min: 500m Max: 5000m

Priority Weeds: buffers Min: 500m Max: 5000m

Geoconservation: buffer 1000m

Acid Sulfate Soils: buffer 1000m

TASVEG: buffer 1000m

Threatened Communities: buffer 1000m

Fire History: buffer 1000m


Tasmanian Reserve Estate: buffer 1000m

Biosecurity Risks: buffer 1000m



The centroid for this query GDA94: **542624.0, 5262599.0** falls within:

Property: 9706641

 **Sorell Council**

Development Application: Development
Application - 10 Sunningdale Close, Midway Point
- P1.pdf
Plans Reference:P1
Date Received:4/04/2024

Appendix 2. Tasmanian Planning Scheme Overlays



Sorell Council

Development Application; Development Application - 10 Sunningdale Close, Midway Point - P1.pdf
 Plans Reference:P1
 Date Received:4/04/2024

GENERAL NOTES

BUILDING MEMBRANE

AS PER CLAUSE 3.8.7.2 OF NCC 2019 A PLIABLE BUILDING MEMBRANE TO BE INSTALLED THAT COMPLIES WITH AS/NZS 4200.1 AND TO BE INSTALLED IN ACCORDANCE WITH AS/NZS 4200.2 AND MUST BE A VAPOUR PERMEABLE MEMBRANE FOR CLIMATE ZONES 6/7/8.

DOORS - WATER CLOSET

PROVIDE "LIFT-OFF" HINGES TO ALL WC DOORS.

DOORS - INTERNAL GARAGE

PROVIDE DOOR SEAL AS PER NCC 2019 CLAUSE 3.12.3.3.

DOWNPIPES - TEMPORARY

TEMPORARY DOWNPIPES TO BE INSTALLED DURING CONSTRUCTION TO PREVENT WATER PONDING NEAR THE SLAB.

EXHAUST FANS - FLOW RATES

- 25 LTR/SEC FOR BATHROOMS AND SANITARY COMPARTMENTS,
- 40 LTR/SEC FOR KITCHENS AND LAUNDRIES.
ALL EXHAUST FANS TO BE DUCTED TO OUTSIDE AIR.
SEE ROOF PLAN DRWG NO D08 FOR NUMBER OF AND APPROX. LOCATION OF WHIRLYBIRD ROOF VENTS.

EXHAUST FROM BATHROOM, SANITARY

COMPARTMENT OR LAUNDRY
AS PER CLAUSE 3.8.7.3 OF NCC 2019 EXHAUST FROM A BATHROOM, SANITARY COMPARTMENT, OR LAUNDRY MUST BE DISCHARGED DIRECTLY VIA A SHAFT OR DUCT TO OUTDOOR AIR; OR TO A ROOF SPACE THAT IS VENTILATED IN ACCORDANCE WITH 3.8.7.4.

GLAZING

GLAZING TO COMPLY WITH AS1288 & AS2047.

PLUMBING

PLUMBING AND DRAINAGE WORKS TO COMPLY WITH AS3500 2021.

WATERPROOFING - INTERNAL

PROVIDE INTERIOR WATERPROOFING TO COMPLY WITH AS3740 2021.

EMERGENCY POWER SOLUTIONS

PROVIDE EMERGENCY POWER SOLUTIONS (I.E. UNINTERRUPTED POWER SUPPLY (UPS)) SHALL BE PROVIDED.

ASSISTIVE TECHNOLOGY

INTERNET CONNECTION SHALL BE PROVIDED WITH THE ABILITY FOR HIGH INTERNET SPEEDS TO BE MAINTAINED AND STABLE IN NATURE WITH WI-FI COVERAGE THROUGHOUT ALL AREAS OF THE DWELLING

INTERNAL GARAGE CONSTRUCTION

THE INSIDE OF THE GARAGE IS TO INCLUDE THE FOLLOWING:

A. A 10mm ALUMINIUM ANGLE OR KILN DRIED HARDWOOD TIMBER SILL/THRESHOLD (OR OTHER TYPE OF DURABLE UPSTAND) IS INSTALLED ACCROSS THE PEDESTRIAN DOORWAY BETWEEN THE GARAGE AND THE DWELLING. THE UPSTAND/THRESHOLD IS TO BE SEALED TO THE CONCRETE USING A WATERPROOF SEALANT.

REFER TO FINAL DRAINAGE PLANS FOR LOCATIONS OF AGRICULTURAL DRAINS AND SILT PITS

SOIL CLASSIFICATION

CLASS "M"
AS PER SOIL REPORT PROVIDED BY "GEO-ENVIRONMENTAL SOLUTIONS PTY.LTD. (GES)"
FILE NO: J10048
DATED: 28 FEBRUARY 2024

WIND RATING : N3

SITE CUT AND BATTER

SITE CUT AND FILL TO BE MINIMUM 1.2m FROM DWELLING BOUNDARY AND BATTERED AT NO MORE THAN 45 DEGREES SITE CUTS/FILLING WORKS NOT SUPPORTED BY RETAINING WALLS SHALL BE FINISHED WITH A BATTER OF 45 DEGREES AND AN AGRICULTURAL DRAIN AT THE BASE OR A SPOON DRAIN AT THE END OF ANY FUTURE PAVING EXTERNAL WALL FOOTINGS SHALL NOT BE FOUNDED AT GREATER DEPTHS THAN THE ADJOINING BUILDING FOOTINGS. STOP WORKS AND CONTACT THE OFFICE IMMEDIATELY IF THE ABOVE CANNOT BE ACHIEVED.

STORMWATER DRAIN

CONSTRUCT & DISCHARGE 100 DIA. P.V.C STORM WATER DRAIN TO LEGAL POINT OF DISCHARGE AS DIRECTED BY THE RELEVANT AUTHORITY. MIN FALL 1:100 PROVIDE INSPECTION OPENINGS AT 9000 MAX CTRS OR AT EVERY CHANGE OF DIRECTION. DP NOTES 100x50 DOWNPIPES AT 12000 MAX CTRS. PROVIDE 100 DIA. SEWERGRADE S.W DRAIN UNDER SLAB AND DRIVEWAY.

GARDEN TAPS

POSITION OF THE FRONT GARDEN TAP & WATER METER IS BY WATER AUTHORITY, THE FULL COST OF RELOCATION IS AT THE OWNER'S EXPENSE.

LEVELS

LEVELS SHOWN ARE TO AN ARBITRARY DATUM AND ARE TO BE USED AS A GUIDE ONLY. OWNER/BUILDER TO CHECK AND VERIFY ON SITE PRIOR TO ANY WORK BEING CARRIED OUT. ALL LEVELS ON DRAWINGS ARE NOMINAL AND MAY ALTER DUE TO SITE CONDITIONS UP TO 50mm EITHER WAY.

GENERAL

- CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND MEASUREMENTS ON SITE PRIOR TO COMMENCEMENT OF ANY WORK.
- ALL WORK IS SUBJECT TO INSPECTION AND APPROVAL OF RELEVANT BUILDING SURVEYOR.
- ALL WORK SHOWN TO BE CARRIED OUT IN GOOD WORKMAN LIKE MANNER IN ACCORDANCE WITH "NATIONAL CONSTRUCTION CODE -2019".
- NO RESPONSIBILITY IS TAKEN FOR WORK DONE AFTER ACCEPTANCE OF PLANS BY CLIENT.
- WORK SHOWN TO BE IN ACCORDANCE WITH SPECIFICATIONS/COMPUTATIONS SUPPLIED.

EXCAVATION

-EXCAVATE FOOTINGS AND DRAINS AS SHOWN. KEEP EXCAVATIONS DRY AND BACKFILL WITH APPROVED MATERIALS FREE OF ANY BUILDING DEBRIS.

ENERGY RATING

- ALL EXTERNAL DOORS AND WINDOWS TO UTILITY ROOMS (NON-HEATED BATHROOMS, LAUNDRIES; STORAGE ROOMS) TO BE WEATHER-SEALED WITH WEATHER-STRIPPING BETWEEN THE DOOR AND THE FRAME, AND A DRAFT EXCLUDER FITTED AT THE BOTTOM OF THE DOOR TO CREATE A TIGHT SEAL WHEN CLOSED.

- ALL OPENABLE WINDOWS TO HAVE WEATHER-STRIPPING BETWEEN THE FRAME AND THE SASH TO CREATE A TIGHT SEAL WHEN CLOSED.

- ENTRY DOOR TO BE WEATHER-STRIPPED.

- ALL GENERAL BUILDING GAPS AND CRACKS TO BE FILLED.

- ALL REFLECTIVE FOIL TO BE INSTALLED TO MANUFACTURERS RECCOMENDATIONS AND TO RUN CONTIGUOUSLY FROM BOTTOM PLATE TO TOP PLATE WITH ALL GAPS TAPED. ALL RIPS IN FOIL AND PENETRATIONS TO BE RE-TAPED.

- ONLY NON-VENTED DOWNLIGHTS, AND SKYLIGHTS TO BE USED

- EXHAUST FANS TO BE SELF-SEALING, OR FITTED WITH A SELF CLOSING DEVICE TO PROVIDE A SEAL TO UNWANTED VENTILATION.

- **R2.0 BATTS TO EXTERNAL WALLS.**

- **R2.0 BATTS TO GARAGE INTERNAL WALLS.**

- **R4.0 BATTS TO CEILINGS.**

- ALL WINDOWS/SLIDING DOORS ARE TO BE ALUMINIUM FRAMED SINGLE GLAZED CLEAR GLASS WITH A MINIMUM U-VALUE & SHGC AS LISTED IN THE ENERGY REPORT.

DRAWING REGISTER

NUMBER	DRAWING NAME
D15	Unnamed
D00a	NOTES & DRAWING REGISTER
D00b	WET AREA WATER PROOFING
D00c	NOTES -BUSHFIRE REGULATIONS
D01a	SITE PLAN
D01b	SITE EXCAVATION
D01c	SITE SURVEY
D02	FLOOR PLAN
D03a	ELEVATIONS
D03b	ELEVATIONS - NOTES
D04a	SECTIONS
D04b	SECTIONS - TYPICAL
D05	WINDOW & DOOR SCHEDULE
D06a	INTERNAL ELEVATIONS - KITCHEN
D06b	INTERNAL ELEVATIONS - KITCHEN
D06c	INTERNAL ELEVATIONS - KITCHEN
D06d	INTERNAL ELEVATIONS - TYPICAL
D07a	WET AREA ELEVATIONS - WC
D07b	WET AREA ELEVATIONS - WC
D07c	WET AREA ELEVATIONS - ENSUITE 1
D07d	WET AREA ELEVATIONS - ENSUITE 1
D07e	WET AREA ELEVATIONS - ENSUITE 2
D07f	WET AREA ELEVATIONS - ENSUITE 2
D07g	WET AREA ELEVATIONS - LAUNDRY
D08	ROOF PLAN
D09	SLAB PLAN
D10a	SLAB PENETRATION PLAN
D10b	PLUMBING PLAN
D10c	STORMWATER MANAGEMENT PLAN
D11	FLOOR FINISHES PLAN
D12	ELECTRICAL & LIGHTING PLANS
D13	SPRINKLER PLAN
D14	LANDSCAPE PLAN

PERFORMANCE SOLUTION:

- GARAGE FIRE RATED EAVES. REFER DETAIL.
- NO 50mm GARAGE STEPDOWN.

BUSHFIRE ASSESSMENT

THIS PARCEL IS IN A DESIGNATED BUSHFIRE PRONE AREA. PLEASE SEE PAGE D00c FOR BAL 12.5 REQUIREMENTS.

IMPORTANT NOTES:

1. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWN SCALE.
2. ALL LEVELS, DIMENSIONS AND EXISTING CONDITIONS TO BE CHECKED BY CONTRACTOR AND VERIFIED BEFORE COMMENCEMENT OF WORKS ON SITE. ANY DISCREPANCIES TO BE REPORTED TO THE OFFICE IMMEDIATELY.
3. WINDOW SIZES ARE NOMINAL ONLY, SIZES MAY CHANGE DUE TO AVAILABILITY.
4. FLOOR PLANS ARE DIMENSIONED TO TIMBER STUD FRAME.
5. ALL WORKS MUST BE EXECUTED IN A WORKMANLIKE MANOR AND MUST CONFORM TO THE LATEST APPLICABLE AUSTRALIAN STANDARDS.
6. THESE DRAWINGS SHALL NOT BE ALTERED, REPRODUCED, COPIED IN PART OR IN WHOLE WITHOUT THE WRITTEN PERMISSION FROM ACCESS LIVING GROUP.
7. ALL DIMENSION ARE NOMINAL AND MUST BE VERIFIED ON SITE.



1/37 Ascot Dr, Huntingfield TAS 7055

P +61 3 6289 6601

Home: **HPS-ABELIA-12.5(05H.02)**
Client: **ONE CONTRACT PTY LTD (ACN 665 528 772) ATF THE ONE CONTRACT NO 1 TRUST**
Location: **10 SUNNINGDALE CLOSE, MIDWAY POINT TAS 7171**

Facade: **A-ZARA 01-MONUMENT**

Drawing: **NOTES & DRAWING REGISTER**

DRAWING DETAILS

3/04/2024 7:39:52 AM

SCALE SHEET SIZE
1 : 100 A3

JOB No: **461N**

All dimensions to be verified on site
Drwg No: **D00a** Issue **A04**

WET AREA WATER PROOFING

10.2.1 WET AREAS

- (1) BUILDING ELEMENTS IN WET AREAS WITHIN A BUILDING MUST BE PROTECTED WITH A WATERPROOFING SYSTEM.
- (2) THE WATER PROOFING SYSTEM IN (1) MUST EITHER BE WATERPROOF OR WATER RESISTANT IN ACCORDANCE WITH 10.2.2 TO 10.2.6.

10.2.2 SHOWER AREA (ENCLOSED AND UNENCLOSED)

- (1) FOR A SHOWER AREA WITH A HOB, STEP-DOWN OR LEVEL THRESHOLD, THE FOLLOWING APPLIES:
 - (A) THE FLOOR OF THE SHOWER AREA MUST BE WATERPROOF, INCLUDING ANY HOB OR STEP-DOWN (SEE FIGURE 10.2.2); AND
 - (B) THE WALLS OF THE SHOWER AREA MUST BE WATERPROOF NOT LESS THAN 1800 MM ABOVE THE FLOOR SUBSTRATE (SEE FIGURE 10.2.2).
 - (C) WALL JUNCTIONS AND JOINTS WITHIN THE SHOWER AREA MUST BE WATERPROOF NOT LESS THAN 40 MM EITHER SIDE OF THE JUNCTION (SEE FIGURE 10.2.2).
 - (D) WALL/FLOOR JUNCTIONS WITHIN THE SHOWER AREA MUST BE WATERPROOF (SEE FIGURE 10.2.2).
 - (E) PENETRATIONS WITHIN THE SHOWER AREA MUST BE WATERPROOF.
 - (2) A SHOWER WITH A PREFORMED SHOWER BASE MUST ALSO COMPLY WITH THE REQUIREMENTS OF (1), EXCEPT FOR (A) WHICH IS NOT APPLICABLE.

10.2.3 AREA OUTSIDE SHOWER AREA

- (1) FOR CONCRETE, COMPRESSED FIBRE-CEMENT AND FIBRE-CEMENT SHEET FLOORING, THE FLOOR OF THE ROOM MUST BE WATER RESISTANT.
- (2) FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS, THE FLOOR OF THE ROOM MUST BE WATERPROOF.
- (3) WALL/FLOOR JUNCTIONS MUST BE
 - (A) WATER PROOF; AND
 - (B) WHERE A FLASHING IS USED, THE HORIZONTAL LEG MUST BE NOT LESS THAN 40 MM

10.2.4 AREAS ADJACENT TO BATHS AND SPAS WITHOUT SHOWERS

- (1) FOR AREAS ADJACENT TO ALL BATHS AND SPAS, THE FOLLOWING APPLIES:
 - (A) FOR CONCRETE, COMPRESSED FIBRE-CEMENT AND FIBRE CEMENT SHEET FLOORING, THE FLOOR OF THE ROOM MUST BE WATER RESISTANT.
 - (B) FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS, THE FLOOR OF THE ROOM MUST BE WATERPROOF.
 - (C) TAP AND SPOUT PENETRATIONS MUST BE WATERPROOF WHERE THEY OCCUR IN HORIZONTAL SURFACES.
- (2) FOR AREAS ADJACENT TO NON-FREESTANDING BATHS AND SPAS, THE FOLLOWING APPLIES:
 - (A) WALLS MUST BE WATER RESISTANT (SEE FIGURE 10.2.4A AND FIGURE 10.2.4B)
 - (I) TO A HEIGHT OF NOT LESS THAN 150 MM ABOVE THE VESSEL, FOR THE EXTENT OF THE VESSEL, WHERE THE VESSEL IS WITHIN 75 MM OF A WALL; AND
 - (II) FOR ALL EXPOSED SURFACES BELOW VESSEL LIP.
 - (B) WALL JUNCTIONS AND JOINTS MUST BE WATER RESISTANT WITHIN 150 MM ABOVE A VESSEL FOR THE EXTENT OF THE VESSEL.
 - (C) WALL/FLOOR JUNCTIONS MUST BE WATERPROOF FOR THE EXTENT OF THE VESSEL (SEE FIGURE 10.2.4A AND FIGURE 10.2.4B).
- (3) FOR INSERTED BATHS AND SPAS, THE FOLLOWING APPLIES:
 - (A) FOR FLOORS AND HORIZONTAL SURFACES: (I) ANY SHELF AREA ADJOINING THE BATH OR SPA MUST BE WATERPROOF AND INCLUDE A WATERSTOP UNDER THE VESSEL LIP.
 - (II) THERE ARE NO REQUIREMENTS FOR THE FLOOR UNDER A BATH OR SPA.
 - (B) FOR WALLS:
 - (I) WATERPROOF TO NOT LESS THAN 150 MM ABOVE THE LIP OF A BATH OR SPA.
 - (II) THERE ARE NO REQUIREMENTS FOR THE FLOOR UNDER A BATH OR SPA.
 - (C) FOR WALL JUNCTIONS AND JOINTS, THE FOLLOWING APPLIES:
 - (I) WATERPROOF JUNCTIONS WITHIN 150 MM OF A BATH OR SPA.
 - (II) THERE ARE NO REQUIREMENTS FOR JUNCTIONS AND JOINTS IN WALLS BENEATH THE LIP OF A BATH OR SPA.
 - (D) TAP AND SPOUT PENETRATIONS MUST BE WATERPROOF WHERE THEY OCCUR IN HORIZONTAL SURFACES.

10.2.5 OTHER AREAS

- (1) FOR WALLS ADJOINING OTHER TYPES OF VESSELS (E.G. SINK, BASIN OR LAUNDRY TUB), THE FOLLOWING APPLIES:
 - (A) WALLS MUST BE WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 150 MM ABOVE THE VESSEL, FOR THE EXTENT OF THE VESSEL, WHERE THE VESSEL IS WITHIN 75 MM OF A WALL (SEE FIGURE 10.2.5).
 - (B) WATERPROOF WALL JUNCTIONS WHERE A VESSEL IS FIXED TO A WALL.
 - (C) WATERPROOF TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN SURFACES REQUIRED TO BE WATERPROOF OR WATER RESISTANT.
- (2) FOR LAUNDRIES AND WCS, THE FOLLOWING APPLIES:
 - (A) THE FLOOR OF THE ROOM MUST BE WATER RESISTANT.
 - (B) WALL/FLOOR JUNCTIONS MUST BE WATER RESISTANT, AND WHERE A FLASHING IS USED, THE HORIZONTAL LEG MUST NOT BE LESS 40MM
- (3) FOR WCS WITH HANDHELD BIDET SPRAY INSTALLATIONS, THE FOLLOWING APPLIES:
 - (A) THE FLOOR OF THE ROOM MUST BE WATERPROOF.
 - (B) WALLS MUST BE--
 - (I) WATERPROOF IN WC AREA WITHIN A 900 MM RADIUS FROM THE WALL CONNECTION OF THE HANDHELD BIDET SPRAY DEVICE TO A HEIGHT OF NOT LESS THAN 150 MM ABOVE THE FLOOR SUBSTRATE; AND
 - (II) WATER RESISTANT IN WC AREA WITHIN A 900 MM RADIUS FROM THE WALL CONNECTION OF THE HANDHELD BIDET DEVICE TO NOT LESS THAN 1200 MM ABOVE THE FINISHED FLOOR LEVEL OF THE WC.
 - (C) WALL JUNCTIONS WITHIN THE WC AREA WITHIN 900 MM RADIUS FROM THE WALL CONNECTION OF THE HANDHELD BIDET SPRAY DEVICE MUST BE WATERPROOF.
 - (D) WALL/FLOOR JUNCTIONS WITHIN THE WC AREA WITHIN 1000 MM RADIUS FROM THE WALL CONNECTION OF THE HANDHELD BIDET SPRAY DEVICE MUST BE WATERPROOF.
 - (E) PENETRATIONS IN THE WC AREA MUST BE WATERPROOF.

10.2.6 WATERPROOFING SYSTEMS

- (1) FOR THE PURPOSES OF THIS PART, A WATERPROOFING SYSTEM IS DEEMED
 - (A) WATERPROOF, IF IT COMPLIES WITH (2); OR
 - (B) WATER RESISTANT, IF IT COMPLIES WITH (3).
- (2) FOR A WATERPROOFING SYSTEM REQUIRED TO BE WATERPROOF IN ACCORDANCE WITH 10.2.2 TO 10.2.5, THE MATERIALS NOMINATED IN 10.2.8 MUST BE USED.
- (3) FOR A WATERPROOFING SYSTEM REQUIRED TO BE WATER RESISTANT IN ACCORDANCE WITH 10.2.2 TO 10.2.5, THE MATERIALS NOMINATED IN 10.2.9 MUST BE USED IN CONJUNCTION WITH THE MATERIALS IN 10.2.10.

FIGURE NOTES

WALL/FLOOR JUNCTION HEIGHTS ARE TO BE AS PER 10.2.2 TO 10.2.6 (AS APPLICABLE).

NOTES

WHERE A SHOWER IS ABOVE A BATH OR SPA, USE REQUIREMENTS FOR SHOWER.

FIGURE 10.2.4A

AREA ADJACENT TO BATHS AND SPAS WITHOUT SHOWERS FOR CONCRETE, COMPRESSED FIBRE-CEMENT AND FIBRE-CEMENT SHEET FLOORING

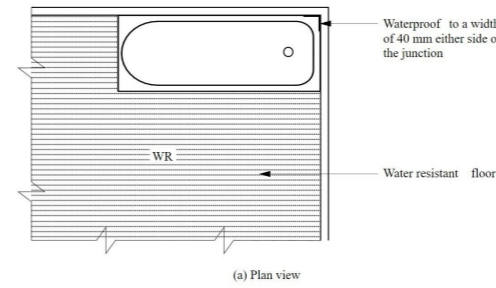


FIGURE 10.2.4B

AREAS ADJACENT TO BATHS AND SPA WITHOUT SHOWERS FOR TIMBER FLOORS INCLUDING PARTICLE-BOARD, PLYWOOD AND OTHER FLOOR MATERIALS.

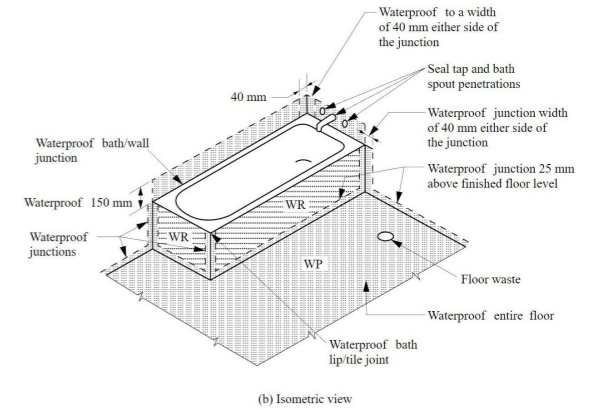
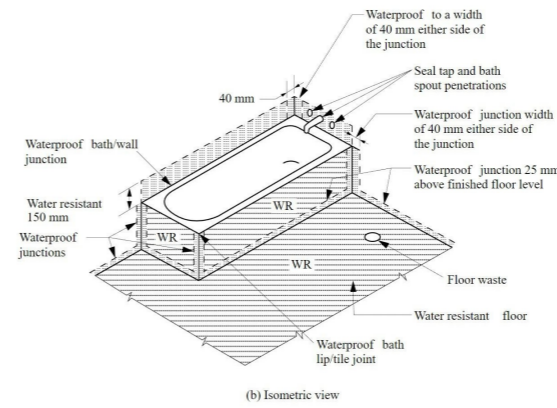
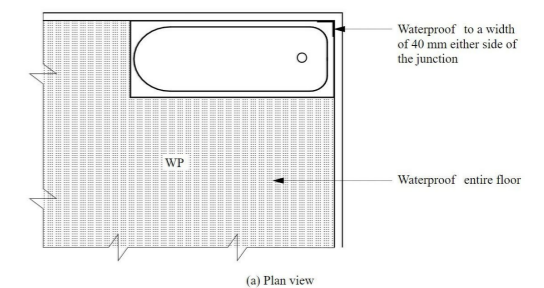


FIGURE 10.2.2

EXTENT OF TREATMENT FOR SHOWER AREAS - CONCRETE COMPRESSED FIBRE-CEMENT AND FIBRE-CEMENT SHEET FLOORS

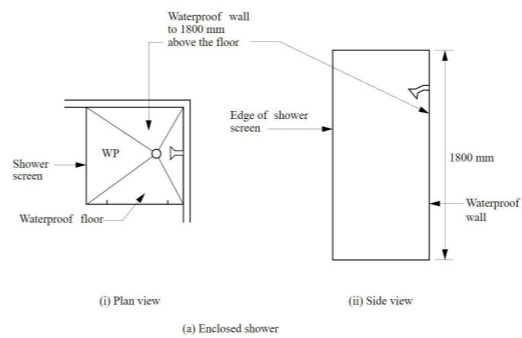
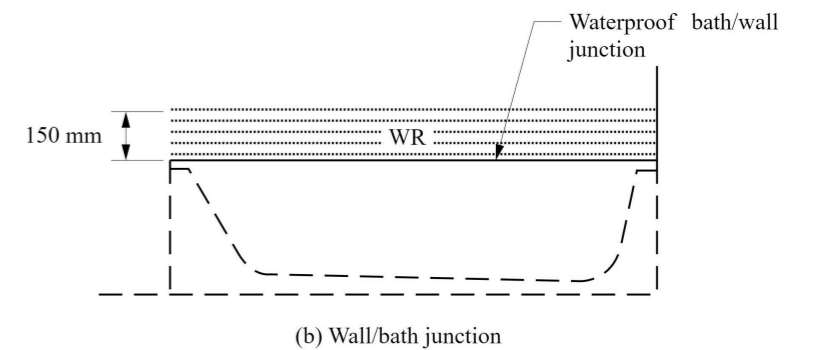
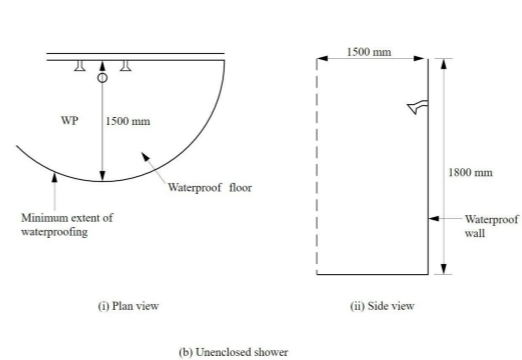
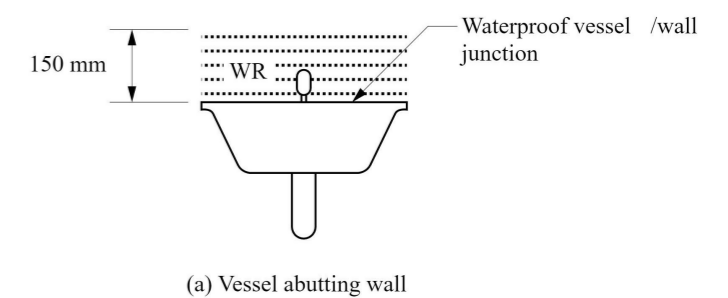


FIGURE 10.2.5

BATH AND VESSEL ABUTTING WALL - AREAS TO BE PROTECTED



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Sorell Council
 Development Application: Development Application - 10 Sunningdale Close, Midway Point - P1.pdf
 Plans Reference:P1
 Date Received:4/04/2024



1/37 Ascot Dr, Huntingfield TAS 7055
 P +61 3 6289 6601

Home: **HPS-ABELIA-12.5(05H.02)**
 Client: **ONE CONTRACT PTY LTD (ACN 665 528 772) ATF THE ONE CONTRACT NO 1 TRUST**
 Location: **10 SUNNINGDALE CLOSE, MIDWAY POINT TAS 7171**
 Drawing: **WET AREA WATER PROOFING**

Facade: **A-ZARA 01-MONUMENT**

DRAWING DETAILS	
3/04/2024 7:39:52 AM	
SCALE	SHEET SIZE
1 : 100	A3
JOB No:	461N
Drwg No:	D00b
Issue	A04

All dimensions to be verified on site

NOTES

New Bushfire Regulations BAL 12.5 Requirements

THIS REPORT PROVIDES BASIC ADVICE FOR BUILDING A DWELLING ON LAND DESIGNATED AS BUSHFIRE PRONE BAL 12.5 UNDER AS3959-2018. THIS SHOULD BE USED AS A GUIDE ONLY FOR TYPICAL CONSTRUCTION METHODS, AND REFERENCE MADE TO AS3959 FOR FURTHER CLARIFICATION.

DEFINITIONS:

400MM RESTRICTIVE ZONE:
THE 400MM RESTRICTIVE ZONE IS AN AREA WITHIN 400MM FROM THE GROUND OR LESS THAN 400MM ABOVE DECKS, CARPORT ROOFS, AWNINGS AND SIMILAR ELEMENTS OR FITTINGS HAVING AN ANGLE LESS THAN 18 DEGREES TO THE HORIZONTAL AND EXTENDING MORE THAN 110MM IN WIDTH FROM THE DOOR.
THIS AREA REQUIRES ADDITIONAL ATTENTION DUE TO THE POSSIBILITY OF EMBER BUILDING UP ON THE LEDGE AGAINST THE WALL/WINDOW/DOOR.

PROTECTIVE MESH:

FOR THE PURPOSES OF THIS DOCUMENT, "PROTECTIVE MESH" MEANS ALUMINIUM, STAINLESS STEEL OR BRONZE MESH WITH A MAXIMUM APERTURE SIZE OF 2MM.

SUMMARY OF MAIN ISSUES FOR STANDARD BRICK VENEER, ALUMINIUM WINDOWS:

- WEEPHOLES REQUIRE PROTECTIVE MESH OR A PROPRIETARY WEEPHOLE SYSTEM WITH EMBER GUARD.

- PROTECTIVE MESH SCREENS MUST BE INSTALLED TO ALL OPENABLE WINDOWS. THIS MUST BE DONE PRIOR TO THE FINAL INSPECTION, WHILE THE PAST FLYSCREENS WERE GENERALLY EXCLUDED FROM THE CONTRACT. SLIDING DOORS DO NOT REQUIRE SCREENING, HOWEVER IF INSTALLED SCREENING MUST BE PROTECTIVE MESH .

- EXTERNAL SIDE HUNG DOORS INCLUDING ENTRY, LAUNDRY; GARAGE ENTRY ETC WILL NEED TO MEET CERTAIN CRITERIA. HOLLOW CORE EXTERNAL DOOR WILL REQUIRE NON-COMBUSTIBLE KICK PLATES.

- EXTERNAL DOOR FRAMES MUST ALSO MEET CERTAIN REQUIREMENTS. IT IS ASSUMED MOST EXTERNAL DOOR FRAMES WILL NEED TO BE STEEL (GARAGE ACCESS) OR TASSIE OAK/VIC ASH HARDWOOD.

- GARAGE DOORS WITHIN 400MM OF THE GROUND FLOOR CAN'T BE TIMBER, SO TIMBER TILT UP/ PANEL LIFT DOORS WILL BE AFFECTED.

- GARAGE MUST BE SEALED. ROLLER AND SECTIONAL DOOR REQUIRE PROPRIETARY BRUSH TYPE SEALS.

- ALL ROOFS MUST BE FULLY SARKED. FOR TILED ROOFS, THIS ALSO MEANS VENTING TOILET FANS EXTERNALLY.

- DECKING MUST BE OF CERTAIN SPECIES WHERE USED WITHIN 300MM OF GLAZED DOOR OR WINDOWS.

- ALL ABOVE GROUND WATER AND GAS SUPPLY PIPES THAT ARE EXPOSED MUST BE METAL.

- EVAPORATIVE COOLING UNITS REQUIRE BUTTERFLY CLOSERS OR TO BE PROVIDED WITH PROTECTIVE MESH .

PROTECTIVE MESH:

FOR THE PURPOSES OF THIS DOCUMENT, "PROTECTIVE MESH" MEANS ALUMINIUM, STAINLESS STEEL OR BRONZE MESH WITH A MAXIMUM APERTURE SIZE OF 2MM.



Development Application: Development Application - 10 Sunningdale Close, Midway Point - P1.pdf
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IMPORTANT NOTES:

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3. WINDOW SIZES ARE NOMINAL ONLY, SIZES MAY CHANGE DUE TO AVAILABILITY.
4. FLOOR PLANS ARE DIMENSIONED TO TIMBER STUD FRAME.
5. ALL WORKS MUST BE EXECUTED IN A WORKMANLIKE MANNER AND MUST CONFORM TO THE LATEST APPLICABLE AUSTRALIAN STANDARDS.
6. THESE DRAWINGS SHALL NOT BE ALTERED, REPRODUCED, COPIED IN PART OR IN WHOLE WITHOUT THE WRITTEN PERMISSION FROM ACCESS LIVING GROUP.
7. ALL DIMENSION ARE NOMINAL AND MUST BE VERIFIED ON SITE.



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P +61 3 6289 6601

BRIEF OVERVIEW

FLOORS

BAL 12.5 DOES NOT HAVE ANY REQUIREMENTS FOR CONCRETE SLAB FOOTINGS OR ELEVATED TIMBER FLOORS.

EXTERNAL WALLS:

CLADDING

REQUIREMENTS FOR ALL CLADDING ONLY APPLY TO SECTIONS OF WALL WITHIN THE 400MM RESTRICTIVE ZONE .
ACCEPTABLE CLADDING WITHIN THE 400MM RESTRICTIVE ZONE INCLUDES BRICK VENEER, NON COMBUSTIBLE CLADDING (E.G. HEBEL), >6MM CEMENT SHEET, APPENDIX E1 (E.G. JARRAH) AND APPENDIX F (E.G. MERBAU) TIMBERS. UPPER STOREY WALLS ABOVE ROOFS LESS THAN 18 DEGREES WILL NEED TO COMPLY. THIS COULD IMPACT THE USE OF POLYSTYRENE CLADDING.

MATERIALS NOT LISTED ABOVE (E.G. CEDAR WEATHERBOARDS) CAN'T BE USED WITHIN THE 400MM RESTRICTIVE ZONE .

JOINTS AND WEEPHOLES

JOINTS IN ALL AREAS OF WALLS NEED TO BE SEALED TO PREVENT GAPS GREATER THAN 3MM FROM OCCURRING. AN EXAMPLE WOULD BE ARTICULATION JOINTS. WEEPHOLES MUST BE SEALED WITH PROTECTIVE MESH .

EXTERNAL WINDOWS AND DOORS:

WINDOWS

WINDOW ASSEMBLIES WITHIN THE 400MM RESTRICTIVE ZONE MUST BE METAL OR APPENDIX E2 (E.G. VIC ASH) OR APPENDIX F TIMBER AND MUST HAVE 4MM MINIMUM TOUGHENED GLASS.

ALL OPEN ABLE SECTIONS OF WINDOWS MUST BE SCREENED WITH PROTECTIVE MESH . THESE SCREENS MUST BE SUPPORTED IN METAL OR BUSHFIRE RESISTANT TIMBER FRAMES. SCREENS MUST BE PLACED PRIOR TO THE FINAL INSPECTION.

SIDE HUNG DOORS

THERE ARE SEVERAL RESTRICTIONS ON THE TYPES OF SIDE HUNG DOORS THAT CAN BE USED.

DOORS WILL NEED TO BE EITHER:

- SOLID TIMBER WITH A MINIMUM 35MM THICK; OR
- HOLLOW CORE WITH A 400MM HIGH NON-COMBUSTIBLE KICK PLATE; OR
- GLAZED DOOR FRAMED WITH AN APPENDIX E2 TIMBER (E.G. VIC ASH) AND PROTECTED BY A METAL SCREEN DOOR WITH PROTECTIVE MESH.

ANY GLAZING WITHIN THE 400MM RESTRICTIVE ZONE MUST BE A MINIMUM OF 4MM TOUGHENED.

DOOR FRAMES MUST BE APPENDIX E2 (E.G. VIC ASH) OR APPENDIX F TIMBER, OR TO BE METAL. DOORS MUST BE TIGHT FITTING TO THE FRAMES (<3MM GAPS) AND HAVE WEATHER STRIPS OR DRAUGHT STOPPERS TO THE BOTTOM.

SLIDING DOORS

THERE ARE NO REQUIREMENTS FOR TYPICAL ALUMINIUM FRAMED SLIDING DOORS. THE GLAZING TO THESE DOORS WILL ALREADY COMPLY BASED ON AS1288.

TIMBER FRAMED SLIDING DOORS MUST BE APPENDIX E2 OR APPENDIX F TIMBER.

NOTE: THERE IS NO REQUIREMENT TO PROVIDE SCREENS TO SLIDING DOORS, HOWEVER IF THEY ARE SCREENED PROTECTIVE MESH MUST BE PROVIDED.

GARAGE DOORS

GARAGE DOORS MUST HAVE SEALS TO PREVENT ANY GAPS OVER 3MM. FOR ROLLER/SECTIONAL DOORS, THIS NEEDS TO BE A BRUSH TYPE SEAL. IF USING TIMBER OR OTHER COMBUSTIBLE TILT/PANEL DOORS, THE PORTION OF DOOR WITHIN 400MM OF THE DRIVEWAY MUST BE APPENDIX E1 OR APPENDIX F TIMBER, OR 6MM CEMENT SHEET.

ROOFS

WHERE USED, ROOF VENTS MUST BE PROVIDED WITH PROTECTIVE MESH .
ALL ROOFS NEED TO BE FULLY SARKED. REMEMBER THAT WHEN USING SARKING, EXHAUST FANS WILL NEED TO BE DUCTED OUT TO THE EAVES OR ROOF VENTS INSTALLED.

ALL ROOF PENETRATIONS NEED TO BE SEALED WITH NON-COMBUSTIBLE MATERIAL TO PREVENT ANY GAPS GREATER THAN 3MM. THIS WILL INCLUDE VENT PIPES, SOLAR HOT WATER/PANEL MOUNTS, EVAPORATIVE COOLING MOUNTS ETC. VENT PIPES MUST ALSO BE PROVIDED WITH PROTECTIVE MESH.

EVAPORATIVE COOLING UNITS MUST HAVE EITHER A BUTTERFLY CLOSER AT OR NEAR CEILING LEVEL, OR BE PROVIDED WITH A PROTECTIVE COVER INCORPORATING *PROTECTIVE MESH*.

PLEASE REFER TO AS.3959 FOR SKYLIGHT REQUIREMENTS.

ANY EAVE PENETRATIONS (E.G. EXHAUST VENTS) MUST HAVE *PROTECTIVE MESH*.

DECKS (INCLUDING VERANDAHS, STEPS, RAMPS AND LANDINGS)

THERE IS NO REQUIREMENT TO ENCLOSE THE SUB-FLOOR OF DECKS, HOWEVER IF DECKS DO HAVE THEIR SUB-FLOORS ENCLOSED, MATERIALS USED TO ENCLOSE THE SUB-FLOOR WITHIN THE 400MM RESTRICTIVE ZONE MUST BE APPROVED FOR EXTERNAL WALL. THIS WILL RESTRICT THE TYPE OF BASE BOARDS USED WITHIN 400MM OF THE GROUND.

DECKING MATERIALS ARE ONLY REGULATED WHEN THEY ARE WITHIN 30MM OF A GLAZED ELEMENT (SEE FIGURE D2 ATTACHED). IN THIS ZONE, THE DECKING MUST BE EITHER APPENDIX E1 (E.G. JARRAH), APPENDIX F (E.G. MERBAU), NON-COMBUSTIBLE OR PVC-U. UNLESS DIFFERENT DECKING IS TO BE USED IN FRONT OF DOORS TO REMAINDER OF DECK, ALL DECKING WILL NEED TO COMPLY WITH ONE OF THE ABOVE OPTIONS. PLEASE NOTE THAT THIS WILL APPLY TO ANY RAMPS, STEPS OR LANDINGS (E.G. STEPS OUTSIDE LAUNDRY DOORS ON SLOPING SITES).

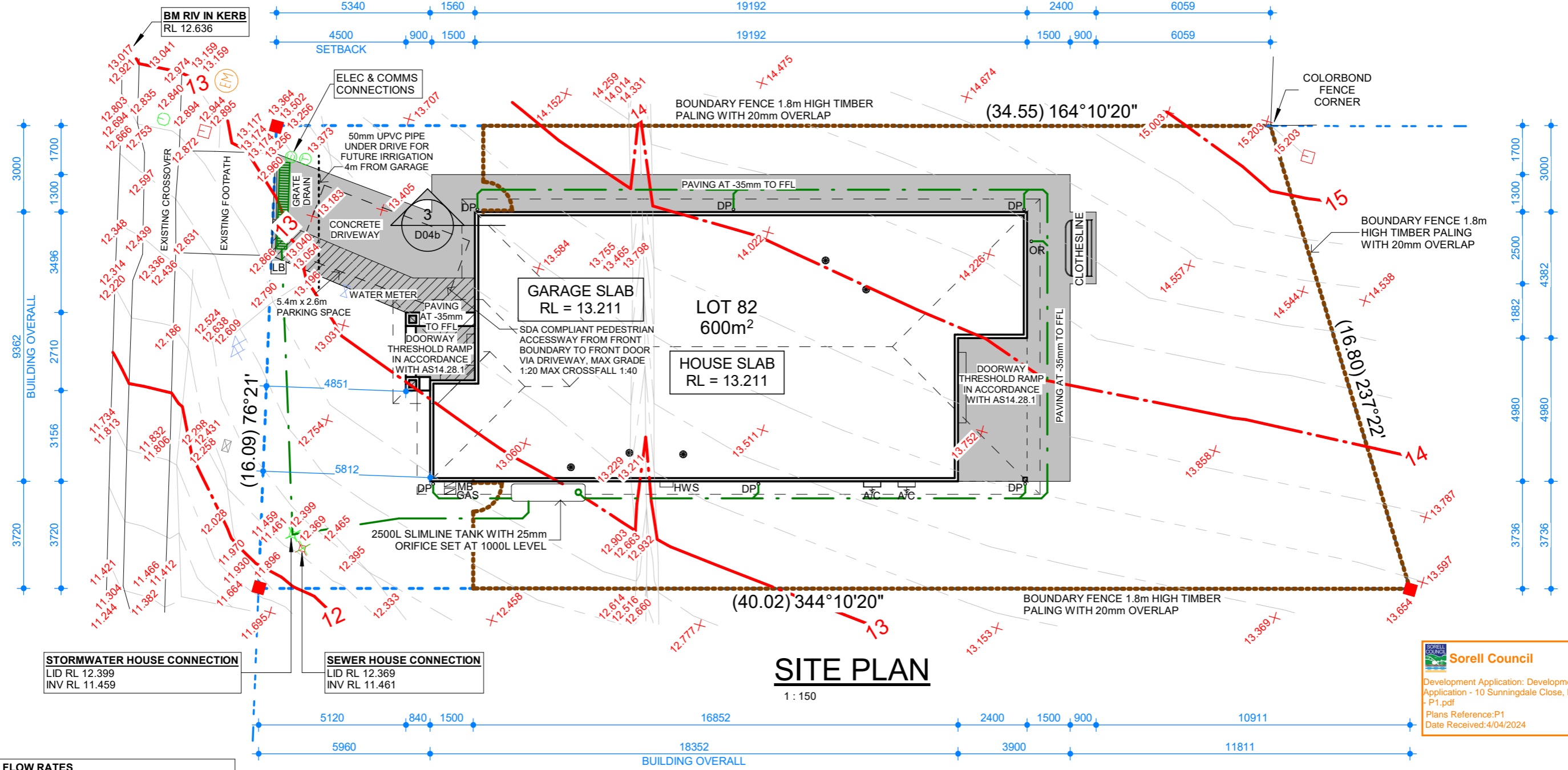
WATER AND GAS SUPPLY PIPES

ALL ABOVE GROUND, EXPOSED WATER AND GAS SUPPLY PIPES MUST BE METAL. THIS WOULD INCLUDE SUPPLY PIPES LEADING TO CENTRAL HEATING UNITS, HOT WATER SERVICES ETC.

Home:	HPS-ABELIA-12.5(05H.02)	Facade:	A-ZARA 01-MONUMENT
Client:	ONE CONTRACT PTY LTD (ACN 665 528 772) ATF THE ONE CONTRACT NO 1 TRUST		
Location:	10 SUNNINGDALE CLOSE, MIDWAY POINT TAS 7171		
Drawing:	NOTES -BUSHFIRE REGULATIONS		

DRAWING DETAILS	
3/04/2024 7:39:53 AM	
SCALE	SHEET SIZE
1 : 100	A3
JOB No:	461N
Drwg No:	D00c
All dimensions to be verified on site	Issue A01

SUNNINGDALE CLOSE



SITE PLAN

1:150

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Development Application: Development Application - 10 Sunningdale Close, Midway Point - P1.pdf
Plans Reference: P1
Date Received: 4/04/2024

EXHAUST FANS - FLOW RATES
- 25 LTR/SEC FOR BATHROOMS AND SANITARY COMPARTMENTS,
- 40 LTR/SEC FOR KITCHENS AND LAUNDRIES.
ALL EXHAUST FANS TO BE DUCTED TO OUTSIDE AIR. SEE ROOF PLAN DRWG NO D08 FOR NUMBER OF AND APPROX. LOCATION OF WHIRLYBIRD ROOF VENTS.

EXHAUST FROM BATHROOM, SANITARY COMPARTMENT OR LAUNDRY
AS PER CLAUSE 3.8.7.3 OF NCC 2019 EXHAUST FROM A BATHROOM, SANITARY COMPARTMENT, OR LAUNDRY MUST BE DISCHARGED DIRECTLY VIA A SHAFT OR DUCT TO OUTDOOR AIR, OR TO A ROOF SPACE THAT IS VENTILATED IN ACCORDANCE WITH 3.8.7.4.

- IMPORTANT NOTES:**
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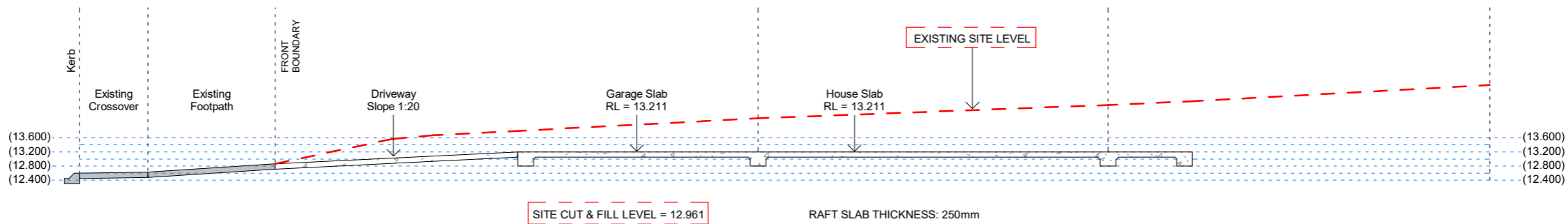
Home: **HPS-ABELIA-12.5(05H.02)**
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Location: **10 SUNNINGDALE CLOSE, MIDWAY POINT TAS 7171**
Drawing: **SITE PLAN**

Facade: **A-ZARA 01-MONUMENT**

DRAWING DETAILS	
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Drwg No:	D01a
Issue	A04

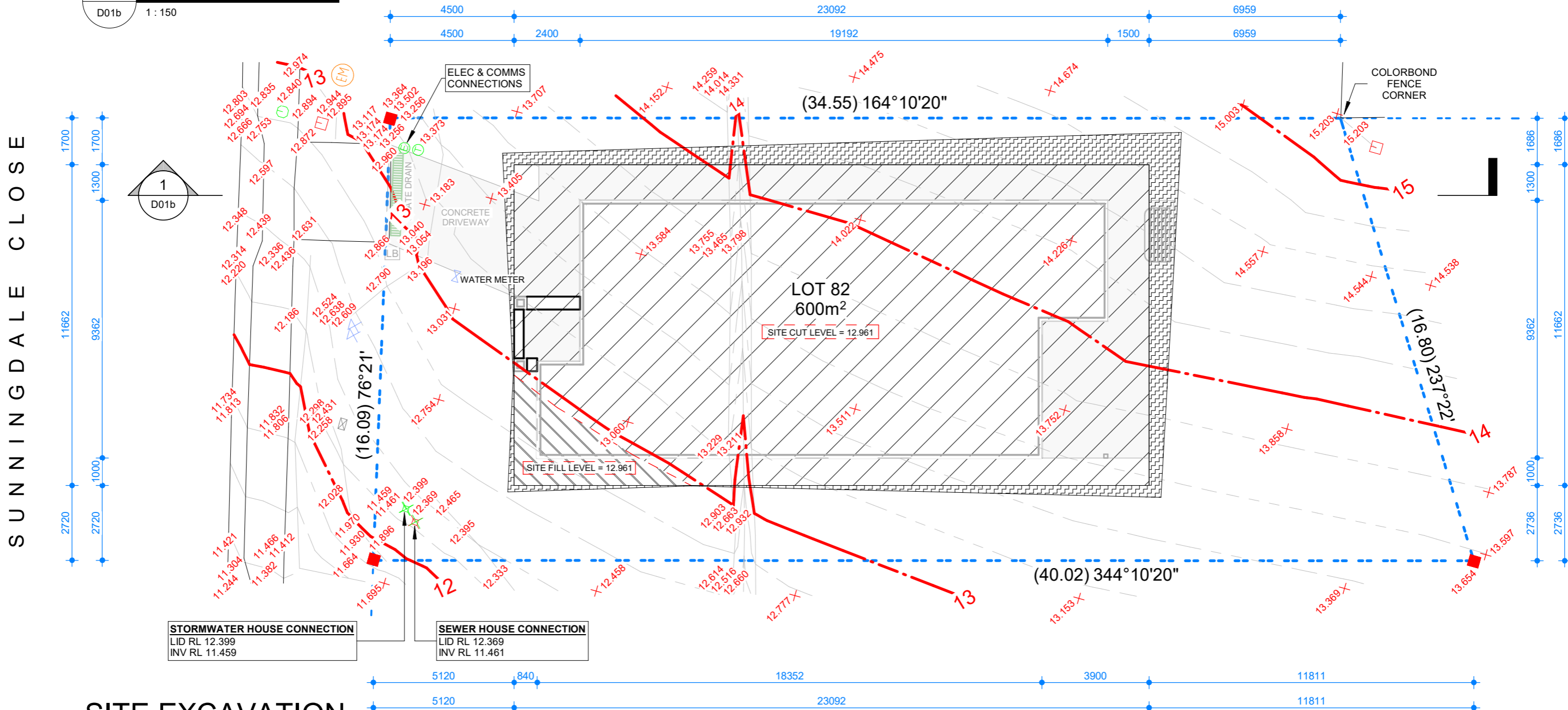
All dimensions to be verified on site

LEGEND	
	DENOTES CUT
	DENOTES FILL
	DENOTES BATTER



1 SITE SECTION

D01b 1:150



SITE EXCAVATION

1:150

- IMPORTANT NOTES:**
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 Location: **10 SUNNINGDALE CLOSE, MIDWAY POINT TAS 7171**
 Drawing: **SITE EXCAVATION**

Facade: **A-ZARA 01-MONUMENT**

DRAWING DETAILS	
3/04/2024 7:39:55 AM	
SCALE	SHEET SIZE
As indicated	A3
JOB No:	461N
Drwg No:	D01b
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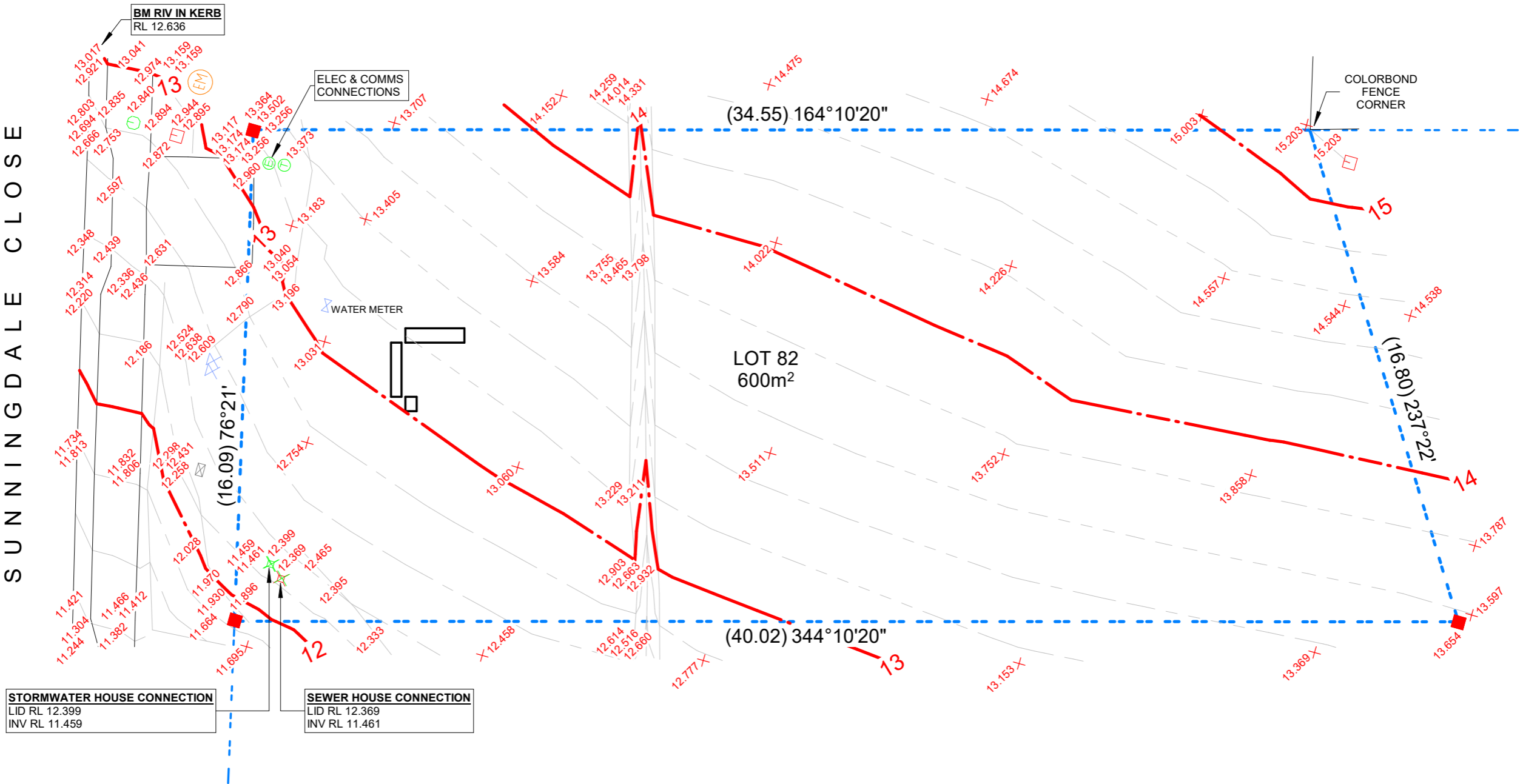


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SUNNINGDALE CLOSE

SITE SURVEY

1 : 150



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LEGEND					
	BENCH MARK		CULVERT 100		METER WATER
	TITLE PEG		CULVERT 150		POLE
	NAIL		TELSTRA PIT		ELECTRICITY MAIN
	NATURAL SURFACE		SEWER MANHOLE		CABLE HYDRO UNDERGROUND
	STORMWATER MANHOLE		SEWER HOUSE CONNECTION		CABLE TELSTRA UNDERGROUND
	STORMWATER HOUSE CONNECTION		STOP VALVE		

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 Drawing: **SITE SURVEY**

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3/04/2024 7:39:56 AM	
SCALE	SHEET SIZE
As indicated	A3
JOB No:	461N
Drwg No:	D01c
Issue	A04

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FLOOR FINISHES:
ALL FLOOR COVERINGS TO BE FIRM AND EVEN AND FEATURE A TRANSITION BETWEEN ABUTTING SURFACES (A MAXIMUM VERTICAL TOLERANCE OF 3mm OR 5mm BETWEEN SURFACES IS ALLOWABLE PROVIDED THE LIP IS ROUNDED OR BEVELED.)

ALL INTERNAL FLOOR FINISHES SHALL HAVE A MINIMUM SLIP RESISTANCE OF P3 OR R10.

EXHAUST FANS:
EXHAUST FANS TO BE 25 LITRES PER SECOND (BATHROOMS AND TOILET) OR 40 LITRES PER SECOND (KITCHEN AND LAUNDRY)

DOORS:
ALL INTERNAL DOORS AND FRONT ENTRY DOOR TO BE SOLID CORE. ALL OTHER DOORS TO BE STANDARD.

ROBE DOORS ARE STANDARD.

WET AREAS:
12mm VILLABOARD ALLOWED TO ALL WALLS IN BATHROOM AND WC.

1. ALL WATER CLOSETS TO HAVE REMOVABLE HINGES TO THE DOORS IF THERE IS LESS THAN 1.2m CLEARANCE BETWEEN THE CLOSET PAN AND THE DOORWAY.
2. IF TIMBER FLOORS ARE SUPPLIED, DIRECTION INDICATED ON DRAWINGS IS NOMINAL.
3. ALL PLUMBING TO BE CONCEALED AS PER REQUIRED.

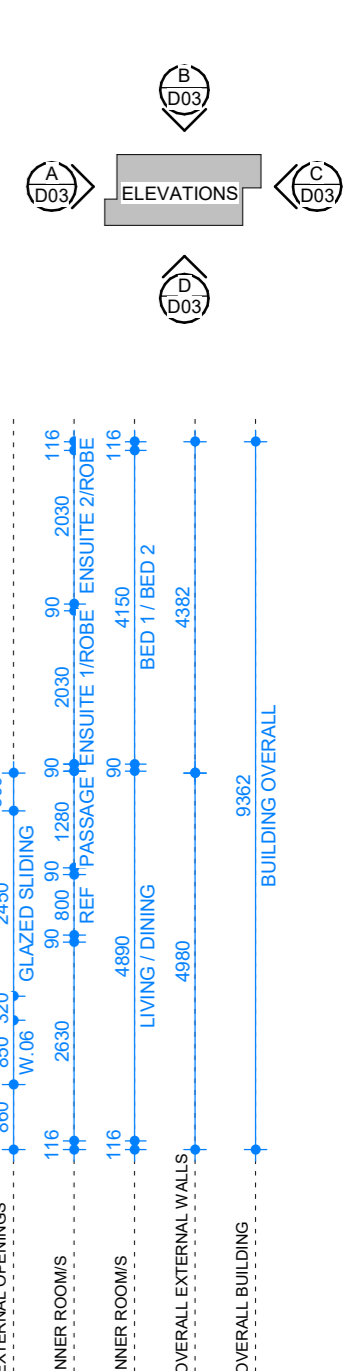
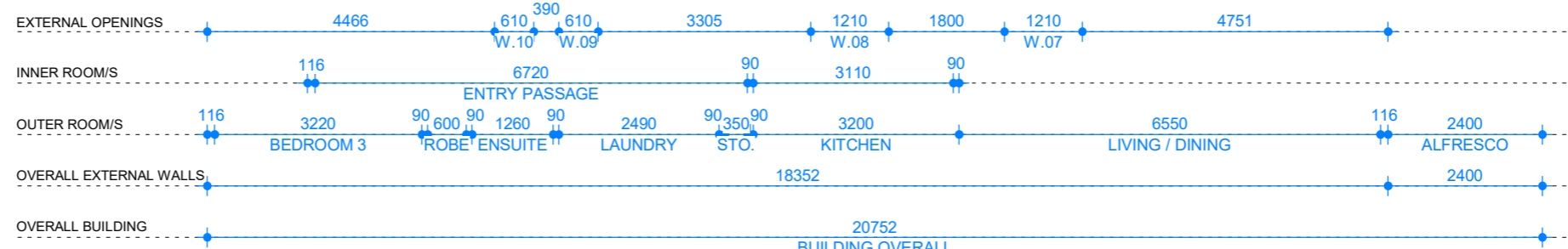
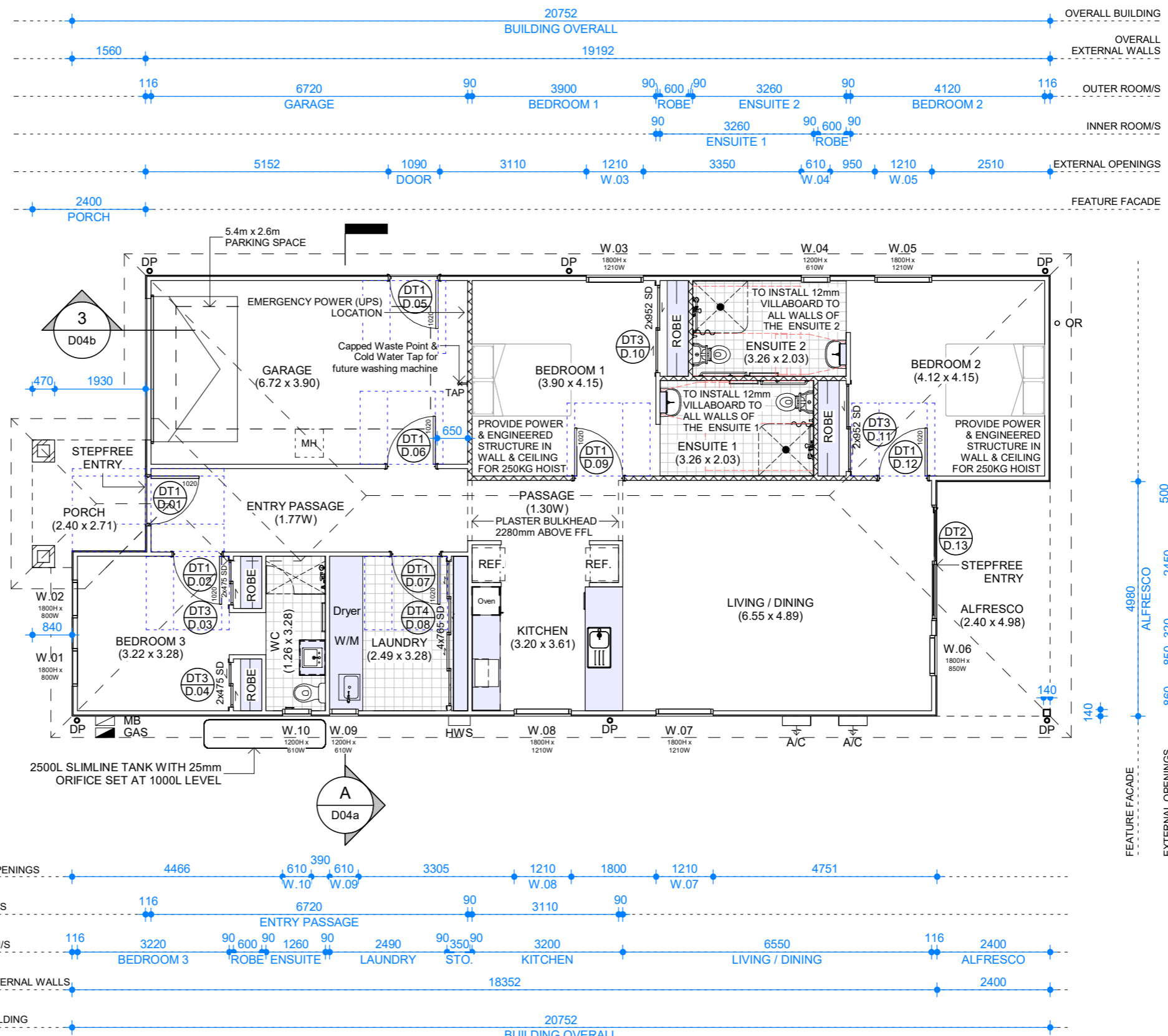
CEILING HOIST PROVISION:

1. BEDROOMS SHALL HAVE A PROVISION FOR POWER AND INBUILT STRUCTURE, CAPABLE OF INSTALLATION OF A CONSTANT CHARGE CEILING HOIST.
2. THE HOIST SHALL BE CAPABLE OF GOING ACROSS THE BED AND DOWN THE BED.
3. MIN LOAD CAPACITY OF THE HOIST SHALL BE 250KG.
4. HOIST IS TO BE CAPABLE OF BEING EITHER CEILING MOUNTED OR WALL MOUNTED.
5. STRUCTURE FOR HOIST IN BEDROOMS 1 & 2 TO BE IN ACCORDANCE WITH ENGINEER'S DETAILS.

LEGEND	
	BUILDER TO PROVIDE SOUND INSULATION TO BEDROOMS 1 & 2 AS SHOWN HATCHED.
	MAN HOLE 600X600 (APPROX. POSITION)
	REVERSE CYCLE AIR CONDITIONING
	CONTROL JOINT
LEGEND - SERVICES	
	HOT WATER SERVICE
	METER BOX
	GAS METER
	OVERFLOW RISER

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HOUSE SIZE
9.36m x 20.75m

BLOCK SIZE
16.09m x 40.02m

AREAS

Living	145.7m ²
Alfresco	12.0m ²
Garage	27.5m ²
Porch	5.9m ²
Total Area	191.1m²

Site Coverage 31.85%



FLOOR PLAN
1 : 100

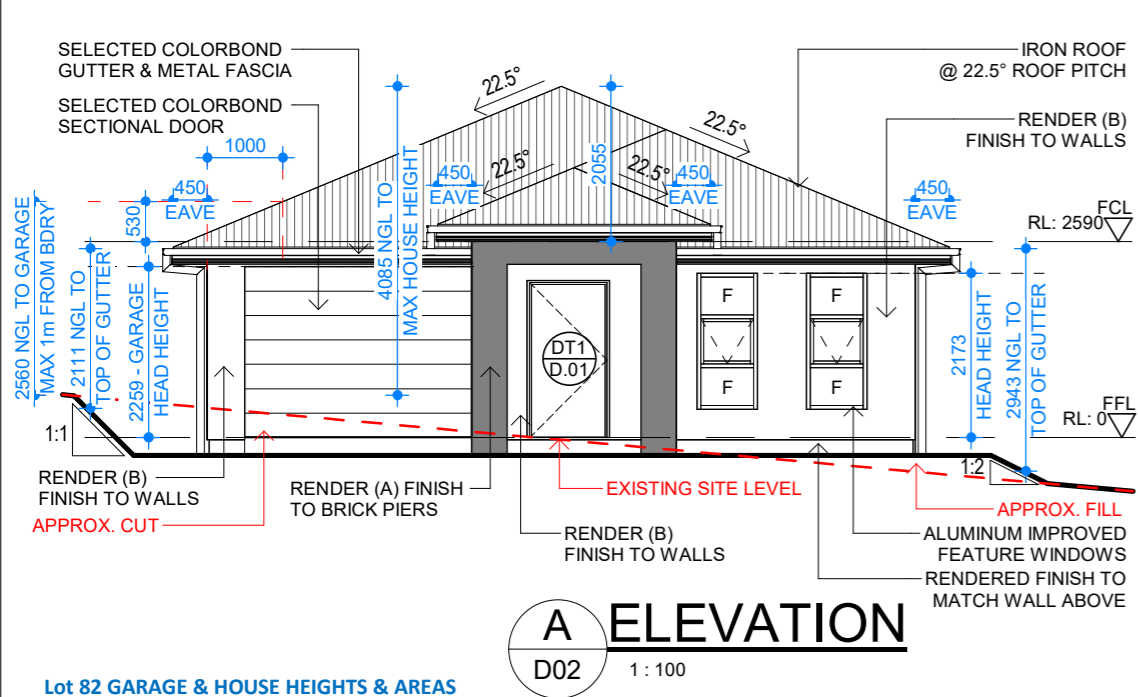
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Home: **HPS-ABELIA-12.5(05H.02)**
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Location: **10 SUNNINGDALE CLOSE, MIDWAY POINT TAS 7171**
Drawing: **FLOOR PLAN**

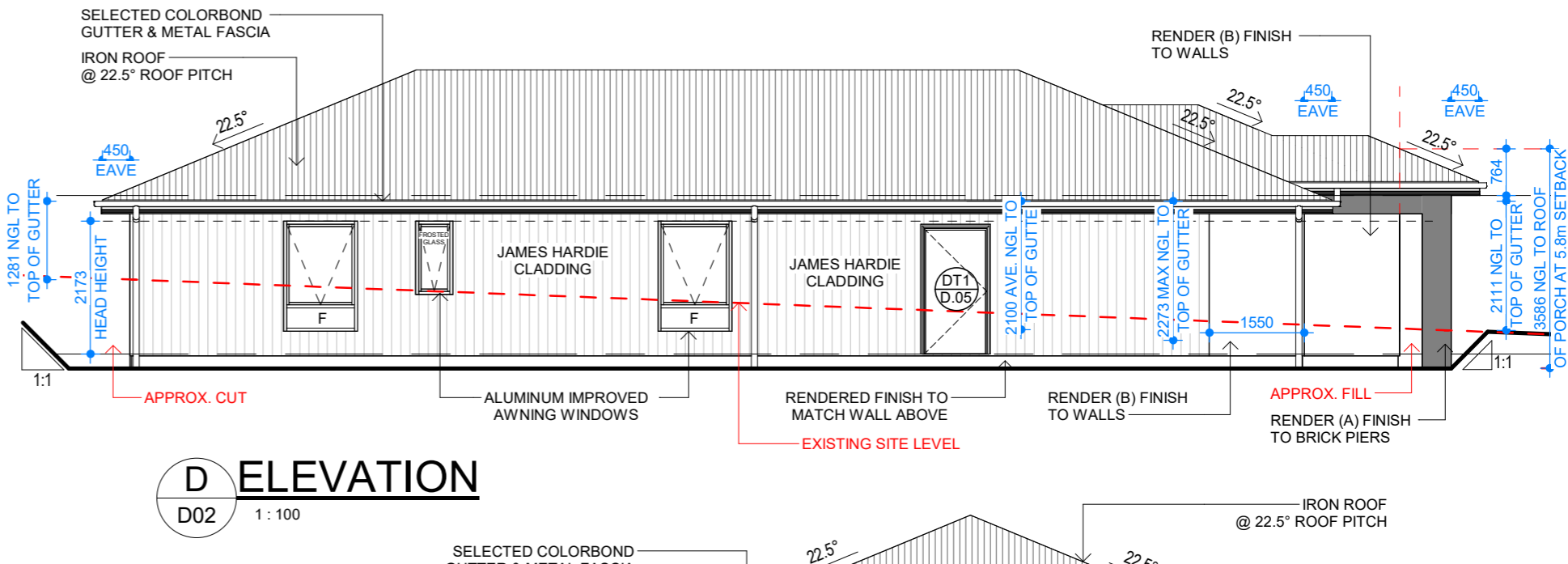
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SCALE	SHEET SIZE
1 : 100	A3
JOB No:	461N
Drwg No:	D02
Issue	A04

All dimensions to be verified on site



A ELEVATION
D02 1:100



D ELEVATION
D02 1:100

Lot 82 GARAGE & HOUSE HEIGHTS & AREAS

GARAGE ROOF HEIGHT AT BOUNDARY		
Ceiling to roof at boundary	70	mm
Ceiling height of house	2,590	mm
Garage setdown	0	mm
RL of garage slab	13,211	mm
HIGHEST NGL RL of garage at boundary	13,944	mm
LOWEST NGL RL of garage at boundary	13,598	mm
AVERAGE NGL RL of garage at boundary	13,771	mm
AVERAGE GARAGE HT @ BOUNDARY from NGL 2,100 mm		
MAXIMUM GARAGE HT @ BOUNDARY from NGL 2,273 mm		
Roof rise over 1m = 370mm (22.5°) Ceiling -> 1m point 530 mm		
GARAGE HT 1m in from BOUNDARY from NGL 2,560 mm		

HOUSE MAX HEIGHT

Ceiling Level to Highest Point	2,055	mm
MAX HEIGHT OF HOUSE from NGL	4,085	mm

PORCH MAX HEIGHT

Ceiling Level to Highest Point at 5.8m setback line	764	mm
NGL at Forward Most Point (at 5.8m setback line)	12,979	mm
MAX HEIGHT OF PORCH from NGL	3,586	mm

LOT AREAS

Site Dimensions	16.09	40.02	m x m	%
Total Site Area	600.00	m2		
Permitted Building Area 60% of Total Site Area	360.00	m2		
TOTAL BUILDING AREA	191.10	m2		31.85%
Total nonpermeable area - Driveway & Concrete Paths	71.0	m2		11.8%
TOTAL PERMIABLE AREA	337.9	m2		56.3%

LEGEND - FINISHES		LEGEND - SERVICES	
[Pattern]	JAMES HARDIE CLADDING	[Symbol]	HWS HOT WATER SERVICE
[Pattern]	RENDER (A) FINISH	[Symbol]	MB METER BOX
[Pattern]	RENDER (B) FINISH	[Symbol]	GAS GAS METER

AVERAGE GARAGE WALL HEIGHT

WALL LENGTH:	6.84m
WALL AREA:	14.36m ²
AVERAGE WALL HEIGHT:	2.10m

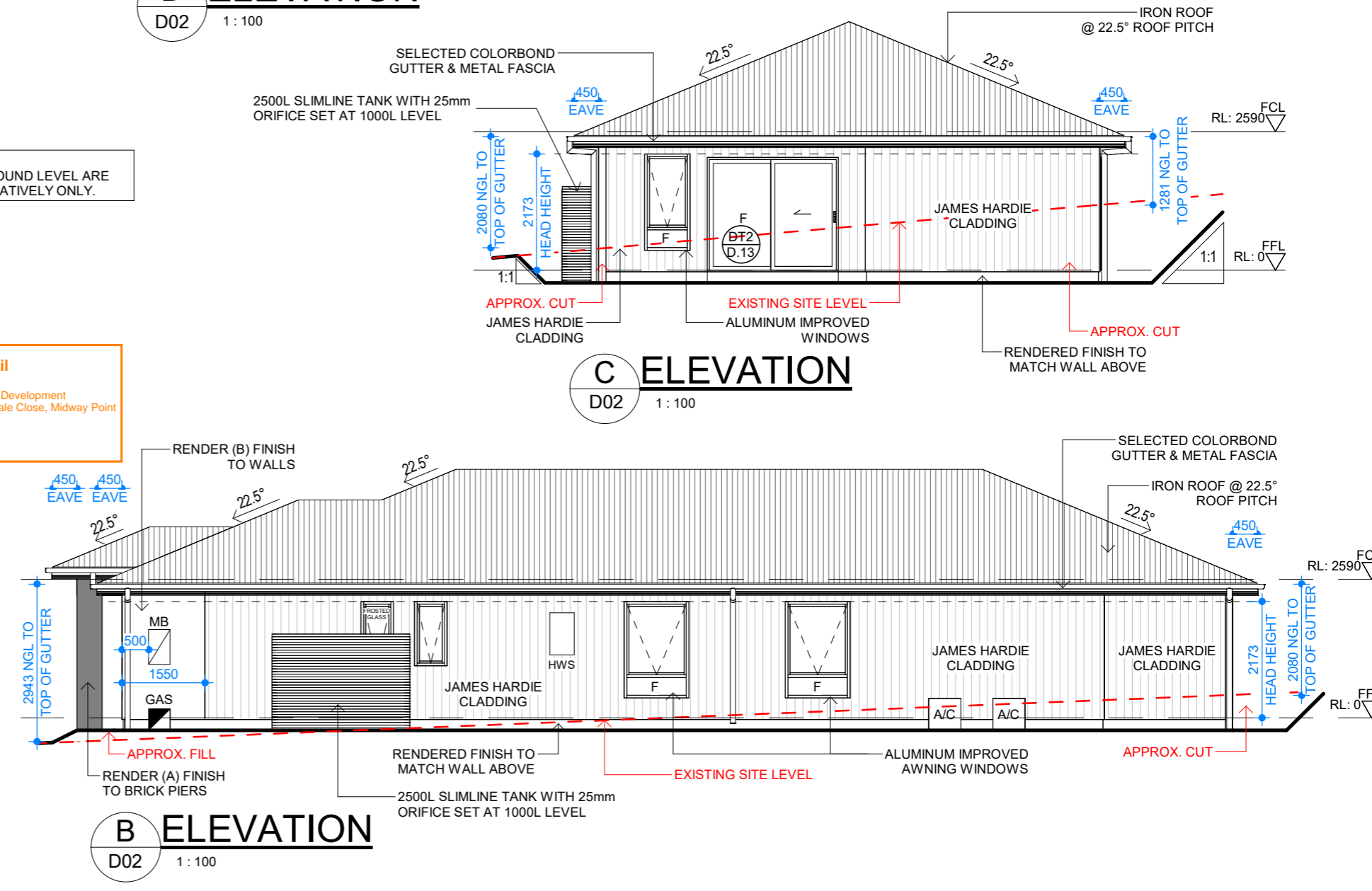
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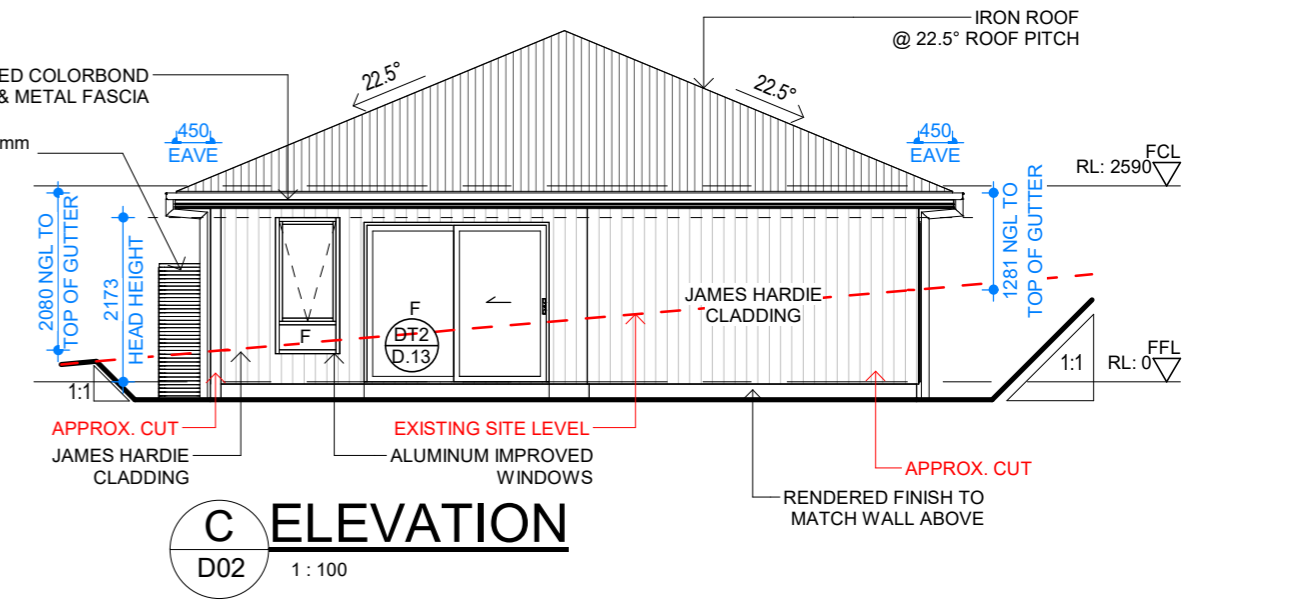
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NOTES:
NATURAL GROUND LEVEL ARE SHOWN INDICATIVELY ONLY.

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B ELEVATION
D02 1:100



C ELEVATION
D02 1:100

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Drawing: **ELEVATIONS**

Facade: **A-ZARA 01-MONUMENT**

DRAWING DETAILS	
3/04/2024 7:39:58 AM	
SCALE	SHEET SIZE
1:100	A3
JOB No:	461N
Drwg No:	D03a
Issue	A04

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GENERAL NOTES

GENERAL NOTES:

1. ALL EXTERNAL WINDOWS AND DOOR ARE TO BE DESIGNED AND TESTED IN ACCORDANCE WITH AS 2047, INCLUDING PROVISIONS FOR SUBSILLS AND FLASHING IN ANY PROPRIETARY SYSTEMS OFFERED FOR THIS PRODUCT.
2. ALL GLAZING SHALL BE IN ACCORDANCE WITH AS 1288-2006 WHEREIN GLAZING WITHIN 500mm OF THE FLOOR LEVEL SHALL BE 5mm THICKENED ANNEALED, GLAZED DOORS ASSOCIATED SIDE PANELS SHALL BE 5.38mm LAMINATED SAFETY GLASS AND BATHROOM WINDOWS WITHIN 1.5m OF THE BATH FOR 500mm FROM THE SHOWER ENCLOSURE SHALL BE 3mm TOUGHENED SAFETY GLASS
3. WATERPROOFING OF WET AREAS,BEING BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH AS 3274: WATERPROOFING WET AREA IN RESIDENTIAL BUILDINGS.
4. ALL EXHAUST FANS TO BE FITTED WITH DAMPERS AS PER NCC.
5. EXTERNAL DOORS TO BE WEATHER STRIPPED AND WINDOWS TO COMPLY WITH AS 2047.
6. ALL GAPS FROM SERVICE PENETRATIONS ETC ARE TO BE SEALED. AS SHOULD INTERNAL DOORS TO GARAGE.
7. ALL CHIMNEYS AND FLUES TO HAVE DAMPERS AS PER BCA REQUIREMENTS 3.12.3.1, IF APPLICABLE
8. (LOH) ALL WATER CLOSETS TO HAVE REMOVABLE HINGES TO THE DOORS IF THERE IS LESS THAN 1.2M CLEARANCE BETWEEN THE CLOSEST PAN & THE DOORWAY.
9. WET AREAS IN ACCORDANCE WITH AUST. STANDARD 3740 - (2021)
10. MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH B.C.A. P.2.4.5
11. MAN HOLE LOCATION MAY BE CHANGED DUE TO TRUSS LAYOUT
12. DIMENSIONS RELATING TO FFL & FCL REFER TO OVERALL TOP & BOTTOM PLATE DIMENSIONS NOT ACTUAL CEILING HEIGHTS.
13. BACKFILL TO EXTERNAL DOORS NOT TO BE GREATER THAN 190MM IN ACCORDANCE WITH NCC '3.9.1.5 THRESHOLDS'

OPENING TO WINDOWS

PROVIDE 125mm RESTRICTION TO ALL OPENING WINDOWS IN BEDROOMS WHERE THE DIFFERENCE BETWEEN THE FLOOR LEVELS OF THE BEDROOM AND THE OUTSIDE FINISHED SURFACE LEVEL IS GREATER THAN 2.0m. IN ACCORDANCE WITH BCA.

CONTROL JOINTS

- CONTROL JOINT IN BRICKS TO BE IN ACCORDANCE WITH AS 3700-2001. ENGINEERS DOCUMENTATION REGARDING CONTROL JOINTS OVER-RIDES THESE DRAWINGS.
- PROVIDE CONTROL TO ALL INTERNAL CORNERS

HEAD HEIGHTS

- WINDOW HEAD HEIGHTS MEASURED FROM THE FINISHED FLOOR LEVEL (SLAB) OF THE HOUSE.
- ALL WINDOW HEAD HEIGHTS INDICATED ARE NOMINAL AND MAY VARY DUE TO VARIANCES IN BRICK SIZES.

NOTE:
FC/SOFFIT SHEET TO
PORTICO CEILING
CONTINUE TO EAVE LINE

NOTE:
ENGINEERS TO DESIGN
ALL REQUIRED RAMPS
TO EXTERNAL
ENTRANCES/PORCH.

NOTE:

WINDOW CONTROLS TO BE LOCATED WITHIN EASY REACH FROM EITHER A SEATED OR STANDING POSITION (BETWEEN 600mm TO 1100mm ABOVE FFL). DOORWAYS SHALL HAVE DOOR HANDLES INSTALLED AT BETWEEN 900mm TO 1100mm ABOVE THE FFL. DOOR HANDLES SELECTION AND LOCATION SHALL COMPLY WITH AS1428.1 AS PER THE DOOR HANDLE DETAIL.

GARAGE INTERNAL CONSTRUCTION

THE INSIDE OF THE GARAGE IS TO INCLUDE THE FOLLOWING:

A. CONTROL OF WATER FROM THE GARAGE:
I. A 15mm MINIMUM HEIGHT THRESHOLD GRADED SILL (OR OTHER TYPE OF DURABLE GRADED UPSTAND) IS INSTALLED ACROSS THE PEDESTRIAN DOORWAY BETWEEN THE GARAGE AND DWELLING. THE UPSTAND/THRESHOLD IS TO BE SEALED TO THE CONCRETE USING A WATERPROOF SEALANT; OR
II. THE GARAGE FLOOR IS GRADED WITH A MINIMUM 1:100 FALL TOWARDS THE GARAGE VEHICLE ENTRY DOOR.

B. THE GARAGE SKIRTING IS TO BE A WATER RESISTANT MATERIAL, WHICH MAY INCLUDE NATURAL TIMBER SUCH AS TREATED KILN DRIED PINUS RADIATA (INCLUDING FINGER JOINTED PINE), HARDWOOD AND THE LIKE. THE SKIRTING IS TO BE SEALED TO THE SLAB WITH A MINIMUM 5mm THICK BEAD OF VISIBLE WATERPROOF FLEXIBLE SEALANT.

IMPORTANT NOTES:

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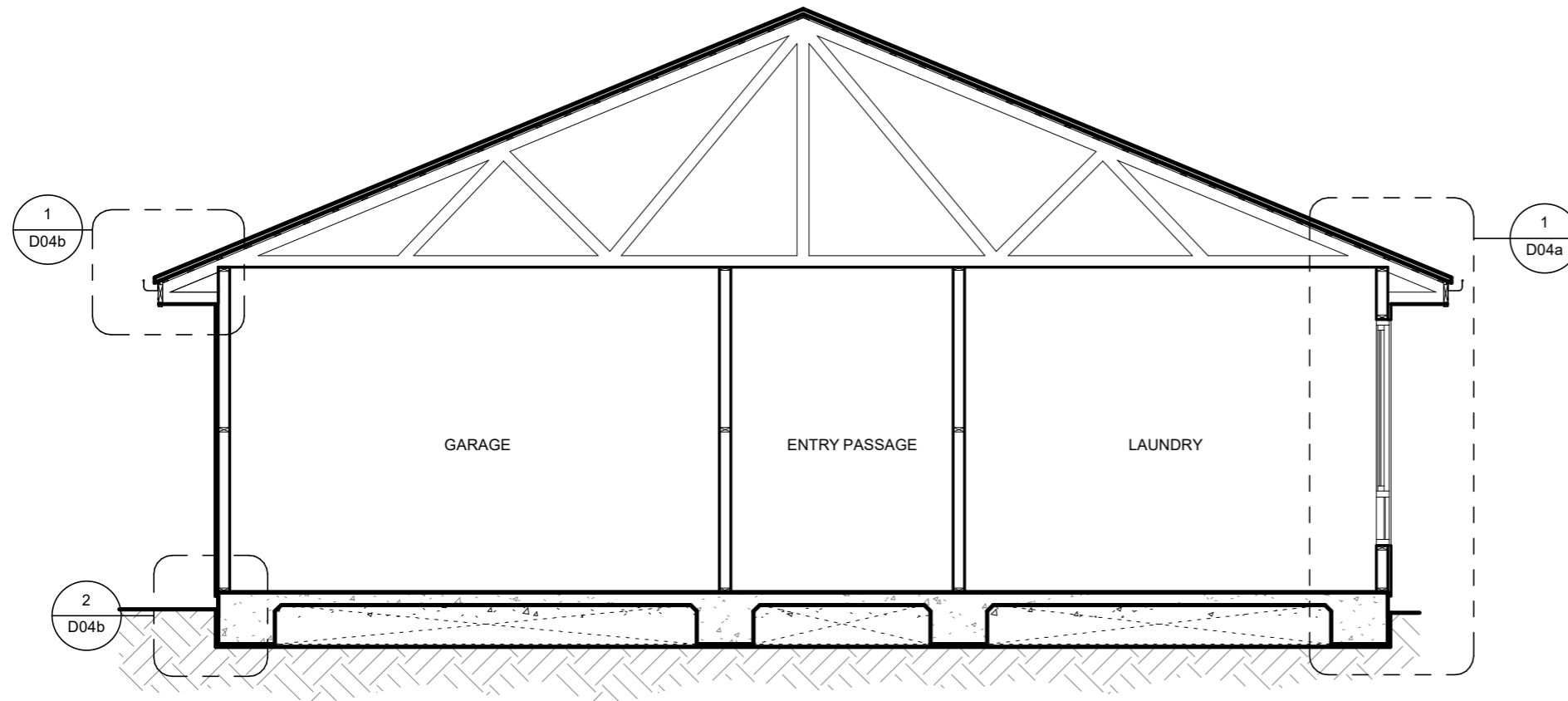
1/37 Ascot Dr, Huntingfield TAS 7055
P +61 3 6289 6601

Home: **HPS-ABELIA-12.5(05H.02)**
Client: **ONE CONTRACT PTY LTD (ACN 665 528 772) ATF THE ONE CONTRACT NO 1 TRUST**
Location: **10 SUNNINGDALE CLOSE, MIDWAY POINT TAS 7171**
Drawing: **ELEVATIONS - NOTES**

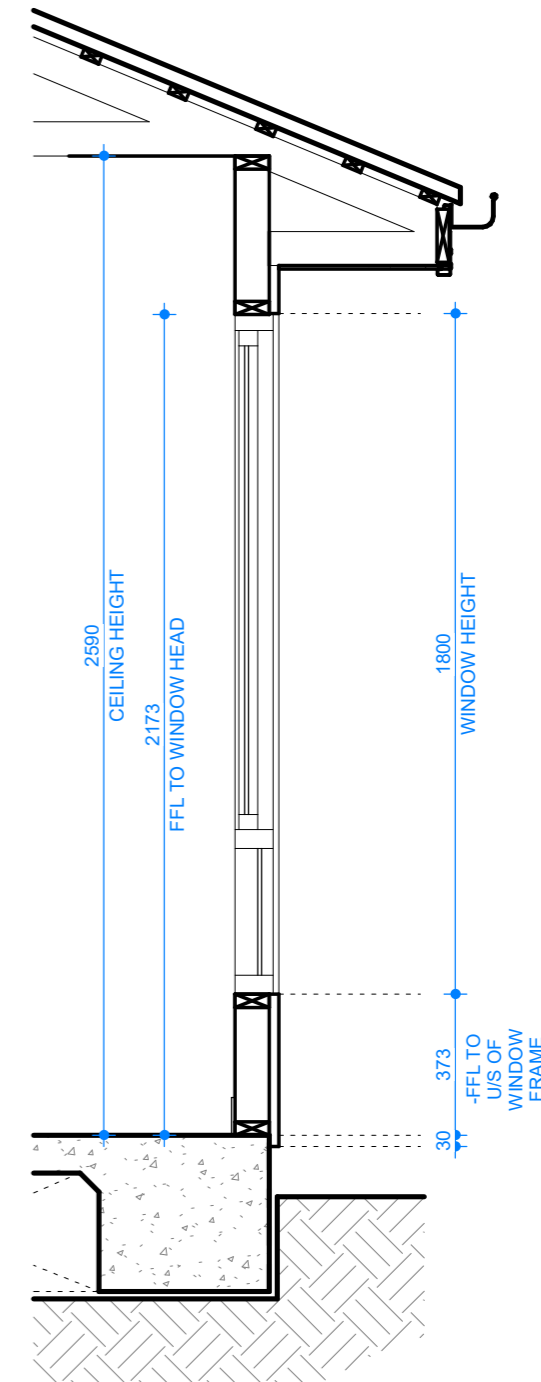
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3/04/2024 7:39:58 AM	
SCALE	SHEET SIZE
1 : 100	A3
JOB No:	461N
Drwg No:	D03b
Issue	A04

All dimensions to be verified on site



A SECTION
D02 1 : 50



1 TYP. SLAB REBATE DETAIL
D04a 1 : 20

Sorell Council
Development Application: Development
Application - 10 Sunningdale Close, Midway Point
- P1.pdf
Plans Reference: P1
Date Received: 4/04/2024

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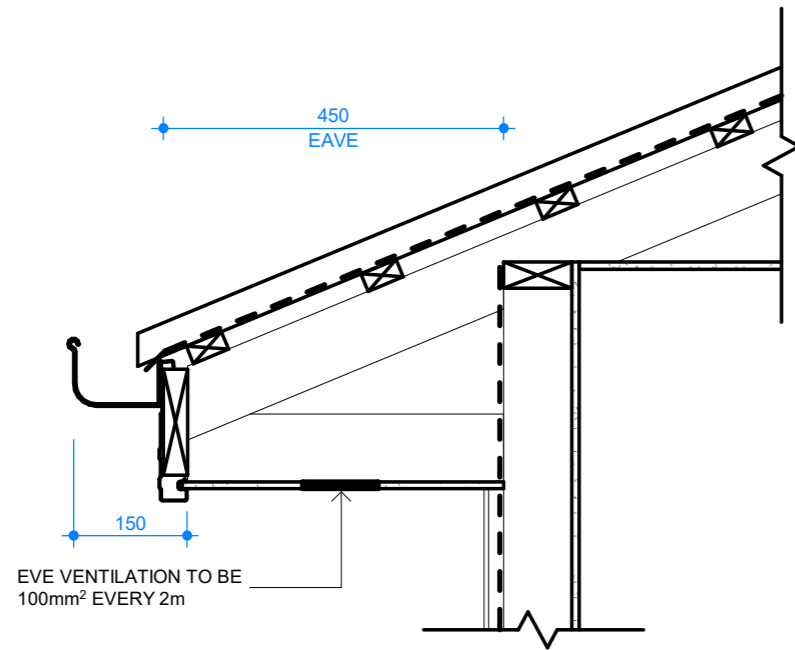
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Facade: **A-ZARA 01-MONUMENT**

Drawing: **SECTIONS**

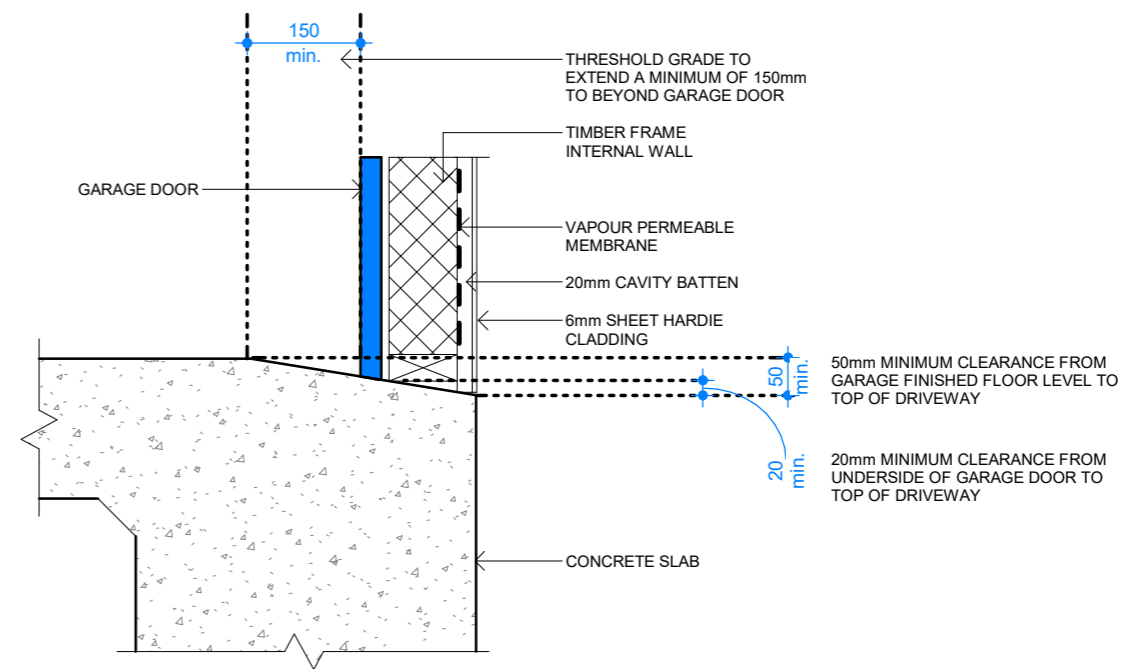
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SCALE	SHEET SIZE
As indicated	A3
JOB No:	461N
Drwg No:	D04a
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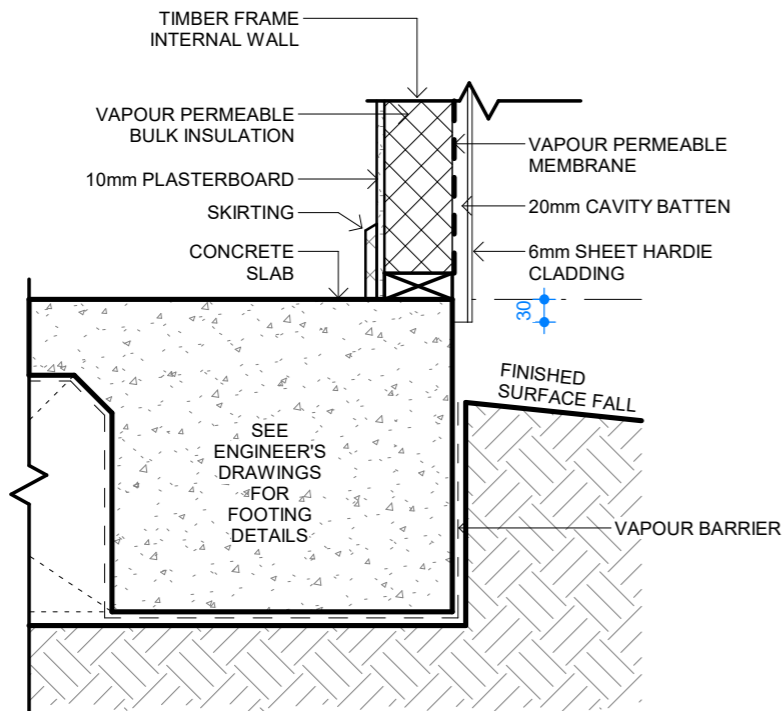
1 TYP. GUTTER DETAIL -TOP OF WALL

D04a 1 : 10



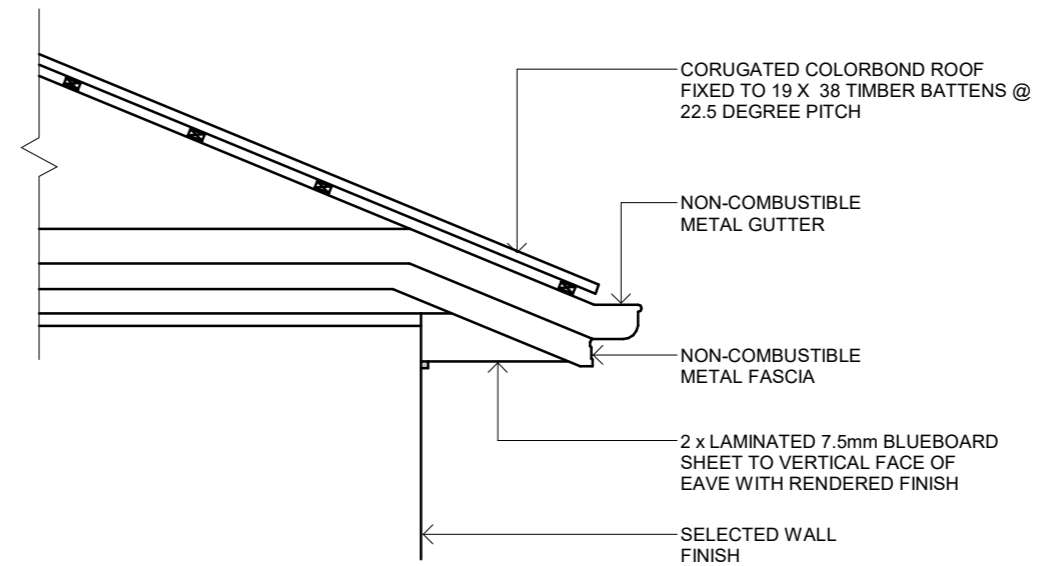
3 GARAGE GRADED THRESHOLD DETAIL

D01a 1 : 10



2 TYP. SLAB REBATE DETAIL

D04a 1 : 10



EAVES DETAIL 1.0M

1 : 10

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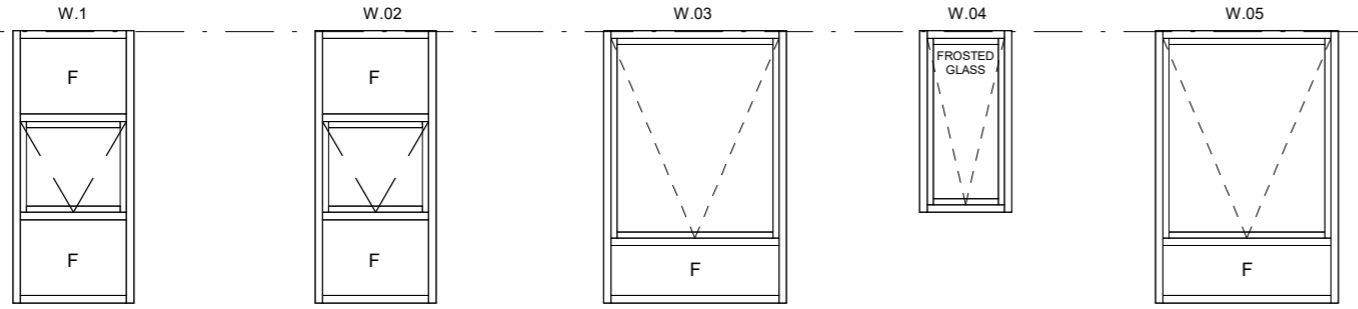
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 Drawing: **SECTIONS - TYPICAL**

Facade: **A-ZARA 01-MONUMENT**

DRAWING DETAILS	
3/04/2024 7:39:59 AM	
SCALE	SHEET SIZE
1 : 10	A3
JOB No:	461N
Drwg No:	D04b
Issue	A04

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WINDOW 2173 AFFL
HEAD HT

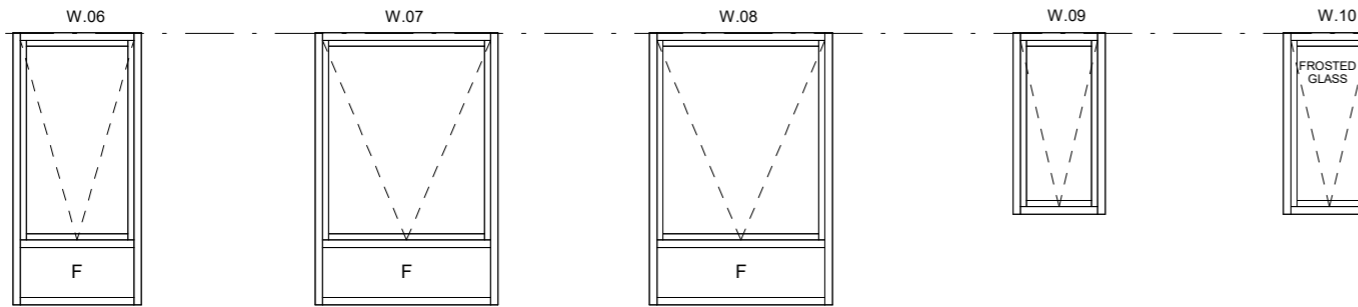


FFL 0

WINDOW SCHEDULE

WINDOW NO.	DESCRIPTION	HEIGHT	WIDTH	HEAD HEIGHT
W.01	1 Panel Wide Awning Window - 1 Opening Sash, Fixed Top & Bottom Panel	1800	800	2173
W.02	1 Panel Wide Awning Window - 1 Opening Sash, Fixed Top & Bottom Panel	1800	800	2173
W.03	1 Panel Wide Awning Window - 1 Opening Sash, 1 Fixed Bottom Panel	1800	1210	2173
W.04	1 Panel Wide Awning Window - 1 Opening Sash Only	1200	610	2173
W.05	1 Panel Wide Awning Window - 1 Opening Sash, 1 Fixed Bottom Panel	1800	1210	2173
W.06	1 Panel Wide Awning Window - 1 Opening Sash, 1 Fixed Bottom Panel	1800	850	2173
W.07	1 Panel Wide Awning Window - 1 Opening Sash, 1 Fixed Bottom Panel	1800	1210	2173
W.08	1 Panel Wide Awning Window - 1 Opening Sash, 1 Fixed Bottom Panel	1800	1210	2173
W.09	1 Panel Wide Awning Window - 1 Opening Sash Only	1200	610	2173
W.10	1 Panel Wide Awning Window - 1 Opening Sash Only	1200	610	2173

WINDOW 2173 AFFL
HEAD HT



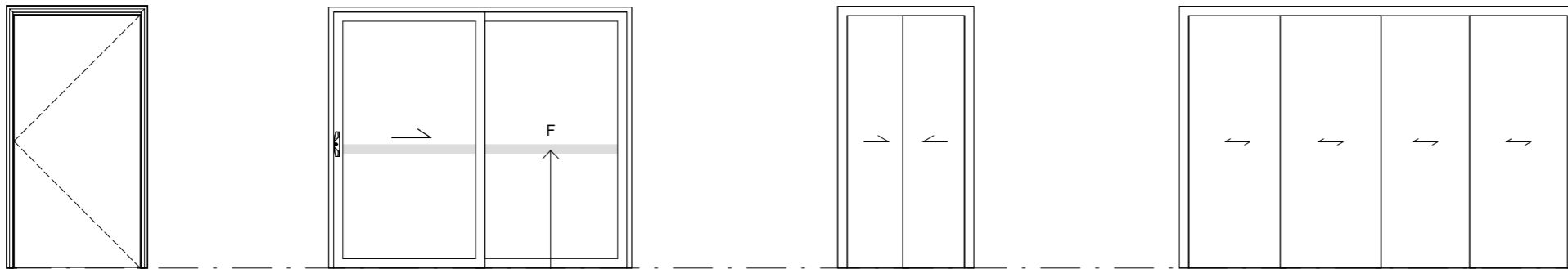
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DOOR SCHEDULE

DOOR NO.	DOOR TYPE	DESCRIPTION	WIDTH	HEIGHT
D.01	DT1	Single Swing Solid-Core Door	1020	2040
D.02	DT1	Single Swing Solid-Core Door	1020	2040
D.03	DT3	2 Panel Robe Sliding Door	950	2040
D.04	DT3	2 Panel Robe Sliding Door	950	2040
D.05	DT1	Single Swing Solid-Core Door	1020	2040
D.06	DT1	Single Swing Solid-Core Door	1020	2040
D.07	DT1	Single Swing Solid-Core Door	1020	2040
D.08	DT4	4 Panel Robe Sliding Door	3060	2040
D.09	DT1	Single Swing Solid-Core Door	1020	2040
D.10	DT3	2 Panel Robe Sliding Door	1854	2140
D.11	DT3	2 Panel Robe Sliding Door	1854	2140
D.12	DT1	Single Swing Solid-Core Door	1020	2040
D.13	DT2	Glazed Aluminium Sliding Door - 1 Fixed Panel	2450	2110

WINDOW SCHEDULE

1 : 50



DT1
SOLID CORE TIMBER
SINGLE SWING DOOR

DT2
GLAZED ALUMINIUM
SLIDING DOOR
(FOR ORIENTATION
REFER TO BUILDING
ELEVATIONS)

SOLID
IDENTIFICATION
STRIP 75mm WIDE

DT3
2 PANEL ROBE/LINEN
SLIDING DOOR

DT4
4 PANEL ROBE/LINEN
SLIDING DOOR

DOOR TYPE ELEVATION

1 : 50

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Location: **10 SUNNINGDALE CLOSE, MIDWAY POINT TAS 7171**
Drawing: **WINDOW & DOOR SCHEDULE**

Facade: **A-ZARA 01-MONUMENT**

DRAWING DETAILS

3/04/2024 7:39:59 AM

SCALE SHEET SIZE

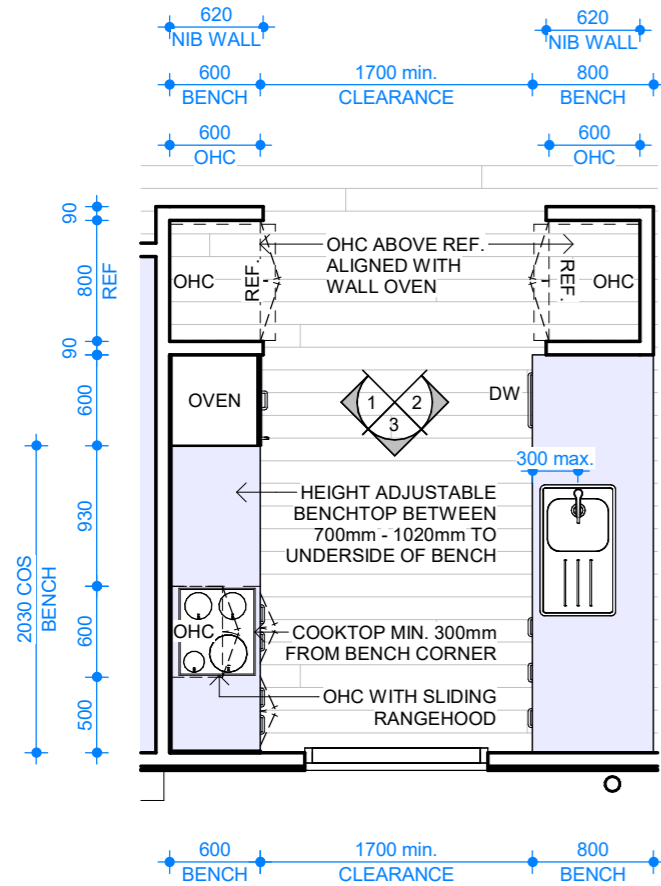
As indicated A3

JOB No: **461N**

Drwg No: **D05** Issue **A04**

All dimensions to be verified on site

NOTE:
1. SOLID IDENTIFICATION STRIP 75mm WIDE REQUIRED TO GLAZING BETWEEN 900mm TO 1000mm FFL FOR PREVENTION OF ACCIDENTAL MOVEMENT.
2. WINDOW & DOOR GLAZING SPECIFICATIONS:
- ESSENTIAL 52mm AWNING WINDOW (CLEAR DOUBLE GLAZED) – U-VALUE=4.1 SHGC=0.57
- SIGNATURE 100mm SLIDING DOOR (CLEAR DOUBLE GLAZED) – U-VALUE=3.6 SHGC=0.66



KITCHEN PLAN

1 : 50

D PULL HANDLE:
D PULL CUPBOARD HANDLES TO ALL CUPBOARDS UNLESS NOTED OTHERWISE

PUSH TO RELEASE MECHANISMS FOR BOTH OVERHEAD AND UNDER BENCH CUPBOARDS

C.O.S. DIMENSION:
ALL DIMENSION ARE NOMINAL AND MUST BE VERIFIED ON SITE

BENCHTOP:
35mm POSTFORM LAMINATE BENCHTOPS THROUGHOUT (INCLUDING LAUNDRY)

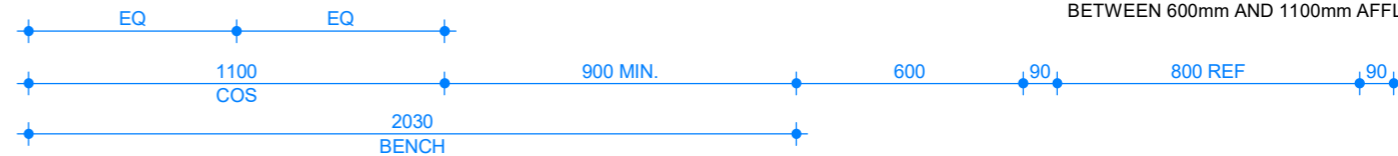
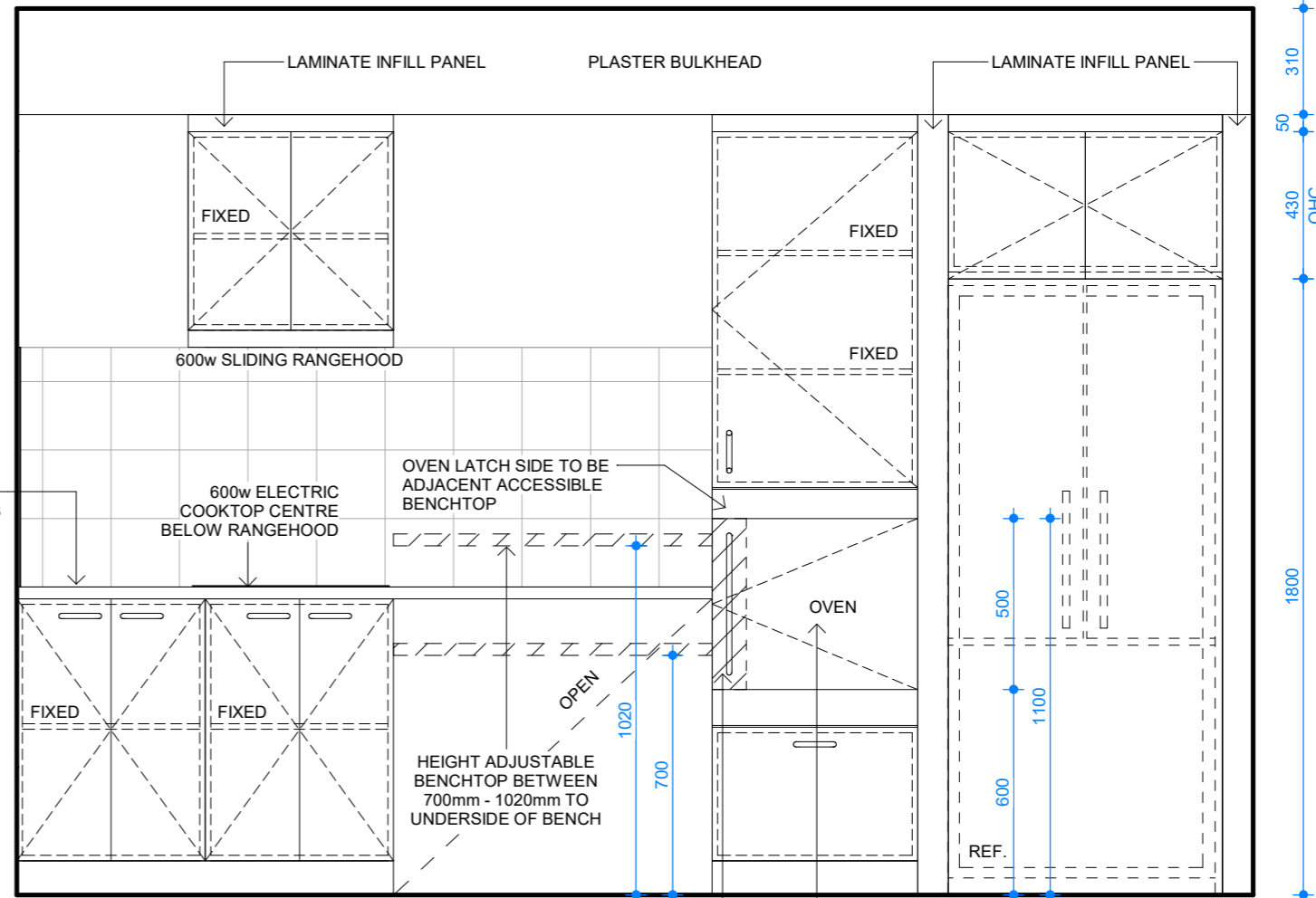
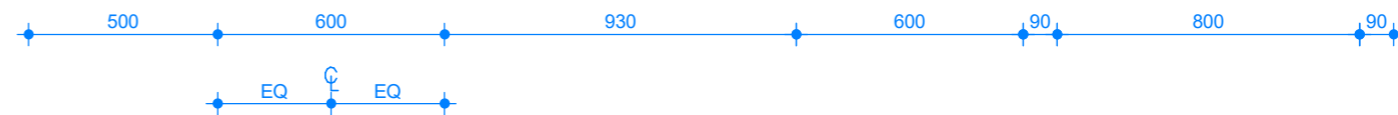
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Development Application: Development
Application - 10 Sunningdale Close, Midway Point - P1.pdf
Plans Reference:P1
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1 KITCHEN ELEVATION

D06a 1 : 20

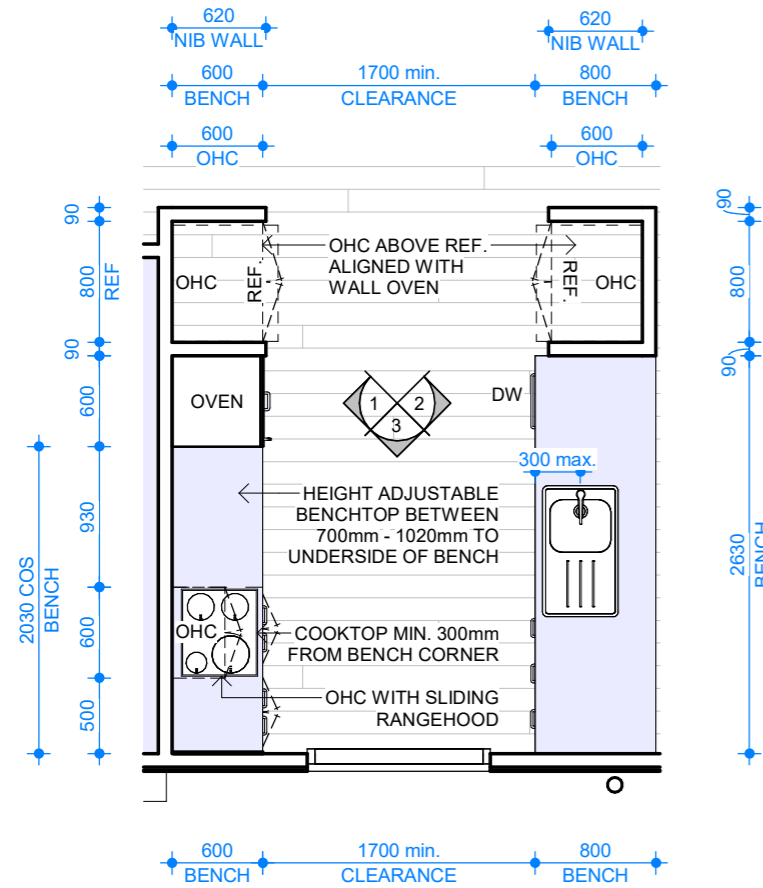
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Location: **10 SUNNINGDALE CLOSE, MIDWAY POINT TAS 7171**

Facade: **A-ZARA 01-MONUMENT**

Drawing: **INTERNAL ELEVATIONS - KITCHEN**

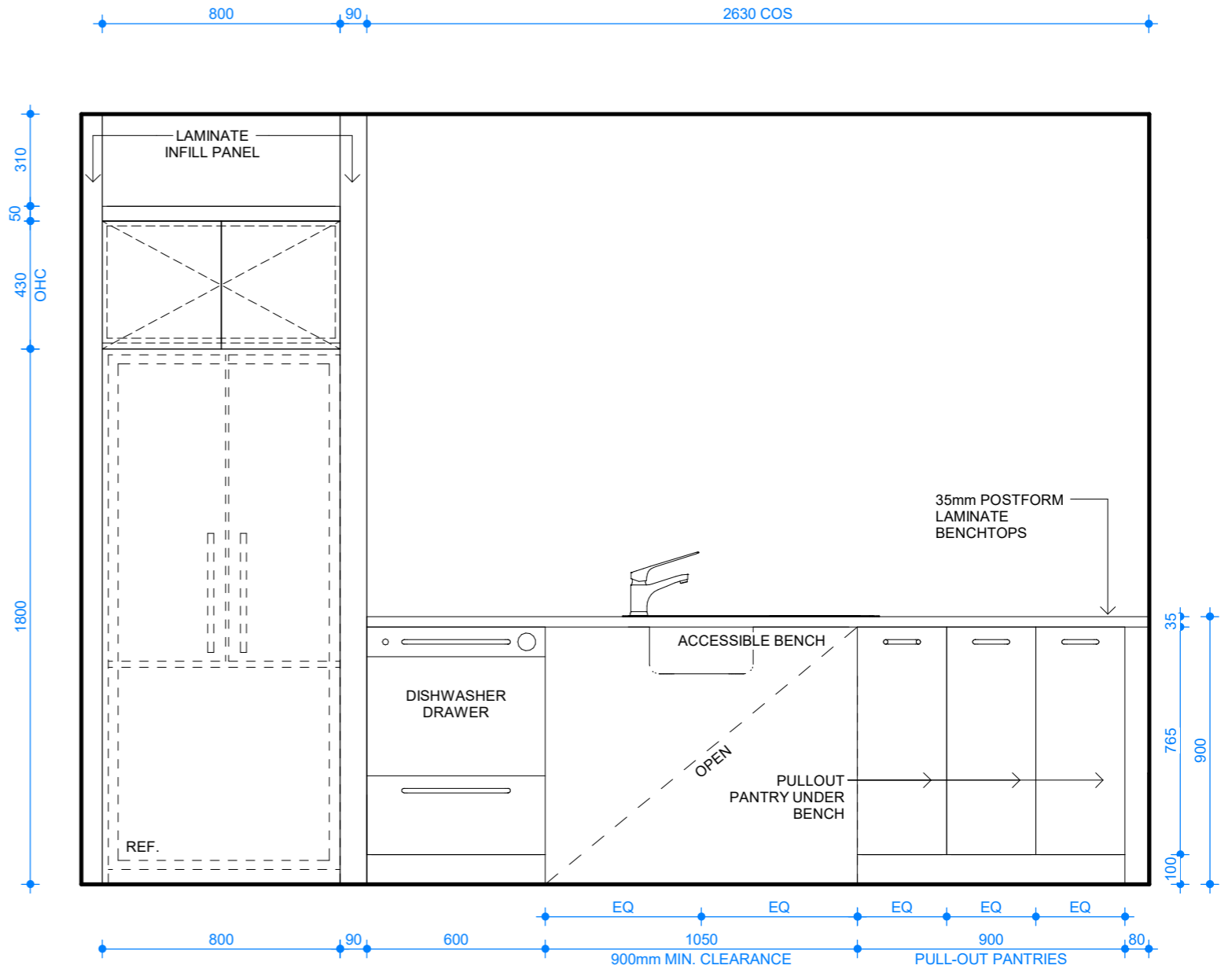
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SCALE	SHEET SIZE
As indicated	A3
JOB No:	461N
Drwg No:	D06a
Issue	A04

All dimensions to be verified on site



KITCHEN PLAN

1 : 50



2 KITCHEN ELEVATION

D06a 1 : 20

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C.O.S. DIMENSION:
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BENCHTOP:
35mm POSTFORM LAMINATE BENCHTOPS THROUGHOUT (INCLUDING LAUNDRY)



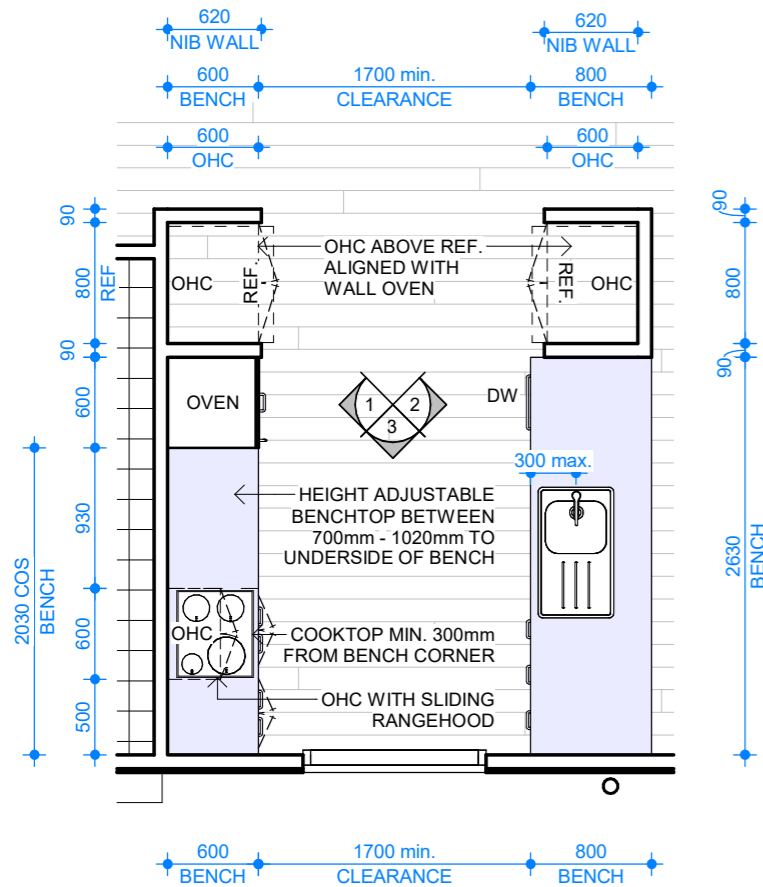
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		As indicated	A3
Drawing: INTERNAL ELEVATIONS - KITCHEN	All dimensions to be verified on site	JOB No:	461N
		Drwg No:	D06b Issue A04



KITCHEN PLAN

1 : 50

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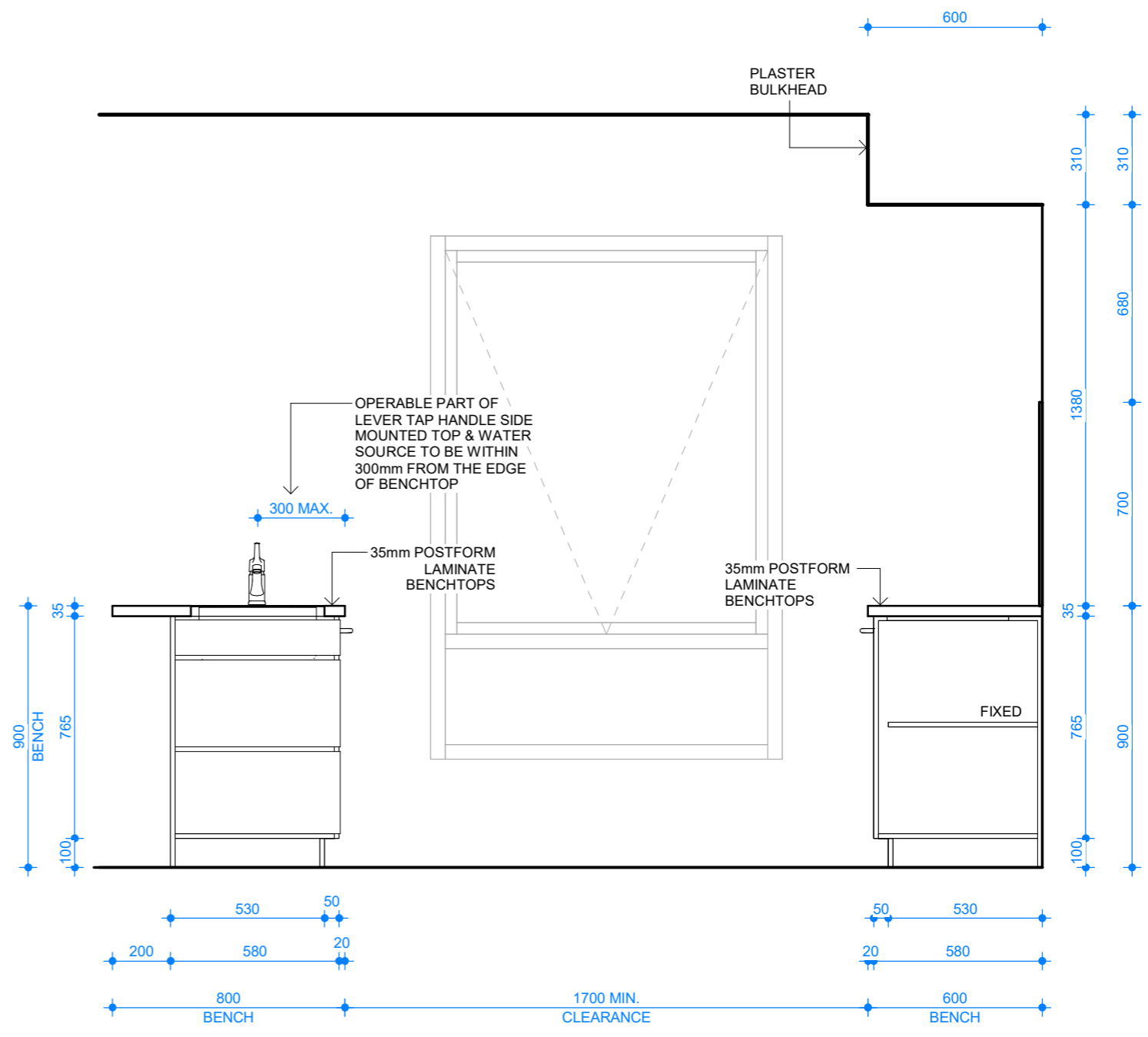
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Sorell Council
Development Application: Development Application - 10 Sunningdale Close, Midway Point - P1.pdf
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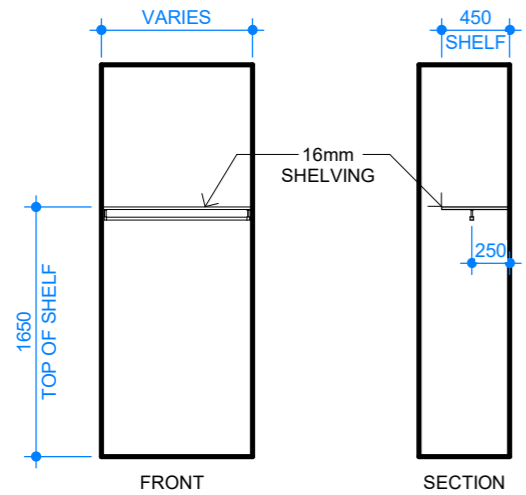
SJM property developments
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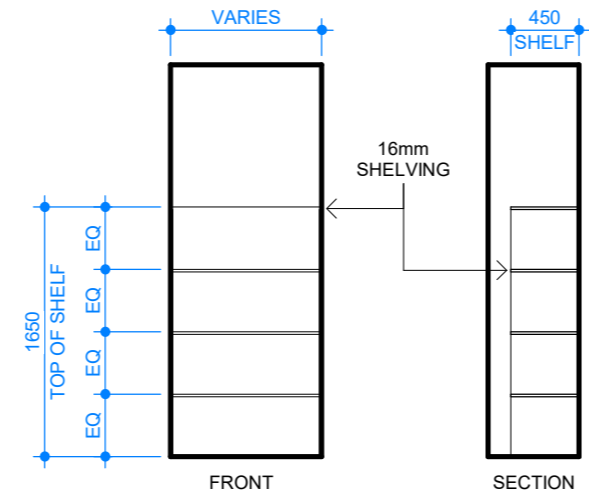
3 KITCHEN ELEVATION

D06a 1 : 20

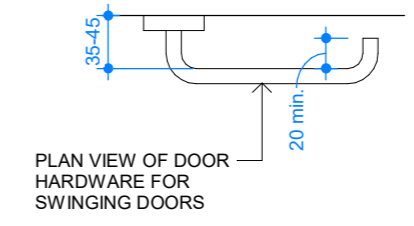
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		3/04/2024 7:40:01 AM	
Drawing: INTERNAL ELEVATIONS - KITCHEN	All dimensions to be verified on site	SCALE	SHEET SIZE
		As indicated	A3
JOB No: 461N	Drwg No: D06c	Issue A04	



TYPICAL ROBE
1 : 50



TYPICAL LINEN
1 : 50



TYPICAL DOOR HARDWARE
1 : 5

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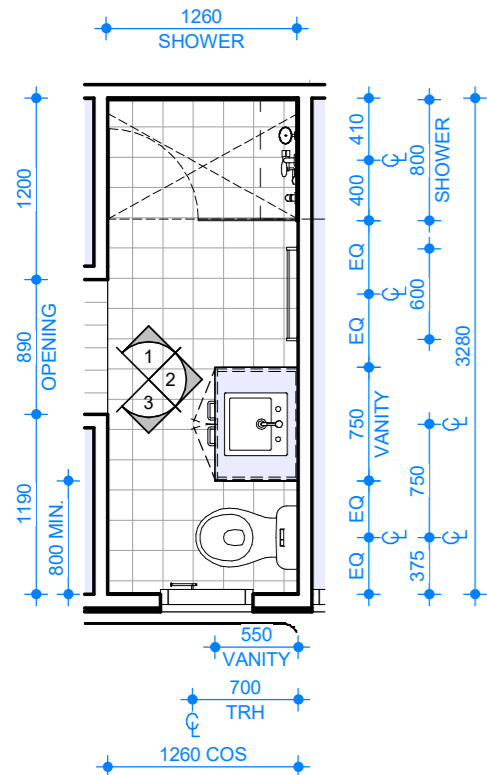
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WC PLAN
1 : 50

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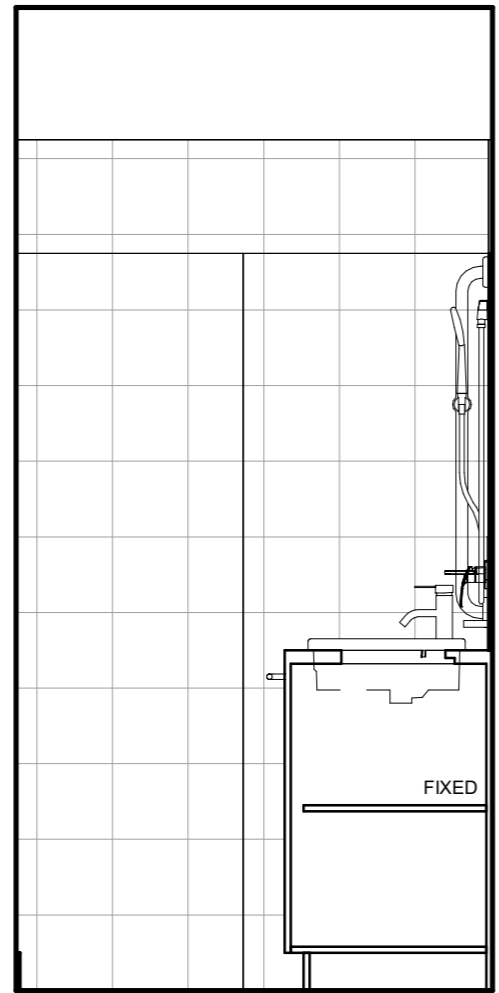
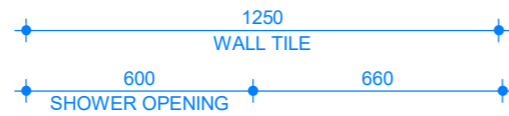
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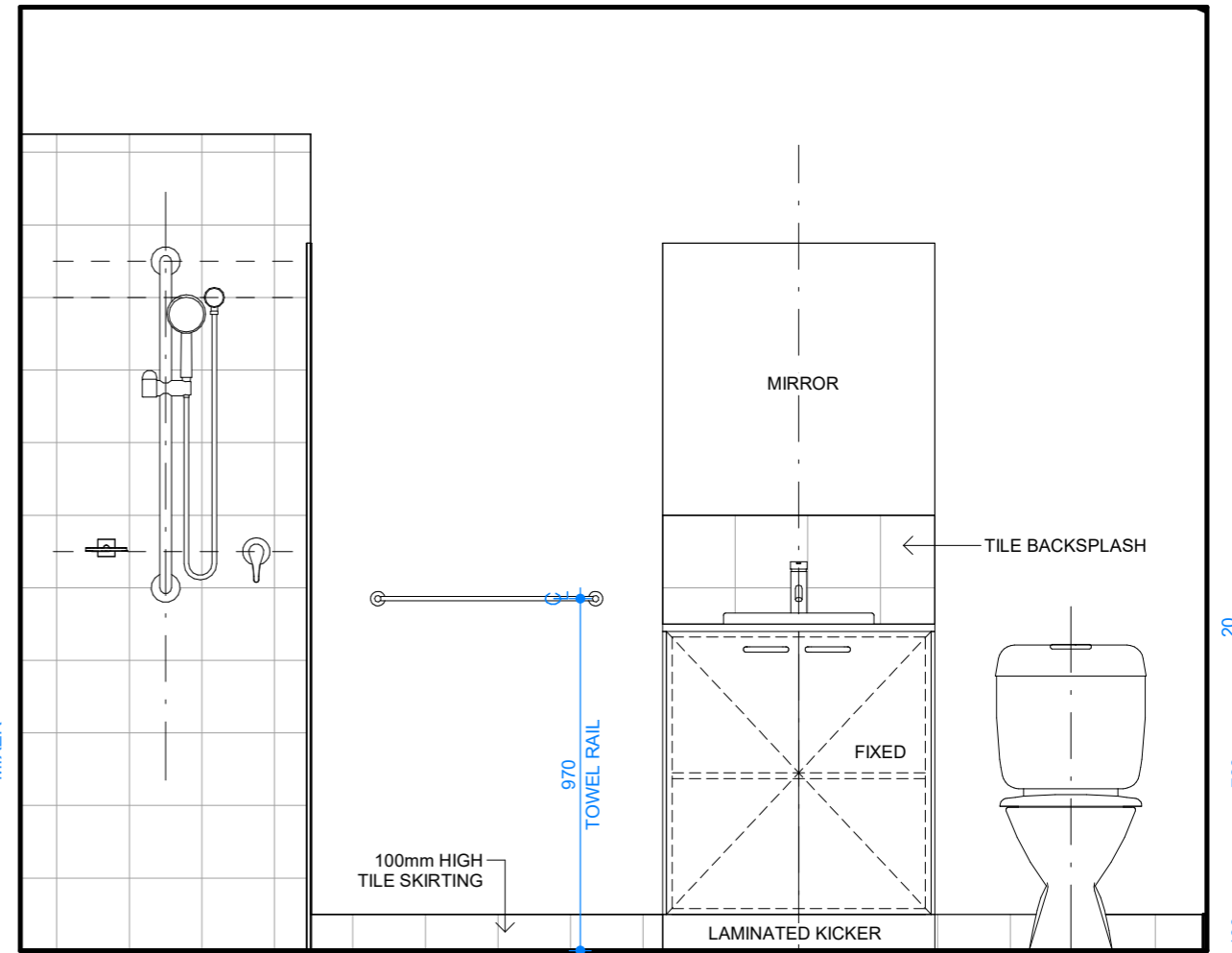


1 WC ELEVATION
D07a 1 : 20

Sorell Council
Development Application: Development Application - 10 Sunningdale Close, Midway Point - P1.pdf
Plans Reference:P1
Date Received:4/04/2024



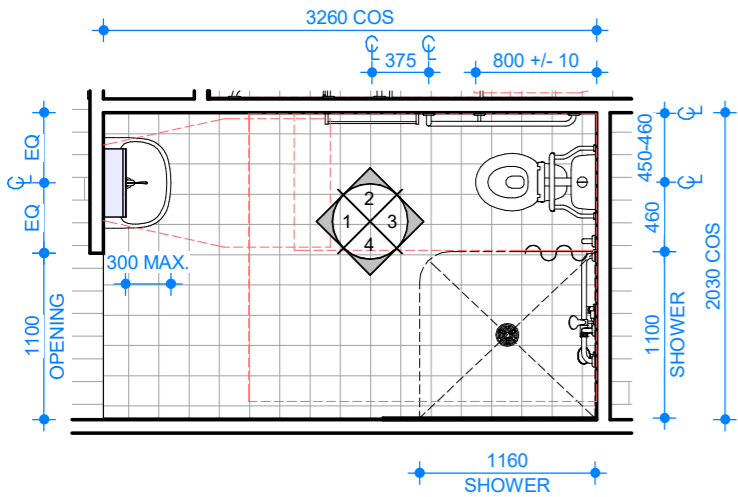
1/37 Ascot Dr, Huntingfield TAS 7055
P +61 3 6289 6601



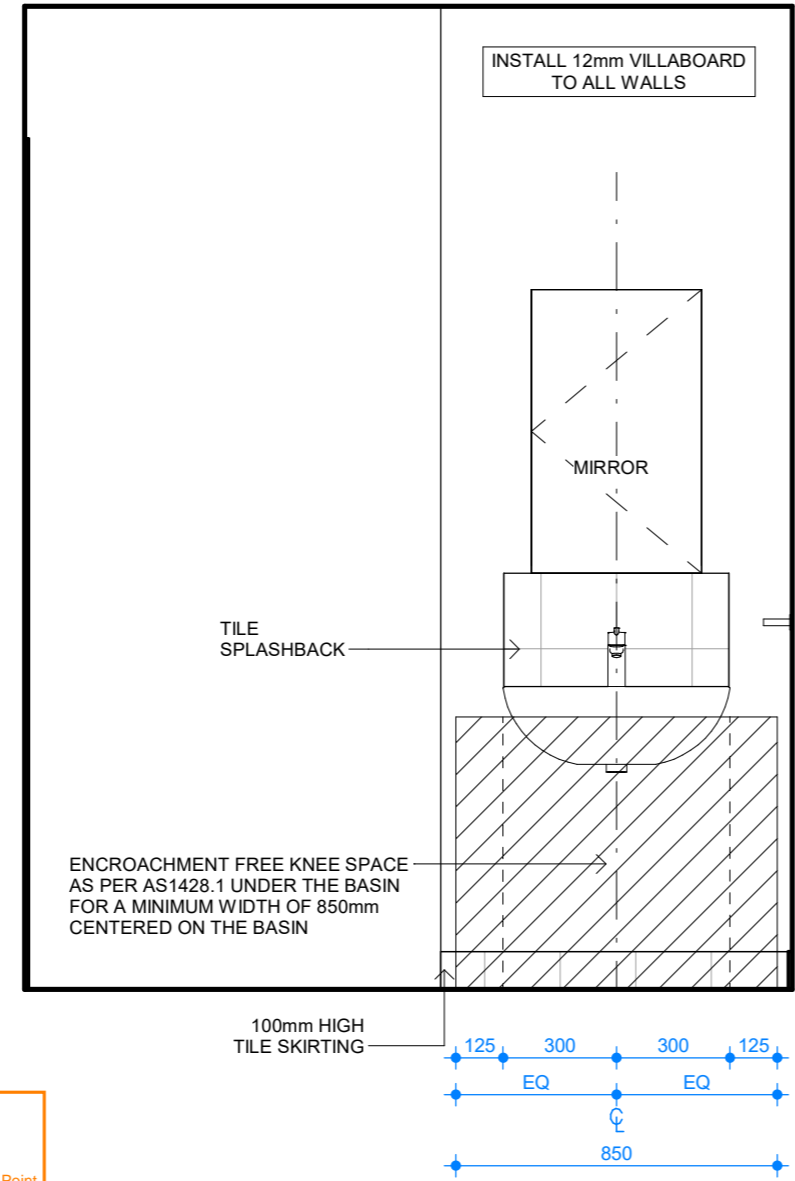
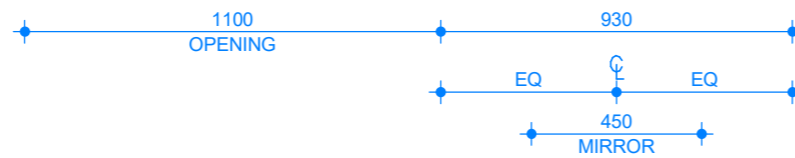
2 WC ELEVATION
D07a 1 : 20

	Home: HPS-ABELIA-12.5(05H.02)	Facade: A-ZARA 01-MONUMENT	DRAWING DETAILS	
	Client: ONE CONTRACT PTY LTD (ACN 665 528 772) ATF THE ONE CONTRACT NO 1 TRUST		3/04/2024 7:40:02 AM	
	Location: 10 SUNNINGDALE CLOSE, MIDWAY POINT TAS 7171		SCALE	SHEET SIZE
	Drawing: WET AREA ELEVATIONS - WC		As indicated	A3
			JOB No: 461N	
			Drwg No: D07a	Issue A04

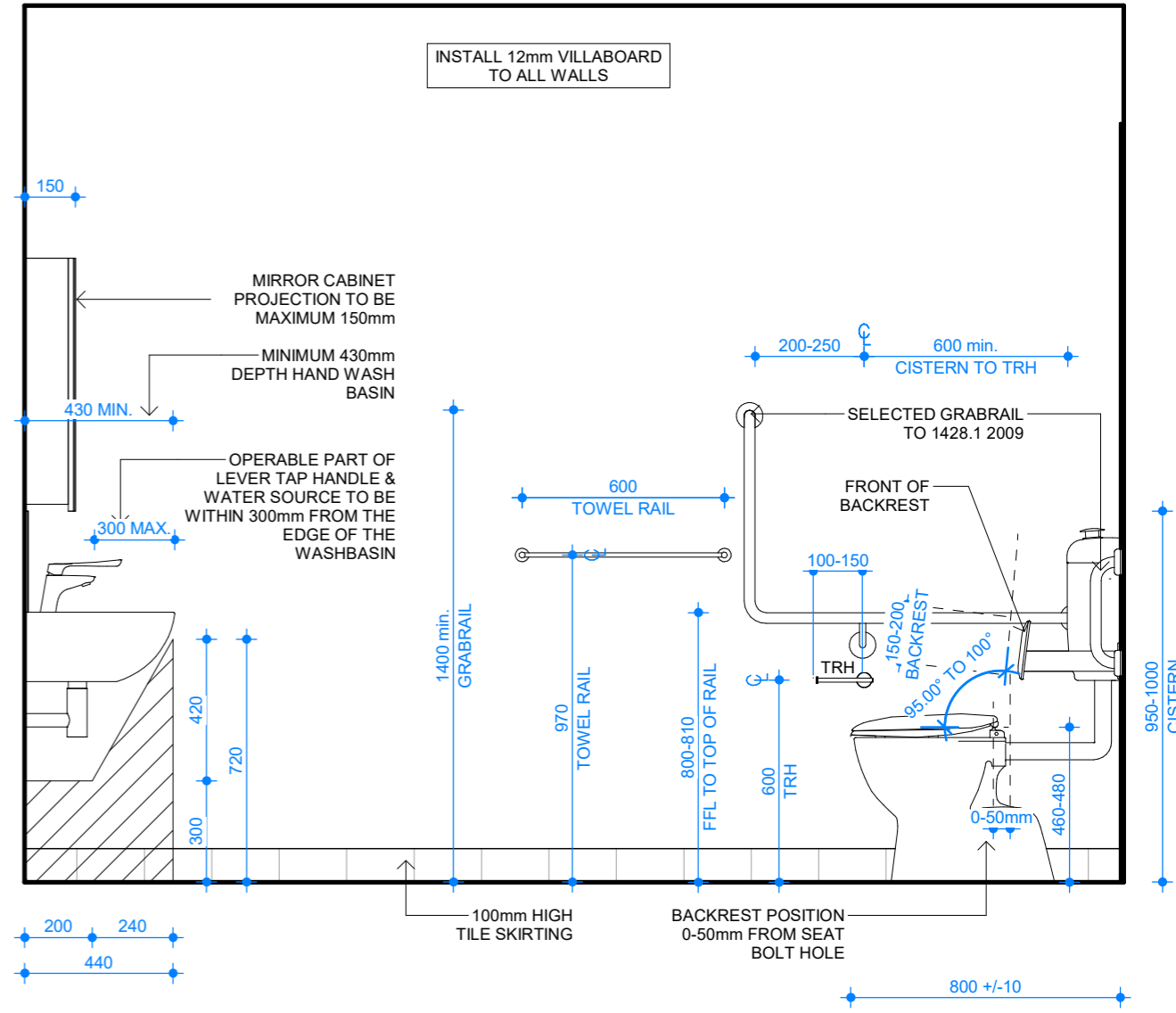
All dimensions to be verified on site



ENSUITE 1 PLAN
1 : 50



1 ENSUITE 1 ELEVATION
D07c 1 : 20



2 ENSUITE 1 ELEVATION
D07c 1 : 20

D PULL HANDLE:
D PULL CUPBOARD HANDLES TO ALL CUPBOARDS UNLESS NOTED OTHERWISE

PUSH TO RELEASE MECHANISMS FOR BOTH OVERHEAD AND UNDER BENCH CUPBOARDS

C.O.S. DIMENSION:
ALL DIMENSION ARE NOMINAL AND MUST BE VERIFIED ON SITE

BENCHTOP:
35mm POSTFORM LAMINATE BENCHTOPS THROUGHOUT (INCLUDING LAUNDRY)

Sorell Council
Development Application: Development Application - 10 Sunningdale Close, Midway Point - P1.pdf
Plans Reference: P1
Date Received: 4/04/2024

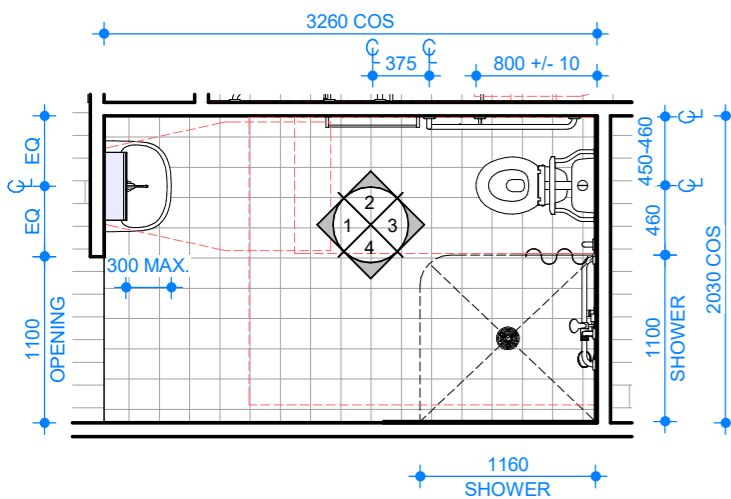
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Home: **HPS-ABELIA-12.5(05H.02)** Facade: **A-ZARA 01-MONUMENT**
Client: **ONE CONTRACT PTY LTD (ACN 665 528 772) ATF THE ONE CONTRACT NO 1 TRUST**
Location: **10 SUNNINGDALE CLOSE, MIDWAY POINT TAS 7171**
Drawing: **WET AREA ELEVATIONS - ENSUITE 1**

DRAWING DETAILS	
3/04/2024 7:40:03 AM	
SCALE	SHEET SIZE
As indicated	A3
JOB No:	461N
Drwg No:	D07c
Issue	A04

All dimensions to be verified on site



ENSUITE 1 PLAN

1 : 50

D PULL HANDLE:
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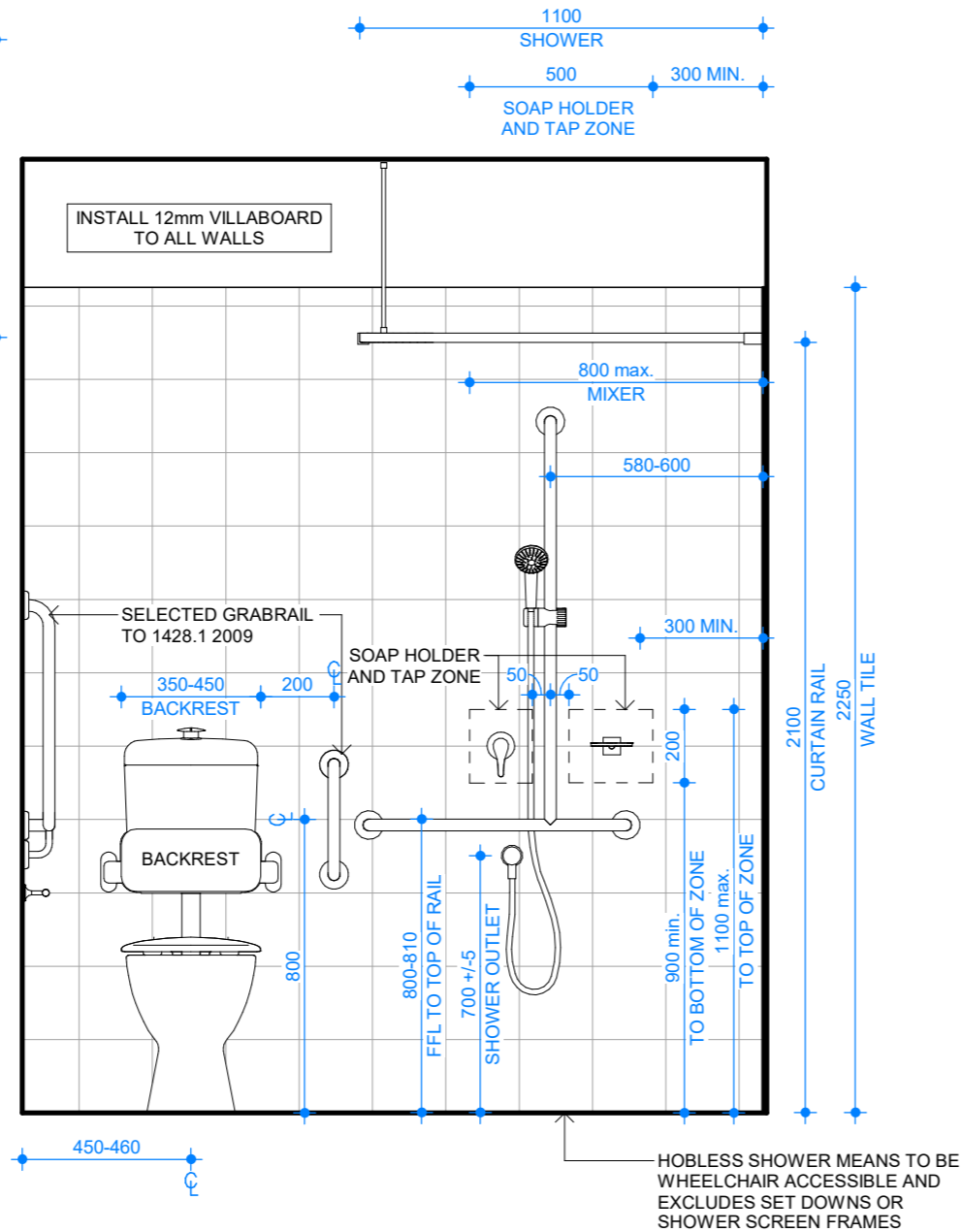
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BENCHTOP:
35mm POSTFORM LAMINATE BENCHTOPS THROUGHOUT (INCLUDING LAUNDRY)

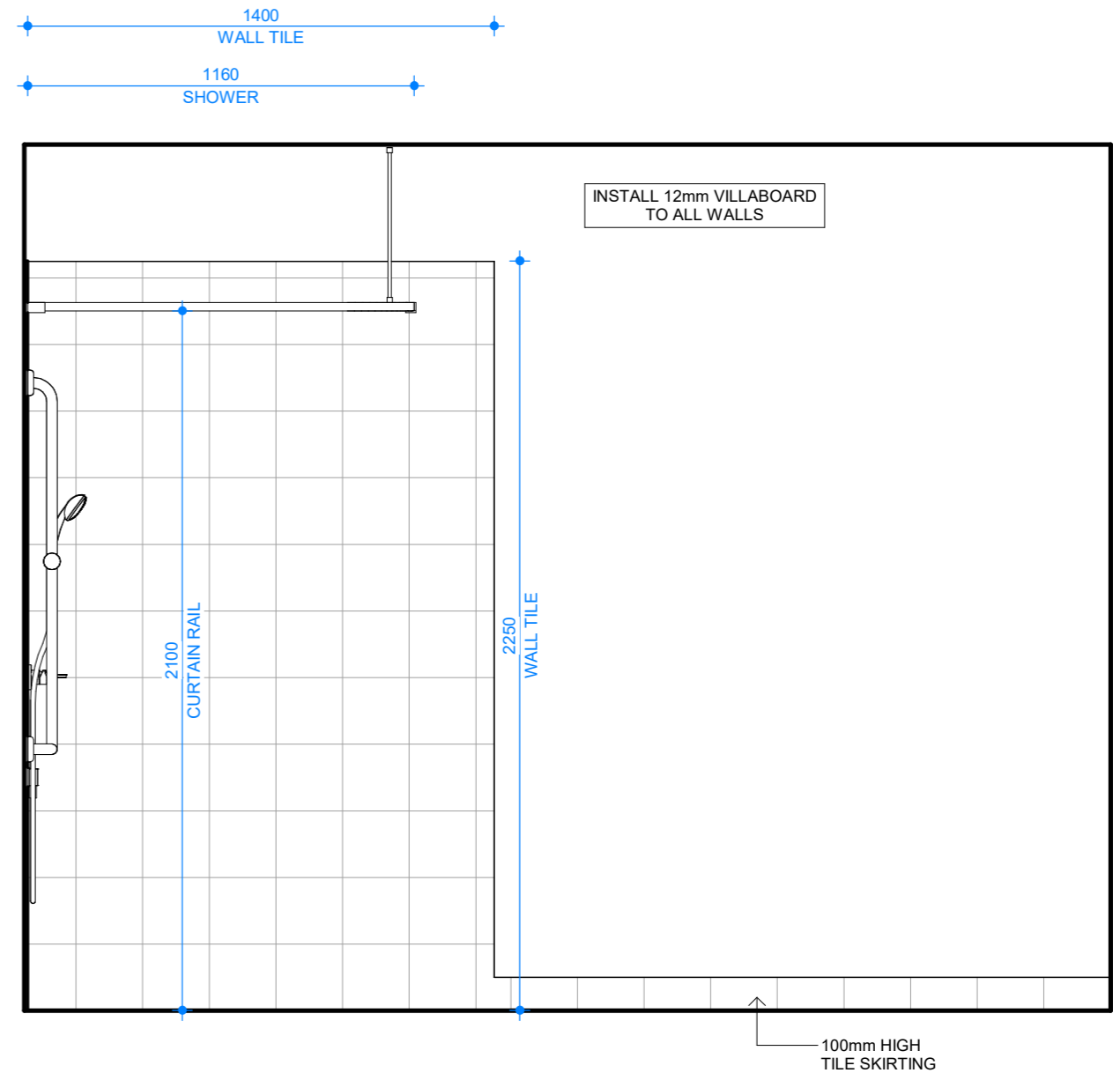
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3 ENSUITE 1 ELEVATION

D07c 1 : 20



4 ENSUITE 1 ELEVATION

D07c 1 : 20

Sorell Council
Development Application: Development Application - 10 Sunningdale Close, Midway Point - P1.pdf
Plans Reference:P1
Date Received:4/04/2024



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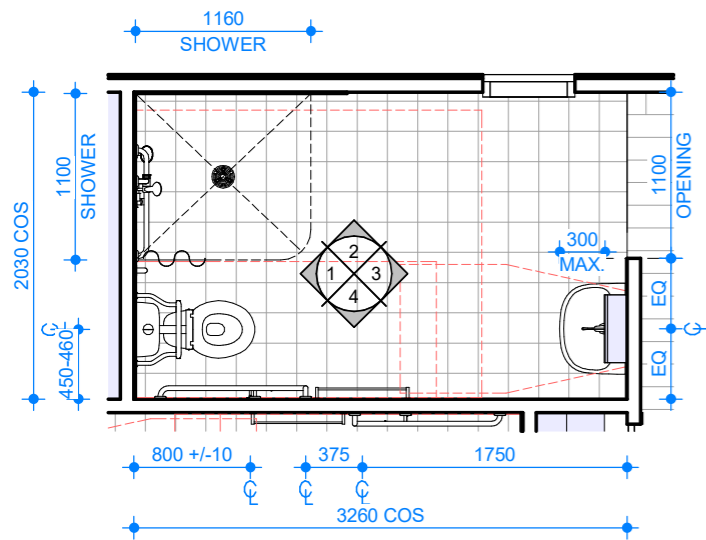
Home: **HPS-ABELIA-12.5(05H.02)**
Client: **ONE CONTRACT PTY LTD (ACN 665 528 772) ATF THE ONE CONTRACT NO 1 TRUST**
Location: **10 SUNNINGDALE CLOSE, MIDWAY POINT TAS 7171**

Facade: **A-ZARA 01-MONUMENT**

Drawing: **WET AREA ELEVATIONS - ENSUITE 1**

DRAWING DETAILS	
3/04/2024 7:40:03 AM	
SCALE	SHEET SIZE
As indicated	A3
JOB No:	461N
Drwg No:	D07d
Issue	A04

All dimensions to be verified on site



ENSUITE 2 PLAN

1 : 50

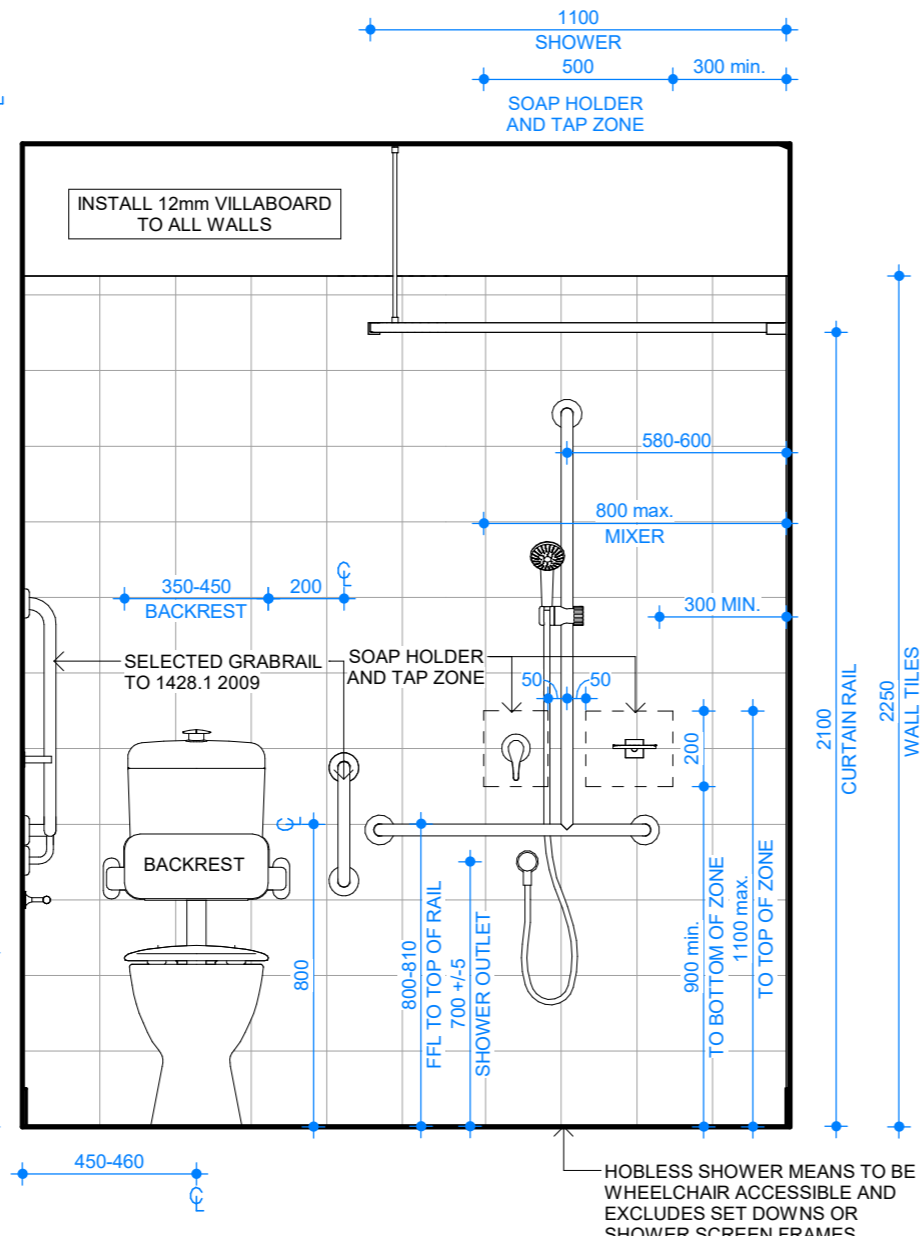
D PULL HANDLE:
D PULL CUPBOARD HANDLES TO ALL CUPBOARDS UNLESS NOTED OTHERWISE

PUSH TO RELEASE MECHANISMS FOR BOTH OVERHEAD AND UNDER BENCH CUPBOARDS

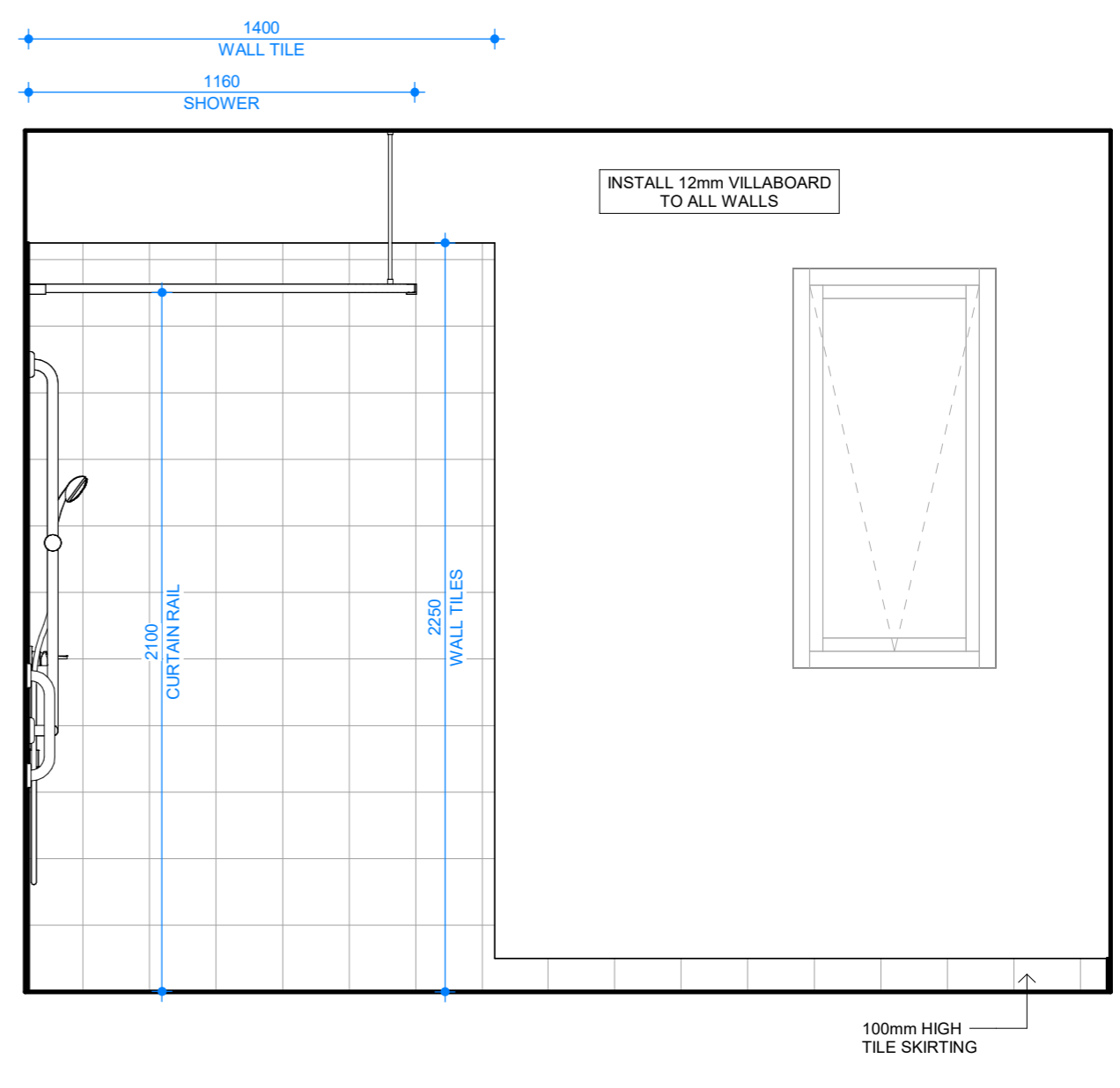
C.O.S. DIMENSION:
ALL DIMENSION ARE NOMINAL AND MUST BE VERIFIED ON SITE

BENCHTOP:
35mm POSTFORM LAMINATE BENCHTOPS THROUGHOUT (INCLUDING LAUNDRY)

Sorell Council
Development Application: Development Application - 10 Sunningdale Close, Midway Point - P1.pdf
Plans Reference:P1
Date Received:4/04/2024



1 ENSUITE 2 ELEVATION
D07e 1 : 20



2 ENSUITE 2 ELEVATION
D07e 1 : 20

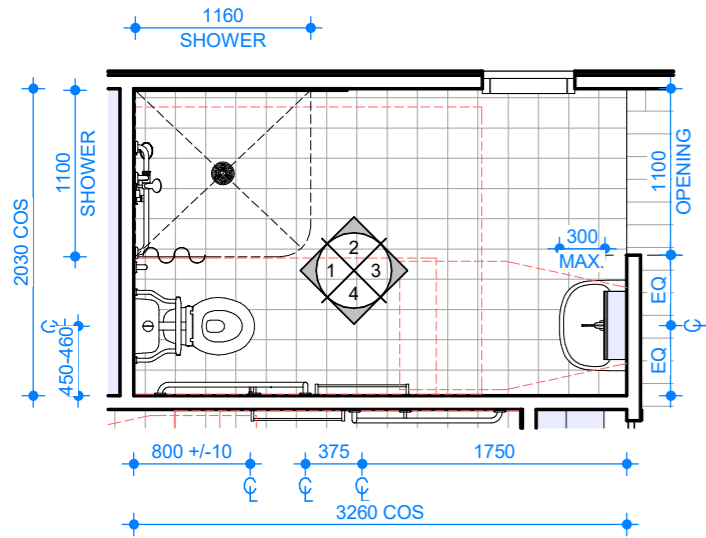
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Client: **ONE CONTRACT PTY LTD (ACN 665 528 772) ATF THE ONE CONTRACT NO 1 TRUST**
Location: **10 SUNNINGDALE CLOSE, MIDWAY POINT TAS 7171**
Drawing: **WET AREA ELEVATIONS - ENSUITE 2**

DRAWING DETAILS	
3/04/2024 7:40:04 AM	
SCALE	SHEET SIZE
As indicated	A3
JOB No:	461N
Drwg No:	D07e
Issue	A04

All dimensions to be verified on site



ENSUITE 2 PLAN

1 : 50

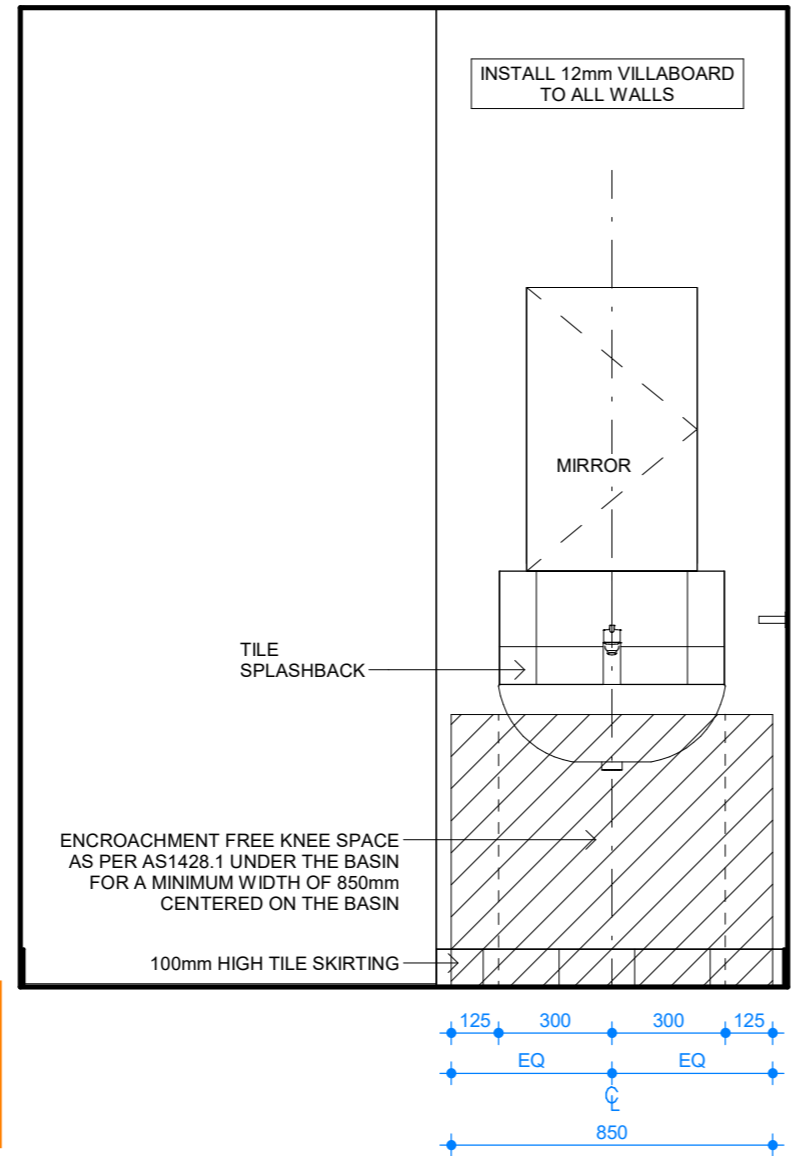
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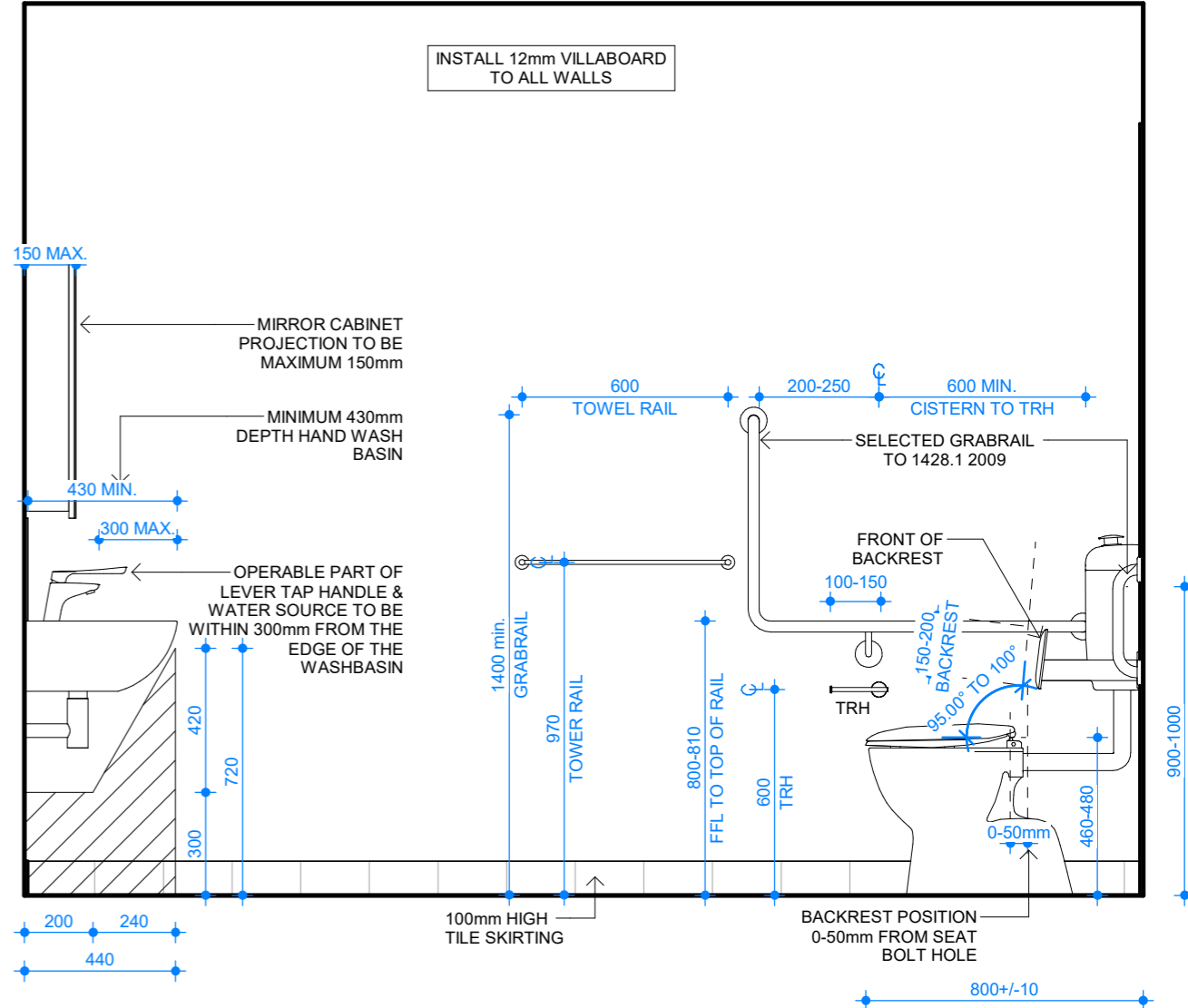
BENCHTOP:
35mm POSTFORM LAMINATE BENCHTOPS THROUGHOUT (INCLUDING LAUNDRY)

Sorell Council
Development Application: Development Application - 10 Sunningdale Close, Midway Point - P1.pdf
Plans Reference:P1
Date Received:4/04/2024



3 ENSUITE 2 ELEVATION

D07e 1 : 20



4 ENSUITE 2 ELEVATION

D07e 1 : 20

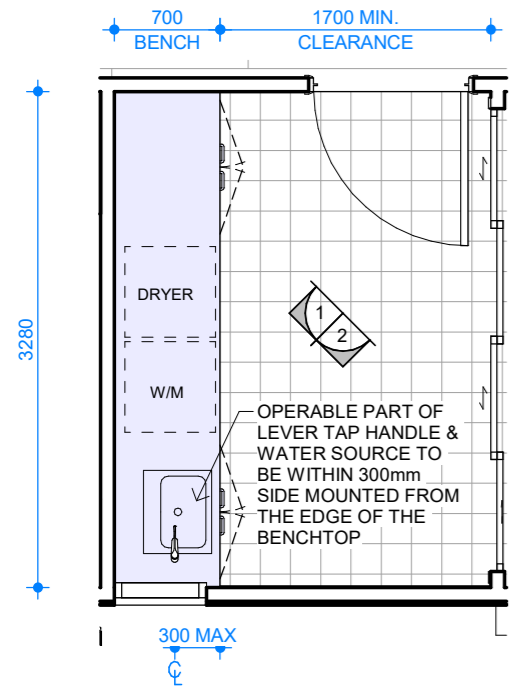
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Home: **HPS-ABELIA-12.5(05H.02)** Facade: **A-ZARA 01-MONUMENT**
Client: **ONE CONTRACT PTY LTD (ACN 665 528 772) ATF THE ONE CONTRACT NO 1 TRUST**
Location: **10 SUNNINGDALE CLOSE, MIDWAY POINT TAS 7171**
Drawing: **WET AREA ELEVATIONS - ENSUITE 2**

DRAWING DETAILS	
3/04/2024 7:40:05 AM	
SCALE	SHEET SIZE
As indicated	A3
JOB No:	461N
Drwg No:	D07f Issue A04

All dimensions to be verified on site



LAUNDRY PLAN

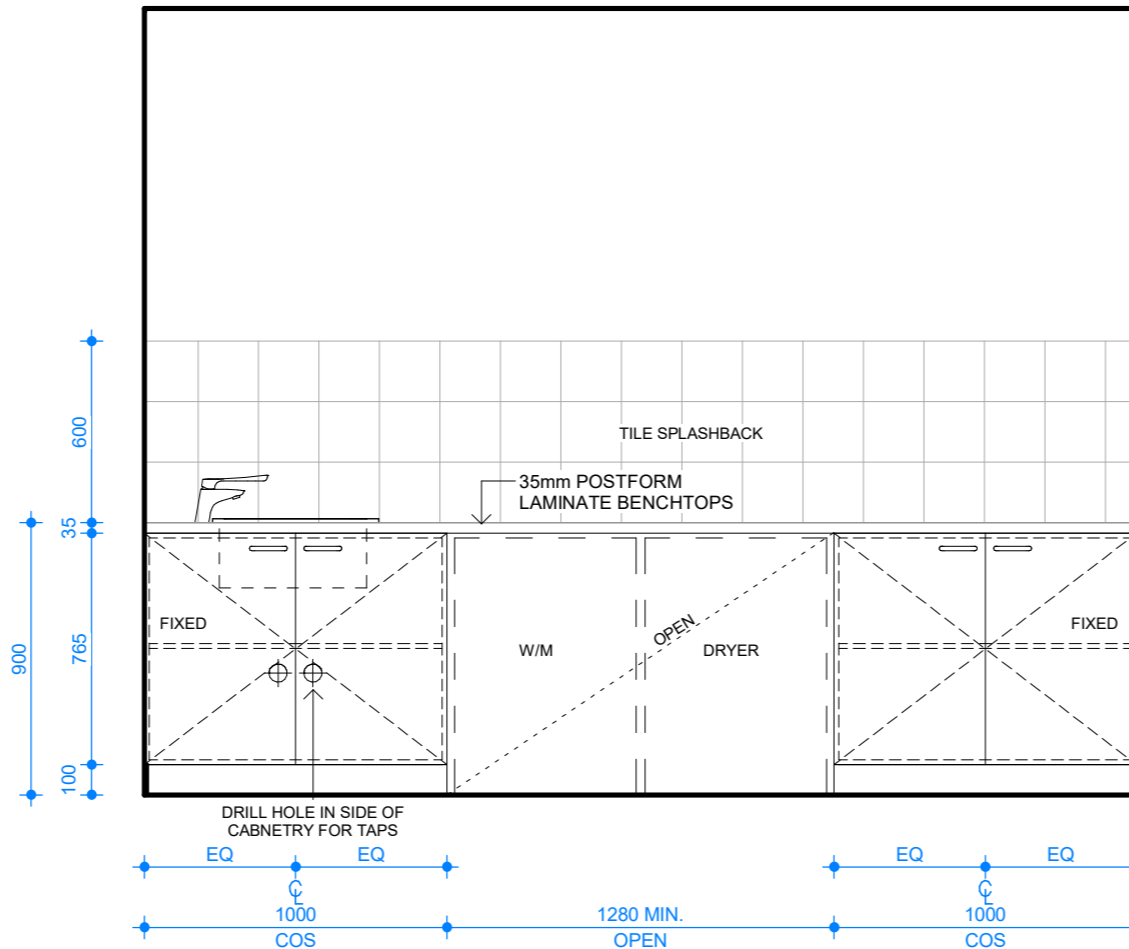
1 : 50

D PULL HANDLE:
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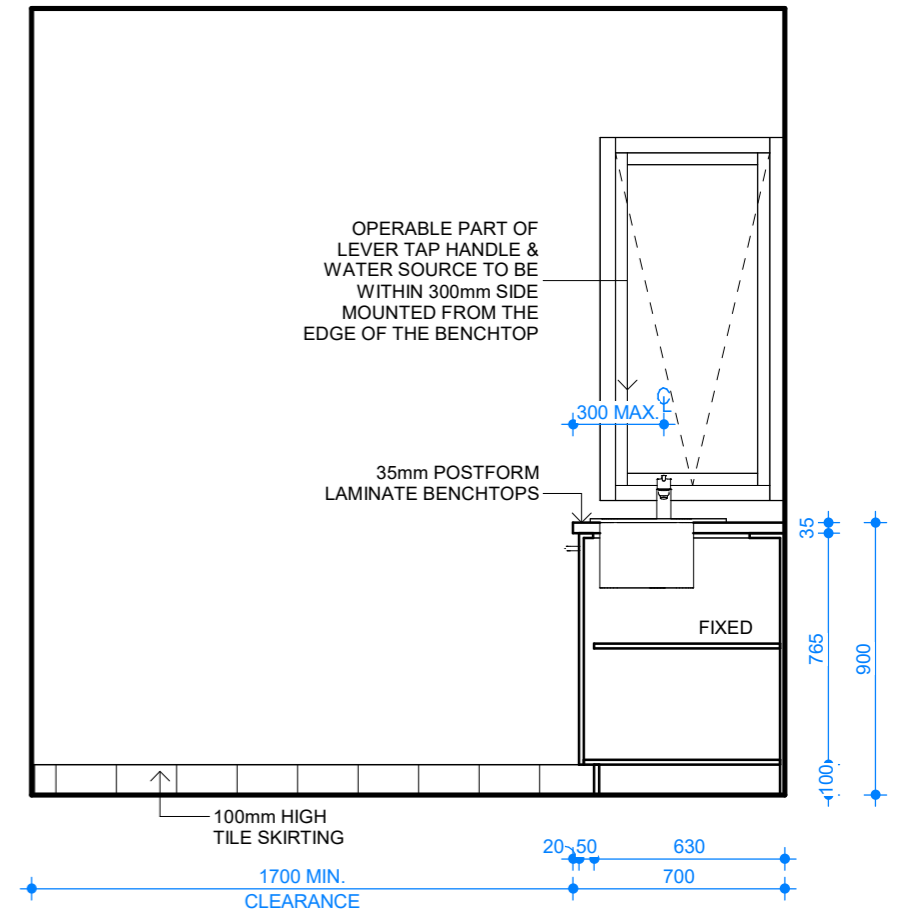
C.O.S. DIMENSION:
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BENCHTOP:
35mm POSTFORM LAMINATE BENCHTOPS THROUGHOUT (INCLUDING LAUNDRY)



1 LAUNDRY ELEVATION

D07g 1 : 25



2 LAUNDRY ELEVATION

D07a 1 : 25

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Client: **ONE CONTRACT PTY LTD (ACN 665 528 772) ATF THE ONE CONTRACT NO 1 TRUST**
Location: **10 SUNNINGDALE CLOSE, MIDWAY POINT TAS 7171**

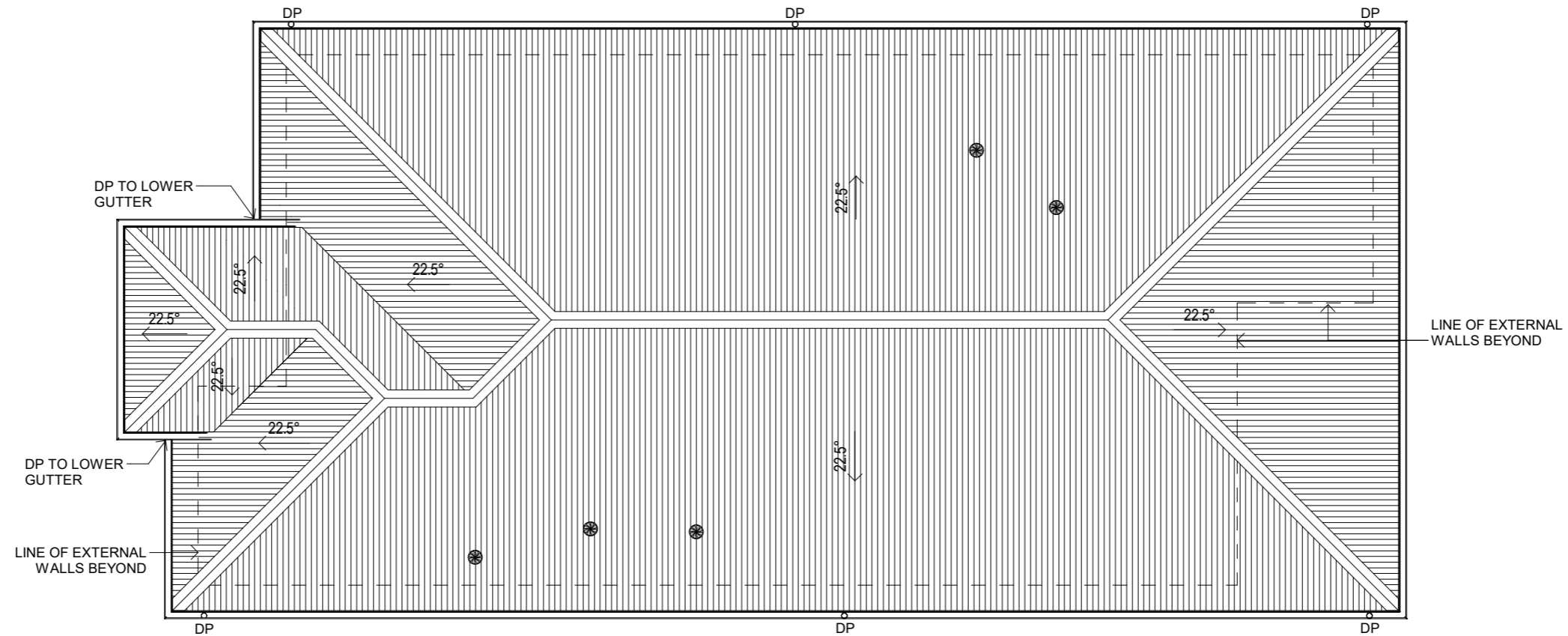
Facade: **A-ZARA 01-MONUMENT**

Drawing: **WET AREA ELEVATIONS - LAUNDRY**

DRAWING DETAILS	
3/04/2024 7:40:06 AM	
SCALE	SHEET SIZE
As indicated	A3
JOB No:	461N
Drwg No:	D07g
Issue	A04

All dimensions to be verified on site

LEGEND	
	ROOF VENTILATION - TO NCC REQUIREMENTS



ROOF PLAN

1 : 100

 **Sorell Council**
 Development Application: Development
 Application - 10 Sunningdale Close, Midway Point
 - P1.pdf
 Plans Reference: P1
 Date Received: 4/04/2024

IMPORTANT NOTES:

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 Location: **10 SUNNINGDALE CLOSE, MIDWAY POINT TAS 7171**

Facade: **A-ZARA 01-MONUMENT**

Drawing: **ROOF PLAN**



DRAWING DETAILS

3/04/2024 7:40:06 AM

SCALE	SHEET SIZE
1 : 100	A3

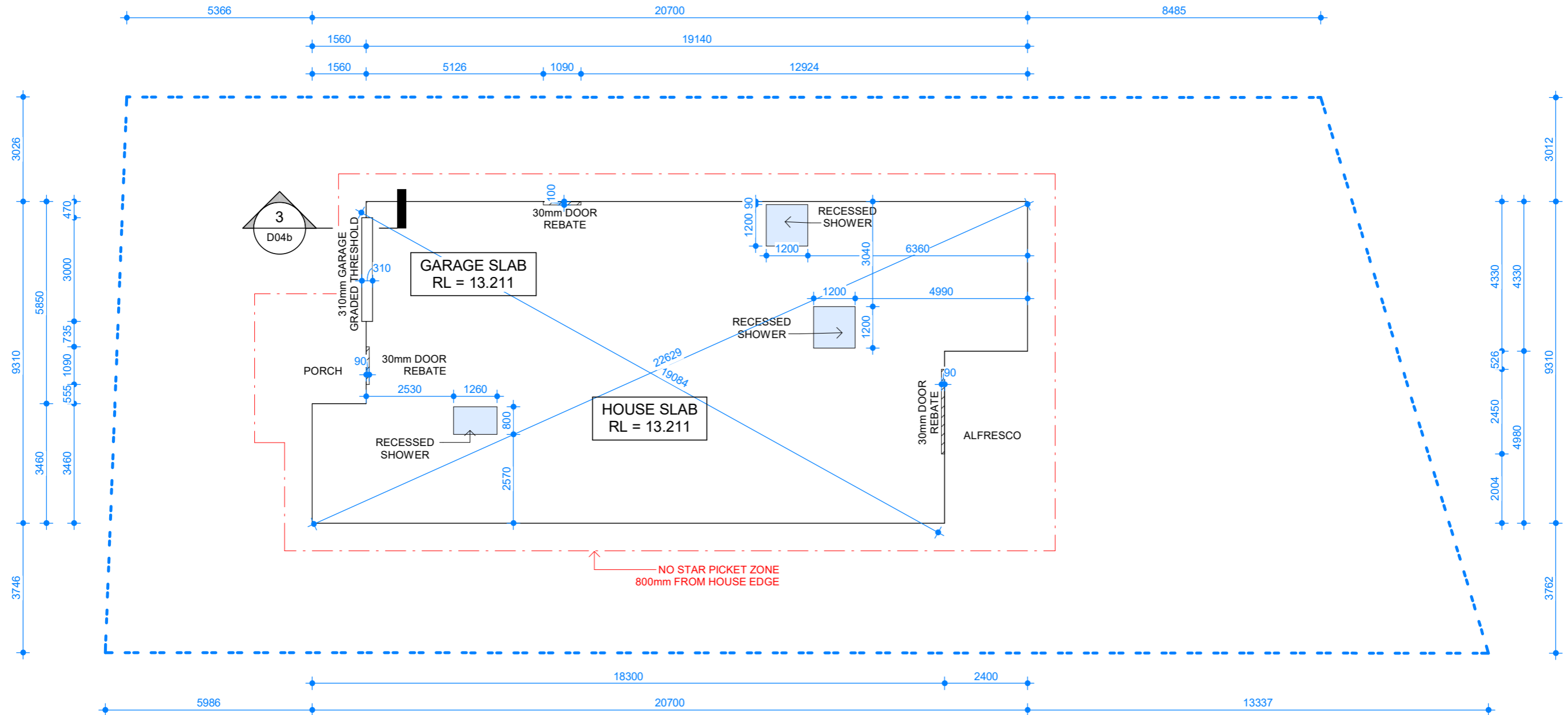
JOB No: **461N**

All dimensions to be verified on site

Drwg No: **D08** Issue **A04**

SLAB PLAN NOTE:
 REFER TO DRAWING D09 FOR SLAB PENETRATIONS.
 REFER TO STRUCTURAL ENGINEER'S PLANS FOR CONCRETE
 SLAB CONSTRUCTION. SLAB TO BE DESIGNED BASED ON
 SOIL CLASSIFICATION AS PER AS2870

SHOWER RECESS:
 SHOWER BASES TO BE
 RECESSED 50mm IN TO SLAB



Sorell Council
 Development Application: Development
 Application - 10 Sunningdale Close, Midway Point
 - P1.pdf
 Plans Reference: P1
 Date Received: 4/04/2024

SLAB PLAN

1 : 125

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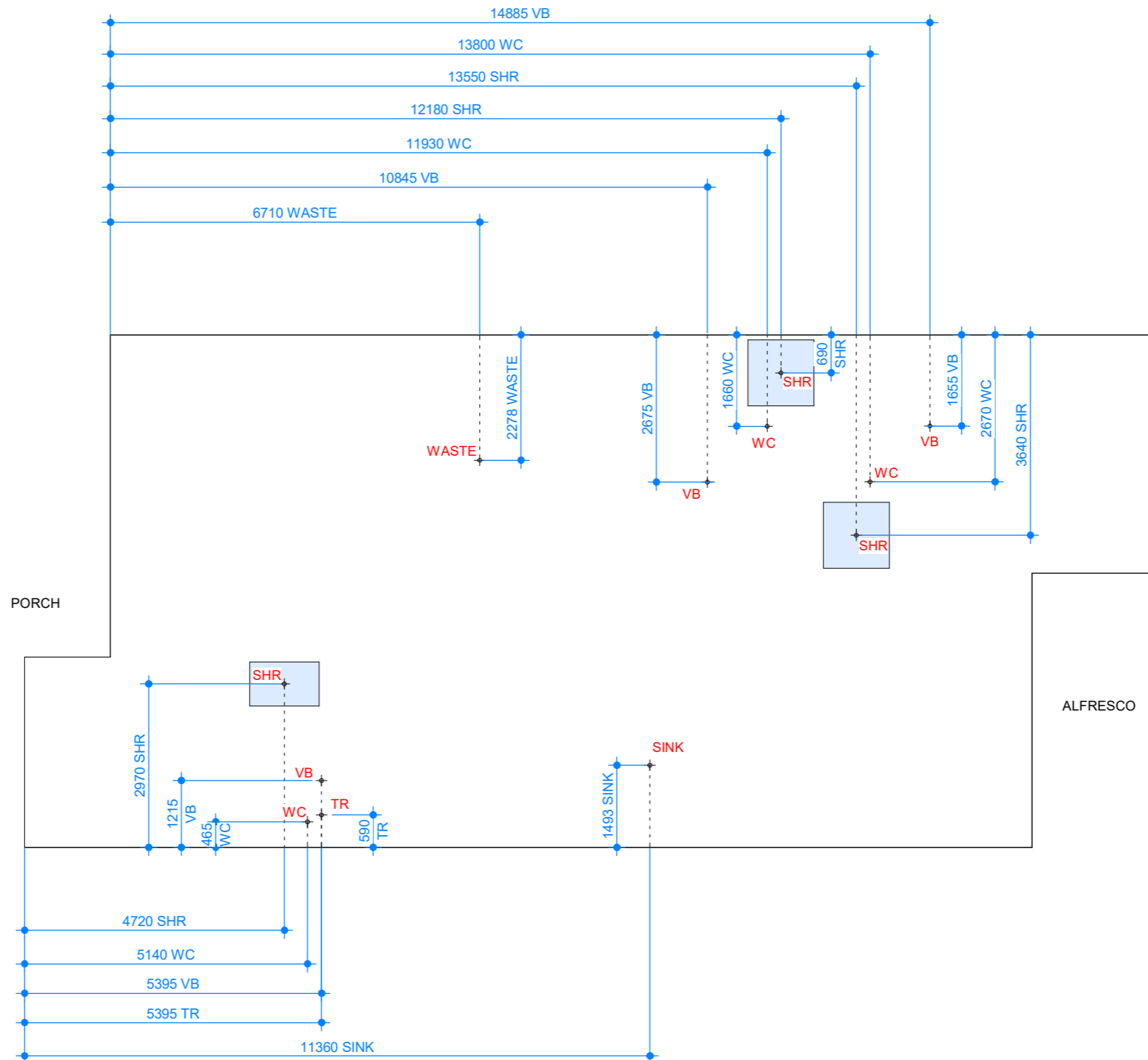
Home: **HPS-ABELIA-12.5(05H.02)**
 Client: **ONE CONTRACT PTY LTD (ACN 665 528 772) ATF THE ONE CONTRACT NO 1 TRUST**
 Location: **10 SUNNINGDALE CLOSE, MIDWAY POINT TAS 7171**
 Drawing: **SLAB PLAN**

Facade: **A-ZARA 01-MONUMENT**



All dimensions to be verified on site

DRAWING DETAILS	
3/04/2024 7:40:06 AM	
SCALE	SHEET SIZE
As indicated	A3
JOB No:	461N
Drwg No:	D09
Issue	A04



SLAB PENETRATION PLAN

1 : 100

Sorell Council
 Development Application: Development Application - 10 Sunningdale Close, Midway Point - P1.pdf
 Plans Reference:P1
 Date Received:4/04/2024

- IMPORTANT NOTES:**
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 Client: **ONE CONTRACT PTY LTD (ACN 665 528 772) ATF THE ONE CONTRACT NO 1 TRUST**
 Location: **10 SUNNINGDALE CLOSE, MIDWAY POINT TAS 7171**
 Drawing: **SLAB PENETRATION PLAN**

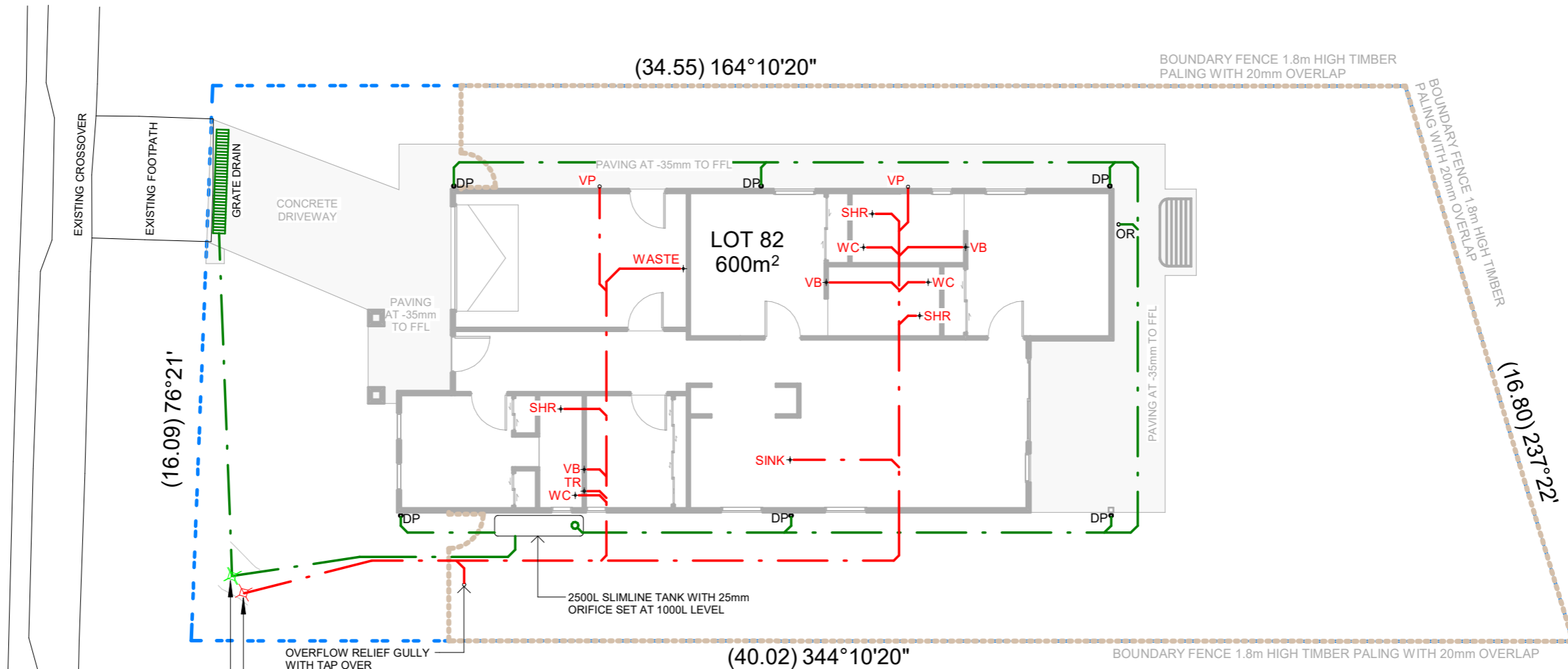
Facade: **A-ZARA 01-MONUMENT**



All dimensions to be verified on site

DRAWING DETAILS	
3/04/2024 7:40:07 AM	
SCALE	SHEET SIZE
1 : 100	A3
JOB No:	461N
Drwg No:	D10a
Issue	A04

SUNNINGDALE CLOSE



STORMWATER HOUSE CONNECTION
LID RL 12.399
INV RL 11.459

SEWER HOUSE CONNECTION
LID RL 12.369
INV RL 11.461

NOTE: COUNCIL WILL REQUIRE ALL STORMWATER DRAINS (EXCEPT THE DRIVEWAY DRAIN) TO GO TO THE TANK FIRST

PLUMBING PLAN

1 : 150

Sorell Council
Development Application: Development
Application - 10 Sunningdale Close, Midway Point - P1.pdf
Plans Reference: P1
Date Received: 4/04/2024

NOTE:
VENTING OF DRAINS TO COMPLY WITH AS/NZS 3500.2 3.9.2.1 CLAUSE.

PLUMBING LEGEND:

	100Ø SEWER PIPE
	100Ø STORMWATER PIPE
WC	Ø100 WATER CLOSER
VP	Ø50 VENT PIPE
TR	Ø50 TROUGH
SHR	Ø50 SHOWER
SINK	Ø50 SINK
VB	Ø40 VANITY/BASIN
AAV	AIR ADMITTANCE VALVE
DP	Ø90 DOWNPIPE

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Location: **10 SUNNINGDALE CLOSE, MIDWAY POINT TAS 7171**
Drawing: **PLUMBING PLAN**

Facade: **A-ZARA 01-MONUMENT**



All dimensions to be verified on site

DRAWING DETAILS

3/04/2024 7:40:07 AM

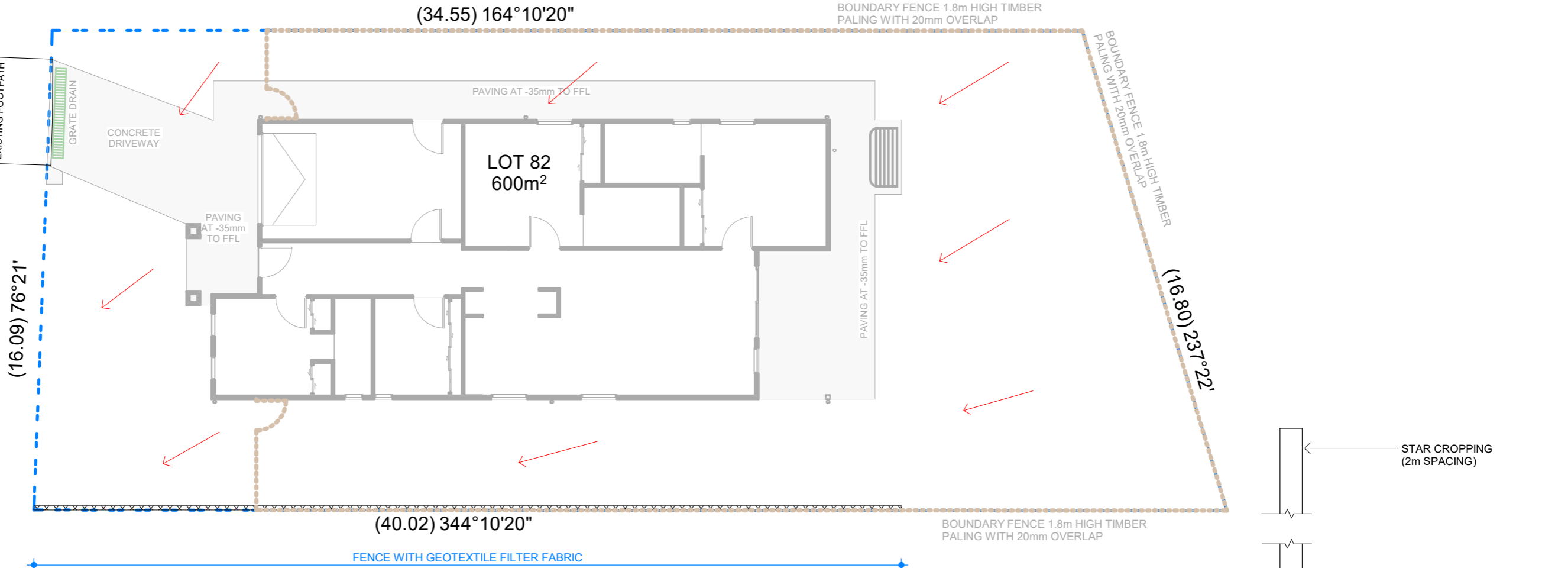
SCALE SHEET SIZE

As indicated A3

JOB No: **461N**

Drwg No: **D10b** Issue **A04**

SUNNINGDALE CLOSE



STORMWATER MANAGEMENT PLAN

1 : 150

LEGEND:

	FLOW DIRECTION
	SEDIMENT FENCE
	PAVING AREA

Sorell Council
 Development Application: Development Application - 10 Sunningdale Close, Midway Point - P1.pdf
 Plans Reference: P1
 Date Received: 4/04/2024

- IMPORTANT NOTES:**
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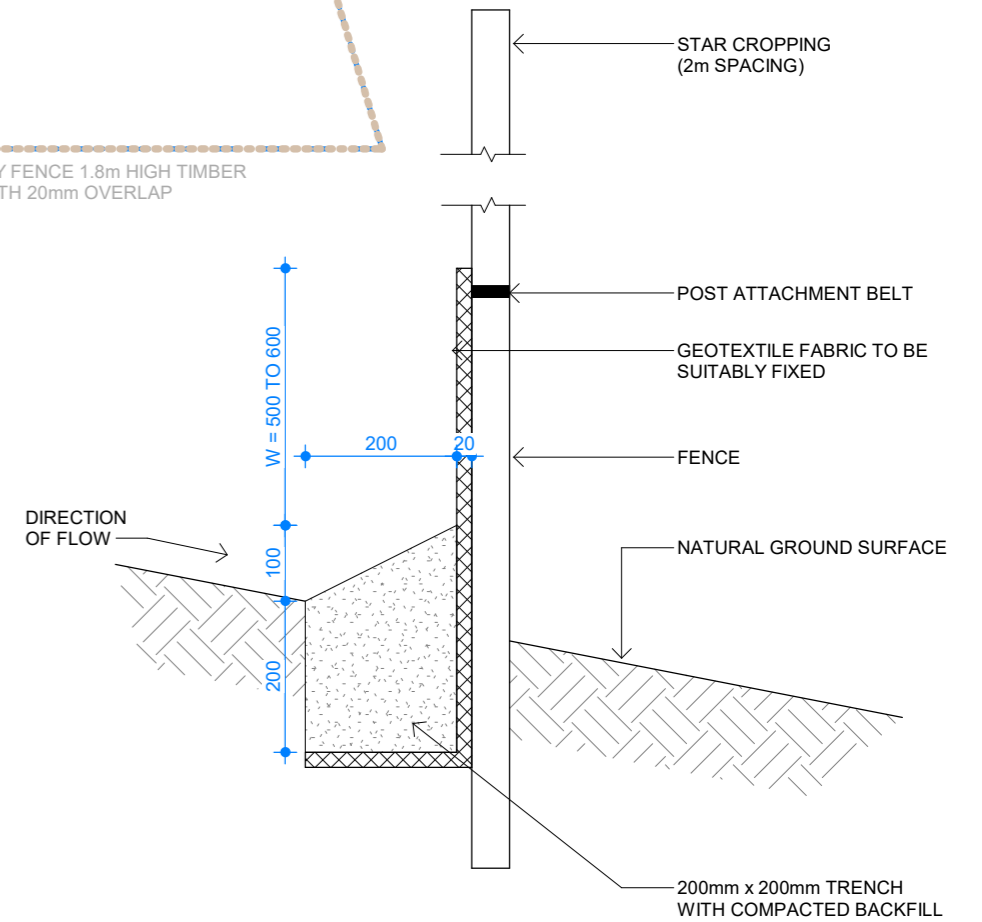
Home: **HPS-ABELIA-12.5(05H.02)**
 Client: **ONE CONTRACT PTY LTD (ACN 665 528 772) ATF THE ONE CONTRACT NO 1 TRUST**
 Location: **10 SUNNINGDALE CLOSE, MIDWAY POINT TAS 7171**

Facade: **A-ZARA 01-MONUMENT**

Drawing: **STORMWATER MANAGEMENT PLAN**

SIDEMENT FENCE SECTION DETAIL

1 : 10






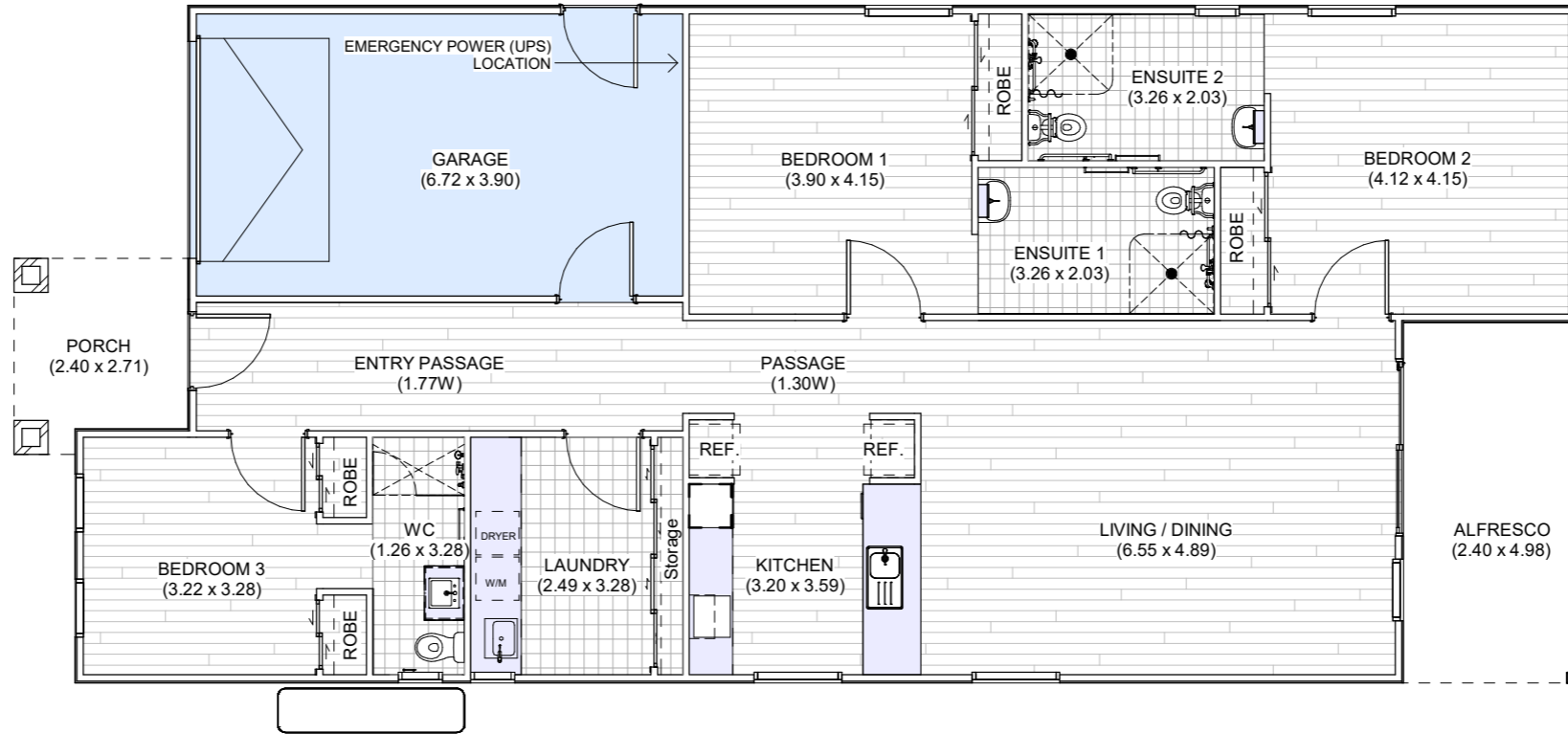
DRAWING DETAILS	
3/04/2024 7:40:08 AM	
SCALE	SHEET SIZE
As indicated	A3
JOB No:	461N
Drwg No:	D10c
Issue	A04

All dimensions to be verified on site

NOTE:
 ALL FLOOR COVERINGS TO BE FIRM AND EVEN AND FEATURE A TRANSITION BETWEEN ABUTTING SURFACES (A MAXIMUM VERTICAL TOLERANCE OF 3mm OR 5mm BETWEEN SURFACES IS ALLOWABLE PROVIDED THE LIP IS ROUNDED OR BEVELED.)

ALL INTERNAL FLOOR FINISHES SHALL HAVE A MINIMUM SLIP RESISTANCE OF P3 OR R10.

LEGEND	
	TIMBER OVERLAY
	CERAMIC TILE
	CONCRETE



FLOOR FINISHES PLAN

1 : 100

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Drwg No:	D11
Issue	A04

ELECTRICAL LEGEND:

- ⊕ **Ceiling Mounted LED - 10W, SEALED, IC-F RATED.**
- ⊕ **Pendant Light as Selected LED - 10W**
- ⊕ **External Wall Mounted Light**
@ 1800 above adjoining floor level unless otherwise indicated by height shown in brackets
- X **Light Switch - Single**
@ 1000 above adjoining floor level unless otherwise indicated by height shown in brackets
- XD **Light Switch and Dimmer**
@ 1000 above adjoining floor level unless otherwise indicated by height shown in brackets
- X2 **Light Switch - Two Way**
@ 1000 above adjoining floor level unless otherwise indicated by height shown in brackets
- Xr **Rangehood Switch**
- X **Isolator Switch - 6mm 32 AMP**
- ▲ **GPO - Single**
@ 700 above adjoining floor level unless otherwise indicated by height shown in brackets
- ▲ **GPO - Double**
@ 700 above adjoining floor level unless otherwise indicated by height shown in brackets
- ▲ **GPO - Double (External)**
@ 1200 above adjoining floor level unless otherwise indicated by height shown in brackets
- ▲ **GPO - Single (Capped)**
At window head height
- ▲ **GPO - Double (Capped)**
At window head height
- ▲ **GPO - 3 Phase Car Charge ALLOW FOR FUTURE INSTALLATION ONLY**
@ 1100 above adjoining floor level unless otherwise indicated by height shown in brackets
- **Conduit for 3 Phase Car Charge ALLOW FOR FUTURE CABLE INSTALLATION ONLY**
- TV **TV Socket**
@ 300 above adjoining floor level unless otherwise indicated by height shown in brackets
- T **Phone Socket**
@ 300 above adjoining floor level unless otherwise indicated by height shown in brackets
- ⊗ **Ceiling Mounter Exhaust Fan**
250mm diameter
- ⊗ **Ceiling Fan with Light**
250mm diameter
- ⊗ **Ceiling Fan**
250mm diameter
- **Motion Sensor**
- **Smoke Alarm**
- **Smoke Alarm with Emergency Light**
- ↕ **Reverse Cycle Air Conditioning**
- ⊕ **Thermostat**
- MH **Man Hole**
600x600 (Approx. Position)
- I **Intercom**

ELECTRICAL NOTES:

- LIGHT AND GPO SWITCHES SHALL BE ROCKER ACTION, TOGGLE OR PUSH PAD IN DESIGN WITH A MINIMUM WIDTH OF 35mm.
- DIMMABLE LIGHTING SWITCHES SHALL BE PROVIDED IN LIVING AREAS AND BEDROOMS.
- PROVIDE POWER AND CONTROL CABLING TO HEAD OF ENTRY DOORS OF BEDROOMS, ONE EXTERNAL ENTRY DOORWAY AND ONE EXTERNAL DOORWAY TO LIVING
- POWER POINT IN CEILING SPACE FOR DUCTED HEATING & COOLING
- PROVIDE POWER AND CONTROL CABLING TO WINDOWS OF BEDROOMS, AND LIVING AREAS FOR FUTURE WINDOW BLIND AUTOMATION. PROVIDE A CAPPED GPO AT WINDOW HEAD WHERE INDICATED.
- GPO'S IN BEDROOMS TO BE MINIMUM 600mm HIGH FROM FFL.
- GPO'S ABOVE BENCHES AND DESKS TO BE A MINIMUM 300mm FROM EDGE OF BENCH/DESK.
- PROVIDE MINIMUM 300LUX LIGHTING LEVELS AT MAXIMUM INTERVALS OF 1500mm MEASURED DIRECTLY OVER BENCHTOPS.
- ALL LIGHT SWITCHES SHALL BE POSITIONED IN A CONSISTENT LOCATION :
- 1000mm ABOVE FINISHED FLOOR LEVEL
- HORIZONTALLY ALIGNED WITH THE DOOR HANDLE AT THE ENTRANCE TO A ROOM.
- A MINIMUM OF 500mm FROM AN INTERNAL CORNER TO C/L OF THE LIGHT SWITCH.
- STANDARD VIDEO INTERCOM TO BEDROOMS & KITCHEN/LIVING.
- BEDROOMS SHALL HAVE A PROVISION FOR POWER AND INBUILT STRUCTURE, CAPABLE OF INSTALLATION OF A CONSTANT CHARGE CEILING HOIST
- EMERGENCY POWER SOLUTIONS SHALL BE PROVIDED TO CATER FOR A MINIMUM 2-HOUR OUTAGE IN NO LESS THAN 2 DOUBLE GPOs IN PARTICIPANT BEDROOMS AND ANY PROVIDED AUTOMATED DOORS THAT ARE USED FOR ENTRY OR EGRESS.
- BACKUP FOR LIFE SUPPORT SYSTEMS IF NEEDED BY PARTICIPANTS.

LEGEND - SERVICES

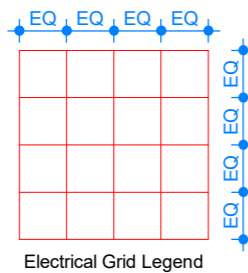
- HWS HOT WATER SERVICE
- MB METER BOX
- GAS GAS METER
- OR OVERFLOW RISER

ILLUMINATION POWER DENSITY

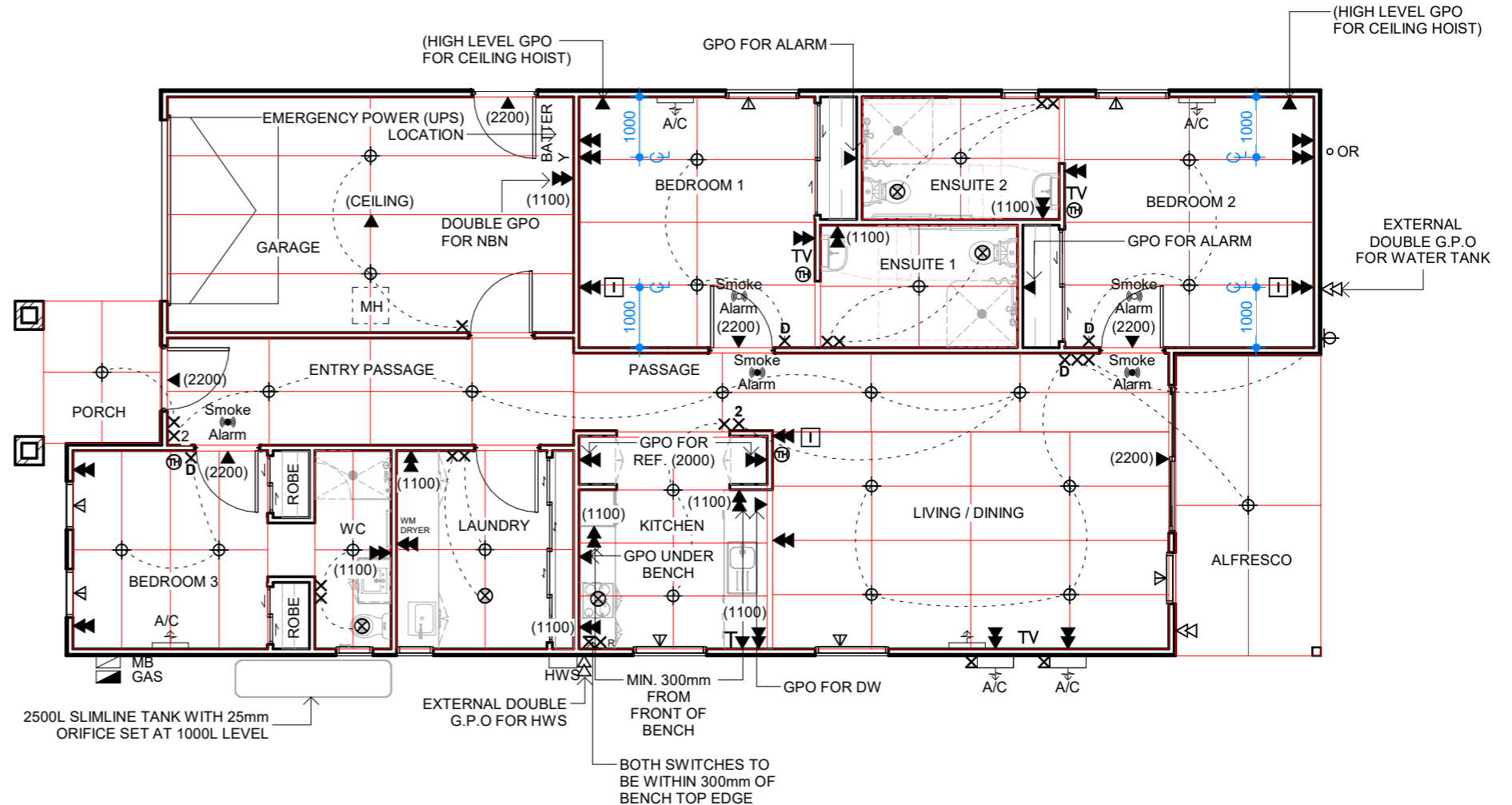
LIVING AREA:	145.70m ²	
TOTAL MAXIMUM ALLOWABLE FOR LIVING AREA AT 5WATTS/m ²	728.50 WATTS	
ACTUAL USAGE = 10WATTS x 21 DOWNLIGHTS	210.00 WATTS	
TOTAL WATTS USAGE =	1.44 WATTS/m ²	

GARAGE AREA:	27.50m ²	
TOTAL MAXIMUM ALLOWABLE FOR GARAGE AREA AT 3WATTS/M ²	82.50 WATTS	
ACTUAL USAGE = 10WATTS x 2 DOWNLIGHTS	20.00 WATTS	
TOTAL WATTS USAGE =	0.73 WATTS/m ²	

PORCH / ALFRESCO AREA:	17.90m ²	
TOTAL MAXIMUM ALLOWABLE FOR PORCH / ALFRESCO AREA AT 4WATTS/M ²	71.6 WATTS	
ACTUAL USAGE = 8WATTS x 2 DOWNLIGHTS	16.00 WATTS	
TOTAL WATTS USAGE =	0.89 WATTS/m ²	



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ELECTRICAL PLAN

1 : 100

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 Client: **ONE CONTRACT PTY LTD (ACN 665 528 772) ATF THE ONE CONTRACT NO 1 TRUST**
 Location: **10 SUNNINGDALE CLOSE, MIDWAY POINT TAS 7171**
 Drawing: **ELECTRICAL & LIGHTING PLANS**

Facade: **A-ZARA 01-MONUMENT**



DRAWING DETAILS	
3/04/2024 7:40:09 AM	
SCALE	SHEET SIZE
1 : 100	A3
JOB No:	461N
Drwg No:	D12 Issue A04

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FIRE SPRINKLER SYSTEM NOTES:

THIS PLAN IS FOR SPRINKLER SYSTEMS TO BE CONNECTED TO THE TOWNS MAIN VIA THE DRINKING WATER METER. THIS PLAN IS NOT TO BE USED FOR TANK & PUMP WATER SUPPLIES.

INSTALLATION REQUIREMENTS

- ALL PIPE, FITTING AND SUPPORTS SHALL BE IN ACCORDANCE WITH AS3500.1.
- FOR SPRINKLER SYSTEMS SUPPLIED BY TOWNS MAIN WATER SUPPLIES, ALL PIPE, FITTINGS AND SPRINKLERS SHALL WATERMARK APPROVED.
- SPRINKLER HEADS SHALL BE IN ACCORDANCE WITH THE SPRINKLER HEAD DATA REQUIREMENTS TABLE ON THIS DRAWING.
- PLASTIC PIPE SUPPLYING SPRINKLERS SHALL BE CONCEALED AND NOT EXPOSED TO LIGHT OR WEATHER.
- FOR TOWNS' MAIN WATER SUPPLIES, ALL COLD-WATER DRINKING FIXTURES SHALL BE SUPPLIED BY THE SPRINKLER LOOP WITH THE ONLY PERMITTED EXCEPTION BEING THOSE THAT ARE REQUIRED TO BE SUPPLIED BY NON-POTABLE WATER SUPPLY, BY JURISDICTIONAL REQUIREMENTS.

HYDRAULIC REQUIREMENTS

- ALL PIPE, FITTINGS AND VALVES FEEDING THE LOOP FROM TOWNS' MAIN WATER METER, SHALL BE NOT LESS THAN DN 32.
- ALL SPRINKLERS IN THE SYSTEM SHALL BE INSTALLED ON THE ONE COMMON PIPE LOOP ONLY.
- NO BRANCHES SUPPLYING INDIVIDUAL SPRINKLERS ARE PERMITTED.
- BRIDGING OF THE LOOP IS NOT PERMITTED.
- NO ELBOWS ARE PERMITTED IN THE PIPE LOOP. LOOP MUST BE CONTINUOUSLY FLOWTHROUGH ONLY.
- SPRINKLERS SHALL BE SUPPLIED THROUGH NOT LESS THAN DN25MM TEES IN THE PIPE LOOP.
- DN 15 M&F EXTENSION DROPPERS PERMITTED TO BE USED AT TEE BRANCH, FOR SPRINKLER HEIGHT ADJUSTMENT ONLY AND SHALL BE NOT LONGER THAN 100MM.
- SYSTEM SHALL BE DESIGNED AND INSTALLED SUCH THAT THE PRESSURE AND FLOW REQUIREMENTS ON THIS DRAWING CAN BE SATISFIED.
- FIXTURES OR IRRIGATION SYSTEMS THAT MAY DRAW GREATER THAN 25L/MIN SHALL NOT BE INSTALLED.

SPACING AND LOCATION OF SPRINKLERS

- SPRINKLERS SHALL BE LOCATED NOT MORE THAT 2.5M FROM A WALL, MEASURED PERPENDICULAR TO THE WALL ONLY.
- SPRINKLER LOCATION MAY BE MOVED NOT MORE THAN 300MM FROM THE POSITION DIMENSIONED ON THIS DRAWING.
- SOURCES OF HEAT THAT MAY OPERATE SPRINKLERS SUCH AND FIRE PLACES, HEATERS, HEAT LAMPS ETC., SHALL NOT BE LOCATED IN CLOSE PROXIMITY TO SPRINKLERS.
- LIGHT FIXTURES SHALL NOT BE INSTALLED CLOSER THAN 300MM FROM SPRINKLERS.
- SPRINKLERS IN THE GARAGE SHALL BE POSITIONED SUCH THAT THE GARAGE DOOR DOES NOT INTERFERE WITH THE SPRAY PATTERN OF SPRINKLERS WHEN THE DOOR IS UP.

COMMISSIONING REQUIREMENTS

- WIDE ANGLE PHOTOGRAPHS OF EACH SPRINKLER PROTECTED ROOM SHALL BE TAKEN BEFORE CEILING IS INSTALLED WITH GOOD VISIBILITY OF SPRINKLER(S). THESE SHALL BE PROVIDED AS EVIDENCE OF COMPLIANT INSTALLATION FOR CERTIFICATION PURPOSE.
- THE COMBINED SPRINKLER AND DRINKING SYSTEM SHALL BE FLUSHED, THEN PRESSURIZED AND HYDROSTATICALLY TESTED IN ACCORDANCE WITH THE SYSTEM COMMISSIONING PROVISIONS OF AS3500.1.
- A PRESSURE AND FLOW TEST SHALL BE CONDUCTED AFTER SUCCESSFUL COMPLETION OF THE HYDROSTATIC TEST DESCRIBED ABOVE. THE PRESSURE AND FLOW TEST SHALL VALIDATE THAT THE PRESSURE AND FLOW PERFORMANCE REQUIREMENTS ARE MET.
- THE ABOVE COMMISSIONING TEST MUST BE COMPLETED BEFORE CERTIFICATION CAN BE GRANTED.

- FIRE SPRINKLER
- OVERFLOW RISER

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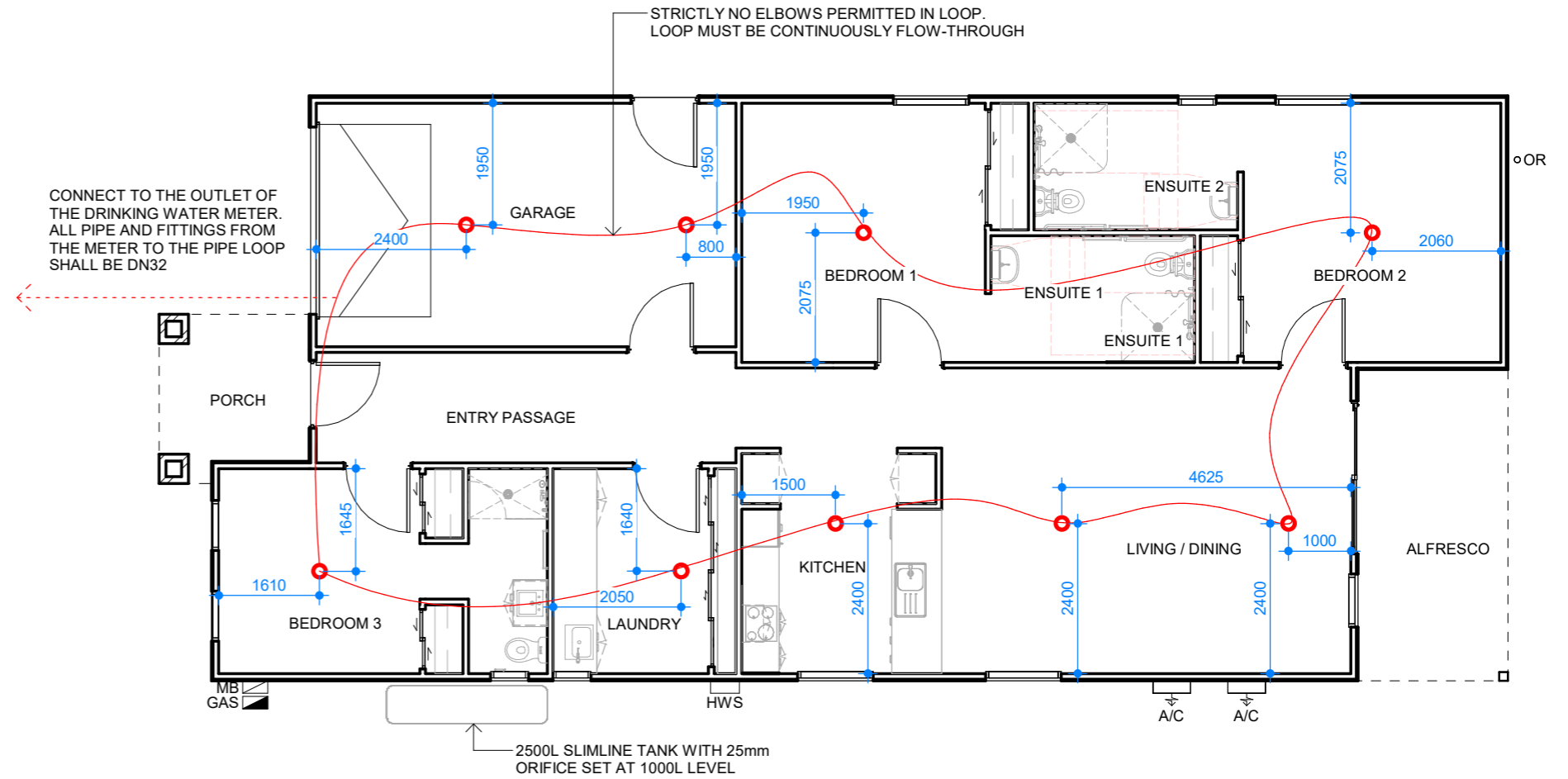
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SPRINKLER HEAD DATA	
SPRINKLER OCCUPANCY TYPE	RESIDENTIAL
SPRINKLER ORIENTATION	CONCEALED OR PENDANT
SPRINKLER OPERATION TEMPERATURE	57 - 74 DEGREES C
K FACTOR (METRIC)	68 TO 72
THREAD SIZE	15mm BSPT
WATERMARK APPROVAL	REQUIRED

NOTE:
 FIRE SPRINKLER SYSTEM TO BE IN INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF AS 2118.5-2008 AUTOMATIC FIRE SPRINKLER SYSTEMS HOME FIRE SPRINKLER SYSTEMS (RECONFIRMED 2020)

PRESSURE AND FLOW PERFORMANCE REQUIREMENTS

50 L/Min @ 150 kPa
 PRESSURE MEASURED IMMEDIATELY
 DOWNSTREAM OF THE WATER METER



FIRE SPRINKLER PLAN FOR TOWNS MAIN CONNECTION

1 : 100



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 SCALE 1 : 100 SHEET SIZE A3

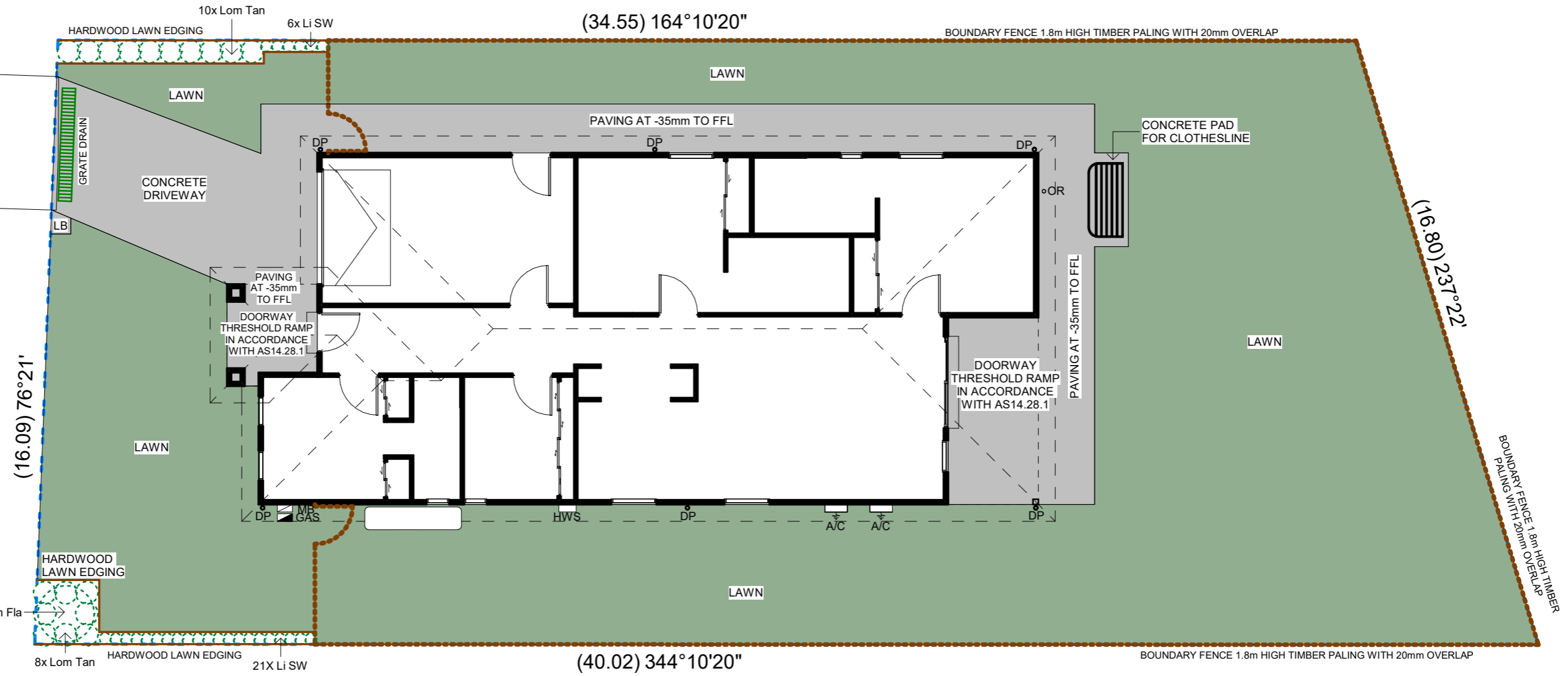
JOB No: **461N**

Drwg No: **D13** Issue **A04**

SUNNINGDALE CLOSE

EXISTING CROSSOVER

EXISTING FOOTPATH



LANDSCAPE PLAN

1 : 125

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SELECTED PLANT LIST						
NO	CODE	POT	BOTANICAL NAME	COMMON NAME	HEIGHT	WIDTH
TREES						
1	Hym fla	400	Hymenosporum flavum	NATIVE FRANGIPANI	8.0	4.0
SHRUBS						
18	Lom Tan	140	Lomandra longifolia "Tanika"	MAT RUSH	0.4	0.6
GROUND COVERS						
27	Li SW	140	Liriope muscari 'Stripy White'	STRIPEY WHITE	0.3	0.4

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SJM property developments
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 Drwg No: **D14** Issue: **A04**


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EXTERIOR SCHEDULE - SCHEME 01 MONUMENT

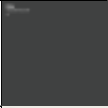
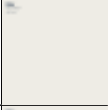
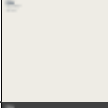





Builder:	SJM Property Developments
Revision Date:	10/08/2023
Revision No:	04
Design:	Abelia

Item/Location	Product Code/Name	Finish/Size/Colour/Comments	Manufacturer	Image
Roofing				
Corrugated Roof Sheet	Custom Orb	Colorbond Monument		
Fascia & Gutter	Quad Profile	Colorbond Monument		
Downpipes	Round PVC	Painted Dulux Natural White		
Doors				
Front Door	Madison PMAD 101	Translucent Glass	Corinthian	
Rear Garage Door	Solid Core External		Corinthian	
Laundry Door	Solid Core External		Corinthian	
Windows and Flyscreens				
Windows		Colorbond Night Sky Frame Black Hardware		
Fly Screens - N/A Unless BAL Rated		Colorbond Night Sky Frame Mesh as per BAL Rating		
Garage Door				
Garage Door	Panelift	Seville, Woodgrain Textured Colorbond Monument	b&d	
Render				
Render A (façade feature/post base if applicable)		Colorbond Monument	Dulux	
Easy Tex (Main)		Natural White	Dulux	
Cladding				
Refer to Exterior Elevations	Axon 133mm Smooth Vertical	Dulux Colorbond Monument	James Hardie	


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Paint				
Porch Post		Colorbond Monument	Dulux	
Alfresco / Porch Ceiling		Natural White	Dulux	
Eave Lining		Natural White	Dulux	
Front Door		Colorbond Night Sky	Dulux	
Rear Garage Door & Laundry Door		Colorbond Night Sky	Dulux	
Concreting				
Driveway	Exposed Aggregate	Cradle Mountain	Hanson	
Electrical				
Porch / Alfresco Ceiling Lights	Builder's Range LED	White		
Miscellaneous				
Clothesline	Single Fold Down MK2 Lift and Lock	Black	Daytek	
Letterbox	Dune Letterbox	Black	Sandleford	


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ND

DS
RMC

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DG