



# **SORELL COUNCIL**

## **NOTICE OF PROPOSED DEVELOPMENT**

Notice is hereby given that an application has been made for planning approval for the following development:

**SITE: 16 Oakmont Road, Midway Point**

**PROPOSED DEVELOPMENT:**

**DWELLING**

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at [www.sorell.tas.gov.au](http://www.sorell.tas.gov.au) until **Monday 13<sup>th</sup> May 2024**. Any person may make representation in relation to the proposal/s by letter or electronic mail ([sorell.council@sorell.tas.gov.au](mailto:sorell.council@sorell.tas.gov.au)) addressed to the General Manager. Representations must be received no later than **Monday 13<sup>th</sup> May 2024**.

**APPLICANT: Sjm Property Developments**

**DATE: 24 April 2024**

**APPLICATION NO: 5.2024.65.1**



16 Oakmont Road, Midway Point - Representation Close Monday 13th May 2024

24-Apr-2024



Disclaimer: This map is a representation of the information currently held by Sorell Council. While every effort has been made to ensure the accuracy of the product, Council accepts no responsibility for any errors or omissions. Any feedback on omissions or errors would be appreciated.

100 m



**Part B: Please note that Part B of this form is publicly exhibited.**

Full description of Proposal:	Use: <b>Residential</b>
	Development: <b>Dwelling</b>
	<i>Large or complex proposals should be described in a letter or planning report.</i>
Design and construction cost of proposal:	\$ <b>600,000</b>

Is all, or some the work already constructed:	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>
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Location of proposed works:	Street address: <b>16 Oakmont Road</b>
	Suburb: <b>MIDWAY POINT TAS</b> Postcode: <b>7171</b>
	Certificate of Title(s) Volume: <b>184510</b> Folio: <b>39</b>

Current Use of Site	<b>VACANT</b>
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Current Owner/s:	Name(s) <b>Wayne Joseph Nicholas and Jennifer Marie Curran</b>
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Is the Property on the Tasmanian Heritage Register?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Council or Crown land section on page 3</i>

**If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form**

<https://www.sorell.tas.gov.au/services/engineering/>



**Sorell Council**  
 Development Application: Development Application - 16 Oakmont Road, Midway Point - P1.pdf  
 Plans Reference:P1  
 Date Received:4/04/2024



# **AS2870:2011 SITE ASSESSMENT**

**16 Oakmont Road**

**Midway Point**

**March 2024**



GEO-ENVIRONMENTAL  
SOLUTIONS



Disclaimer: The author does not warrant the information contained in this document is free from errors or omissions. The author shall not in any way be liable for any loss, damage or injury suffered by the User consequent upon, or incidental to, the existence of errors in the information.

## Investigation Details

<b>Client:</b>	SJM Property Developments (Aus) Pty Ltd
<b>Site Address:</b>	16 Oakmont Road, Midway Point
<b>Date of Inspection:</b>	28/03/2024
<b>Proposed Works:</b>	New house
<b>Investigation Method:</b>	Geoprobe 540UD - Direct Push
<b>Inspected by:</b>	M. Campbell

## Site Details

<b>Certificate of Title (CT):</b>	184510/39
<b>Title Area:</b>	Approx. 455.6 m <sup>2</sup>
<b>Applicable Planning Overlays:</b>	Bushfire-prone Areas, Airport obstacle limitation area
<b>Slope &amp; Aspect:</b>	3° W facing slope
<b>Vegetation:</b>	Grass & Weeds, Disturbed

## Background Information

<b>Geology Map:</b>	MRT
<b>Geological Unit:</b>	Triassic Sandstone
<b>Climate:</b>	Annual rainfall 400mm
<b>Water Connection:</b>	Mains
<b>Sewer Connection:</b>	Serviced-Mains
<b>Testing and Classification:</b>	AS2870:2011, AS1726:2017 & AS4055:2021

## Investigation

A number of bore holes were completed to identify the distribution and variation of the soil materials at the site, bore hole locations are indicated on the site plan. See soil profile conditions presented below. Tests were conducted across the site to obtain bearing capacities of the material at the time of this investigation.

### **Soil Profile Summary**

BH 1 Depth (m)	BH 2 Depth (m)	USCS	Description
0.00-0.10	0.00-0.10	SP	<b>SAND:</b> grey, brown, dry, loose,
0.10-0.30	0.10-0.30	SM	<b>Silty SAND:</b> brown, slightly moist, loose,
0.30-0.70	0.30-0.80	CI	<b>Silty CLAY:</b> medium plasticity, yellow, brown, slightly moist, very stiff,
0.70-0.80	0.80-0.90	GC	<b>Clayey GRAVEL:</b> yellow, brown, dry very dense, refusal

## Site Notes

Soils on the site are developing from Triassic Sandstone. The clay fraction is likely to show moderate ground surface movement.

## Site Classification

The site has been assessed and classified in accordance with AS2870:2011 “Residential Slabs and Footings”.

The site has been classified as:

### **Class M**

Y<sup>s</sup> range: **20-40mm**

Notes: that is a moderately reactive clay.

## Wind Loading Classification

According to “AS4055:2021 - Wind Loads for Housing” the house site is classified below:

<b>Wind Classification:</b>	<b>N3</b>
Region:	A
Terrain Category:	1.0
Shielding Classification:	NS
Topographic Classification:	T1
Wind Classification:	N3
Design Wind Gust Speed – m/s ( $V_{h,u}$ ):	50

## Construction Notes & Recommendations

The site has been classified as **Class M** - Moderately reactive clay or silt site, which may experience moderate ground movement from moisture changes.

It is recommended the foundations be placed on the underlying bedrock to minimise the potential for foundation movement.

All earthworks on site must comply with AS3798:2012, and I further recommend that consideration be given to drainage and sediment control on site during and after construction. Care should also be taken to ensure there is adequate drainage in the construction area to avoid the potential for weak bearing and foundation settlement associated with excessive soil moisture.

I also recommend that during construction that I and/or the design engineer be notified of any major variation to the foundation conditions as predicted in this report.



Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD

*Director*



## Explanatory Notes

### 1 Scope of Works

The methods of description and classification of soils used in this report are based largely on Australian Standard 1726 – Geotechnical Site Investigations (AS1726:2017), with reference to Australian Standard 1289 – Methods for testing soils for engineering purposes (AS1289), for eventual Site Classification according to Australian Standard 2870 (AS2870:2011) – Residential Slabs and Footings and Australian Standard 1547 (AS1547:2012) On-site domestic wastewater management.

#### 1.1 Site Classification AS2870:2011

Site classification with reference to the above Australian Standards are based on site reactivity.

Class	Foundation Conditions	Characteristic Surface Movement
A	Most sand and rock sites with little or no ground movement from moisture changes.	0mm
S	Slightly reactive clay sites, which may experience only slight ground movement from moisture changes.	0 – 20mm
M	Moderately reactive clay or silt sites, which may experience moderate ground movement from moisture changes.	20 – 40mm
H-1	Highly reactive clay sites, which may experience high ground movement from moisture changes.	40 – 60mm
H-2	Highly reactive clay sites, which may experience very high ground movement from moisture changes.	60 – 75mm
E	Extremely reactive sites, which may experience extreme ground movement from moisture changes.	>75mm

*Note: Soils where foundation performance may be significantly affected by factors other than reactive soil movement are classified as **Class P**.*

A site is classified as **Class P** when:

- The bearing capacity of the soil profile in the foundation zone is generally less than 100kpa
- If excessive foundation settlement may occur due to loading on the foundation.
- The site contains uncontrolled fill greater than 0.8m in depth for sandy sites and 0.4m in depth for other soil materials.
- The site is subject to mine subsistence, landslip, collapse activity or coastal erosion.
- The site is underlain by highly dispersive soils with significant potential for erosion
- If the site is subject to abnormal moisture conditions which can affect foundation performance

## 1.2 Soil Characterisation

This information explains the terms of phrase used within the soil description area of the report.

It includes terminology for cohesive and non-cohesive soils and includes information on how the Unified Soil Classification Scheme (USCS) codes are determined.

<b>NON COHESIVE – SAND &amp; GRAVEL</b>		
<b>Consistency Description</b>	<b>Field Test</b>	<b>Dynamic Cone Penetrometer blows/100 mm</b>
Very loose (VL)	Easily penetrated with 13 mm reinforcing rod pushed by hand.	0 - 1
Loose (L)	Easily penetrated with 13 mm reinforcing rod pushed by hand. Can be excavated with a spade; 50 mm wooden peg can be easily driven.	1 - 3
Medium dense (MD)	Penetrated 300 mm with 13 mm reinforcing rod driven with 2 kg hammer, - hard shovelling.	3 - 8
Dense (D)	Penetrated 300 mm with 13 mm reinforcing rod driven with 2 kg hammer, requires pick for excavation: 50 mm wooden peg hard to drive.	8 - 15
Very dense (VD)	Penetrated only 25 - 50 mm with 13 mm reinforcing rod driven with 2 kg hammer.	>15

<b>COHESIVE - SILT &amp; CLAY</b>		
<b>Consistency Description</b>	<b>Field Test</b>	<b>Indicative undrained shear strength kPa</b>
Very soft	Easily penetrated >40 mm by thumb. Exudes between thumb and fingers when squeezed in hand.	<12
Soft	Easily penetrated 10 mm by thumb. Moulded by light finger pressure	>12 and <25
Firm	Impression by thumb with moderate effort. Moulded by strong finger pressure	>25 and <50
Stiff	Slight impression by thumb cannot be moulded with finger.	>50 and <100
Very Stiff	Very tough. Readily indented by thumbnail.	>100 and <200
Hard	Brittle. Indented with difficulty by thumbnail.	>200



Grain size analysis is performed by two processes depending on particle size. Sand silt and clay particles are assessed using a standardised hydrometer test, and coarse sand and larger is assessed through sieving by USCS certified sieves. For more detail see the following section.

Soil Classification	Particle Size
Clay	Less than 0.002mm
Silt	0.002 – 0.06mm
Fine/Medium Sand	0.06 – 2.0mm
Coarse Sand	2.0mm – 4.75mm
Gravel	4.75mm – 60.00mm

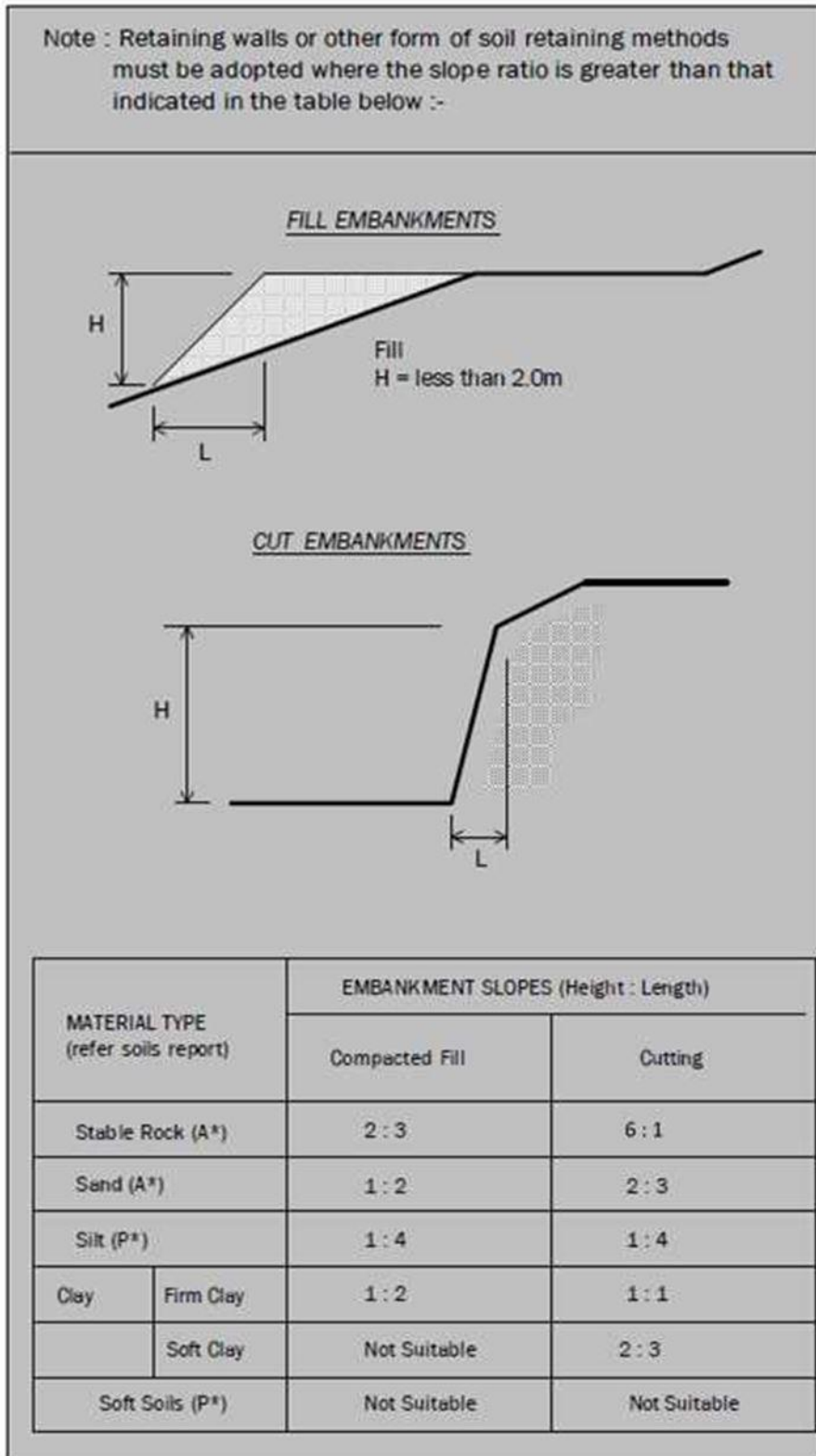
#### 1.4 Bearing Capacities and DCP testing.

DCP and PSP weighted penetrometer tests – Dynamic Cone Penetrometer (DCP) and Perth Sand Penetrometer (PSP) tests are carried out by driving a rod into the ground with a falling weight hammer and measuring the blows for successive 100mm increments of penetration. Normally, there is a depth limitation of 1.2m but this may be extended in certain conditions by the use of extension rods. The methods for the two tests are quite similar.

- Dynamic Cone Penetrometer – a 16mm rod with a 20mm diameter cone end is driven with a 9kg hammer dropping 510mm (AS 1289, Test 6.3.2).
- Perth Sand Penetrometer – a 16mm diameter flat-ended rod is driven with a 9kg hammer, dropping 600mm (AS 1289 Test 6.3.3). This test was developed for testing the density of sands and is mainly used in granular soils and filling.

Site Anomalies – During construction GES will need to be notified of any major variation to the foundation conditions as predicted in this report.

**1.5 Batter Angles for Embankments (Guide Only)**



## Glossary of Terms

**Bearing Capacity** – Maximum bearing pressure that can be sustained by the foundation from the proposed footing system under service loads which should avoid failure or excessive settlement.

**Clay** – (Mineral particles less than 0.002mm in diameter). Fine grained cohesive soil with plastic properties when wet. Also includes sandy clays, silty clays, and gravelly clays.

**Dynamic Cone Penetrometer (DCP)** – Field equipment used to determine underlying soil strength and therefore bearing capacity (kPa) by measuring the penetration of the device into the soil after each hammer blow.

**Dispersive soil** – A soil that has the ability to pass rapidly into suspension in water.

**Footing** – Construction which transfers the load from the building to the foundation.

**Foundation** – Ground which supports the building

**Landslip** – Foundation condition on a sloping site where downhill foundation movement or failure is a design consideration.

**Qualified Engineer** – A professional engineer with academic qualifications in geotechnical or structural engineering who also has extensive experience in the design of the footing systems for houses or similar structures.

**Reactive Site** – Site consisting of clay soil which swells on wetting and shrinks on drying by an amount that can damage buildings on light strip footings or unstiffened slabs. Includes sites classified as S, M, H-1, H-2 & E in accordance with AS2870-2011.

**Sand** – (Mineral particles greater than 0.02mm in diameter). Granular non-cohesive, non-plastic soil that may contain fines including silt or clay up to 15%.

**Services** – Means all underground services to the site including but not limited to power, telephone, sewerage, water & storm water.

**Silt** – (Mineral particles 0.002 – 0.02mm in diameter). Fine grained non-cohesive soil, non-plastic when wet. Often confers a silky smoothness of field texture, regularly includes clay and sand to form clayey silts, sandy silts and gravelly silts.

**Site** – The site title, as denoted by address, lot number, or Certificate of Title (CT) number, or Property Identification Number (PID).

**Surface Movement (Ys)** – Design movement (mm) at the surface of a reactive site caused by moisture changes.

## Disclaimer

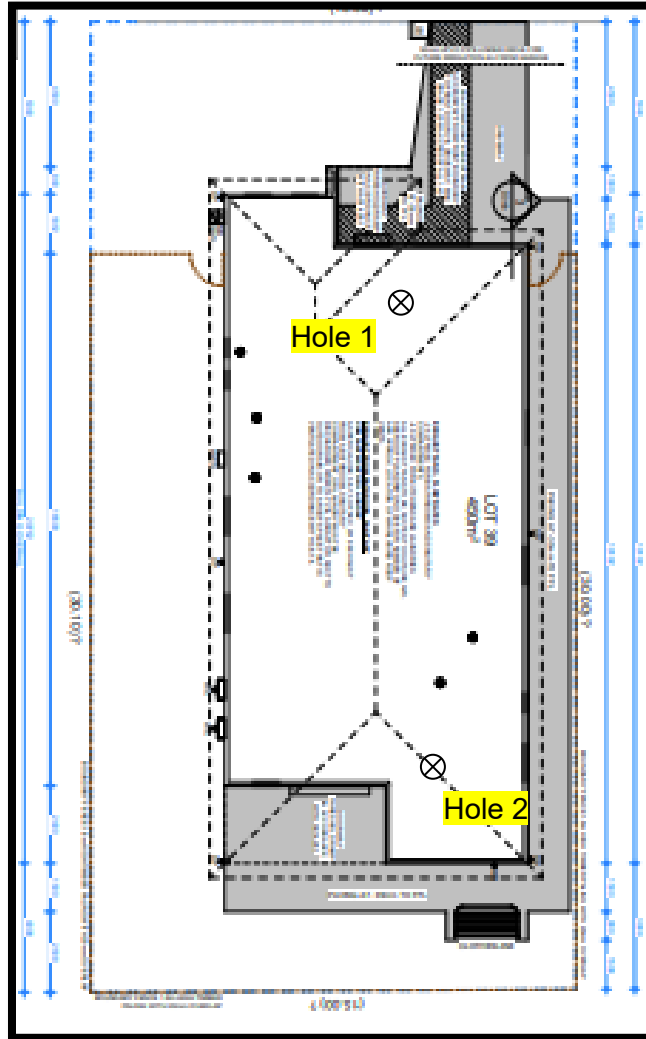
This Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the Client. To the best of GES's knowledge, the information presented herein represents the client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that discussed in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organisations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

The scope of this study does not allow for the review of every possible geotechnical parameter or the soil conditions over the whole area of the site. Soil and rock samples collected from the investigation area are assumed to be representative of the areas from where they were collected and not indicative of the entire site. The conclusions discussed within this report are based on observations and/or testing at these investigation points.

This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required.

No responsibility is accepted for use of any part of this report in any other context or for any other purpose by third a party.

**Site Plan**





# CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

Form **55**

To:  Owner /Agent  
 Address  
  Suburb/postcode

## Qualified person details:

Qualified person:   
Address:     
Licence No:  Email address:   
Phone No:   
Fax No:

Qualifications and Insurance details:  (description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Speciality area of expertise:  (description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

## Details of work:

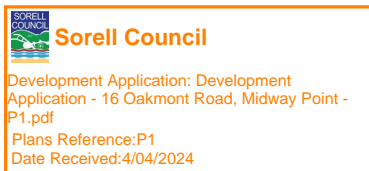
Address:    Lot No:   
Certificate of title No:

The assessable item related to this certificate:  (description of the assessable item being certified)  
Assessable item includes –  
- a material;  
- a design  
- a form of construction  
- a document  
- testing of a component, building system or plumbing system  
- an inspection, or assessment, performed

## Certificate details:

Certificate type:  (description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)



building work, plumbing work or plumbing installation or demolition work

or a building, temporary structure or plumbing installation:

In issuing this certificate the following matters are relevant –

Documents:	The attached soil report for the address detailed above in 'details of work'
Relevant calculations:	Reference the above report.
References:	AS2870:2011 residential slabs and footings AS1726:2017 Geotechnical site investigations CSIRO Building technology file – 18.

*Substance of Certificate: (what it is that is being certified)*

Site Classification consistent with AS2870-2011.

*Scope and/or Limitations*

The classification applies to the site as inspected and does not account for future alteration to foundation conditions as a result of earth works, drainage condition changes or variations in site maintenance.

**I, John-Paul Cumming certify the matters described in this certificate.**

Qualified person:

Signed:

Certificate No:

Date:

J10047

01/03/2024



A handwritten signature in black ink, appearing to be 'John Paul Cumming', written over a light grey background.



# BUSHFIRE HAZARD REPORT



Proposed residential dwelling  
16 Oakmont Road  
Midway Point, 7171

Dated 3<sup>rd</sup> March 2024  
Report by David Lyne BFP-144



11 Granville Avenue  
Geilston Bay, 7015  
M: 0421 852 987  
[dave\\_lyne@hotmail.com](mailto:dave_lyne@hotmail.com)

## Contents

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**Appendix A** – Topographic Map with Cadastral & Contour Overlay - indicates subject site

**Appendix B** – Site photos and designers site plan

**Appendix C** – Bushfire Hazard Management Plan, by David Lyne – certified date 03.03.2024; & Certificate of Others (Form 55) 1475/24



### **1. Introduction**

I have been engaged by SJM Property Developments to prepare a bushfire report and plan for a new residential dwelling in the suburb of Midway Point. The intent of this report is to confirm the suitability of the bushfire prone parcel of land to be successfully developed for the dwelling in accordance with the Directors Determination – bushfire hazard areas v1.1 (the Code).

The assessment describes the site and surrounding area, classifying the vegetation, assessing the slope and environmental features. This report should be included with approval documentation forming part of the certified documentation intended to satisfy the Directors Determination. The body of the report describes the site and assesses the requirements to be implemented to satisfy the requirements of the Directors Determination.

## 2. Limitation of Report

This report has been prepared for the above mentioned clients for their use and distribution only. The intent of the report is to provide supporting documentation for the Development Application (specifically vegetation clearance/maintenance distances) and the Building Application. Should submitted Application Plans differ from the Certified Plans in this report then an amended design review should be conducted to determine the suitability of any amendments in relation to the Bushfire Prone Area Requirements of AS3959-2018.

It is also to be noted that the assessment has been conducted according to the site inspection being conducted in March 2024 and does not take into account the possibility of altered site conditions either naturally occurring or where currently maintained or excluded vegetation conditions change due to a lack of ongoing maintenance.

It should be noted that compliance with the recommendations contained in this assessment does not mean that there is no residual risk to life safety or property as a result of bushfire. A residual level of risk remains which recognizes that removing the risk to life and property in absolute terms is not achievable while people continue to build in bushfire prone areas. This limitation is expressed in the following extract from AS 3959 (2018) which states (in the forward), *It should be borne in mind that the measures contained in this Standard cannot guarantee that a building will survive a bushfire event on every occasion. This is substantially due to the degree of vegetation management, the unpredictable nature and behaviour of fire, and extreme weather conditions.*

This level of residual risk is inherent in all bushfire standards and also applies to this assessment.

## 3. Site Description and Background

16 Oakmont Road Midway Point is an existing land parcel located in the municipality of the Sorell Council. The property is currently low threat vegetation, with neighbouring properties currently low threat vegetation to all directions.

The site has access to a pre-approved public road – Oakmont Road, which links to Penna Road and eventually the Tasman Highway. This allotment is provided with a reticulated hydrant water supply for firefighting.

### 3.1 Property Details

Address: 16 Oakmont Road, Midway Point 7171

Municipality: Sorell Council

Zoned: General Residential

Lot Number: 184510/39

Type of Development: New Residential dwelling

Classified BAL: **BAL-LOW**





Appendix A: Photo 1 – Aerial photo with Cadastral Overlay – Subject site highlighted blue.

### 3.2 Classification of Vegetation

The vegetation affecting the site has been classified in accordance with Clause 2.2.3 of AS 3959-2018. The Bushfire-Prone vegetation affecting the site is predominantly **Grassland – Group G** in accordance with AS3959-2018.

In this case, in accordance with Clause 2.2.2 of AS 3959-2018, the relevant Fire Danger Index for Tasmania of 50 (FDI 50).

When considering the definition of Bushfire Prone Area under the Directors Determination it is evident the proposed dwelling location is within 100 metres of greater than 1 hectare of vegetation classified in accordance with AS 3959-2018 and is therefore considered '*Bushfire Prone*'.

From the proposed dwelling site a 360° survey has been conducted to determine the vegetation type, proximity and slope under the vegetation which is of the highest hazard rating. In this case the **Grassland – Group G** is the highest hazard vegetation surrounding the proposed dwelling.

Note: in a bushfire there is a possibility of fire attack from any direction, not just the direction of the highest hazard.

Photo 1 above indicates the Bushfire Prone Vegetation described. Refer to Appendix B for current conditions as at time of inspection.



### 3.3 Slope

The Effective slope of the land under the classified vegetation is determined in accordance with Clause 2.2.5 of AS 3959- 2018.

The *effective* slope under the bushfire prone vegetation is generally Upslope/Flatland to the east; downslope 0-5° to the north, south and to the west.

Refer to Appendix A Image for topographic contour information.

## 4. Bushfire Assessment

In accordance with Clause 2.2 of AS 3959-2018, the Simplified Procedure has been applied to determine the Bushfire Attack Level (BAL) for the proposed dwelling site. In accordance with the Directors Determination, fire-fighting water supply and vehicle access are also considered and discussed in relation to the proposed dwelling.

### 4.1 Bushfire Attack Level

Considering the current conditions, in accordance with AS3959-2018 the dwelling site is capable of achieving **BAL-LOW** (the minimum required standard being BAL-29 required by the Directors Determination).

The desired BAL rating to be applied in this instance will be **BAL-LOW**. The vegetation within the Hazard Management Area (HMA) is to be continually managed to a low threat level - as per Clause 2.2.3.2 of AS3959-2018.



Table 1 – Bushfire Attack Level Assessment Summary and Notes

**Property Details**

<b>Applicants Name</b>	SJM Property Developments	<b>Phone</b>	0407 542 974
<b>Municipality</b>	Sorell Council	<b>Zoning</b>	General Residential
<b>Certificate of Title/Lot No.</b>	184510/39	<b>Lot Size</b>	499m <sup>2</sup>
<b>Address</b>	16 Oakmont Road, Midway Point 7171		

**Type of Building Work**

- New Class 1a Buildings
- New Class 10a Building
- New Class 2 Building
- New Class 3 Building
- Alteration/Additions to an existing building



**Sorell Council**  
 Development Application: Development Application - 16 Oakmont Road, Midway Point - P1.pdf  
 Plans Reference:P1  
 Date Received:4/04/2024

Description of building work: e.g. *single dwelling with attached garage*  
New residential dwelling

**Bush Fire Attack Level (BAL)**

Relevant fire danger index: (see clause 2.2.2)

**FDI 50**

**Assess the vegetation within 100m in all directions (tick relevant group)**

Note 1: Refer to table 2.3 and figures 2.3 & 2.4 for description and classification of vegetation.

Note 2: If there is no classified vegetation within 100m of the site then the BAL is LOW for that part of the site.

Vegetation Classification (See Table 2.3)	North <input checked="" type="checkbox"/>	South <input checked="" type="checkbox"/>	East <input checked="" type="checkbox"/>	West <input checked="" type="checkbox"/>
	North East <input type="checkbox"/>	South-West <input type="checkbox"/>	South-East <input type="checkbox"/>	North-West <input type="checkbox"/>
Group -	Low threat veg.	Low threat veg.	Low threat veg.	Low threat veg.

Exclusions (where applicable)	Circle relevant paragraph descriptor from clause 2.2.3.2			
	(a) (b) (c) (d) <b>(e) (f)</b>	(a) (b) (c) (d) <b>(e) (f)</b>	(a) (b) (c) (d) <b>(e) (f)</b>	(a) (b) (c) (d) <b>(e) (f)</b>

**Distance of the site from classified vegetation (see clause 2.2.4)**

Distance to classified vegetation	Show distances in meters			
	N/A	N/A	N/A	N/A



Effective Slope	Upslope			
Slope under the classified vegetation	Upslope/0°	Upslope/0° X	Upslope/0°	Upslope/0° X
	Downslope			
	>0 to 5° X	>0 to 5° <input type="checkbox"/>	>0 to 5° X	>0 to 5° <input type="checkbox"/>
	>5 to 10° <input type="checkbox"/>	>5 to 10° <input type="checkbox"/>	>5 to 10° <input type="checkbox"/>	>5 to 10° <input type="checkbox"/>
	>10 to 15° <input type="checkbox"/>	>10 to 15° <input type="checkbox"/>	>10 to 15° <input type="checkbox"/>	>10 to 15° <input type="checkbox"/>
	>15 to 20° <input type="checkbox"/>	>15 to 20° <input type="checkbox"/>	>15 to 20° <input type="checkbox"/>	>15 to 20° <input type="checkbox"/>

BAL value for each side of the site	BAL-LOW	BAL-LOW	BAL-LOW	BAL-LOW
Separation to achieve BAL-29	N/A	N/A	N/A	N/A
Separation to achieve BAL-19	N/A	N/A	N/A	N/A
Separation to achieve BAL-12.5	N/A	N/A	N/A	N/A

### Construction Requirements

For this particular development a BAL-LOW rating would suit all directions of this site, construction will be generally compliant with AS3959 -2018 Sections 3 and 4.

#### 4.2 Road / Vehicle Access

The primary access to the lot is from a sealed public road – Oakmont Road, which connects to Penna Road and eventually the Tasman Highway. As there is a hydrant within 120m of the proposed dwelling, there are no requirements to upgrade the driveway and access for firefighting purposes.

#### 4.3 Water supply for firefighting

The proposed development has access to a reticulated water supply suitable for firefighting. There is an existing water hydrant located to the north of the front boundary of the property.

### 5. Conclusion

The site has been classified as **BAL-LOW** as per the assessment processes outlined in AS3959-2018. The separation distances shown above are the areas to be maintained and kept in a way to reduce the fuel loads present in order to achieve lower BAL ratings. For this particular site and for where the proposed building is to be constructed, a **BAL-LOW** rating is easily achieved and would suit all directions of the site.

### 6. References

- Directors Determination – Bushfire hazard areas v1.1

- LIST map version. Aerial Photograph [online]. Available from: <http://www.thelist.tas.gov.au/listmap/listmap>

- Standards Australia 2018, *Construction of buildings in bushfire prone areas*, AS 3959-2018.



**Statement**

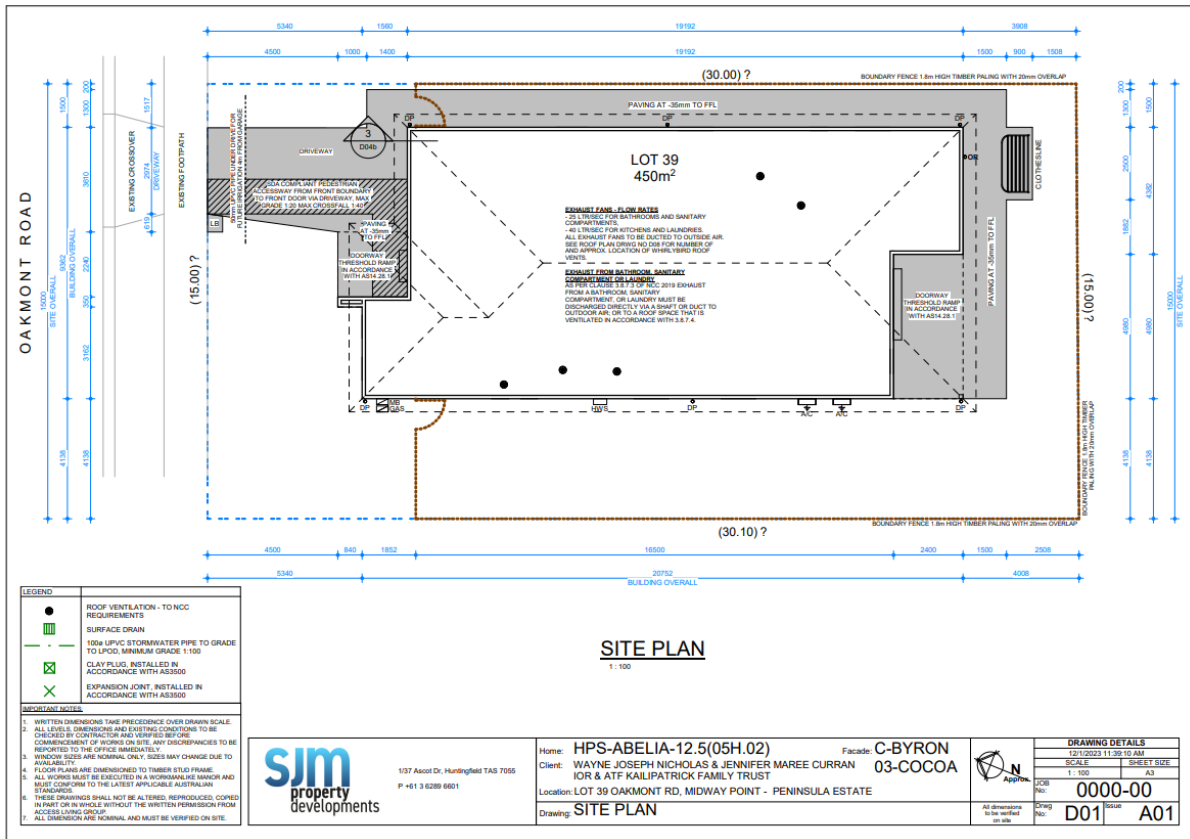
I have taken all reasonable steps to ensure that the information provided in this assessment is accurate and reflects the conditions on and around the site and allotment on the date of this assessment.

It should be noted that this report does not take into account the possibility of altered site conditions either naturally occurring or where currently maintained or excluded vegetation conditions change due to lack of ongoing maintenance. Compliance with the recommendations contained in this assessment does not mean that there is no residual risk to safety of life or property as a result of bushfire.

Signed: ..... 

Date: 03/03/2024.....

**Appendix B – Site photos and designers site plan**



**Sorell Council**  
 Development Application: Development Application - 16 Oakmont Road, Midway Point - P1.pdf  
 Plans Reference:P1  
 Date Received:4/04/2024



Looking North



Looking South

 **Sorell Council**  
Development Application: Development  
Application - 16 Oakmont Road, Midway Point -  
P1.pdf  
Plans Reference:P1  
Date Received:4/04/2024



Looking East



Looking West

 **Sorell Council**  
Development Application: Development  
Application - 16 Oakmont Road, Midway Point -  
P1.pdf  
Plans Reference:P1  
Date Received:4/04/2024

**HAZARD MANAGEMENT AREAS - HMA**

Hazard Management Area includes the area to protect the Building as well as the access and water supplies. The entirety of this allotment should be treated as HMA.

Vegetation in the Hazard Management area is to be managed and maintained in a minimum fuel condition.

The HMA is determined from the unmanaged vegetation on neighbouring allotments, and should the level of the unmanaged vegetation increase the BHMP and HMA should be reviewed to determine the ongoing suitability of the BHMP and HMA associated with the development.

**MAINTENANCE SCHEDULE**

- Removal of fallen limbs, leaf and bark litter;
- Cut lawns short (less than 100mm) and maintain;
- Remove pine bark and other garden mulch;
- Complete under-brushing and thin out the under storey;
- Prune low hanging trees to ensure separation from ground litter;
- Prune larger trees to establish and maintain horizontal and vertical canopy separation;
- Maintain storage of petroleum fuels;
- Remove fallen limbs, leaf and bark litter from roofs, gutters and around the building;

**BUSHFIRE PROTECTION MEASURES**

To reduce the risk of bushfire attack, continual maintenance of bushfire protection measures including building maintenance, managed vegetation areas, water supply and road construction are to be undertaken by successive owners for perpetuity.

**WATER SUPPLY**

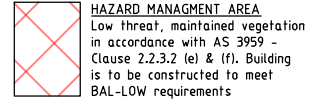
There is an existing fire hydrant within 120m of the most disadvantaged section of the dwelling.

Low-Threat  
Vegetation Exclusion  
2.2.3

PLAN TO BE READ IN CONJUNCTION WITH BUSHFIRE  
ATTACK LEVEL (BAL) REPORT

NOTIFY COUNCIL AND CERTIFYING BUSHFIRE  
PRACTITIONER IF ANY VARIATION IN BUILDING  
SETOUT OR VEGETATION HAZARDS OCCUR

ENSURE THIS PLAN AND ACCOMPANYING REPORT  
DO NOT CONFLICT WITH OTHER RELEVANT  
REPORTS AND ASSESSMENTS



OAKMONT ROAD

proposed dwelling

Low-Threat  
Vegetation Exclusion  
2.2.3

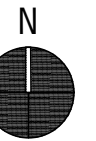
Low-Threat  
Vegetation Exclusion  
2.2.3

LOT 39  
450m<sup>2</sup>

Low-Threat  
Vegetation Exclusion  
2.2.3

Prepared By David Lyne - BFP 144

SJM Property Developments  
16 Oakmont Road, Midway Point  
Tasmania 7171  
Job No: 1475



11 GRANVILLE AVENUE  
GEILSTON BAY, TASMANIA 7015  
PH: 0421 852 987 EMAIL: dave\_lyne@hotmail.com  
Accredited Designer: David Lyne CC7063

**PLEASE READ CAREFULLY**  
THIS PLAN CERTIFIED CORRECT IS THE ONE REFERRED TO IN THE  
BUILDING CONTRACT AND I UNDERSTAND CHANGES HEREAFTER MAY  
NOT BE POSSIBLE.

**FINAL PLAN:** ANY REQUESTED VARIATIONS TO YOUR HOUSE PLAN  
WILL INCUR AN AMENDMENT / ADMINISTRATION MINIMUM FEE

**SIGNATURES**

CLIENT: .....DATE: .....

CLIENT: .....DATE: .....

BUILDER:.....DATE: .....

DWG NO: 1475 SHEET: 01

SCALE AT A3: 1:200 DATE: 03.03.2024

DRAWN:DL CHECK: DL REV 0

**Sorell Council**  
Development Application: Development  
Application - 16 Oakmont Road, Midway Point -  
P1.pdf  
Plans Reference:P1  
Date Received:4/04/2024

2 0 2 4 6 8 10 m  
SCALE 1:200 **BHMP** SCALE 1:200



SITE PLAN NTS

# CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

To:  Owner /Agent  
 Address  
 Suburb/postcode

Form **55**

## Qualified person details:

Qualified person:   
Address:  Phone No:   
  Fax No:   
Licence No:  Email address:

Qualifications and Insurance details:  (description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Speciality area of expertise:  (description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

## Details of work:

Address:  Lot No:   
  Certificate of title No:   
The assessable item related to this certificate:  (description of the assessable item being certified)  
Assessable item includes –  
- a material;  
- a design  
- a form of construction  
- a document  
- testing of a component, building system or plumbing system  
- an inspection, or assessment, performed

## Certificate details:

Certificate type:  (description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)

This certificate is in relation to the above assessable items, at any stage, as part of – (tick one)

building work, plumbing work or plumbing installation or demolition work

OR



a building, temporary structure or plumbing installation

In issuing this certificate the following matters are relevant

Documents:

Bushfire Hazard Report – New residential dwelling  
Bushfire Hazard Management Plan

Relevant

- In Accordance with AS3959-2018; and
- the Building Regulations (TAS).

calculations:



References:

- AS3959-2018;
- the Building Regulations (TAS); and
- Building Code of Australia (BCA).

*Substance of Certificate: (what it is that is being certified)*

The above mentioned report concludes that a BAL-LOW rating is achievable and easily maintained for the dwelling on this site

*Scope and/or Limitations*

The assessment has been conducted according to information provided by the designer/client and freely available historical data and does not take into account the possibility of altered site conditions from the data relied upon.

It should be noted compliance with the recommendations contained in the certified documents does not mean that there is no residual risk to life safety and property as a result of bushfire. The limitation is expressed in the following extract from AS3959-2018, which states:

*It should be borne in mind that the measures contained in this Standard cannot guarantee that a building will survive a bushfire event on every occasion. This is substantially due to the degree of vegetation management, the unpredictable nature and behaviour of fire, and extreme weather conditions.*

The level of residual risk is inherent in all bushfire standards and also applies to this certification.


The assessment has been undertaken and certification provided on the understanding that; -

1. The certificate only deals with the potential bushfire risk all other statutory assessments are outside the scope of this report.

2. The report only identifies the size, volume and status of vegetation at the time the site inspection was undertaken and cannot be relied upon for any future development. Impacts of future development and vegetation growth have not been considered.

**I certify the matters described in this certificate.**

Qualified person:

Signed: 

Certificate No:

1475/24

Date:

03/03/2024

# **DISPERSIVE SOIL ASSESSMENT**

**16 Oakmont Road**

**Midway Point**

**March 2024**



GEO-ENVIRONMENTAL  
S O L U T I O N S



Disclaimer: The author does not warrant the information contained in this document is free from errors or omissions. The author shall not in any way be liable for any loss, damage or injury suffered by the User consequent upon, or incidental to, the existence of errors in the information.



## Investigation Details

<b>Client:</b>	SJM Property Developments (Aus) Pty Ltd
<b>Site Address:</b>	16 Oakmont Road, Midway Point
<b>Date of Inspection:</b>	28/03/2024
<b>Proposed Works:</b>	New house
<b>Investigation Method:</b>	Geoprobe 540UD - Direct Push
<b>Inspected by:</b>	M. Campbell

## Site Details

<b>Certificate of Title (CT):</b>	184510/39
<b>Title Area:</b>	Approx. 455.6 m <sup>2</sup>
<b>Applicable Planning Overlays:</b>	Bushfire-prone Areas, Airport obstacle limitation area
<b>Slope &amp; Aspect:</b>	3° W facing slope
<b>Vegetation:</b>	Grass & Weeds, Disturbed

## Background Information

<b>Geology Map:</b>	MRT
<b>Geological Unit:</b>	Triassic Sandstone
<b>Climate:</b>	Annual rainfall 400mm
<b>Water Connection:</b>	Mains
<b>Sewer Connection:</b>	Serviced-Mains
<b>Testing and Classification:</b>	AS2870:2011, AS1726:2017 & AS4055:2021

## Investigation

A number of bore holes were completed to identify the distribution and variation of the soil materials at the site, bore hole locations are indicated on the site plan. See soil profile conditions presented below. Tests were conducted across the site to obtain bearing capacities of the material at the time of this investigation.

### **Soil Profile Summary**

BH 1 Depth (m)	BH 2 Depth (m)	USCS	Description
0.00-0.10	0.00-0.10	SP	<b>SAND:</b> grey, brown, dry, loose,
0.10-0.30	0.10-0.30	SM	<b>Silty SAND:</b> brown, slightly moist, loose,
0.30-0.70	0.30-0.80	CI	<b>Silty CLAY:</b> medium plasticity, yellow, brown, slightly moist, very stiff,
0.70-0.80	0.80-0.90	GC	<b>Clayey GRAVEL:</b> yellow, brown, dry very dense, refusal

## Site Notes

Soils on the site are developing from Triassic Sandstone. The clay fraction is likely to show moderate ground surface movement.

## Dispersive Soil Assessment

The dispersive soil assessment of the property considers the proposed construction area.

### Potential for dispersive soils

The site has been identified as an area subject to a tunnel erosion hazard according to 'Dispersive Soils and Their Management: Technical Reference Manual'. This is due to the soils present on site that developed from Triassic Sandstone that contain considerable fine sand/silt content and medium plastic clays. Triassic Sandstone in the local area is known to produce soils with an excess of sodium on the soil exchange complex, which can cause soil dispersion. Under some circumstances the presence of dispersive soils can also lead to significant erosion, and in particular tunnel erosion. Based upon field survey of the property, no visible tunnel or gully erosion was identified. However, a soil sampling program was undertaken to identify the presence of dispersive soils in the proposed development areas.

### Soil sampling and testing

Samples were taken at the site for assessment of dispersion. An Emerson (1968) Dispersion test was conducted to determine if these samples were dispersive.

The soil samples taken from site were found to be Slightly dispersive (Class 2.1) - Some dispersion (slight milkiness, immediately adjacent to aggregate).

## Management Recommendations

A number of site and soil management measures are recommended for development on the site.

The proposed site cut/fill and driveway areas must be managed by:

- Applying a geo-fabric, jute mesh or similar material to the exposed batters of any cutting on site and revegetating the slope
- Applying a surface layer of at least 50mm of suitable crushed rock/gravel to the driveway surface (and any proposed house pad), with adequate compaction to ensure a relatively impervious surface to maintain site surface stability
- Vegetation on any fill batters must be established and maintained, if any bare area of soil on the batter develops then it must be top-dressed with suitable topsoil and additional vegetation planted

The risk of erosion and tunnel erosion associated with construction must be minimized by:

- Any new water, power, or other service trenches within the property must ensure recommendations for dispersive soils are followed:
  - o Where possible trenches to be placed shallow in topsoil and mounded over to achieve the required cover depth
  - o If buried the trench must be backfilled in layers of no more than 200mm with clay with 5% by weight gypsum added (the clay must be sufficiently moist to allow good compaction).
  - o The trench must be finished with at least 150mm depth of non-dispersive suitable topsoil and finished to a level at least 75mm above natural ground to allow for possible settlement
- Vegetation cover must be maintained wherever possible on the property
- Foundations may be placed into the natural soil; however, care must be taken to ensure all exposed soil in the foundation area is compacted and 1Kg/m<sup>2</sup> of gypsum is applied. Excavated fill from the construction area is not recommended for reuse on site in landscaping unless it is appropriately treated with

gypsum, compacted, and capped with topsoil with natural soil and gypsum

- All stormwater runoff from the dwelling to be directed to mains connection (all the drains are to be adequately treated with gypsum)
- Drainage of any site cut must not employ conventional rock drain construction; it must adhere to recommendations for dispersive soils (unless founded entirely in rock)
- All excavation works on site should be monitored for signs of soil dispersion and remedial action taken as required – any excavated fill from the construction area is not recommended for reuse on site in landscaping unless it is appropriately treated with gypsum, compacted, and capped with topsoil

## **Conclusions**

There is a low risk associated with dispersive soils and potential erosion on the site provided the recommendations in this report are adhered to. Efforts should be made to cover all exposed soils on cut/fill batters with topsoil and seeded with well suited pasture species to avoid rainwater, runoff, surface water flows from intercepting exposed subsoils.

A number of site management recommendations have been made in this report and further information can also be found in the publication “Dispersive soils and their management – Technical manual” (DPIWE Tas 2009)

It is recommended that during construction that GES be notified of any variation to the soil conditions as outlined in this report.



Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD  
Environmental and Engineering Soil Scientist



## Appendix 1– Soil test results

# Laboratory Test Results

**Sample Submitted By:** A Plummer

**Date Submitted:** 30/03/2024.

**Sample Identification:** 16 Oakmont Road, Midway Point

**Soil to be tested:** Emerson soil dispersion test.

**Result:**

Sample	Texture	Emerson class	Description
Sample	Clay	Class 2.(1)	Slight dispersion
Sample	Clay	Class 2.(1)	Slight dispersion

**Some dispersion (slight milkiness, immediately adjacent to aggregate).**

**Sample Tested by:** JP. Cumming  
28/02/2024

## **Disclaimer**

This Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the Client. To the best of GES's knowledge, the information presented herein represents the client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that discussed in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organizations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

The scope of this study does not allow for the review of every possible geotechnical parameter or the soil conditions over the whole area of the site. Soil and rock samples collected from the investigation area are assumed to be representative of the areas from where they were collected and not indicative of the entire site. The conclusions discussed within this report are based on observations and/or testing at these investigation points.

This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required.

No responsibility is accepted for the use of any part of this report in any other context or for any other purpose by third a party.



# GUIDANCE FOR RAINWATER TANKS

Many subdivisions in Sorell and Midway Point have included covenants to be included in the title documents that require owners to install rainwater tanks. Some covenants required rainwater tanks to be plumbed into toilets and laundry.

To achieve consistency and ensure that rainwater tanks help manage stormwater flows from the site, installation of the following is deemed to be sufficient for compliance with any rainwater tank covenant.

- a) A minimum 2,500 litre rainwater tank; and
- b) 25mm orifice set at the 1000 litre level.

The new requirement ensures that there is at least 1,500 litres of initial water storage during a rain event. This onsite retention helps protect the operation of Council's stormwater network and reduces the risk of flooding.

Plumbing and pumps to connect the rainwater tank to toilets or laundry can be costly and exceed the benefits of reduced water consumption. For this reason, covenants requiring connection will not be enforced.

You may, however, choose to pump stored water to your garden, toilets or laundry.

Most rainwater tanks that are connected to toilets have a float within the tank to top up the storage with TasWater reticulated supplies if the volume falls below a certain level (often 1,000 litres).

An alternative approach is a 'rains to mains' type systems which have a manual or automatic switch between stored rainwater tank water and mains water. The system blocks mains water inflow where there is sufficient storage in the rainwater tank. When volumes are low, the system will switch to mains water. Automatic switches are either floats or pressure based. Some automatic switches are hydraulic and require no electricity. By allowing the tank to fully drain these systems maximise water savings.

## GENERAL NOTES

### BUILDING MEMBRANE

AS PER CLAUSE 3.8.7.2 OF NCC 2019 A PLIABLE BUILDING MEMBRANE TO BE INSTALLED THAT COMPLIES WITH AS/NZS 4200.1 AND TO BE INSTALLED IN ACCORDANCE WITH AS/NZS 4200.2 AND MUST BE A VAPOUR PERMEABLE MEMBRANE FOR CLIMATE ZONES 6/7/8.

### DOORS - WATER CLOSET

PROVIDE "LIFT-OFF" HINGES TO ALL WC DOORS.

### DOORS - INTERNAL GARAGE

PROVIDE DOOR SEAL AS PER NCC 2019 CLAUSE 3.12.3.3.

### DOWNPIPES - TEMPORARY

TEMPORARY DOWNPIPES TO BE INSTALLED DURING CONSTRUCTION TO PREVENT WATER PONDING NEAR THE SLAB.

### EXHAUST FANS - FLOW RATES

- 25 LTR/SEC FOR BATHROOMS AND SANITARY COMPARTMENTS,  
- 40 LTR/SEC FOR KITCHENS AND LAUNDRIES.  
ALL EXHAUST FANS TO BE DUCTED TO OUTSIDE AIR.  
SEE ROOF PLAN DRWG NO D08 FOR NUMBER OF AND APPROX. LOCATION OF WHIRLYBIRD ROOF VENTS.

### EXHAUST FROM BATHROOM, SANITARY

COMPARTMENT OR LAUNDRY  
AS PER CLAUSE 3.8.7.3 OF NCC 2019 EXHAUST FROM A BATHROOM, SANITARY COMPARTMENT, OR LAUNDRY MUST BE DISCHARGED DIRECTLY VIA A SHAFT OR DUCT TO OUTDOOR AIR; OR TO A ROOF SPACE THAT IS VENTILATED IN ACCORDANCE WITH 3.8.7.4.

### GLAZING

GLAZING TO COMPLY WITH AS1288 & AS2047.

### PLUMBING

PLUMBING AND DRAINAGE WORKS TO COMPLY WITH AS3500 2021.

### WATERPROOFING - INTERNAL

PROVIDE INTERIOR WATERPROOFING TO COMPLY WITH AS3740 2021.

### EMERGENCY POWER SOLUTIONS

PROVIDE EMERGENCY POWER SOLUTIONS (I.E. UNINTERRUPTED POWER SUPPLY (UPS)) SHALL BE PROVIDED.

### ASSISTIVE TECHNOLOGY

INTERNET CONNECTION SHALL BE PROVIDED WITH THE ABILITY FOR HIGH INTERNET SPEEDS TO BE MAINTAINED AND STABLE IN NATURE WITH WI-FI COVERAGE THROUGHOUT ALL AREAS OF THE DWELLING

### INTERNAL GARAGE CONSTRUCTION

THE INSIDE OF THE GARAGE IS TO INCLUDE THE FOLLOWING:

A. A 10mm ALUMINIUM ANGLE OR KILN DRIED HARDWOOD TIMBER SILL/THRESHOLD (OR OTHER TYPE OF DURABLE UPSTAND) IS INSTALLED ACCROSS THE PEDESTRIAN DOORWAY BETWEEN THE GARAGE AND THE DWELLING. THE UPSTAND/THRESHOLD IS TO BE SEALED TO THE CONCRETE USING A WATERPROOF SEALANT.

### REFER TO FINAL DRAINAGE PLANS FOR LOCATIONS OF AGRICULTURAL DRAINS AND SILT PITS

### SOIL CLASSIFICATION

CLASS "M"  
AS PER SOIL REPORT PROVIDED BY "GEO-ENVIRONMENTAL SOLUTIONS PTY.LTD. (GES)"  
FILE NO: J10047  
DATED: 01 MARCH 2024

### WIND RATING : N3

### SITE CUT AND BATTER

SITE CUT AND FILL TO BE MINIMUM 1.2m FROM DWELLING BOUNDARY AND BATTERED AT NO MORE THAN 45 DEGREES SITE CUTS/FILLING WORKS NOT SUPPORTED BY RETAINING WALLS SHALL BE FINISHED WITH A BATTER OF 45 DEGREES AND AN AGRICULTURAL DRAIN AT THE BASE OR A SPOON DRAIN AT THE END OF ANY FUTURE PAVING EXTERNAL WALL FOOTINGS SHALL NOT BE FOUNDED AT GREATER DEPTHS THAN THE ADJOINING BUILDING FOOTINGS. STOP WORKS AND CONTACT THE OFFICE IMMEDIATELY IF THE ABOVE CANNOT BE ACHIEVED.

### STORMWATER DRAIN

CONSTRUCT & DISCHARGE 100 DIA. P.V.C STORM WATER DRAIN TO LEGAL POINT OF DISCHARGE AS DIRECTED BY THE RELEVANT AUTHORITY. MIN FALL 1:100 PROVIDE INSPECTION OPENINGS AT 9000 MAX CTRS OR AT EVERY CHANGE OF DIRECTION. DP DENOTES 100x50 DOWNPIPES AT 12000 MAX CTRS. PROVIDE 100 DIA. SEWERGRADE S.W DRAIN UNDER SLAB AND DRIVEWAY.

### GARDEN TAPS

POSITION OF THE FRONT GARDEN TAP & WATER METER IS BY WATER AUTHORITY, THE FULL COST OF RELOCATION IS AT THE OWNER'S EXPENSE.

### LEVELS

LEVELS SHOWN ARE TO AN ARBITRARY DATUM AND ARE TO BE USED AS A GUIDE ONLY. OWNER/BUILDER TO CHECK AND VERIFY ON SITE PRIOR TO ANY WORK BEING CARRIED OUT. ALL LEVELS ON DRAWINGS ARE NOMINAL AND MAY ALTER DUE TO SITE CONDITIONS UP TO 50mm EITHER WAY.

### GENERAL

- CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND MEASUREMENTS ON SITE PRIOR TO COMMENCEMENT OF ANY WORK.
- ALL WORK IS SUBJECT TO INSPECTION AND APPROVAL OF RELEVANT BUILDING SURVEYOR.
- ALL WORK SHOWN TO BE CARRIED OUT IN GOOD WORKMAN LIKE MANNER IN ACCORDANCE WITH "NATIONAL CONSTRUCTION CODE -2019".
- NO RESPONSIBILITY IS TAKEN FOR WORK DONE AFTER ACCEPTANCE OF PLANS BY CLIENT.
- WORK SHOWN TO BE IN ACCORDANCE WITH SPECIFICATIONS/COMPUTATIONS SUPPLIED.

### EXCAVATION

-EXCAVATE FOOTINGS AND DRAINS AS SHOWN. KEEP EXCAVATIONS DRY AND BACKFILL WITH APPROVED MATERIALS FREE OF ANY BUILDING DEBRIS.

TERMITE TREATMENT TO COMPLY WITH A.S 3660.1 2014 SPECIFICATIONS.

## ENERGY RATING

- ALL EXTERNAL DOORS AND WINDOWS TO UTILITY ROOMS (NON-HEATED BATHROOMS, LAUNDRIES; STORAGE ROOMS) TO BE WEATHER-SEALED WITH WEATHER-STRIPPING BETWEEN THE DOOR AND THE FRAME, AND A DRAFT EXCLUDER FITTED AT THE BOTTOM OF THE DOOR TO CREATE A TIGHT SEAL WHEN CLOSED.

- ALL OPENABLE WINDOWS TO HAVE WEATHER-STRIPPING BETWEEN THE FRAME AND THE SASH TO CREATE A TIGHT SEAL WHEN CLOSED.

- ENTRY DOOR TO BE WEATHER-STRIPPED.

- ALL GENERAL BUILDING GAPS AND CRACKS TO BE FILLED.

- ALL REFLECTIVE FOIL TO BE INSTALLED TO MANUFACTURERS RECCOMENDATIONS AND TO RUN CONTIGUOUSLY FROM BOTTOM PLATE TO TOP PLATE WITH ALL GAPS TAPED. ALL RIPS IN FOIL AND PENETRATIONS TO BE RE-TAPED.

- ONLY NON-VENTED DOWNLIGHTS, AND SKYLIGHTS TO BE USED

- EXHAUST FANS TO BE SELF-SEALING, OR FITTED WITH A SELF CLOSING DEVICE TO PROVIDE A SEAL TO UNWANTED VENTILATION.

- **R2.0 BATTS TO EXTERNAL WALLS.**

- **R2.0 BATTS TO GARAGE INTERNAL WALLS**

- **R4.0 BATTS TO CEILINGS.**

- ALL WINDOWS/SLIDING DOORS ARE TO BE ALUMINIUM FRAMED SINGLE GLAZED CLEAR GLASS WITH A MINIMUM U-VALUE & SHGC AS LISTED IN THE ENERGY REPORT.

## DRAWING REGISTER

NUMBER	DRAWING NAME
D00a	NOTES & DRAWING REGISTER
D00b	WET AREA WATER PROOFING
D01a	SITE PLAN
D01b	SITE EXCAVATION PLAN
D01c	SITE SURVEY PLAN
D02	FLOOR PLAN
D03a	ELEVATIONS
D03b	ELEVATIONS - NOTES
D04a	SECTIONS
D04b	SECTIONS - TYPICAL
D05	WINDOW & DOOR SCHEDULE
D06a	INTERNAL ELEVATIONS - KITCHEN
D06b	INTERNAL ELEVATIONS - KITCHEN
D06c	INTERNAL ELEVATIONS - KITCHEN
D06d	INTERNAL ELEVATIONS - TYPICAL
D07a	WET AREA ELEVATIONS - WC
D07b	WET AREA ELEVATIONS - WC
D07c	WET AREA ELEVATIONS - ENSUITE 1
D07d	WET AREA ELEVATIONS - ENSUITE 1
D07e	WET AREA ELEVATIONS - ENSUITE 2
D07f	WET AREA ELEVATIONS - ENSUITE 2
D07g	WET AREA ELEVATIONS - LAUNDRY
D08	ROOF PLAN
D09	SLAB PLAN
D10a	SLAB PENETRATION PLAN
D10b	PLUMBING PLAN
D10c	STORMWATER MANAGEMENT PLAN
D11	FLOOR FINISHES PLAN
D12	ELECTRICAL & LIGHTING PLANS
D13	SPRINKLER PLAN
D14	LANDSCAPE PLAN

### BUSHFIRE ASSESSMENT

THIS PARCEL IS 'BAL-LOW' IN A DESIGNATED BUSHFIRE PRONE AREA. 'NO' BAL REQUIREMENTS.

### IMPORTANT NOTES:

1. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWN SCALE.
2. ALL LEVELS, DIMENSIONS AND EXISTING CONDITIONS TO BE CHECKED BY CONTRACTOR AND VERIFIED BEFORE COMMENCEMENT OF WORKS ON SITE. ANY DISCREPANCIES TO BE REPORTED TO THE OFFICE IMMEDIATELY.
3. WINDOW SIZES ARE NOMINAL ONLY, SIZES MAY CHANGE DUE TO AVAILABILITY.
4. FLOOR PLANS ARE DIMENSIONED TO TIMBER STUD FRAME.
5. ALL WORKS MUST BE EXECUTED IN A WORKMANLIKE MANOR AND MUST CONFORM TO THE LATEST APPLICABLE AUSTRALIAN STANDARDS.
6. THESE DRAWINGS SHALL NOT BE ALTERED, REPRODUCED, COPIED IN PART OR IN WHOLE WITHOUT THE WRITTEN PERMISSION FROM ACCESS LIVING GROUP.
7. ALL DIMENSION ARE NOMINAL AND MUST BE VERIFIED ON SITE.



1/37 Ascot Dr, Huntingfield TAS 7055

P +61 3 6289 6601

Home: **HPS-ABELIA-12.5(05H.02)**

Client: **SJM PROPERTY DEVELOPMENTS**

Location: **16 OAKMONT ROAD (LOT 39) MIDWAY POINT TAS 7171**

Drawing: **NOTES & DRAWING REGISTER**

Facade: **C-BYRON  
03-COCOA**

### DRAWING DETAILS

4/2/2024 2:33:44 PM

SCALE SHEET SIZE  
1 : 100 A3

JOB No: **458N**

All dimensions to be verified on site  
Drwg No: **D00a** Issue **A03**



# WET AREA WATER PROOFING

## 10.2.1 WET AREAS

- (1) BUILDING ELEMENTS IN WET AREAS WITHIN A BUILDING MUST BE PROTECTED WITH A WATERPROOFING SYSTEM.
- (2) THE WATER PROOFING SYSTEM IN (1) MUST EITHER BE WATERPROOF OR WATER RESISTANT IN ACCORDANCE WITH 10.2.2 TO 10.2.6.

## 10.2.2 SHOWER AREA (ENCLOSED AND UNENCLOSED)

- (1) FOR A SHOWER AREA WITH A HOB, STEP-DOWN OR LEVEL THRESHOLD, THE FOLLOWING APPLIES:
  - (A) THE FLOOR OF THE SHOWER AREA MUST BE WATERPROOF, INCLUDING ANY HOB OR STEP-DOWN (SEE FIGURE 10.2.2); AND
  - (B) THE WALLS OF THE SHOWER AREA MUST BE WATERPROOF NOT LESS THAN 1800 MM ABOVE THE FLOOR SUBSTRATE (SEE FIGURE 10.2.2).
  - (C) WALL JUNCTIONS AND JOINTS WITHIN THE SHOWER AREA MUST BE WATERPROOF NOT LESS THAN 40 MM EITHER SIDE OF THE JUNCTION (SEE FIGURE 10.2.2).
  - (D) WALL/FLOOR JUNCTIONS WITHIN THE SHOWER AREA MUST BE WATERPROOF (SEE FIGURE 10.2.2).
  - (E) PENETRATIONS WITHIN THE SHOWER AREA MUST BE WATERPROOF.
    - (2) A SHOWER WITH A PREFORMED SHOWER BASE MUST ALSO COMPLY WITH THE REQUIREMENTS OF (1), EXCEPT FOR (A) WHICH IS NOT APPLICABLE.

## 10.2.3 AREA OUTSIDE SHOWER AREA

- (1) FOR CONCRETE, COMPRESSED FIBRE-CEMENT AND FIBRE-CEMENT SHEET FLOORING, THE FLOOR OF THE ROOM MUST BE WATER RESISTANT.
- (2) FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS, THE FLOOR OF THE ROOM MUST BE WATERPROOF.
- (3) WALL/FLOOR JUNCTIONS MUST BE
  - (A) WATER PROOF; AND
  - (B) WHERE A FLASHING IS USED, THE HORIZONTAL LEG MUST BE NOT LESS THAN 40 MM

## 10.2.4 AREAS ADJACENT TO BATHS AND SPAS WITHOUT SHOWERS

- (1) FOR AREAS ADJACENT TO ALL BATHS AND SPAS, THE FOLLOWING APPLIES:
  - (A) FOR CONCRETE, COMPRESSED FIBRE-CEMENT AND FIBRE CEMENT SHEET FLOORING, THE FLOOR OF THE ROOM MUST BE WATER RESISTANT.
  - (B) FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS, THE FLOOR OF THE ROOM MUST BE WATERPROOF.
  - (C) TAP AND SPOUT PENETRATIONS MUST BE WATERPROOF WHERE THEY OCCUR IN HORIZONTAL SURFACES.
- (2) FOR AREAS ADJACENT TO NON-FREESTANDING BATHS AND SPAS, THE FOLLOWING APPLIES:
  - (A) WALLS MUST BE WATER RESISTANT (SEE FIGURE 10.2.4A AND FIGURE 10.2.4B)
  - (I) TO A HEIGHT OF NOT LESS THAN 150 MM ABOVE THE VESSEL, FOR THE EXTENT OF THE VESSEL, WHERE THE VESSEL IS WITHIN 75 MM OF A WALL; AND
  - (II) FOR ALL EXPOSED SURFACES BELOW VESSEL LIP.
  - (B) WALL JUNCTIONS AND JOINTS MUST BE WATER RESISTANT WITHIN 150 MM ABOVE A VESSEL FOR THE EXTENT OF THE VESSEL.
  - (C) WALL/FLOOR JUNCTIONS MUST BE WATERPROOF FOR THE EXTENT OF THE VESSEL (SEE FIGURE 10.2.4A AND FIGURE 10.2.4B).
  - (3) FOR INSERTED BATHS AND SPAS, THE FOLLOWING APPLIES:
    - (A) FOR FLOORS AND HORIZONTAL SURFACES: (I) ANY SHELF AREA ADJOINING THE BATH OR SPA MUST BE WATERPROOF AND INCLUDE A WATERSTOP UNDER THE VESSEL LIP.
    - (II) THERE ARE NO REQUIREMENTS FOR THE FLOOR UNDER A BATH OR SPA.
    - (B) FOR WALLS:
      - (I) WATERPROOF TO NOT LESS THAN 150 MM ABOVE THE LIP OF A BATH OR SPA.
      - (II) THERE ARE NO REQUIREMENTS FOR THE FLOOR UNDER A BATH OR SPA.
      - (C) FOR WALL JUNCTIONS AND JOINTS, THE FOLLOWING APPLIES:
        - (I) WATERPROOF JUNCTIONS WITHIN 150 MM OF A BATH OR SPA.
        - (II) THERE ARE NO REQUIREMENTS FOR JUNCTIONS AND JOINTS IN WALLS BENEATH THE LIP OF A BATH OR SPA.
        - (D) TAP AND SPOUT PENETRATIONS MUST BE WATERPROOF WHERE THEY OCCUR IN HORIZONTAL SURFACES.

## 10.2.5 OTHER AREAS

- (1) FOR WALLS ADJOINING OTHER TYPES OF VESSELS (E.G. SINK, BASIN OR LAUNDRY TUB), THE FOLLOWING APPLIES:
  - (A) WALLS MUST BE WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 150 MM ABOVE THE VESSEL, FOR THE EXTENT OF THE VESSEL, WHERE THE VESSEL IS WITHIN 75 MM OF A WALL (SEE FIGURE 10.2.5).
  - (B) WATERPROOF WALL JUNCTIONS WHERE A VESSEL IS FIXED TO A WALL.
  - (C) WATERPROOF TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN SURFACES REQUIRED TO BE WATERPROOF OR WATER RESISTANT.
- (2) FOR LAUNDRIES AND WCS, THE FOLLOWING APPLIES:
  - (A) THE FLOOR OF THE ROOM MUST BE WATER RESISTANT.
  - (B) WALL/FLOOR JUNCTIONS MUST BE WATER RESISTANT, AND WHERE A FLASHING IS USED, THE HORIZONTAL LEG MUST NOT BE LESS THAN 40MM
- (3) FOR WCS WITH HANDHELD BIDET SPRAY INSTALLATIONS, THE FOLLOWING APPLIES:
  - (A) THE FLOOR OF THE ROOM MUST BE WATERPROOF.
  - (B) WALLS MUST BE--
    - (I) WATERPROOF IN WC AREA WITHIN A 900 MM RADIUS FROM THE WALL CONNECTION OF THE HANDHELD BIDET SPRAY DEVICE TO A HEIGHT OF NOT LESS THAN 150 MM ABOVE THE FLOOR SUBSTRATE; AND
    - (II) WATER RESISTANT IN WC AREA WITHIN A 900 MM RADIUS FROM THE WALL CONNECTION OF THE HANDHELD BIDET DEVICE TO NOT LESS THAN 1200 MM ABOVE THE FINISHED FLOOR LEVEL OF THE WC.
  - (C) WALL JUNCTIONS WITHIN THE WC AREA WITHIN 900 MM RADIUS FROM THE WALL CONNECTION OF THE HANDHELD BIDET SPRAY DEVICE MUST BE WATERPROOF.
  - (D) WALL/FLOOR JUNCTIONS WITHIN THE WC AREA WITHIN 1000 MM RADIUS FROM THE WALL CONNECTION OF THE HANDHELD BIDET SPRAY DEVICE MUST BE WATERPROOF.
  - (E) PENETRATIONS IN THE WC AREA MUST BE WATERPROOF.

## 10.2.6 WATERPROOFING SYSTEMS

- (1) FOR THE PURPOSES OF THIS PART, A WATERPROOFING SYSTEM IS DEEMED
  - (A) WATERPROOF, IF IT COMPLIES WITH (2); OR
  - (B) WATER RESISTANT, IF IT COMPLIES WITH (3).
- (2) FOR A WATERPROOFING SYSTEM REQUIRED TO BE WATERPROOF IN ACCORDANCE WITH 10.2.2 TO 10.2.5, THE MATERIALS NOMINATED IN 10.2.8 MUST BE USED.
- (3) FOR A WATERPROOFING SYSTEM REQUIRED TO BE WATER RESISTANT IN ACCORDANCE WITH 10.2.2 TO 10.2.5, THE MATERIALS NOMINATED IN 10.2.9 MUST BE USED IN CONJUNCTION WITH THE MATERIALS IN 10.2.10.

## FIGURE NOTES

WALL/FLOOR JUNCTION HEIGHTS ARE TO BE AS PER 10.2.2 TO 10.2.6 (AS APPLICABLE).

## NOTES

WHERE A SHOWER IS ABOVE A BATH OR SPA, USE REQUIREMENTS FOR SHOWER.

FIGURE 10.2.4A

AREA ADJACENT TO BATHS AND SPAS WITHOUT SHOWERS FOR CONCRETE, COMPRESSED FIBRE-CEMENT AND FIBRE-CEMENT SHEET FLOORING

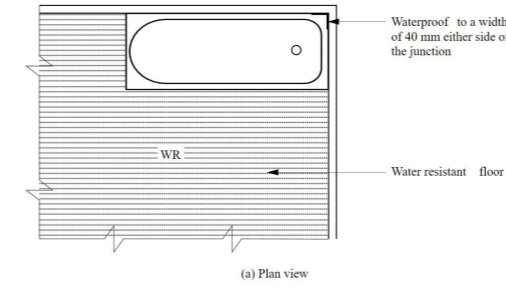


FIGURE 10.2.4B

AREAS ADJACENT TO BATHS AND SPA WITHOUT SHOWERS FOR TIMBER FLOORS INCLUDING PARTICLE-BOARD, PLYWOOD AND OTHER FLOOR MATERIALS.

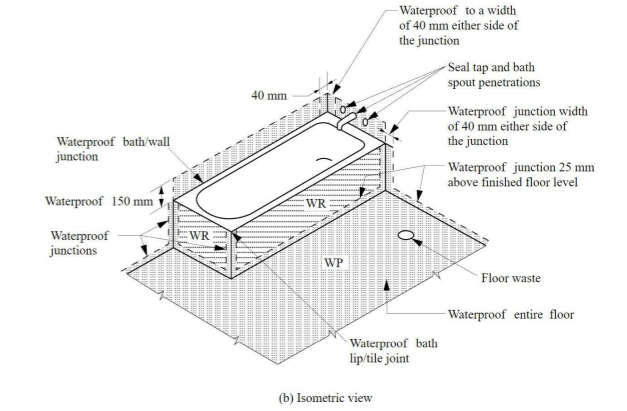
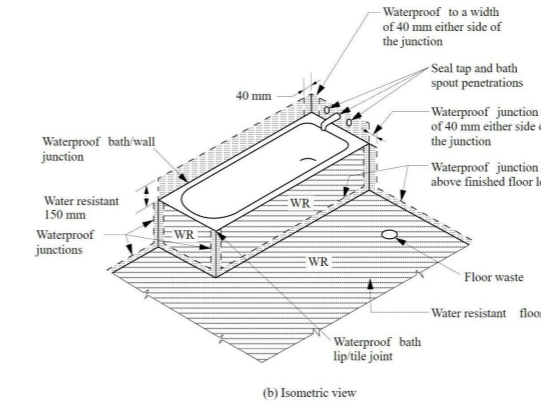
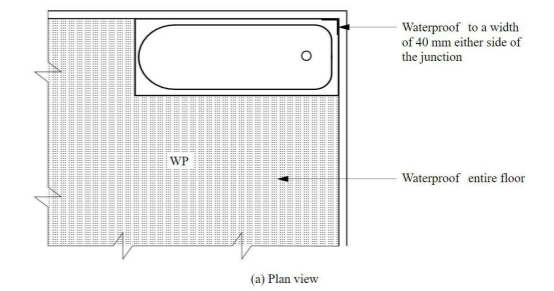


FIGURE 10.2.2

EXTENT OF TREATMENT FOR SHOWER AREAS - CONCRETE COMPRESSED FIBRE-CEMENT AND FIBRE-CEMENT SHEET FLOORS

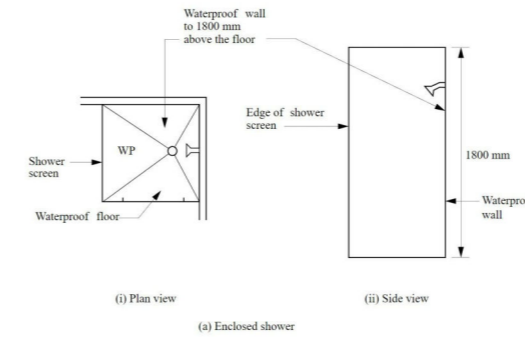
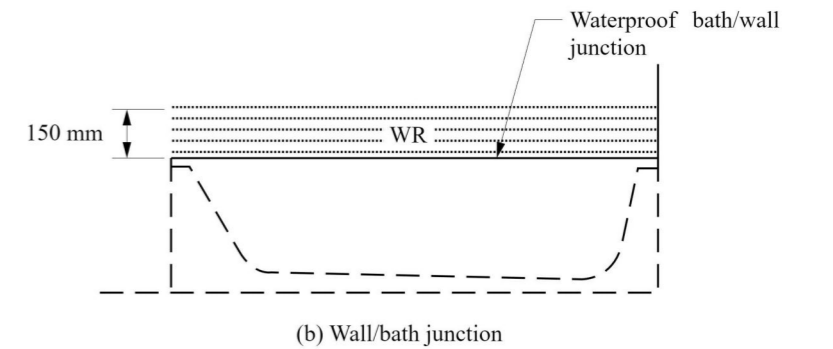
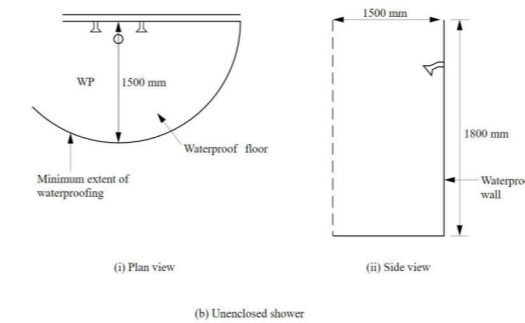
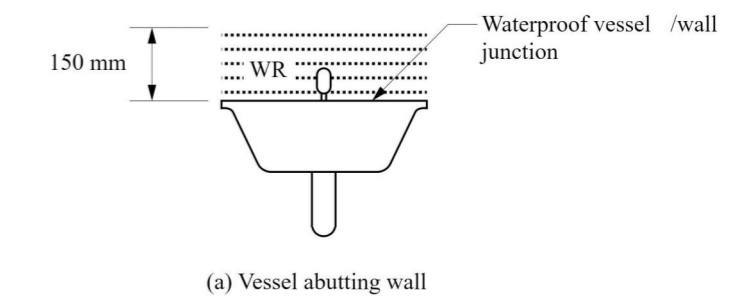


FIGURE 10.2.5

BATH AND VESSEL ABUTTING WALL - AREAS TO BE PROTECTED



## IMPORTANT NOTES:

1. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWN SCALE.
2. ALL LEVELS, DIMENSIONS AND EXISTING CONDITIONS TO BE CHECKED BY CONTRACTOR AND VERIFIED BEFORE COMMENCEMENT OF WORKS ON SITE, ANY DISCREPANCIES TO BE REPORTED TO THE OFFICE IMMEDIATELY.
3. WINDOW SIZES ARE NOMINAL ONLY, SIZES MAY CHANGE DUE TO AVAILABILITY.
4. FLOOR PLANS ARE DIMENSIONED TO TIMBER STUD FRAME.
5. ALL WORKS MUST BE EXECUTED IN A WORKMANLIKE MANNER AND MUST CONFORM TO THE LATEST APPLICABLE AUSTRALIAN STANDARDS.
6. THESE DRAWINGS SHALL NOT BE ALTERED, REPRODUCED, COPIED IN PART OR IN WHOLE WITHOUT THE WRITTEN PERMISSION FROM ACCESS LIVING GROUP.
7. ALL DIMENSION ARE NOMINAL AND MUST BE VERIFIED ON SITE.

**Sorell Council**  
 Development Application: Development Application - 16 Oakmont Road, Midway Point - P1.pdf  
 Plans Reference:P1  
 Date Received:4/04/2024



1/37 Ascot Dr, Huntingfield TAS 7055  
 P +61 3 6289 6601

Home: HPS-ABELIA-12.5(05H.02)

Client: SJM PROPERTY DEVELOPMENTS

Location: 16 OAKMONT ROAD (LOT 39) MIDWAY POINT TAS 7171

Drawing: WET AREA WATER PROOFING

Facade: C-BYRON 03-COCOA

## DRAWING DETAILS

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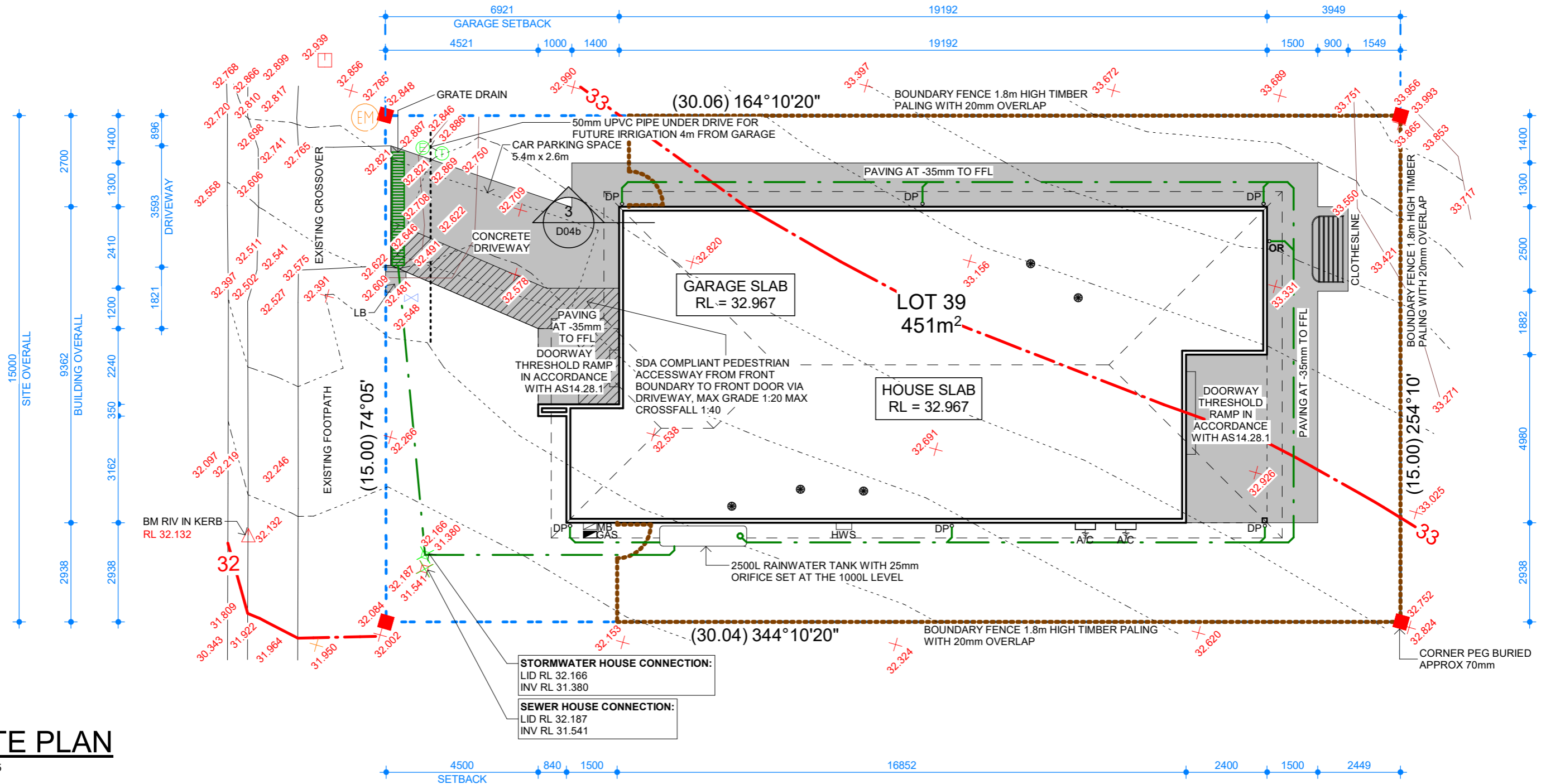
SCALE SHEET SIZE  
 1 : 100 A3

JOB No: 458N

Drwg No: D000b Issue A02

All dimensions to be verified on site

OAKMONT ROAD



# SITE PLAN

1 : 125

**EXHAUST FANS - FLOW RATES**  
 - 25 LTR/SEC FOR BATHROOMS AND SANITARY COMPARTMENTS,  
 - 40 LTR/SEC FOR KITCHENS AND LAUNDRIES.  
 ALL EXHAUST FANS TO BE DUCTED TO OUTSIDE AIR. SEE ROOF PLAN DRWG NO D08 FOR NUMBER OF AND APPROX. LOCATION OF WHIRLYBIRD ROOF VENTS.

**EXHAUST FROM BATHROOM, SANITARY COMPARTMENT OR LAUNDRY**  
 AS PER CLAUSE 3.8.7.3 OF NCC 2019 EXHAUST FROM A BATHROOM, SANITARY COMPARTMENT, OR LAUNDRY MUST BE DISCHARGED DIRECTLY VIA A SHAFT OR DUCT TO OUTDOOR AIR, OR TO A ROOF SPACE THAT IS VENTILATED IN ACCORDANCE WITH 3.8.7.4.

- IMPORTANT NOTES:**
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LEGEND			
	ROOF VENTILATION - TO NCC REQUIREMENTS		SEWER MANHOLE
	SURFACE DRAIN		STOP VALVE
	100mm UPVC STORMWATER PIPE TO GRADE TO LPOD, MINIMUM GRADE 1:100		METER WATER
	CLAY PLUG, INSTALLED IN ACCORDANCE WITH AS3500		POLE
	EXPANSION JOINT, INSTALLED IN ACCORDANCE WITH AS3500		CULVERT 100
	TELSTRA PIT		TITLE PEG
	ELECTRICITY MAIN		NATURAL SURFACE
	BENCH MARK		CULVERT 150
	CABLE HYDRO UNDERGROUND		SEWER HOUSE CONNECTION
	CABLE TELSTRA UNDERGROUND		
	STORMWATER HOUSE CONNECTION		



1/37 Ascot Dr, Huntingfield TAS 7055  
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Home: HPS-ABELIA-12.5(05H.02)

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Location: 16 OAKMONT ROAD (LOT 39) MIDWAY POINT TAS 7171

Drawing: SITE PLAN

Facade: C-BYRON  
 03-COCOA



All dimensions to be verified on site

**DRAWING DETAILS**

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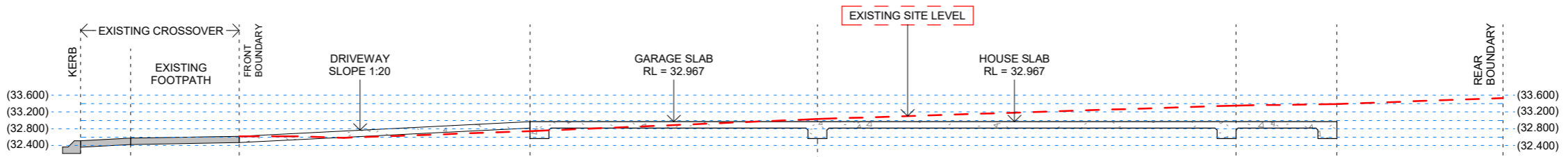
SCALE SHEET SIZE

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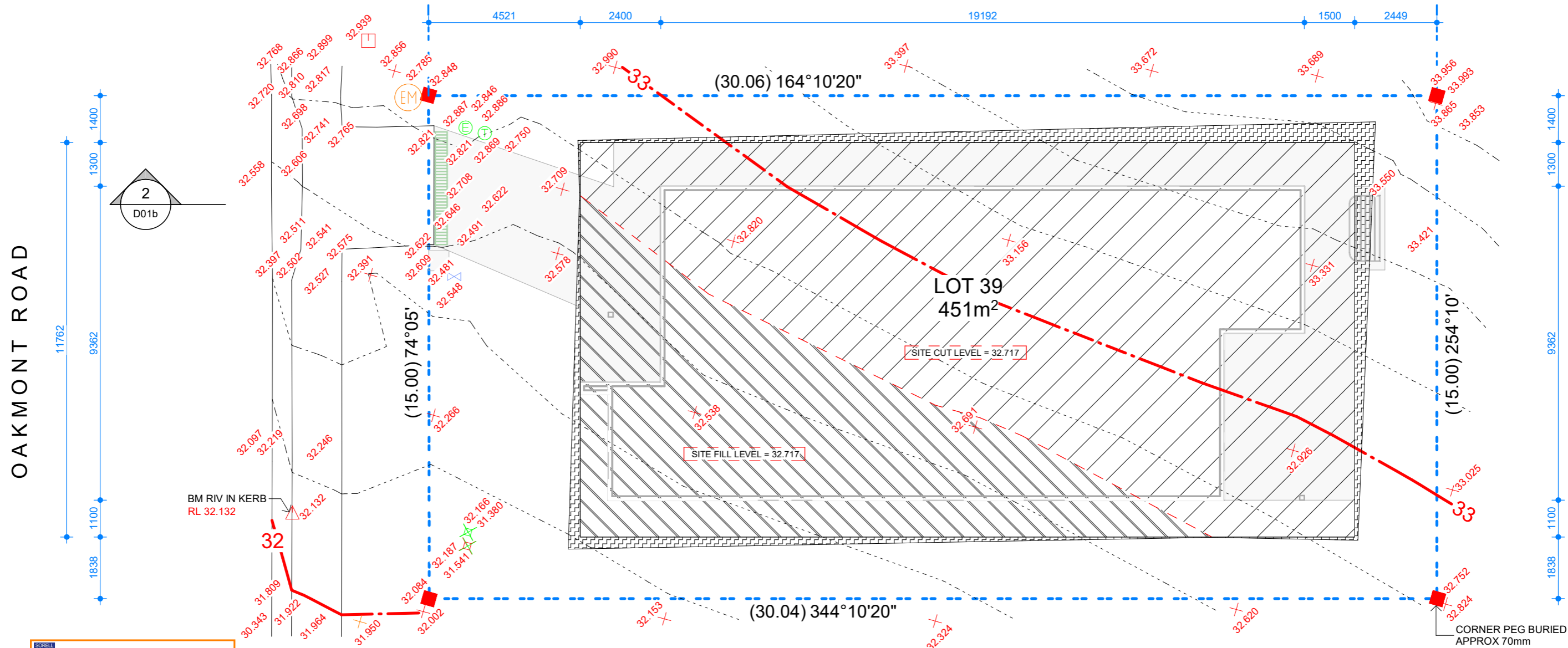
JOB No: 458N

Drwg No: D01a Issue A03

LEGEND	
	DENOTES CUT
	DENOTES FILL
	DENOTES BATTER



**2 SITE SECTION**  
D01b 1:125



OAKMONT ROAD

**Sorell Council**  
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Plans Reference: P1  
Date Received: 4/04/2024

**SITE EXCAVATION PLAN**  
1:125

- IMPORTANT NOTES:**
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  2. ALL LEVELS, DIMENSIONS AND EXISTING CONDITIONS TO BE CHECKED BY CONTRACTOR AND VERIFIED BEFORE COMMENCEMENT OF WORKS ON SITE. ANY DISCREPANCIES TO BE REPORTED TO THE OFFICE IMMEDIATELY.
  3. WINDOW SIZES ARE NOMINAL ONLY, SIZES MAY CHANGE DUE TO AVAILABILITY.
  4. FLOOR PLANS ARE DIMENSIONED TO TIMBER STUD FRAME.
  5. ALL WORKS MUST BE EXECUTED IN A WORKMANLIKE MANNER AND MUST CONFORM TO THE LATEST APPLICABLE AUSTRALIAN STANDARDS.
  6. THESE DRAWINGS SHALL NOT BE ALTERED, REPRODUCED, COPIED IN PART OR IN WHOLE WITHOUT THE WRITTEN PERMISSION FROM ACCESS LIVING GROUP.
  7. ALL DIMENSION ARE NOMINAL AND MUST BE VERIFIED ON SITE.

**SJM property developments**  
1/37 Ascot Dr, Huntingfield TAS 7055  
P +61 3 6289 6601

Home: **HPS-ABELIA-12.5(05H.02)**  
Client: **SJM PROPERTY DEVELOPMENTS**  
Location: **16 OAKMONT ROAD (LOT 39) MIDWAY POINT TAS 7171**  
Drawing: **SITE EXCAVATION PLAN**

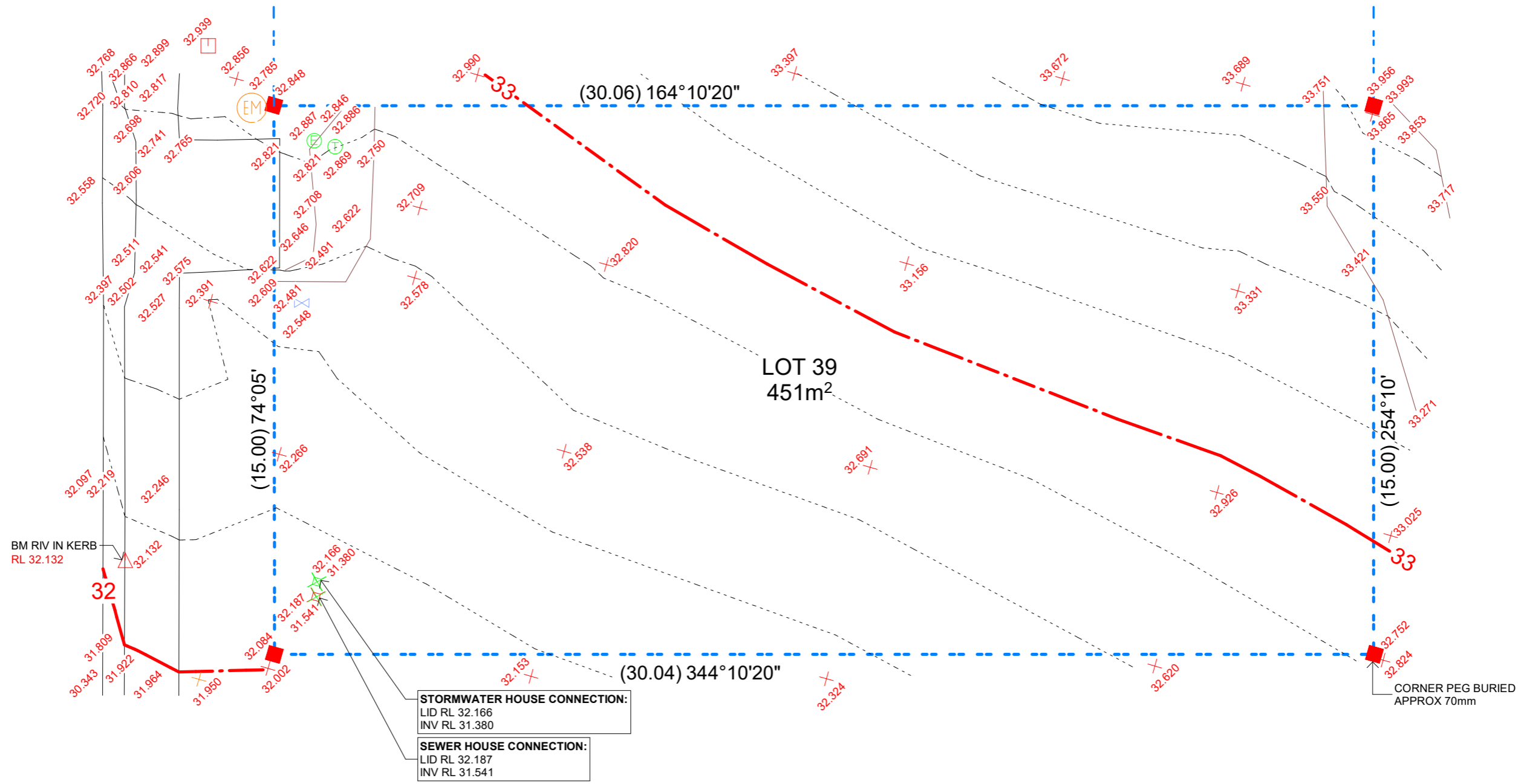
Facade: **C-BYRON 03-COCOA**

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As indicated	A3
JOB No:	<b>458N</b>
Drwg No:	<b>D01b</b>
Issue	<b>A03</b>



All dimensions to be verified on site

OAKMONT ROAD



**STORMWATER HOUSE CONNECTION:**  
LID RL 32.166  
INV RL 31.380

**SEWER HOUSE CONNECTION:**  
LID RL 32.187  
INV RL 31.541

**Sorell Council**  
Development Application: Development  
Application - 16 Oakmont Road, Midway Point - P1.pdf  
Plans Reference:P1  
Date Received:4/04/2024

**SITE SURVEY PLAN**  
1 : 125

LEGEND			
	SEWER MANHOLE		TELSTRA PIT
	STOP VALVE		ELECTRICITY MAIN
	METER WATER		TITLE PEG
	POLE		NATURAL SURFACE
	CULVERT 100		CULVERT 150
	BENCH MARK		CABLE HYDRO UNDERGROUND
	CABLE TELSTRA UNDERGROUND		STORMWATER HOUSE CONNECTION
	SEWER HOUSE CONNECTION		

- IMPORTANT NOTES:**
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Home: **HPS-ABELIA-12.5(05H.02)**  
Client: **SJM PROPERTY DEVELOPMENTS**  
Location: **16 OAKMONT ROAD (LOT 39) MIDWAY POINT TAS 7171**  
Drawing: **SITE SURVEY PLAN**

Facade: **C-BYRON 03-COCOA**

DRAWING DETAILS	
4/2/2024 2:33:47 PM	
SCALE	SHEET SIZE
As indicated	A3
JOB No:	<b>458N</b>
Drwg No:	<b>D01c</b>
Issue	<b>A03</b>

All dimensions to be verified on site

**FLOOR FINISHES:**  
ALL FLOOR COVERINGS TO BE FIRM AND EVEN AND FEATURE A TRANSITION BETWEEN ABUTTING SURFACES ( A MAXIMUM VERTICAL TOLERANCE OF 3mm OR 5mm BETWEEN SURFACES IS ALLOWABLE PROVIDED THE LIP IS ROUNDED OR BEVELED.)

ALL INTERNAL FLOOR FINISHES SHALL HAVE A MINIMUM SLIP RESISTANCE OF P3 OR R10.

**EXHAUST FANS:**  
EXHAUST FANS TO BE 25 LITRES PER SECOND (BATHROOMS AND TOILET) OR 40 LITRES PER SECOND (KITCHEN AND LAUNDRY)

**DOORS:**  
ALL INTERNAL DOORS AND FRONT ENTRY DOOR TO BE SOLID CORE. ALL OTHER DOORS TO BE STANDARD.

ROBE DOORS ARE STANDARD.

**WET AREAS:**  
12mm VILLABOARD ALLOWED TO ALL WALLS IN BATHROOM AND WC.

1. ALL WATER CLOSETS TO HAVE REMOVABLE HINGES TO THE DOORS IF THERE IS LESS THAN 1.2m CLEARANCE BETWEEN THE CLOSET PAN AND THE DOORWAY.
2. IF TIMBER FLOORS ARE SUPPLIED, DIRECTION INDICATED ON DRAWINGS IS NOMINAL.
3. ALL PLUMBING TO BE CONCEALED AS PER REQUIRED.

**CEILING HOIST PROVISION:**

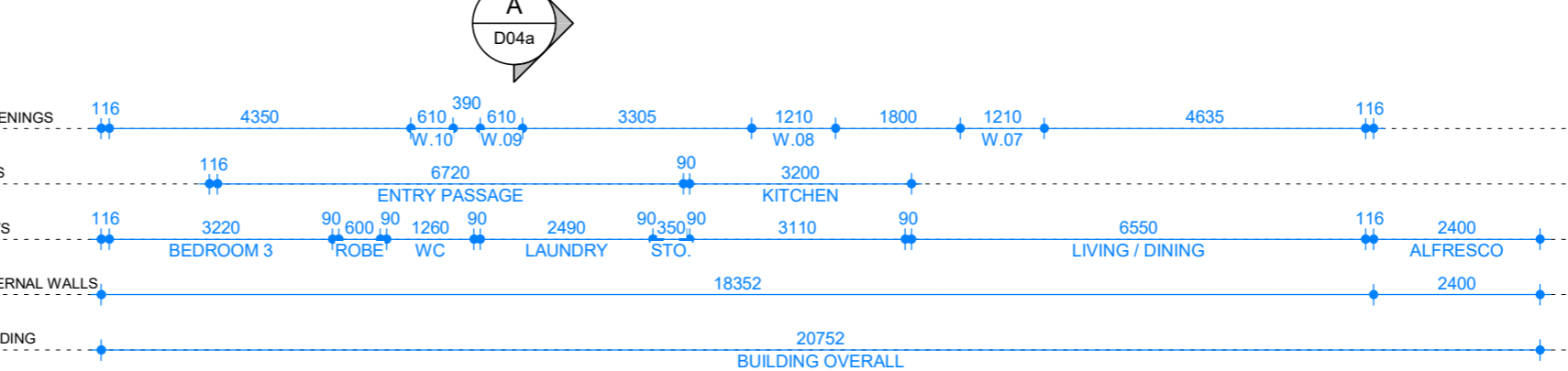
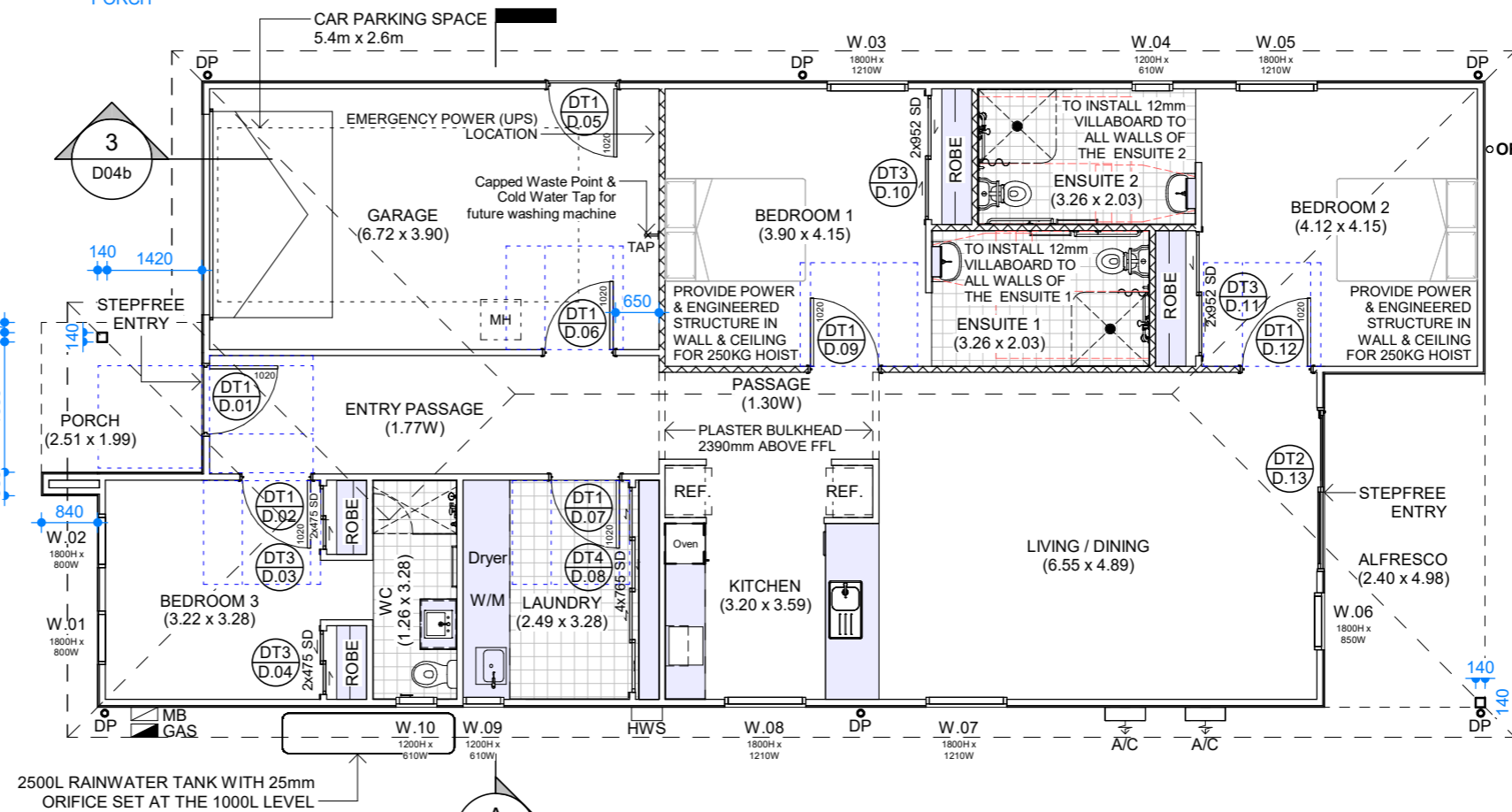
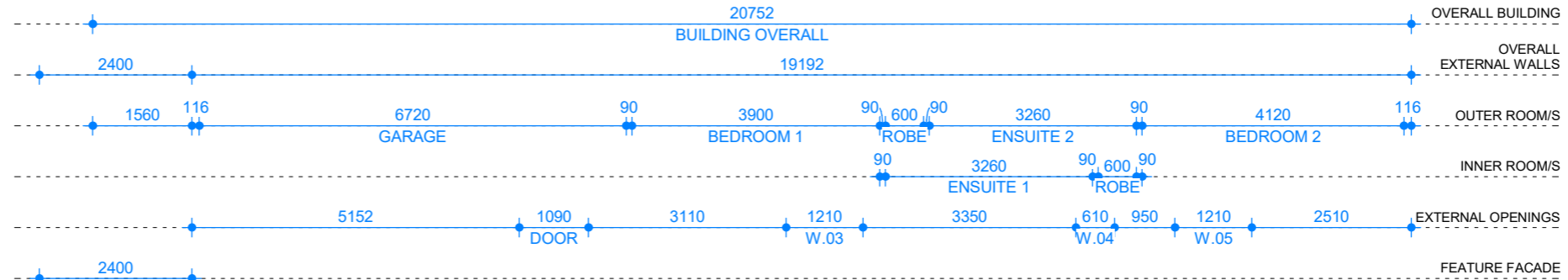
1. BEDROOMS SHALL HAVE A PROVISION FOR POWER AND INBUILT STRUCTURE, CAPABLE OF INSTALLATION OF A CONSTANT CHARGE CEILING HOIST.
2. THE HOIST SHALL BE CAPABLE OF GOING ACROSS THE BED AND DOWN THE BED.
3. MIN LOAD CAPACITY OF THE HOIST SHALL BE 250KG.
4. HOIST IS TO BE CAPABLE OF BEING EITHER CEILING MOUNTED OR WALL MOUNTED.
5. STRUCTURE FOR HOIST IN BEDROOMS 1 & 2 TO BE IN ACCORDANCE WITH ENGINEER'S DETAILS.

LEGEND	
	BUILDER TO PROVIDE SOUND INSULATION TO BEDROOMS 1 & 2 AS SHOWN HATCHED.
	MAN HOLE 600X600 (APPROX. POSITION)
	REVERSE CYCLE AIR CONDITIONING
	CONTROL JOINT

LEGEND - SERVICES	
	HOT WATER SERVICE
	METER BOX
	GAS METER

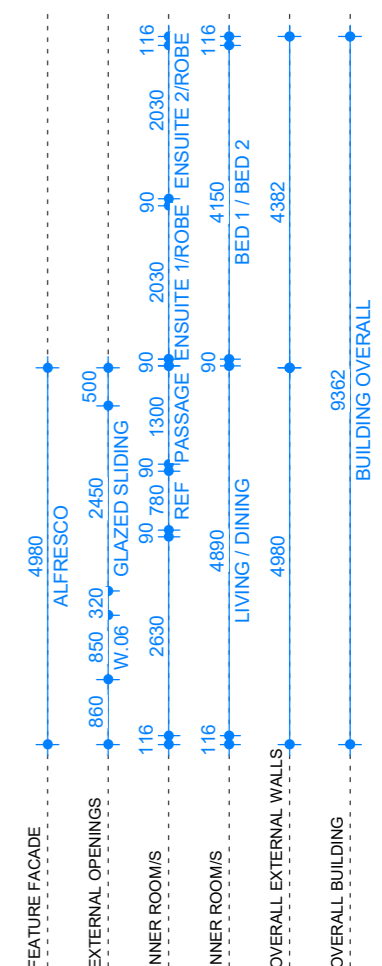
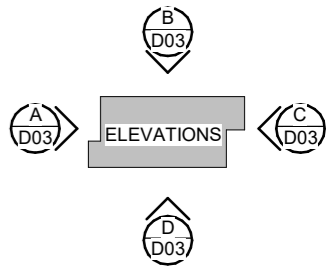
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Development Application: Development Application - 16 Oakmont Road, Midway Point - P1.pdf  
Plans Reference:P1  
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- IMPORTANT NOTES:**
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  3. WINDOW SIZES ARE NOMINAL ONLY, SIZES MAY CHANGE DUE TO AVAILABILITY.
  4. FLOOR PLANS ARE DIMENSIONED TO TIMBER STUD FRAME.
  5. ALL WORKS MUST BE EXECUTED IN A WORKMANLIKE MANNER AND MUST CONFORM TO THE LATEST APPLICABLE AUSTRALIAN STANDARDS.
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  7. ALL DIMENSION ARE NOMINAL AND MUST BE VERIFIED ON SITE.



**FLOOR PLAN**

1 : 100



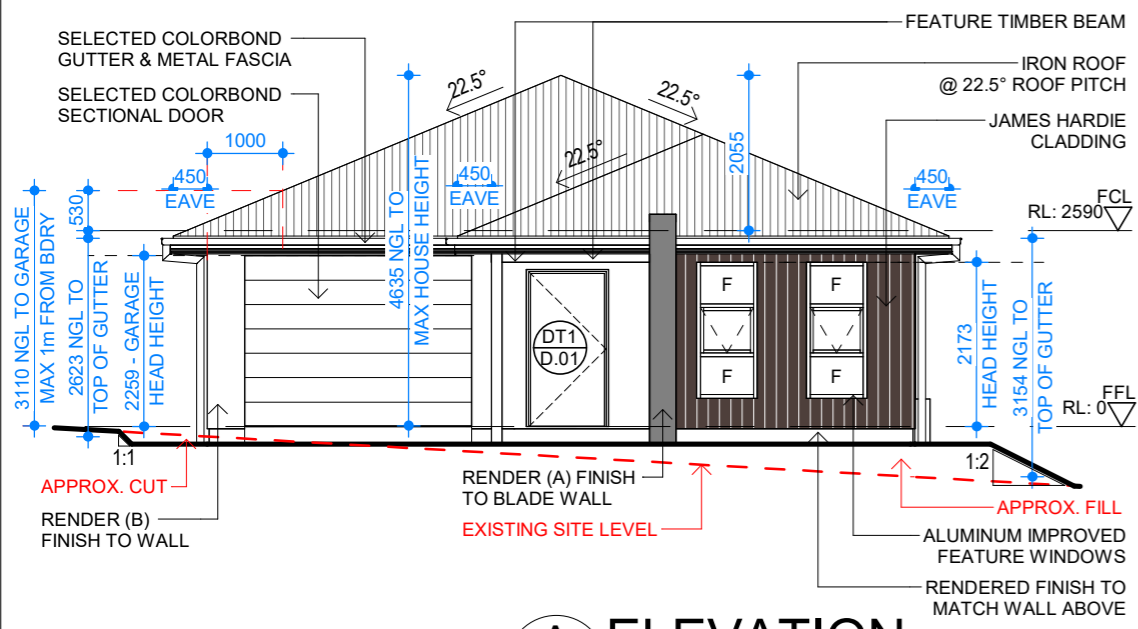
**HOUSE SIZE**  
9.36m x 20.75m

**BLOCK SIZE**  
15.00m x 30.06m

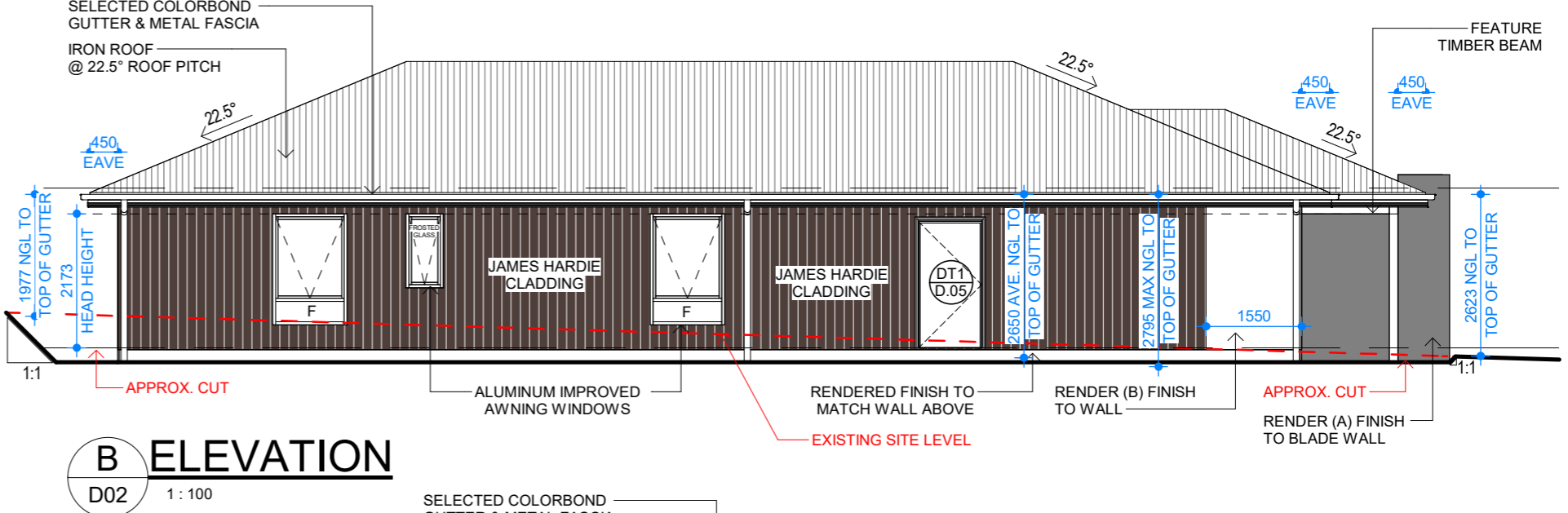
**AREAS**  
Living 145.7m<sup>2</sup>  
Alfresco 12.0m<sup>2</sup>  
Garage 27.5m<sup>2</sup>  
Porch 5.7m<sup>2</sup>  
**Total Area 190.9m<sup>2</sup>**

**Site Coverage 42.33%**

<p>1/37 Ascot Dr, Huntingfield TAS 7055 P +61 3 6289 6601</p>	<p>Home: <b>HPS-ABELIA-12.5(05H.02)</b></p> <p>Client: <b>SJM PROPERTY DEVELOPMENTS</b></p> <p>Location: <b>16 OAKMONT ROAD (LOT 39) MIDWAY POINT TAS 7171</b></p> <p>Drawing: <b>FLOOR PLAN</b></p>	<p>Facade: <b>C-BYRON 03-COCOA</b></p>	<p><b>DRAWING DETAILS</b> 4/2/2024 2:33:47 PM SCALE 1:100 SHEET SIZE A3 JOB No: <b>458N</b> Drwg No: <b>D02</b> Issue <b>A03</b></p>
	<p>All dimensions to be verified on site</p>		



**A ELEVATION**  
D02 1:100



**B ELEVATION**  
D02 1:100

**Lot 39 GARAGE & HOUSE HEIGHTS & AREAS**

GARAGE ROOF HEIGHT AT BOUNDARY	70	mm
Ceiling to roof at boundary	2,590	mm
Garage setback	0	mm
RL of garage slab	32,967	mm
HIGHEST NGL RL of garage at boundary	33,123	mm
LOWEST NGL RL of garage at boundary	32,832	mm
AVERAGE NGL RL of garage at boundary	32,978	mm
<b>AVERAGE GARAGE HT @ BOUNDARY from NGL</b>	<b>2,650</b>	<b>mm</b>
<b>MAXIMUM GARAGE HT @ BOUNDARY from NGL</b>	<b>2,795</b>	<b>mm</b>
Roof rise over 1m = 370mm (22.5°) Ceiling -> 1m point	530	mm
<b>GARAGE HT 1m in from BOUNDARY from NGL</b>	<b>3,110</b>	<b>mm</b>

<b>HOUSE MAX HEIGHT</b>		
Ceiling Level to Highest Point	2,055	mm
<b>MAX HEIGHT OF HOUSE from NGL</b>	<b>4,635</b>	<b>mm</b>
<b>PORCH MAX HEIGHT</b>		
Ceiling Level to Highest Point at 4.5m setback line	116	mm
NGL at Forward Most Point (at 4.5m setback line)	32,457	mm
<b>MAX HEIGHT OF PORCH from NGL</b>	<b>3,216</b>	<b>mm</b>

<b>LOT AREAS</b>			
Site Dimensions	15.00	30.06	%
Total Site Area	451.00	m2	
Permitted Building Area 60% of Total Site Area	270.60	m2	
<b>TOTAL BUILDING AREA</b>	<b>190.90</b>	<b>m2</b>	<b>42.33%</b>
Total nonpermeable area - Driveway & Concrete Paths	70.6	m2	15.7%
<b>TOTAL PERMIABLE AREA</b>	<b>189.5</b>	<b>m2</b>	<b>42.0%</b>

<b>LEGEND - FINISHES</b>	
	JAMES HARDIE CLADDING
	RENDER A FINISH
	RENDER B FINISH

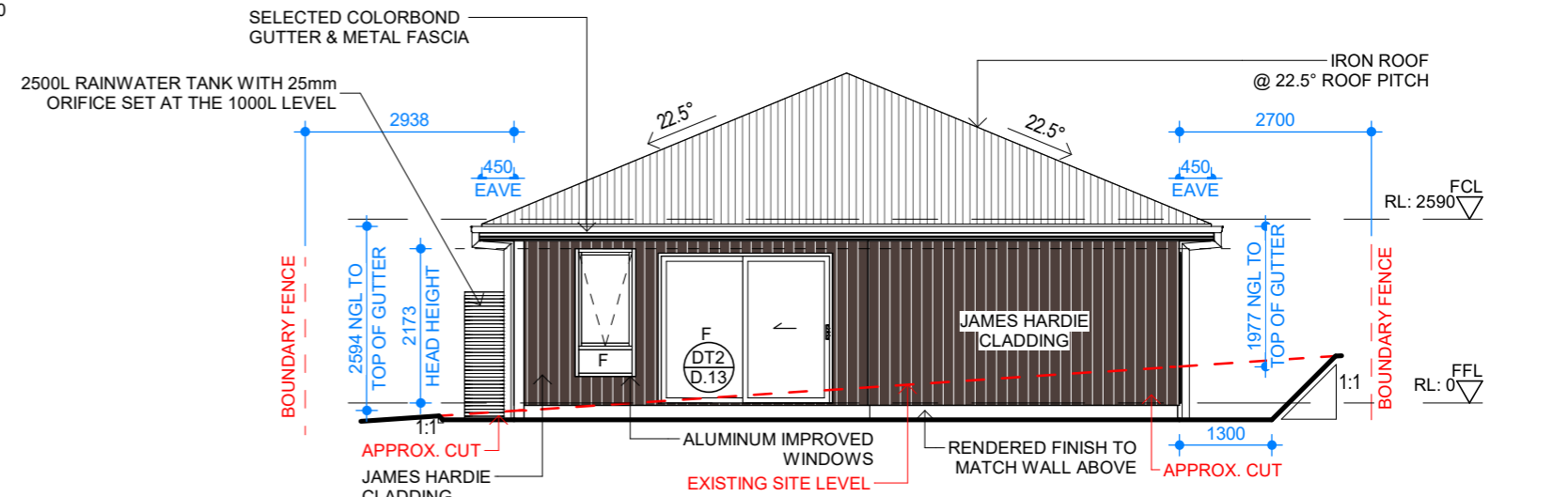
<b>LEGEND - SERVICES</b>	
	HWS HOT WATER SERVICE
	MB METER BOX
	GAS GAS METER

- IMPORTANT NOTES:**
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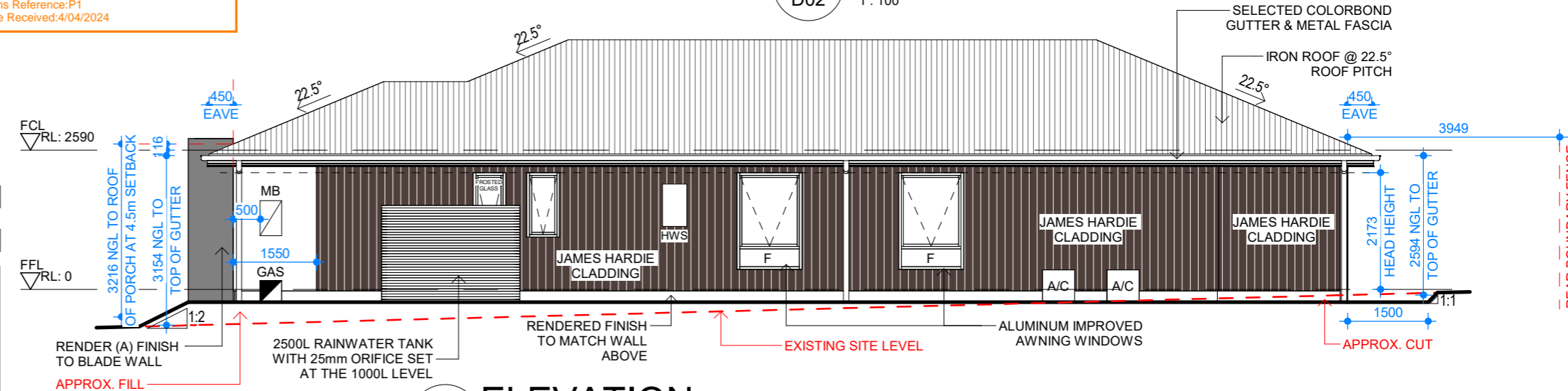
**NOTES:**  
NATURAL GROUND LEVELS ARE SHOWN INDICATIVELY ONLY.

<b>AVERAGE GARAGE WALL HEIGHT</b>	
WALL LENGTH:	6.84m
WALL AREA:	18.13m <sup>2</sup>
AVERAGE WALL HEIGHT:	2.65m

**Sorell Council**  
Development Application: Development Application - 16 Oakmont Road, Midway Point - P1.pdf  
Plans Reference: P1  
Date Received: 4/04/2024



**C ELEVATION**  
D02 1:100



**D ELEVATION**  
D02 1:100



1/37 Ascot Dr, Huntingfield TAS 7055  
P +61 3 6289 6601

Home: **HPS-ABELIA-12.5(05H.02)**  
Client: **SJM PROPERTY DEVELOPMENTS**  
Location: **16 OAKMONT ROAD (LOT 39) MIDWAY POINT TAS 7171**  
Drawing: **ELEVATIONS**

Facade: **C-BYRON 03-COCOA**

<b>DRAWING DETAILS</b>	
4/2/2024 2:33:48 PM	
SCALE	SHEET SIZE
1:100	A3
JOB No:	<b>458N</b>
Drwg No:	<b>D03a</b>
Issue	<b>A03</b>

All dimensions to be verified on site

## GENERAL NOTES

### GENERAL NOTES:

1. ALL EXTERNAL WINDOWS AND DOOR ARE TO BE DESIGNED AND TESTED IN ACCORDANCE WITH AS 2047, INCLUDING PROVISIONS FOR SUBSILLS AND FLASHING IN ANY PROPRIETARY SYSTEMS OFFERED FOR THIS PRODUCT.
2. ALL GLAZING SHALL BE IN ACCORDANCE WITH AS 1288-2006 WHEREIN GLAZING WITHIN 500mm OF THE FLOOR LEVEL SHALL BE 5mm THICKENED ANNEALED, GLAZED DOORS ASSOCIATED SIDE PANELS SHALL BE 5.38mm LAMINATED SAFETY GLASS AND BATHROOM WINDOWS WITHIN 1.5m OF THE BATH FOR 500mm FROM THE SHOWER ENCLOSURE SHALL BE 3mm TOUGHENED SAFETY GLASS
3. WATERPROOFING OF WET AREAS,BEING BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH AS 3274: WATERPROOFING WET AREA IN RESIDENTIAL BUILDINGS.
4. ALL EXHAUST FANS TO BE FITTED WITH DAMPERS AS PER NCC.
5. EXTERNAL DOORS TO BE WEATHER STRIPPED AND WINDOWS TO COMPLY WITH AS 2047.
6. ALL GAPS FROM SERVICE PENETRATIONS ETC ARE TO BE SEALED. AS SHOULD INTERNAL DOORS TO GARAGE.
7. ALL CHIMNEYS AND FLUES TO HAVE DAMPERS AS PER BCA REQUIREMENTS 3.12.3.1, IF APPLICABLE
8. (LOH) ALL WATER CLOSETS TO HAVE REMOVABLE HINGES TO THE DOORS IF THERE IS LESS THAN 1.2M CLEARANCE BETWEEN THE CLOSEST PAN & THE DOORWAY.
9. WET AREAS IN ACCORDANCE WITH AUST. STANDARD 3740 - (2021)
10. MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH B.C.A. P.2.4.5
11. MAN HOLE LOCATION MAY BE CHANGED DUE TO TRUSS LAYOUT
12. DIMENSIONS RELATING TO FFL & FCL REFER TO OVERALL TOP & BOTTOM PLATE DIMENSIONS NOT ACTUAL CEILING HEIGHTS.
13. BACKFILL TO EXTERNAL DOORS NOT TO BE GREATER THAN 190MM IN ACCORDANCE WITH NCC '3.9.1.5 THRESHOLDS'

### OPENING TO WINDOWS

PROVIDE 125mm RESTRICTION TO ALL OPENING WINDOWS IN BEDROOMS WHERE THE DIFFERENCE BETWEEN THE FLOOR LEVELS OF THE BEDROOM AND THE OUTSIDE FINISHED SURFACE LEVEL IS GREATER THAN 2.0m. IN ACCORDANCE WITH BCA.

### CONTROL JOINTS

- CONTROL JOINT IN BRICKS TO BE IN ACCORDANCE WITH AS 3700-2001. ENGINEERS DOCUMENTATION REGARDING CONTROL JOINTS OVER-RIDES THESE DRAWINGS.
- PROVIDE CONTROL TO ALL INTERNAL CORNERS

### HEAD HEIGHTS

- WINDOW HEAD HEIGHTS MEASURED FROM THE FINISHED FLOOR LEVEL (SLAB) OF THE HOUSE.
- ALL WINDOW HEAD HEIGHTS INDICATED ARE NOMINAL AND MAY VARY DUE TO VARIANCES IN BRICK SIZES.

**NOTE:**  
FC/SOFFIT SHEET TO  
PORTICO CEILING  
CONTINUE TO EAVE LINE

**NOTE:**  
ENGINEERS TO DESIGN  
ALL REQUIRED RAMPS  
TO EXTERNAL  
ENTRANCES/PORCH.

### NOTE:

WINDOW CONTROLS TO BE LOCATED WITHIN EASY REACH FROM EITHER A SEATED OR STANDING POSITION (BETWEEN 600mm TO 1100mm ABOVE FFL). DOORWAYS SHALL HAVE DOOR HANDLES INSTALLED AT BETWEEN 900mm TO 1100mm ABOVE THE FFL. DOOR HANDLES SELECTION AND LOCATION SHALL COMPLY WITH AS1428.1 AS PER THE DOOR HANDLE DETAIL.

### GARAGE INTERNAL CONSTRUCTION

THE INSIDE OF THE GARAGE IS TO INCLUDE THE FOLLOWING:

#### A. CONTROL OF WATER FROM THE GARAGE:

I. A 15mm MINIMUM HEIGHT THRESHOLD GRADED SILL (OR OTHER TYPE OF DURABLE GRADED UPSTAND) IS INSTALLED ACROSS THE PEDESTRIAN DOORWAY BETWEEN THE GARAGE AND DWELLING. THE UPSTAND/THRESHOLD IS TO BE SEALED TO THE CONCRETE USING A WATERPROOF SEALANT; OR  
II. THE GARAGE FLOOR IS GRADED WITH A MINIMUM 1:100 FALL TOWARDS THE GARAGE VEHICLE ENTRY DOOR.

B. THE GARAGE SKIRTING IS TO BE A WATER RESISTANT MATERIAL, WHICH MAY INCLUDE NATURAL TIMBER SUCH AS TREATED KILN DRIED PINUS RADIATA (INCLUDING FINGER JOINTED PINE), HARDWOOD AND THE LIKE. THE SKIRTING IS TO BE SEALED TO THE SLAB WITH A MINIMUM 5mm THICK BEAD OF VISIBLE WATERPROOF FLEXIBLE SEALANT.



### IMPORTANT NOTES:

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1/37 Ascot Dr, Huntingfield TAS 7055  
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Home: **HPS-ABELIA-12.5(05H.02)**

Client: **SJM PROPERTY DEVELOPMENTS**

Location: **16 OAKMONT ROAD (LOT 39) MIDWAY POINT TAS 7171**

Drawing: **ELEVATIONS - NOTES**

Facade: **C-BYRON  
03-COcoa**

### DRAWING DETAILS

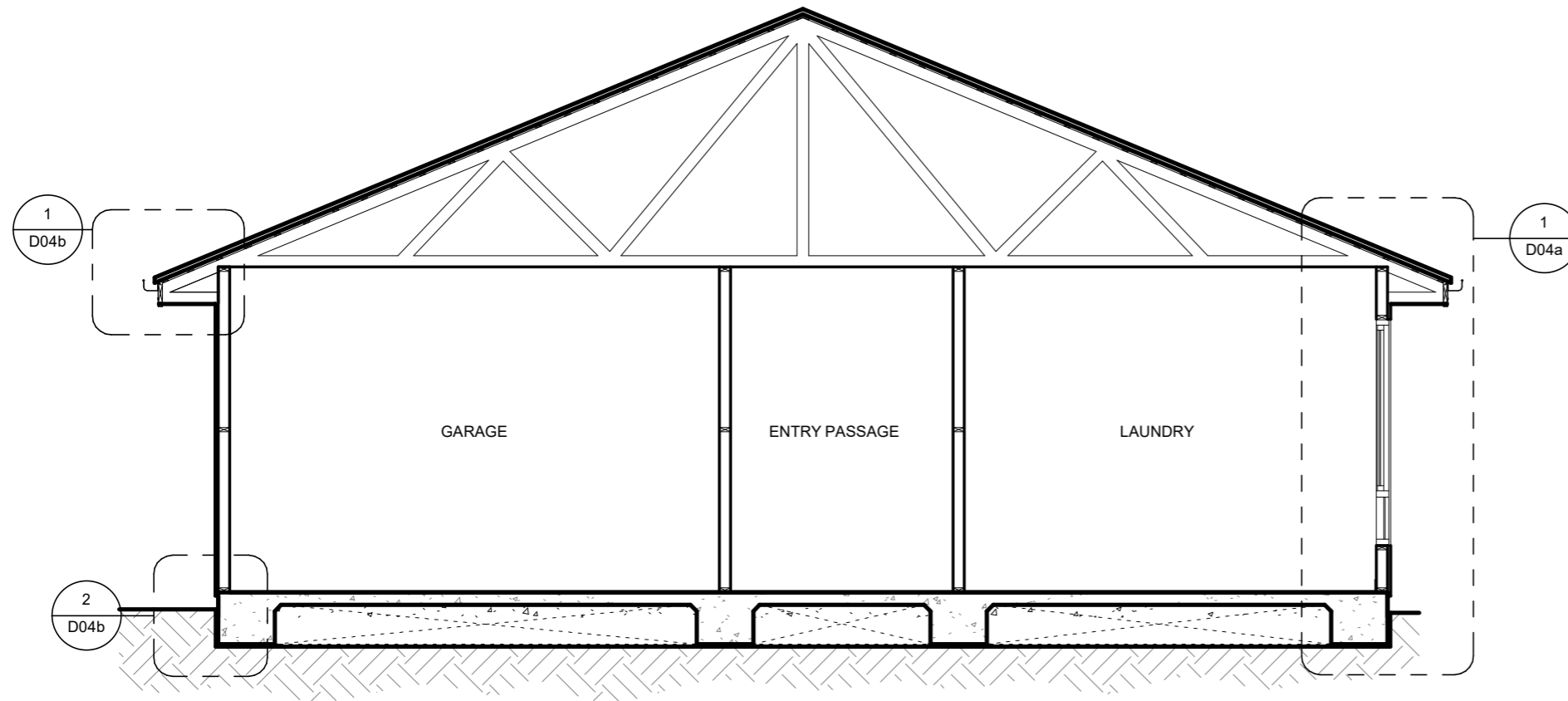
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SCALE	SHEET SIZE
1 : 100	A3

JOB No: **458N**

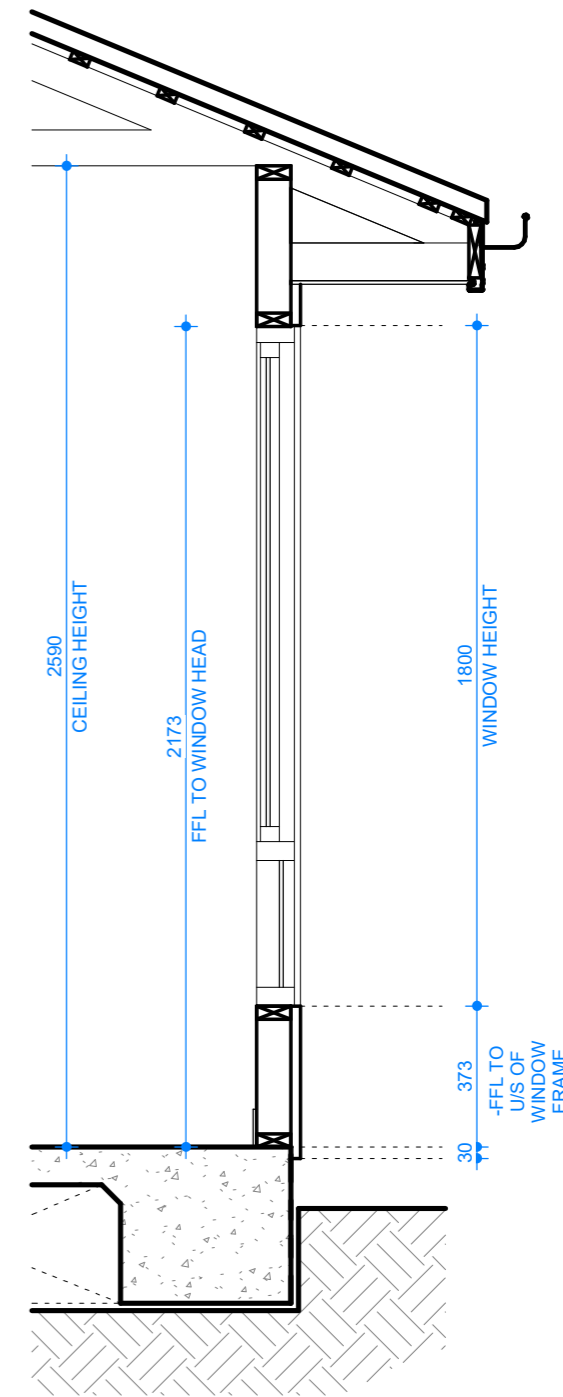
All dimensions to be verified on site

Drwg No: **D03b** Issue **A03**



**A SECTION**  
D02 1 : 50

**Sorell Council**  
Development Application: Development  
Application - 16 Oakmont Road, Midway Point - P1.pdf  
Plans Reference:P1  
Date Received:4/04/2024



**1 TYP. SLAB REBATE DETAIL**  
D04a 1 : 20

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Client: **SJM PROPERTY DEVELOPMENTS**

Location: **16 OAKMONT ROAD (LOT 39) MIDWAY POINT TAS 7171**

Drawing: **SECTIONS**

Facade: **C-BYRON  
03-COCOA**

**DRAWING DETAILS**

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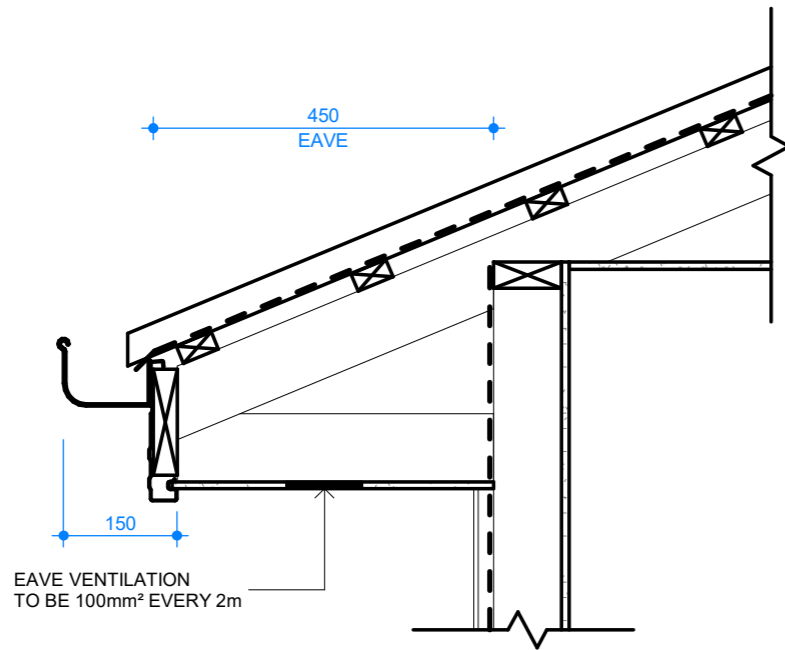
SCALE	SHEET SIZE
As indicated	A3

JOB No: **458N**

Drwg No: <b>D04a</b>	Issue <b>A03</b>
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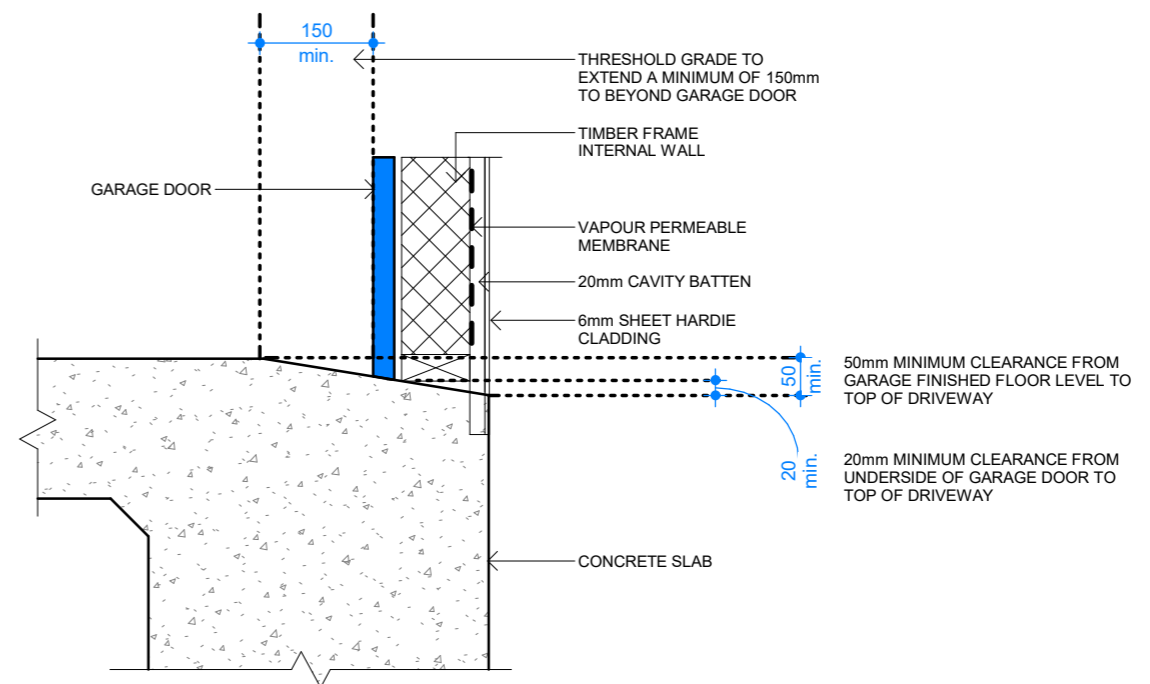
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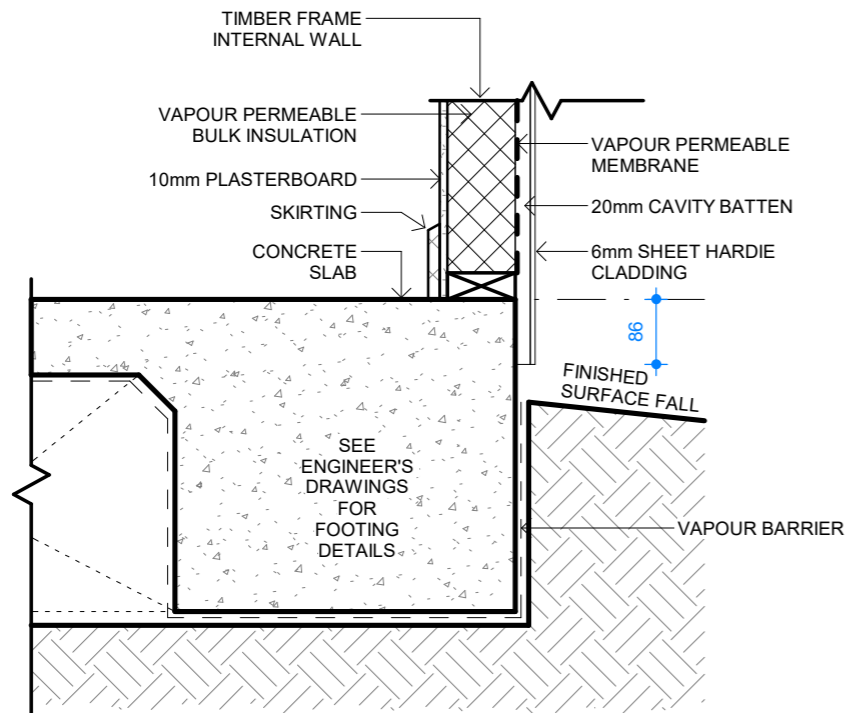
**1 TYP. GUTTER DETAIL -TOP OF WALL**

D04a 1:10



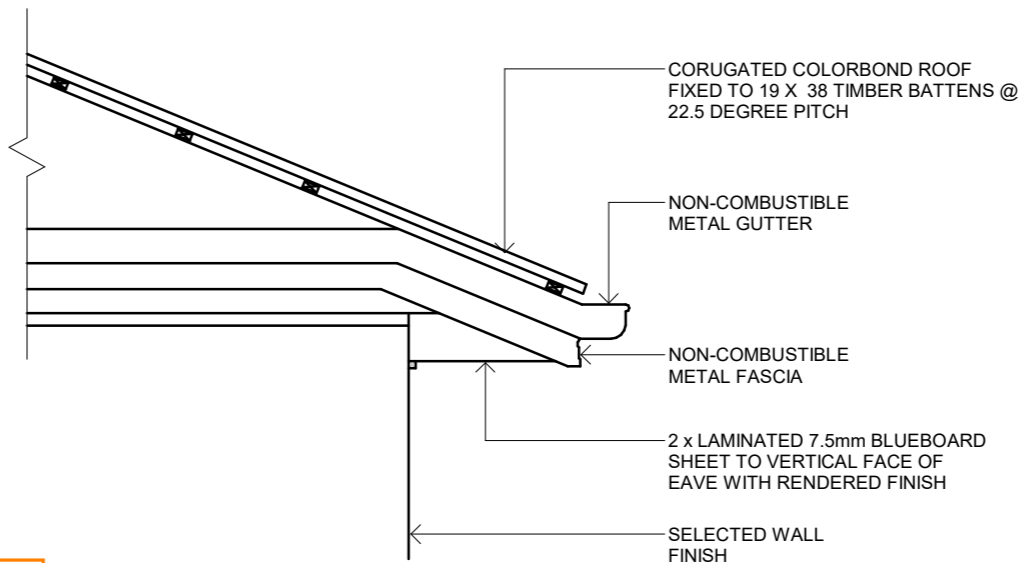
**3 GARAGE GRADED THRESHOLD DETAIL**

D01a 1:10



**2 TYP. SLAB REBATE DETAIL**

D04a 1:10



**EAVES DETAIL 1.0M**

1:10

**Sorell Council**  
 Development Application: Development Application - 16 Oakmont Road, Midway Point - P1.pdf  
 Plans Reference:P1  
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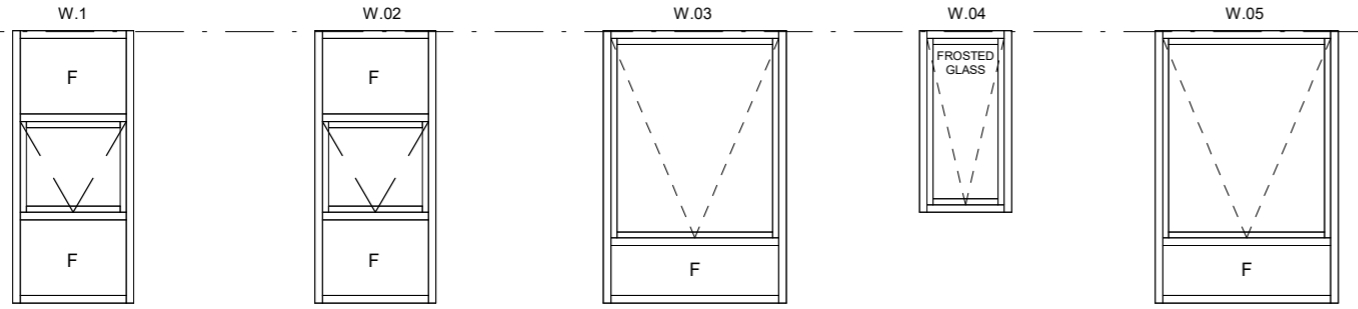
Home: **HPS-ABELIA-12.5(05H.02)**  
 Client: **SJM PROPERTY DEVELOPMENTS**  
 Location: **16 OAKMONT ROAD (LOT 39) MIDWAY POINT TAS 7171**  
 Drawing: **SECTIONS - TYPICAL**

Facade: **C-BYRON 03-COCOA**

DRAWING DETAILS	
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SCALE	SHEET SIZE
1:10	A3
JOB No:	<b>458N</b>
Drwg No:	<b>D04b</b>
Issue	<b>A03</b>

All dimensions to be verified on site

WINDOW 2173 AFFL  
HEAD HT

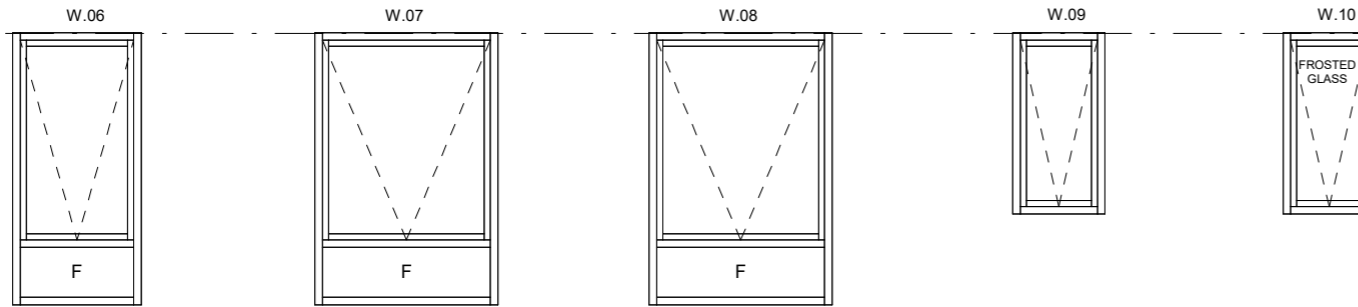


FFL 0

### WINDOW SCHEDULE

WINDOW NO.	DESCRIPTION	HEIGHT	WIDTH	HEAD HEIGHT
W.01	1 Panel Wide Awning Window - 1 Opening Sash, Fixed Top & Bottom Panel	1800	800	2173
W.02	1 Panel Wide Awning Window - 1 Opening Sash, Fixed Top & Bottom Panel	1800	800	2173
W.03	1 Panel Wide Awning Window - 1 Opening Sash, 1 Fixed Bottom Panel	1800	1210	2173
W.04	1 Panel Wide Awning Window - 1 Opening Sash Only	1200	610	2173
W.05	1 Panel Wide Awning Window - 1 Opening Sash, 1 Fixed Bottom Panel	1800	1210	2173
W.06	1 Panel Wide Awning Window - 1 Opening Sash, 1 Fixed Bottom Panel	1800	850	2173
W.07	1 Panel Wide Awning Window - 1 Opening Sash, 1 Fixed Bottom Panel	1800	1210	2173
W.08	1 Panel Wide Awning Window - 1 Opening Sash, 1 Fixed Bottom Panel	1800	1210	2173
W.09	1 Panel Wide Awning Window - 1 Opening Sash Only	1200	610	2173
W.10	1 Panel Wide Awning Window - 1 Opening Sash Only	1200	610	2173

WINDOW 2173 AFFL  
HEAD HT



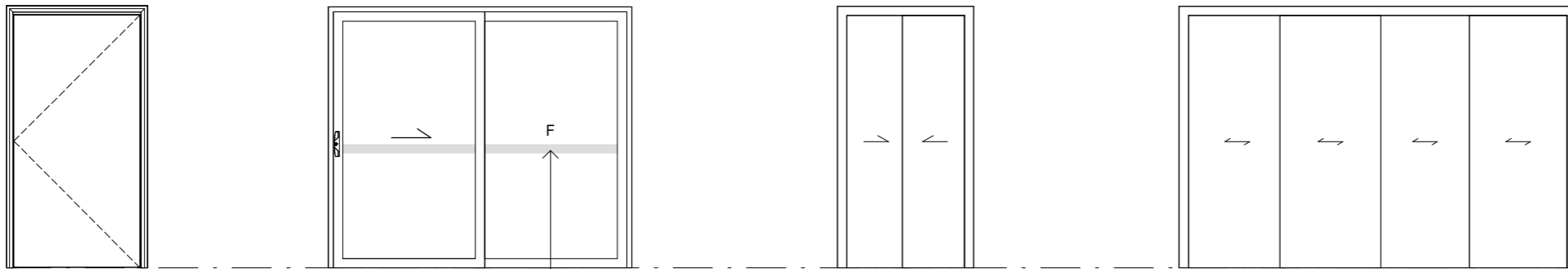
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### DOOR SCHEDULE

DOOR NO.	DOOR TYPE	DESCRIPTION	WIDTH	HEIGHT
D.01	DT1	Single Swing Solid-Core Door	1020	2040
D.02	DT1	Single Swing Solid-Core Door	1020	2040
D.03	DT3	2 Panel Robe Sliding Door	950	2040
D.04	DT3	2 Panel Robe Sliding Door	950	2040
D.05	DT1	Single Swing Solid-Core Door	1020	2040
D.06	DT1	Single Swing Solid-Core Door	1020	2040
D.07	DT1	Single Swing Solid-Core Door	1020	2040
D.08	DT4	4 Panel Robe Sliding Door	3060	2040
D.09	DT1	Single Swing Solid-Core Door	1020	2040
D.10	DT3	2 Panel Robe Sliding Door	1854	2140
D.11	DT3	2 Panel Robe Sliding Door	1854	2140
D.12	DT1	Single Swing Solid-Core Door	1020	2040
D.13	DT2	Glazed Aluminium Sliding Door - 1 Fixed Panel	2450	2110

## WINDOW SCHEDULE

1 : 50



DT1  
SOLID CORE TIMBER  
SINGLE SWING DOOR

DT2  
GLAZED ALUMINIUM  
SLIDING DOOR (FOR  
ORIENTATION  
REFER TO BUILDING  
ELEVATIONS).

SOLID  
IDENTIFICATION  
STRIP 75mm WIDE

DT3  
2 PANEL ROBE/LINEN  
SLIDING DOOR

DT4  
4 PANEL ROBE/LINEN  
SLIDING DOOR

## DOOR TYPE ELEVATION

1 : 50

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Application - 16 Oakmont Road, Midway Point -  
P1.pdf  
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### NOTE:

1. SOLID IDENTIFICATION STRIP 75mm WIDE REQUIRED TO GLAZING BETWEEN 900mm TO 1000mm FFL FOR PREVENTION OF ACCIDENTAL MOVEMENT.

2. WINDOW AND DOOR GLAZING SPECIFICATIONS:

- ESSENTIAL 52mm AWNING WINDOW (CLEAR DOUBLE GLAZED) - U-VALUE=4.1 SHGC=0.57
- SIGNATURE 100mm SLIDING DOOR (CLEAR DOUBLE GLAZED) - U-VALUE=3.6 SHGC=0.66



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Home: HPS-ABELIA-12.5(05H.02)

Client: SJM PROPERTY DEVELOPMENTS

Location: 16 OAKMONT ROAD (LOT 39) MIDWAY POINT TAS 7171

Drawing: WINDOW & DOOR SCHEDULE

Facade: C-BYRON  
03-COcoa

### DRAWING DETAILS

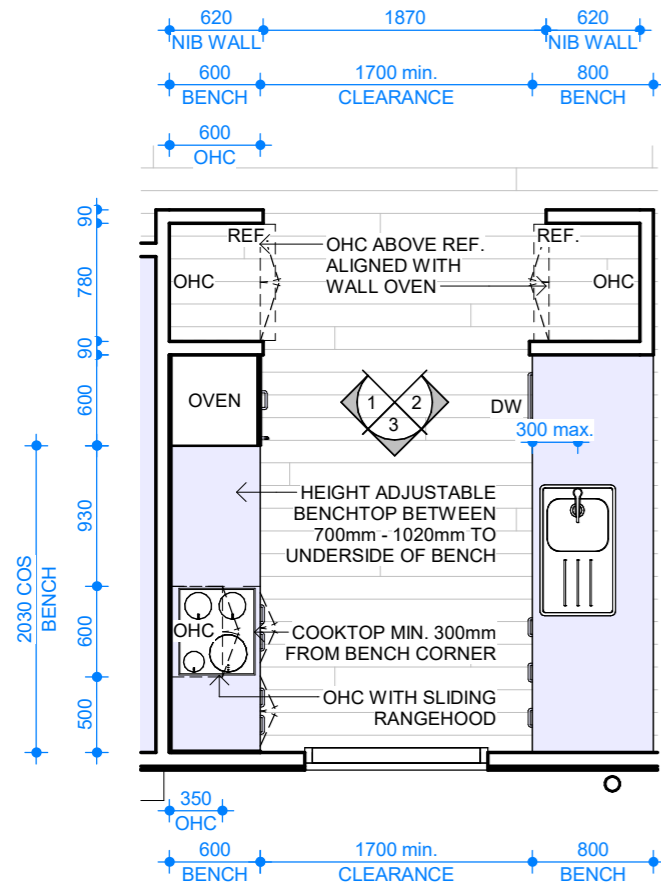
4/2/2024 2:33:49 PM

SCALE SHEET SIZE  
As indicated A3

JOB No: 458N

All dimensions to be verified on site

Drwg No: D05 Issue A03



### KITCHEN PLAN

1 : 50

**D PULL HANDLE:**  
 D PULL CUPBOARD HANDLES TO ALL CUPBOARDS UNLESS NOTED OTHERWISE

PUSH TO RELEASE MECHANISMS FOR BOTH OVERHEAD AND UNDER BENCH CUPBOARDS

**C.O.S. DIMENSION:**  
 ALL DIMENSION ARE NOMINAL AND MUST BE VERIFIED ON SITE

**BENCHTOP:**  
 35mm POSTFORM LAMINATE BENCHTOPS THROUGHOUT (INCLUDING LAUNDRY)

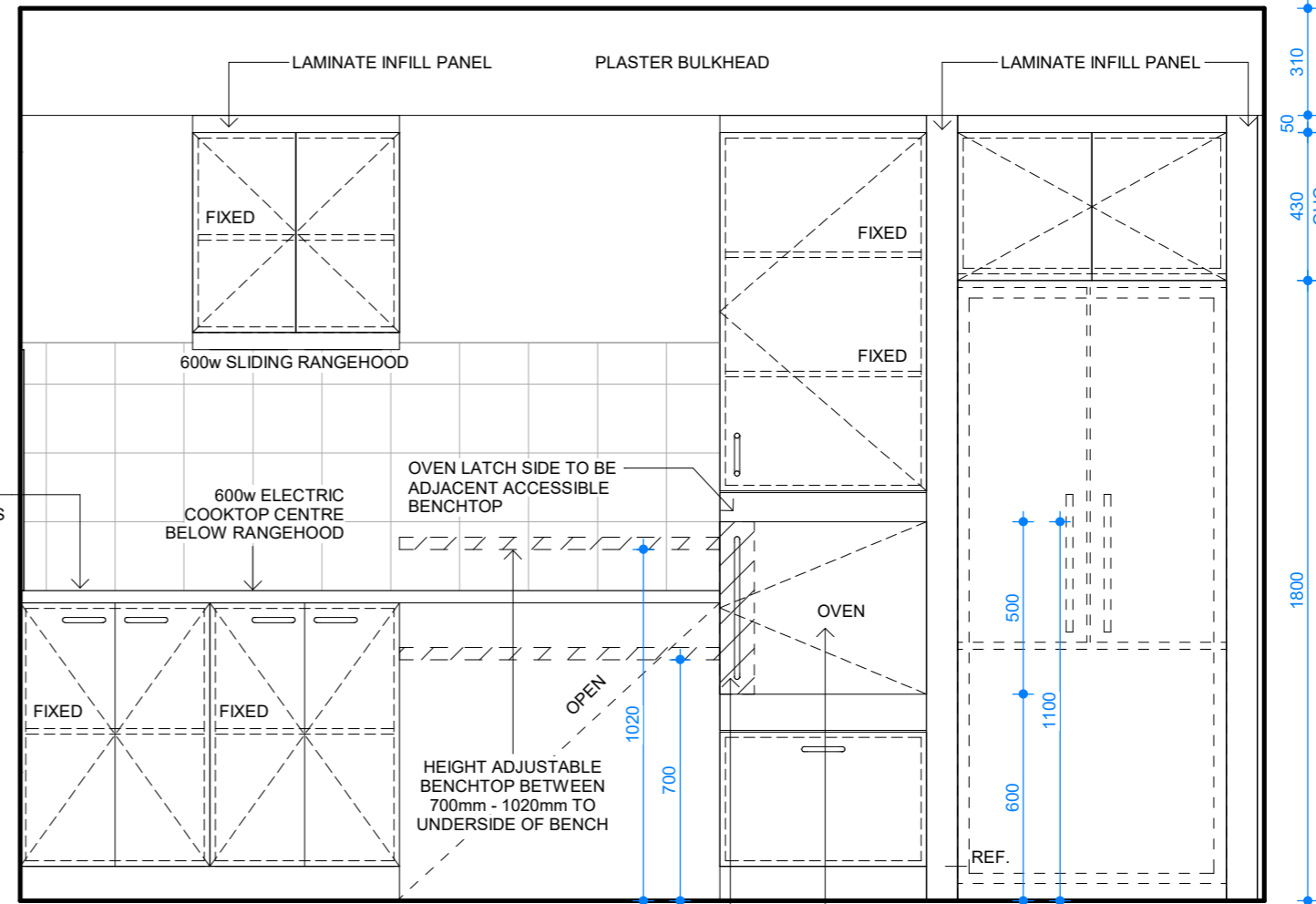
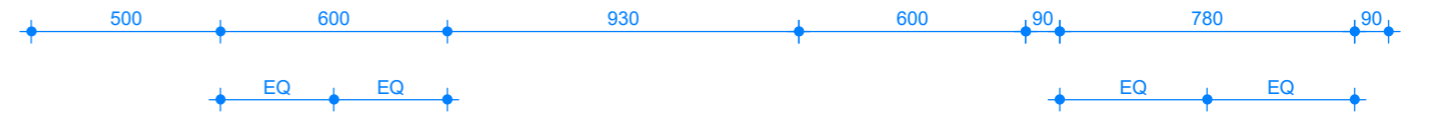


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### 1 KITCHEN ELEVATION

D06a 1 : 20

Home: HPS-ABELIA-12.5(05H.02)

Client: SJM PROPERTY DEVELOPMENTS

Location: 16 OAKMONT ROAD (LOT 39) MIDWAY POINT TAS 7171

Drawing: INTERNAL ELEVATIONS - KITCHEN

Facade: C-BYRON  
 03-COCOA

**DRAWING DETAILS**

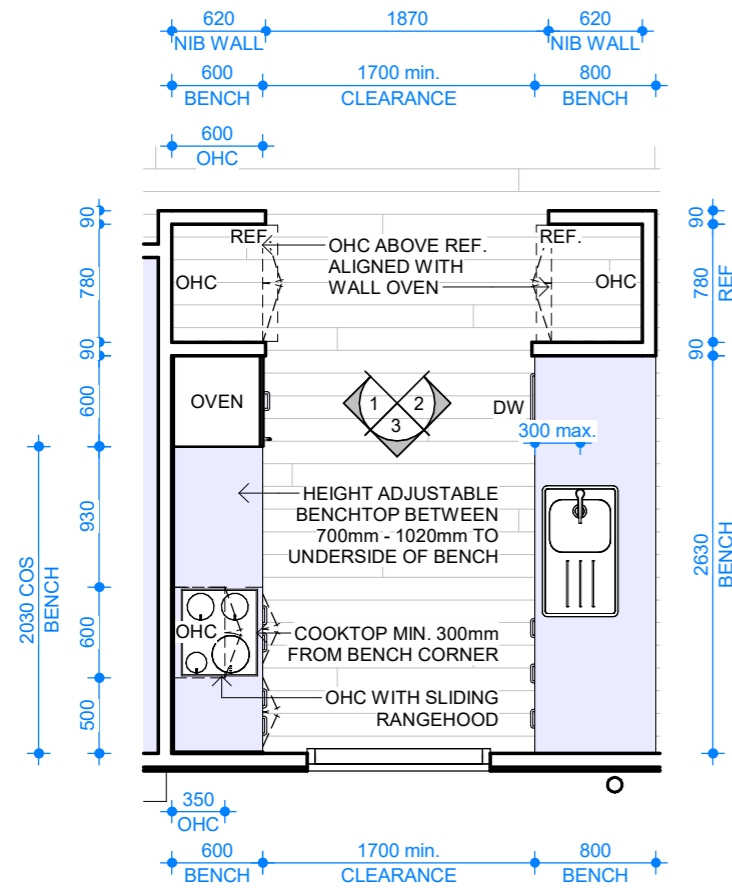
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SCALE SHEET SIZE  
 As indicated A3

JOB No: 458N

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## KITCHEN PLAN

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D PULL CUPBOARD HANDLES TO ALL CUPBOARDS UNLESS NOTED OTHERWISE

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**BENCHTOP:**  
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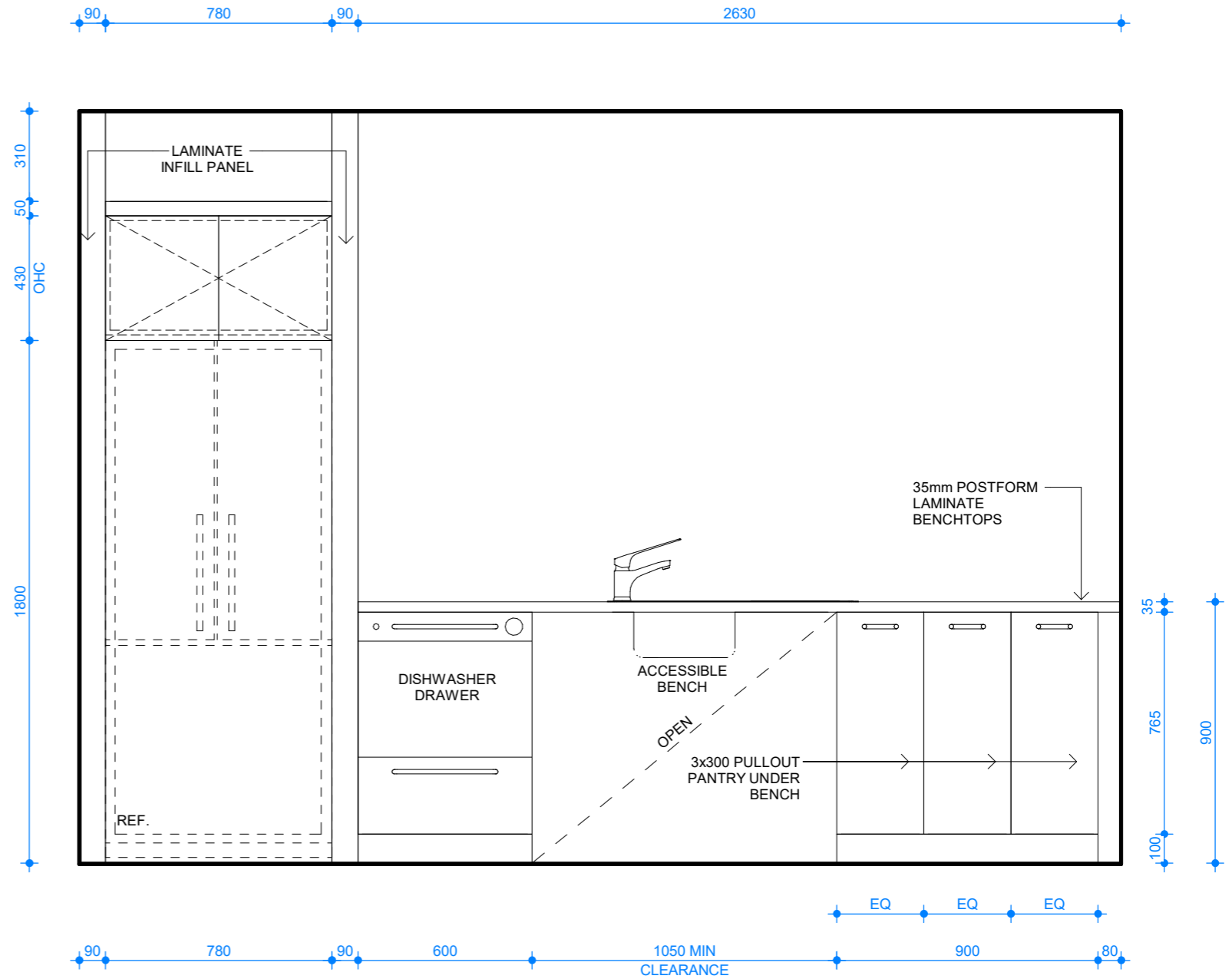


1/37 Ascot Dr, Huntingfield TAS 7055  
P +61 3 6289 6601

Home: **HPS-ABELIA-12.5(05H.02)**  
Client: **SJM PROPERTY DEVELOPMENTS**  
Location: **16 OAKMONT ROAD (LOT 39) MIDWAY POINT TAS 7171**  
Drawing: **INTERNAL ELEVATIONS - KITCHEN**

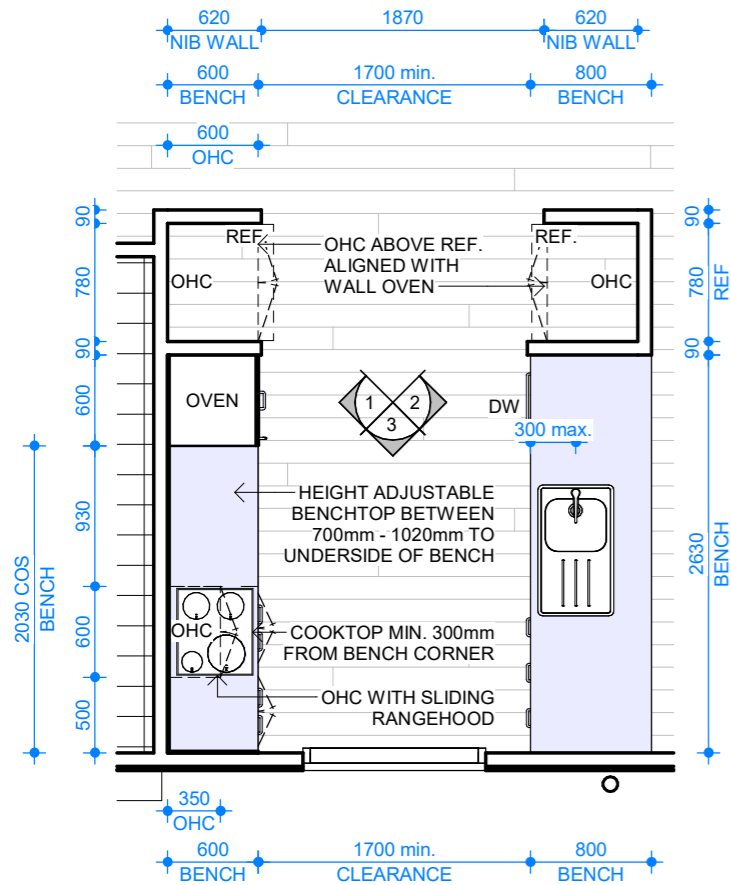
Facade: **C-BYRON 03-COCOA**

DRAWING DETAILS	
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SCALE	SHEET SIZE
As indicated	A3
JOB No:	<b>458N</b>
Drwg No:	<b>D06b</b> Issue <b>A03</b>
All dimensions to be verified on site	



## 2 KITCHEN ELEVATION

D06a 1 : 20



### KITCHEN PLAN

1 : 50

**D PULL HANDLE:**

D PULL CUPBOARD HANDLES TO ALL CUPBOARDS UNLESS NOTED OTHERWISE

PUSH TO RELEASE MECHANISMS FOR BOTH OVERHEAD AND UNDER BENCH CUPBOARDS

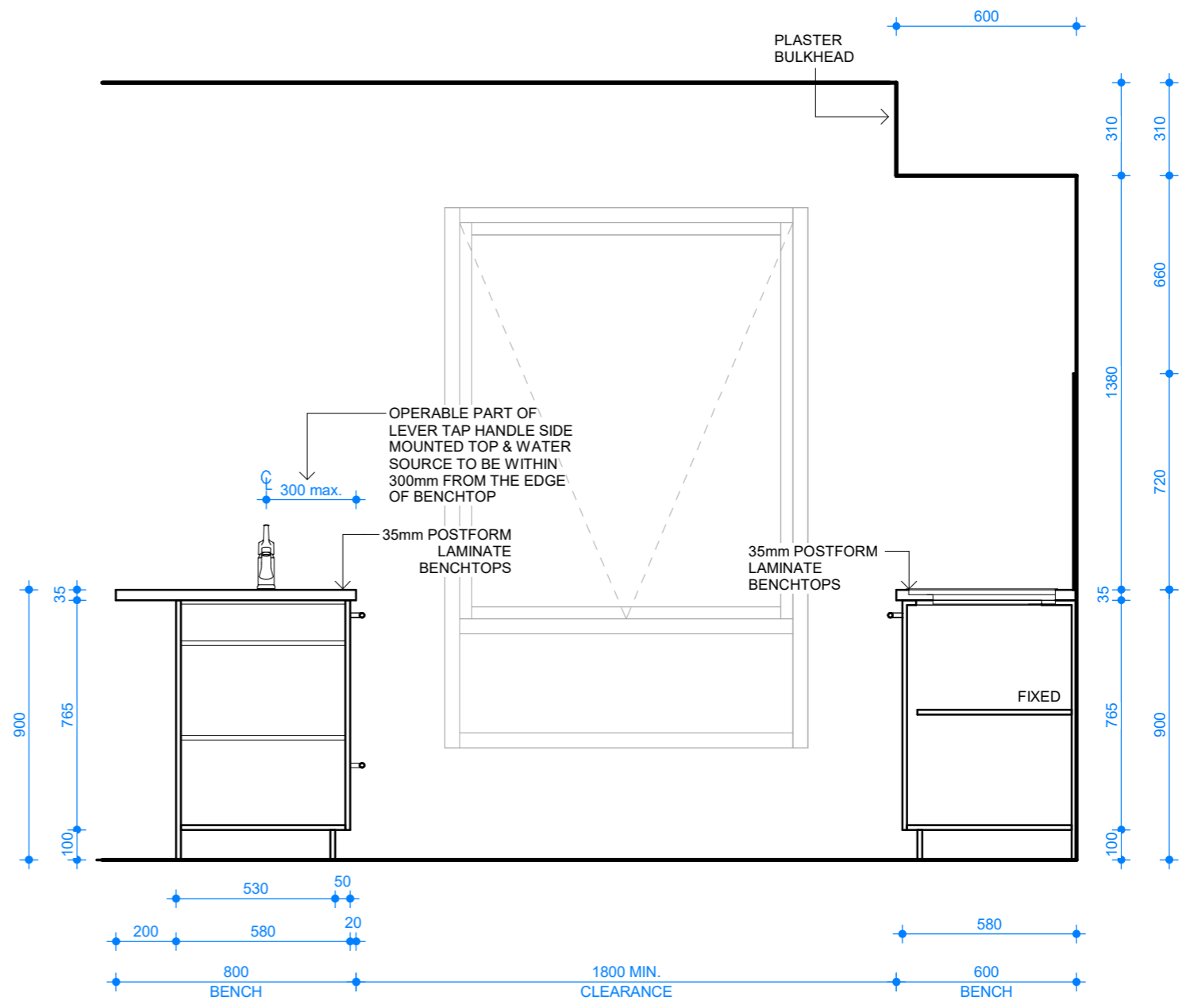
**C.O.S. DIMENSION:**

ALL DIMENSION ARE NOMINAL AND MUST BE VERIFIED ON SITE

**BENCHTOP:**

35mm POSTFORM LAMINATE BENCHTOPS THROUGHOUT (INCLUDING LAUNDRY)

**Sorell Council**  
 Development Application: Development Application - 16 Oakmont Road, Midway Point - P1.pdf  
 Plans Reference:P1  
 Date Received:4/04/2024



### 3 KITCHEN ELEVATION

D06a 1 : 20

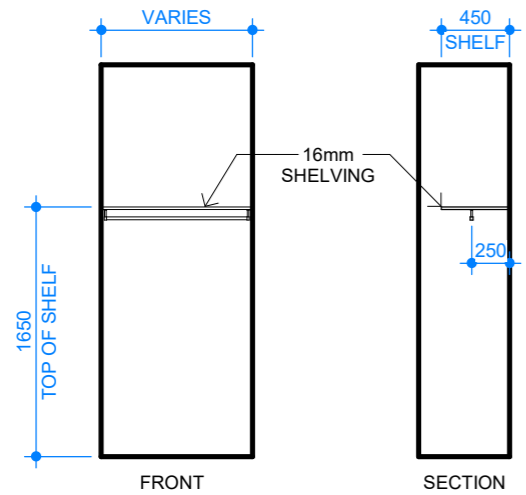
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**SJM property developments**  
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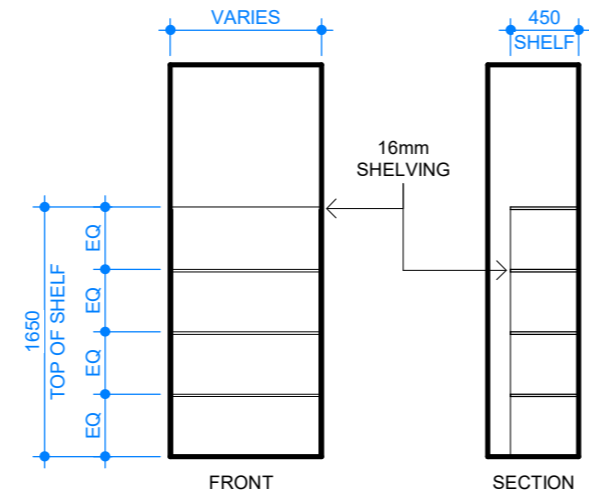
Home: **HPS-ABELIA-12.5(05H.02)** Facade: **C-BYRON 03-COCOA**  
 Client: **SJM PROPERTY DEVELOPMENTS**  
 Location: **16 OAKMONT ROAD (LOT 39) MIDWAY POINT TAS 7171**  
 Drawing: **INTERNAL ELEVATIONS - KITCHEN**

DRAWING DETAILS	
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SCALE	SHEET SIZE
As indicated	A3
JOB No:	<b>458N</b>
Drwg No:	<b>D06c</b> Issue <b>A03</b>

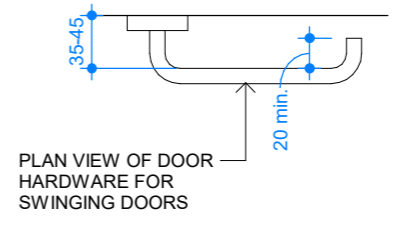
All dimensions to be verified on site



**TYPICAL ROBE**  
1 : 50



**TYPICAL LINEN**  
1 : 50



**TYPICAL DOOR HARDWARE**  
1 : 5

**D PULL HANDLE:**  
D PULL CUPBOARD HANDLES TO ALL CUPBOARDS UNLESS NOTED OTHERWISE


PUSH TO RELEASE MECHANISMS FOR BOTH OVERHEAD AND UNDER BENCH CUPBOARDS

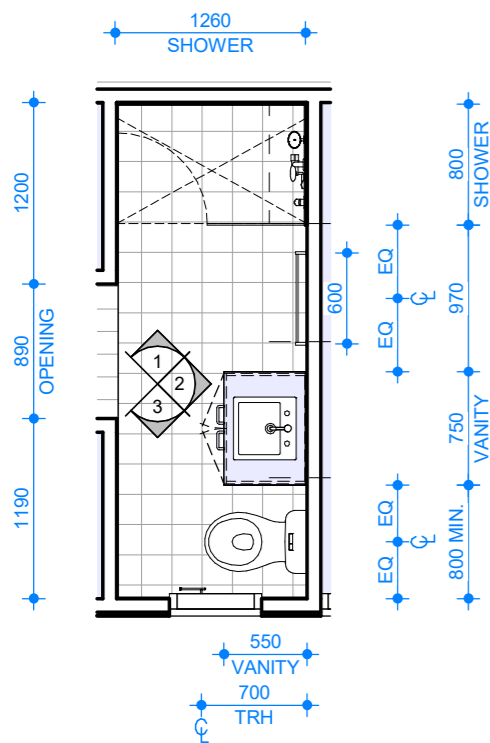
**C.O.S. DIMENSION:**  
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**BENCHTOP:**  
35mm POSTFORM LAMINATE BENCHTOPS THROUGHOUT (INCLUDING LAUNDRY)

**Sorell Council**  
Development Application: Development Application - 16 Oakmont Road, Midway Point - P1.pdf  
Plans Reference:P1  
Date Received:4/04/2024

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 <p>1/37 Ascot Dr, Huntingfield TAS 7055 P +61 3 6289 6601</p>	Home: <b>HPS-ABELIA-12.5(05H.02)</b>	Facade: <b>C-BYRON 03-COcoa</b>	<b>DRAWING DETAILS</b>	
	Client: <b>SJM PROPERTY DEVELOPMENTS</b>		SCALE: As indicated	SHEET SIZE: A3
	Location: <b>16 OAKMONT ROAD (LOT 39) MIDWAY POINT TAS 7171</b>		JOB No: <b>458N</b>	
	Drawing: <b>INTERNAL ELEVATIONS - TYPICAL</b>		Drwg No: <b>D06d</b>	Issue: <b>A03</b>
			All dimensions to be verified on site	



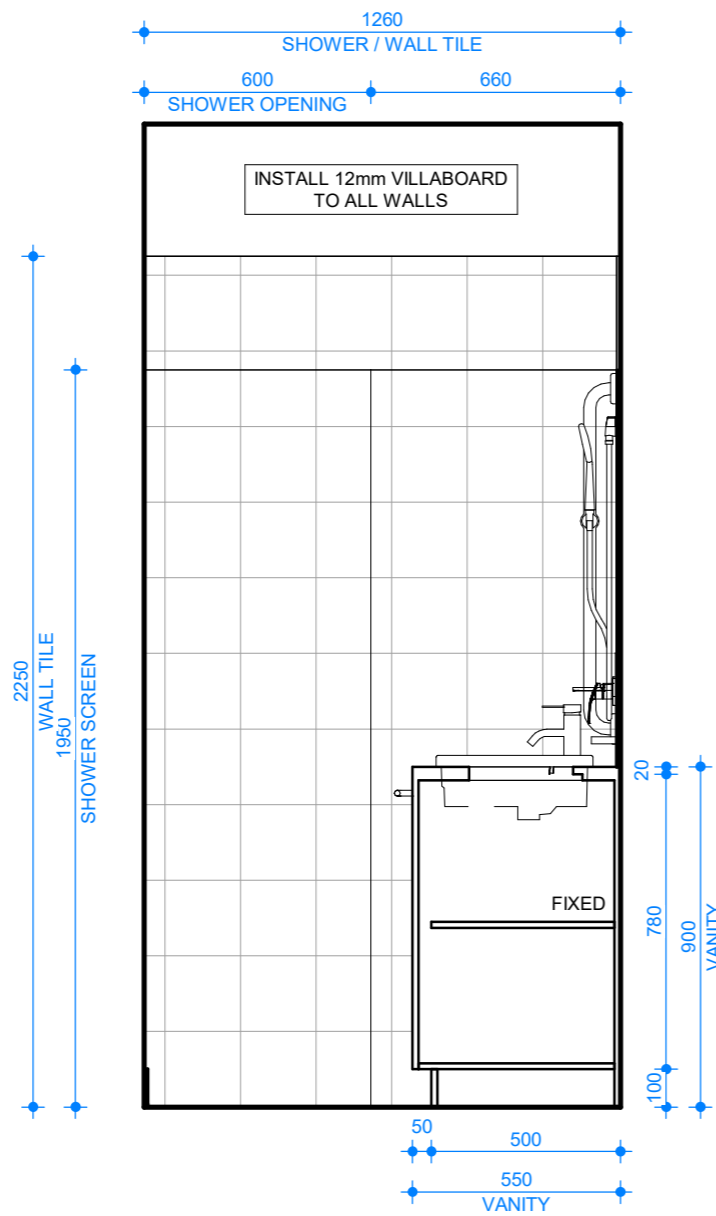
**WC PLAN**  
1 : 50

**D PULL HANDLE:**  
D PULL CUPBOARD HANDLES TO ALL CUPBOARDS UNLESS NOTED OTHERWISE

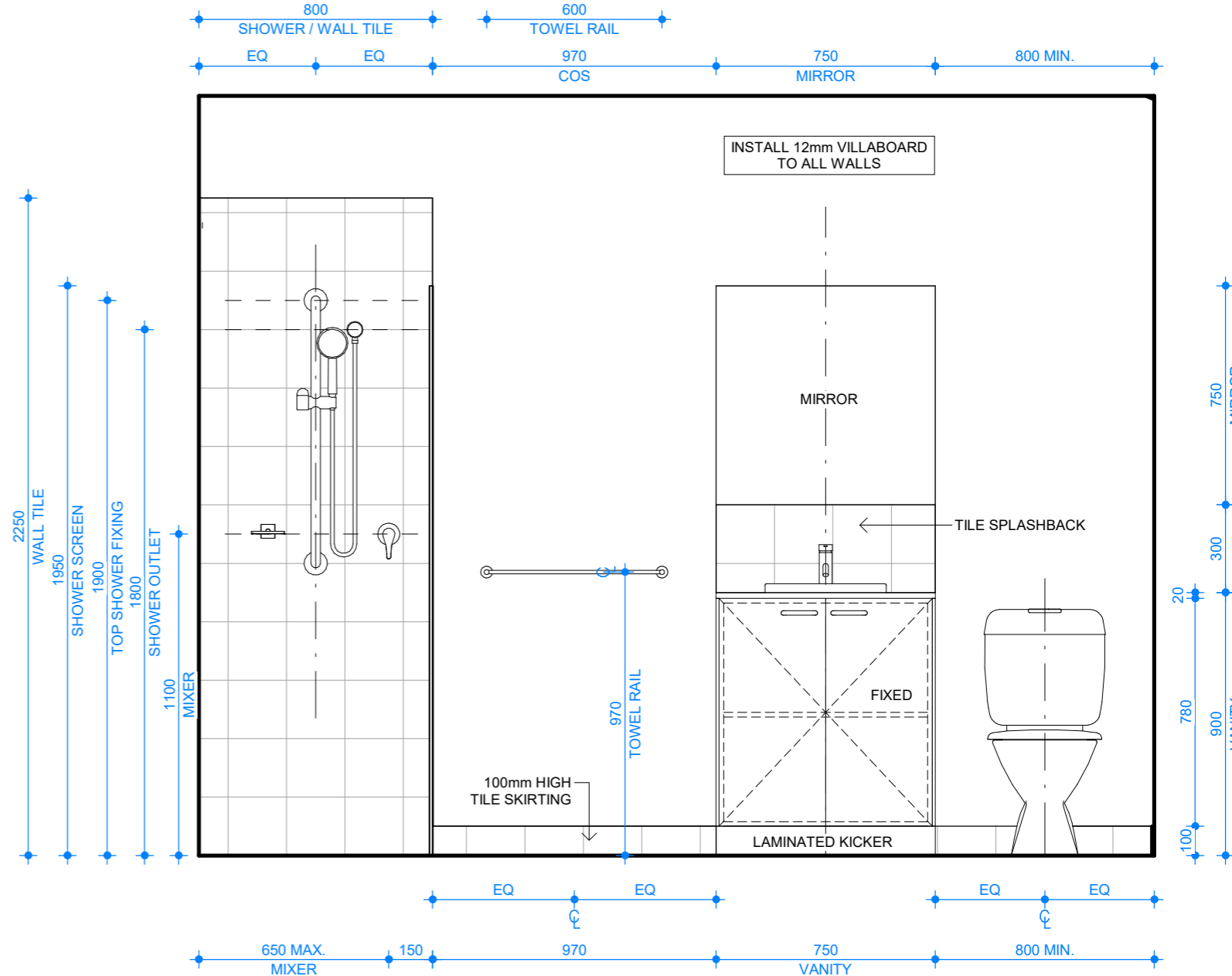
PUSH TO RELEASE MECHANISMS FOR BOTH OVERHEAD AND UNDER BENCH CUPBOARDS

**C.O.S. DIMENSION:**  
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**BENCHTOP:**  
35mm POSTFORM LAMINATE BENCHTOPS THROUGHOUT (INCLUDING LAUNDRY)



**1 WC ELEVATION**  
D07a 1 : 20



**2 WC ELEVATION**  
D07a 1 : 20

**Sorell Council**  
Development Application: Development Application - 16 Oakmont Road, Midway Point - P1.pdf  
Plans Reference: P1  
Date Received: 4/04/2024

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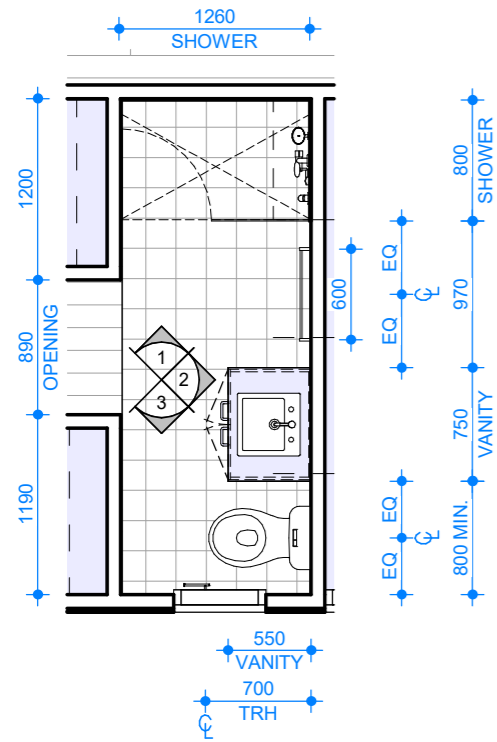
1/37 Ascot Dr, Huntingfield TAS 7055  
P +61 3 6289 6601

Home: **HPS-ABELIA-12.5(05H.02)**  
Client: **SJM PROPERTY DEVELOPMENTS**  
Location: **16 OAKMONT ROAD (LOT 39) MIDWAY POINT TAS 7171**  
Drawing: **WET AREA ELEVATIONS - WC**

Facade: **C-BYRON 03-COCOA**

DRAWING DETAILS	
4/2/2024 2:33:51 PM	
SCALE	SHEET SIZE
As indicated	A3
JOB No:	<b>458N</b>
Drwg No:	<b>D07a</b>
Issue	<b>A03</b>

All dimensions to be verified on site



**WC PLAN**  
1 : 50

**D PULL HANDLE:**  
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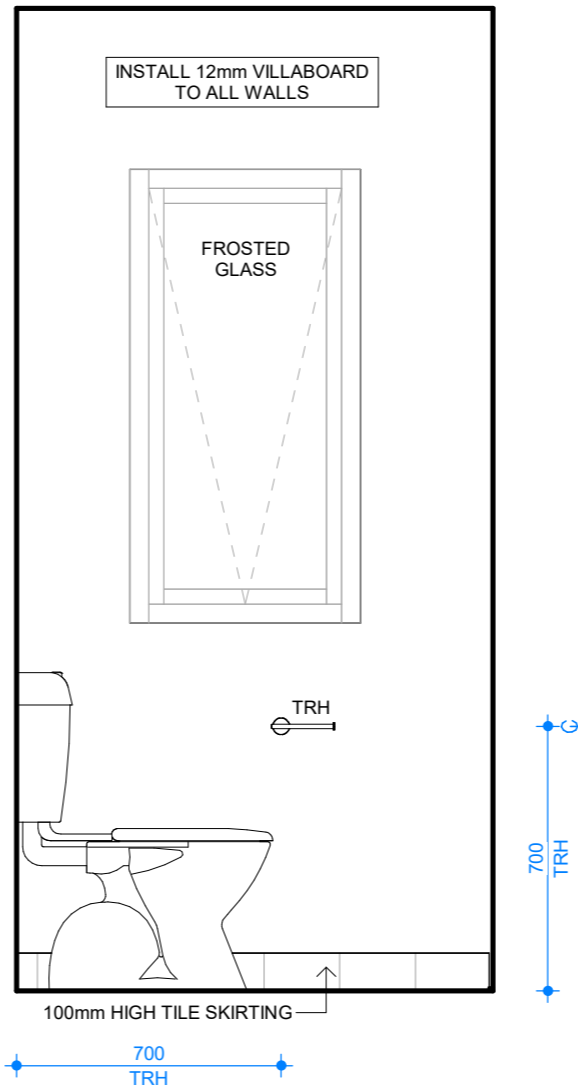
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**3 WC ELEVATION**  
D07a 1 : 20



1/37 Ascot Dr, Huntingfield TAS 7055  
P +61 3 6289 6601

Home: **HPS-ABELIA-12.5(05H.02)**

Client: **SJM PROPERTY DEVELOPMENTS**

Location: **16 OAKMONT ROAD (LOT 39) MIDWAY POINT TAS 7171**

Drawing: **WET AREA ELEVATIONS - WC**

Facade: **C-BYRON  
03-COCOA**

**DRAWING DETAILS**

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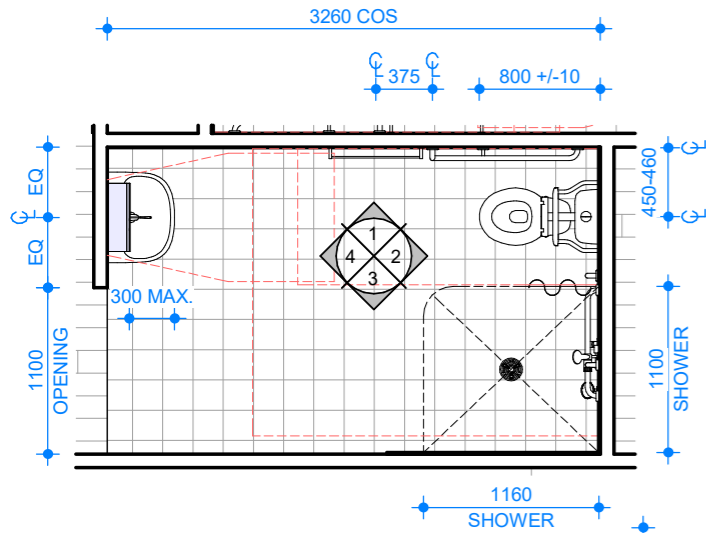
SCALE	SHEET SIZE
As indicated	A3

JOB No: **458N**

Drwg No: **D07b** Issue **A03**

All dimensions to be verified on site





# ENSUITE 1 PLAN

1 : 50

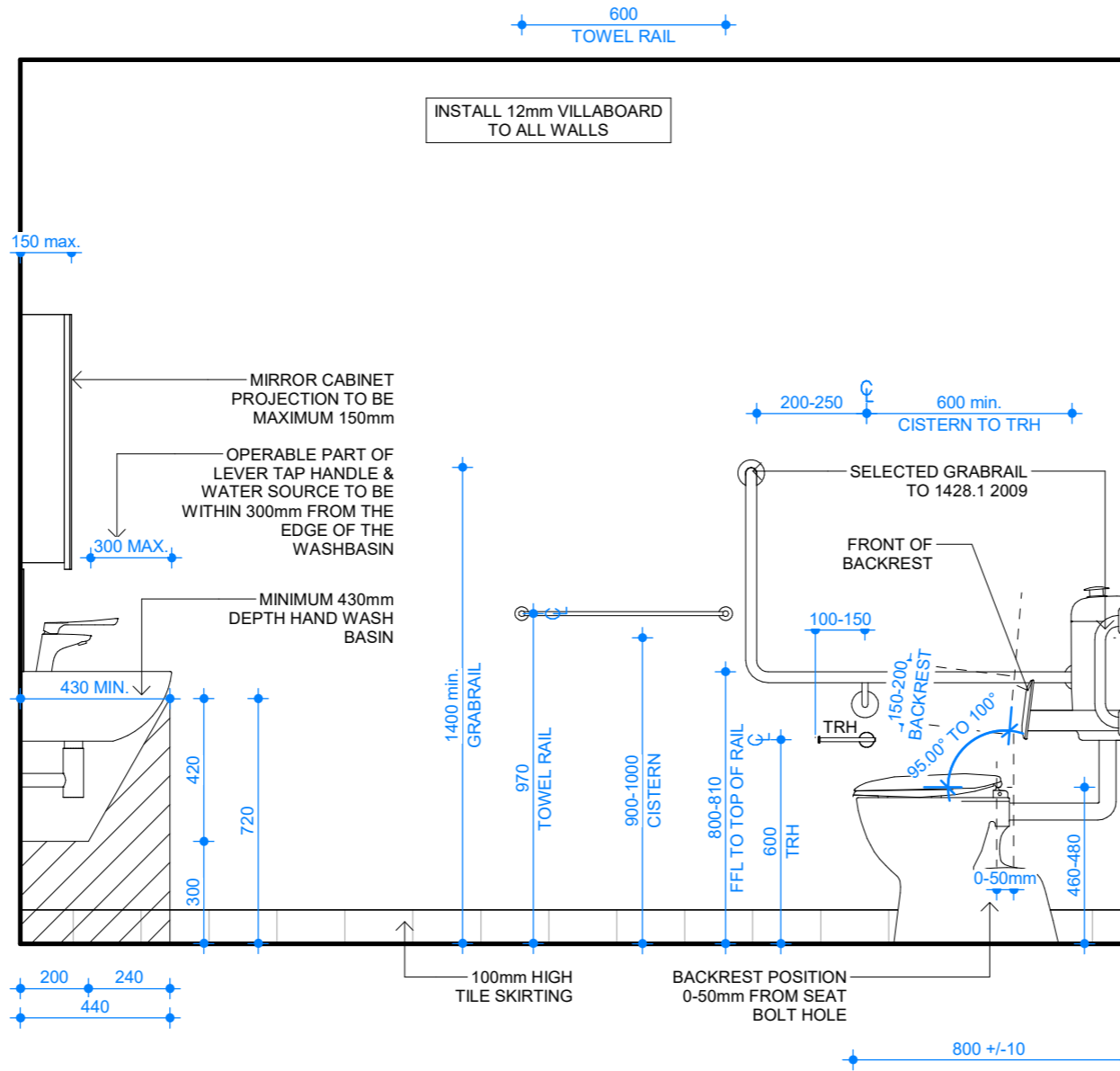
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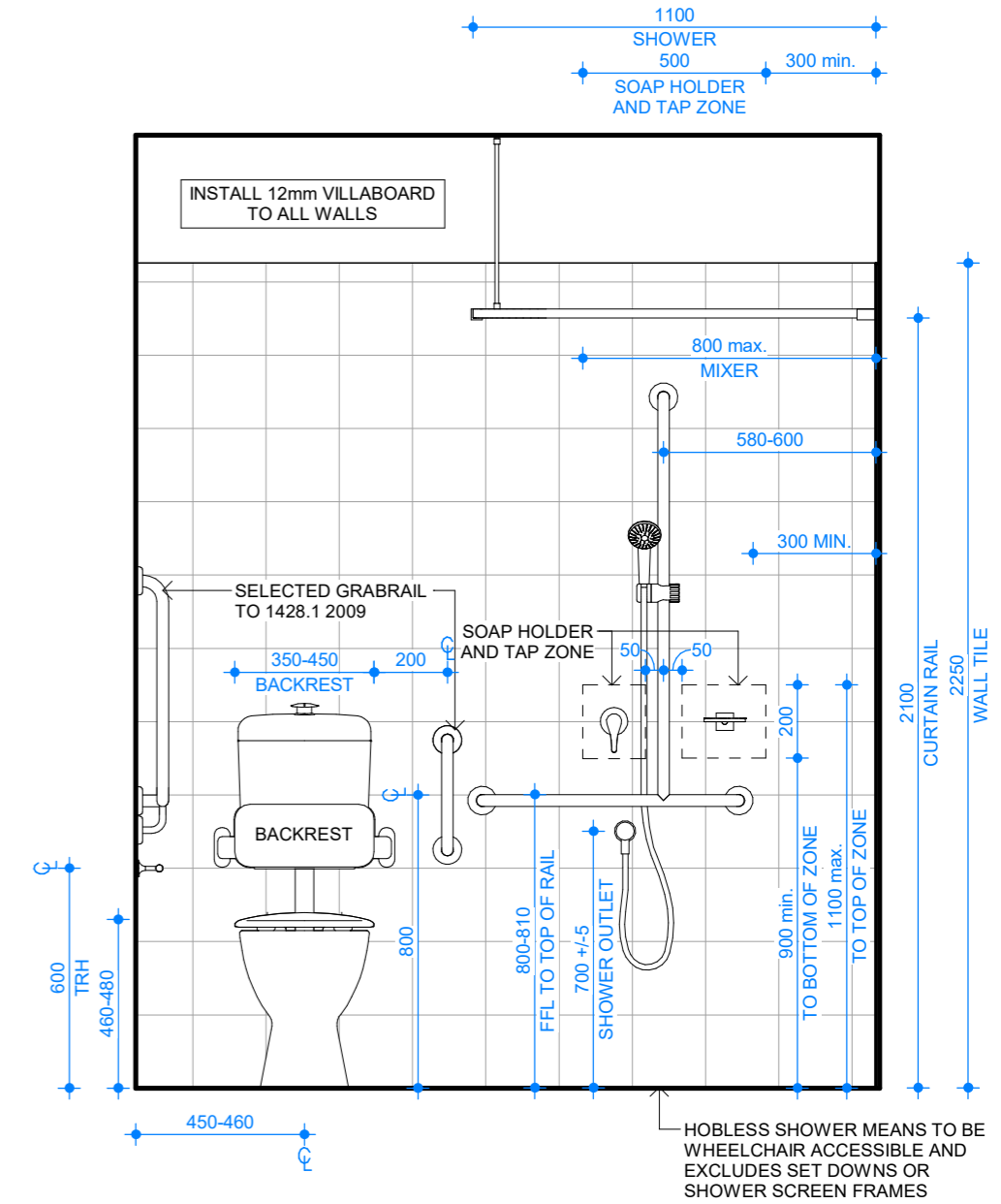
**BENCHTOP:**  
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Development Application: Development Application - 16 Oakmont Road, Midway Point - P1.pdf  
Plans Reference:P1  
Date Received:4/04/2024



# 1 ENSUITE 1 ELEVATION

D07c 1 : 20



# 2 ENSUITE 1 ELEVATION

D07c 1 : 20

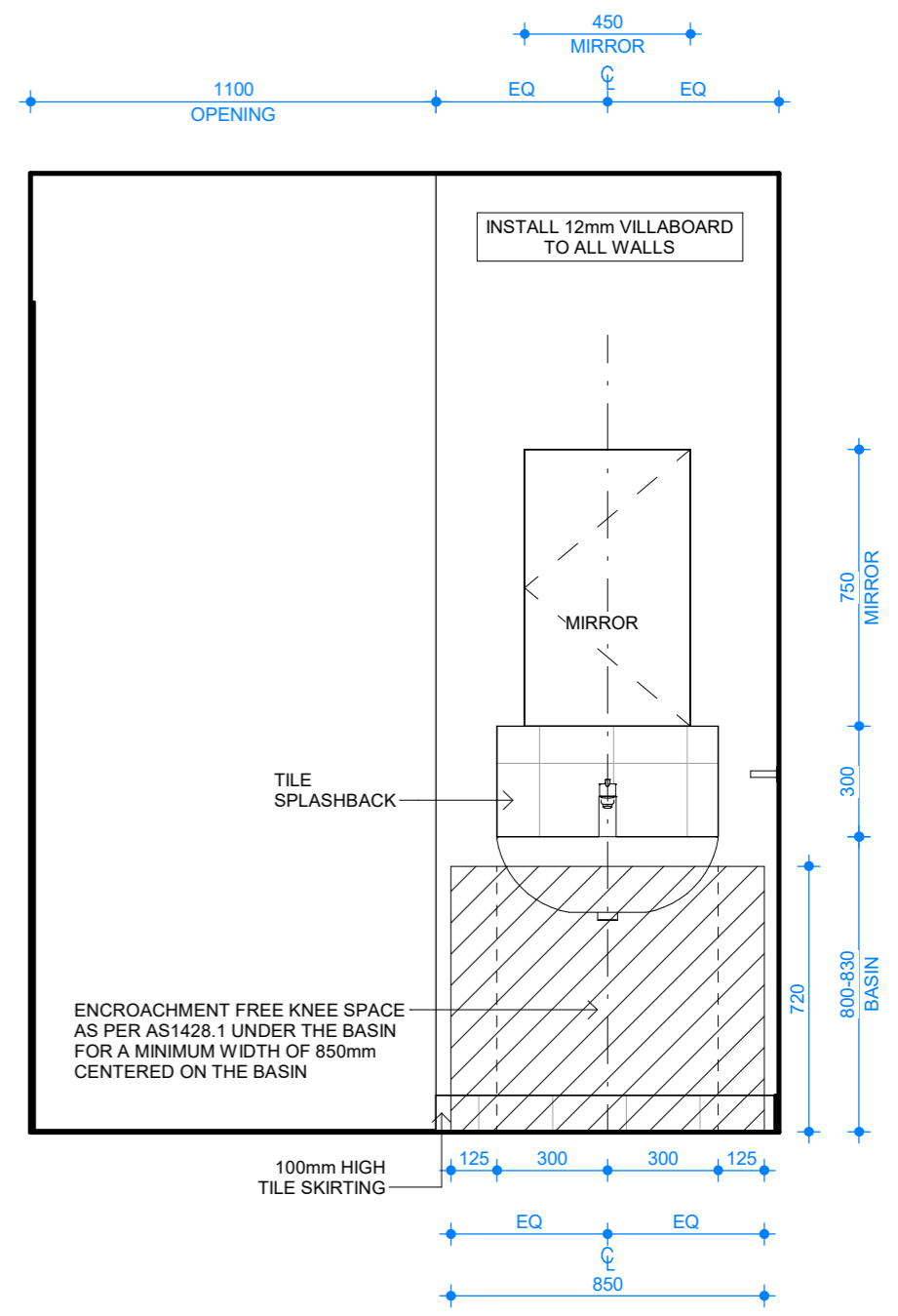
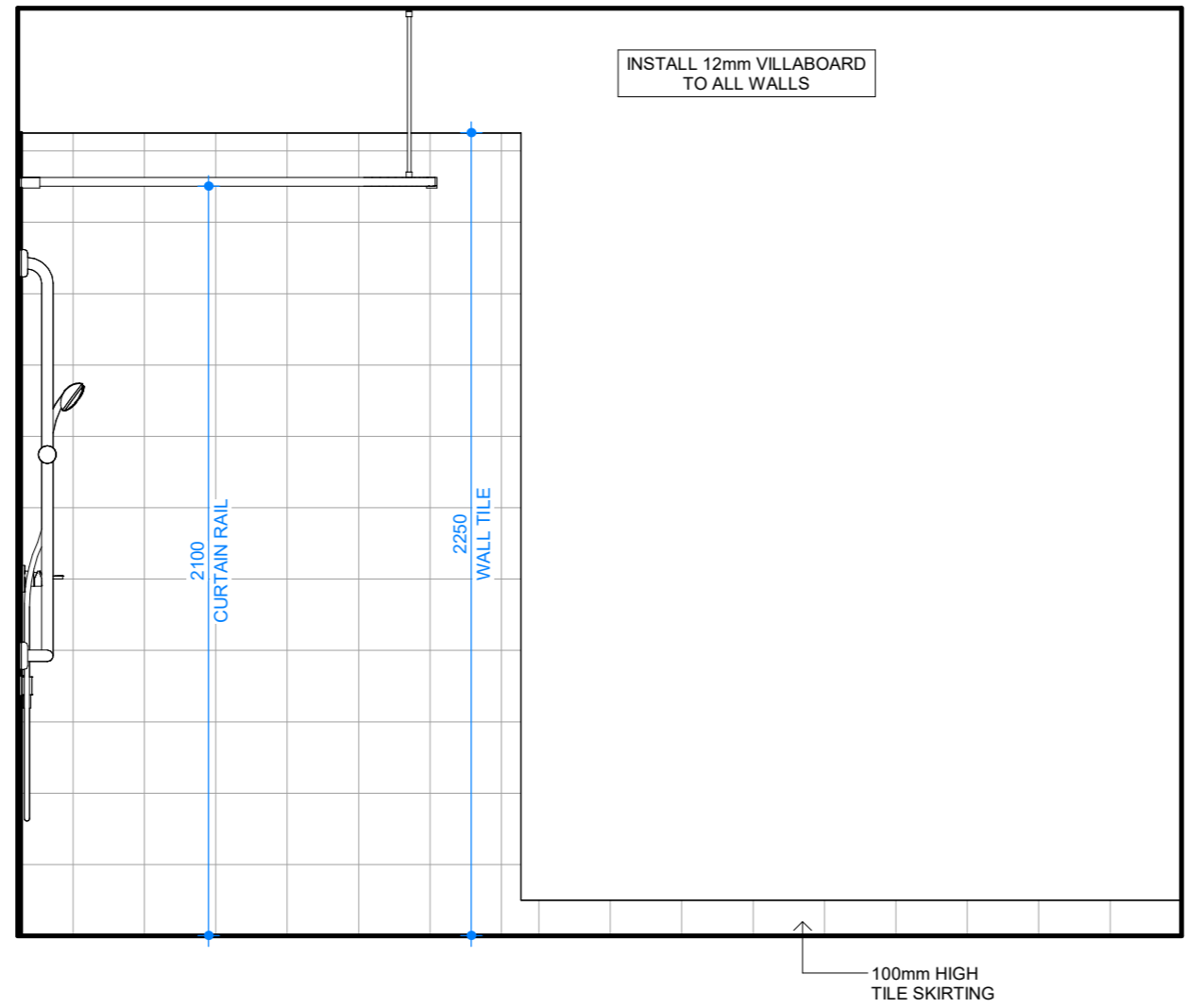
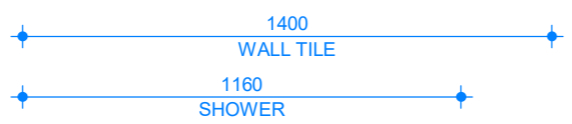
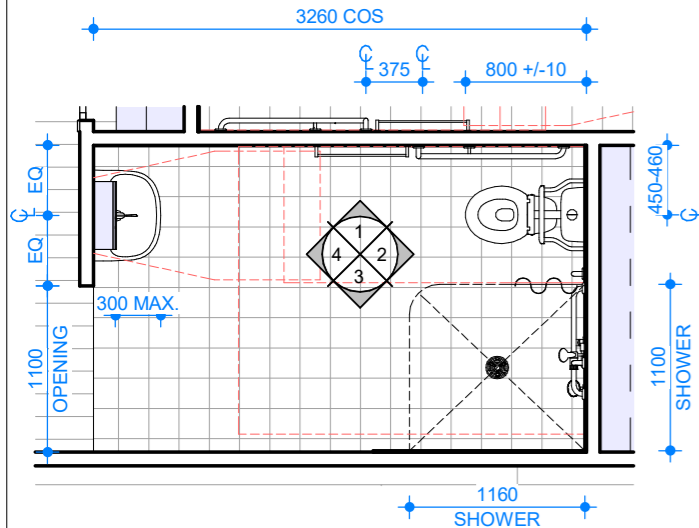
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P +61 3 6289 6601

Home: **HPS-ABELIA-12.5(05H.02)** Facade: **C-BYRON 03-COCOA**  
Client: **SJM PROPERTY DEVELOPMENTS**  
Location: **16 OAKMONT ROAD (LOT 39) MIDWAY POINT TAS 7171**  
Drawing: **WET AREA ELEVATIONS - ENSUITE 1**

DRAWING DETAILS	
4/2/2024 2:33:51 PM	
SCALE	SHEET SIZE
As indicated	A3
JOB No:	<b>458N</b>
Drwg No:	<b>D07c</b> Issue <b>A03</b>

All dimensions to be verified on site



# ENSUITE 1 PLAN

1 : 50

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**BENCHTOP:**  
35mm POSTFORM LAMINATE BENCHTOPS THROUGHOUT (INCLUDING LAUNDRY)

**Sorell Council**  
Development Application: Development Application - 16 Oakmont Road, Midway Point - P1.pdf  
Plans Reference:P1  
Date Received:4/04/2024

## 3 ENSUITE 1 ELEVATION

D07c 1 : 20

## 4 ENSUITE 1 ELEVATION

D07c 1 : 20

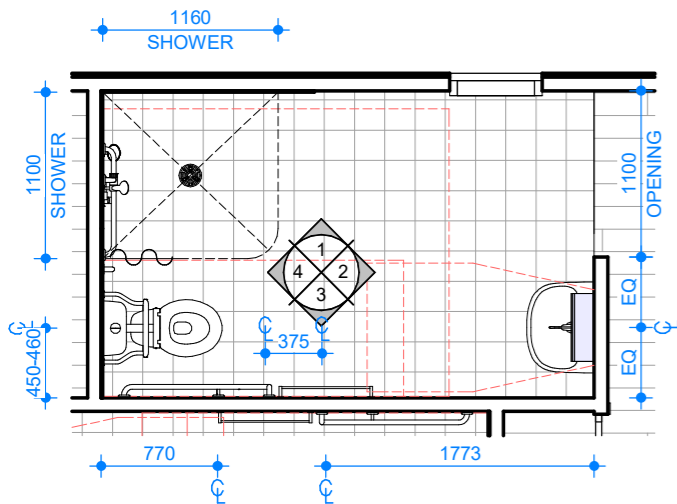
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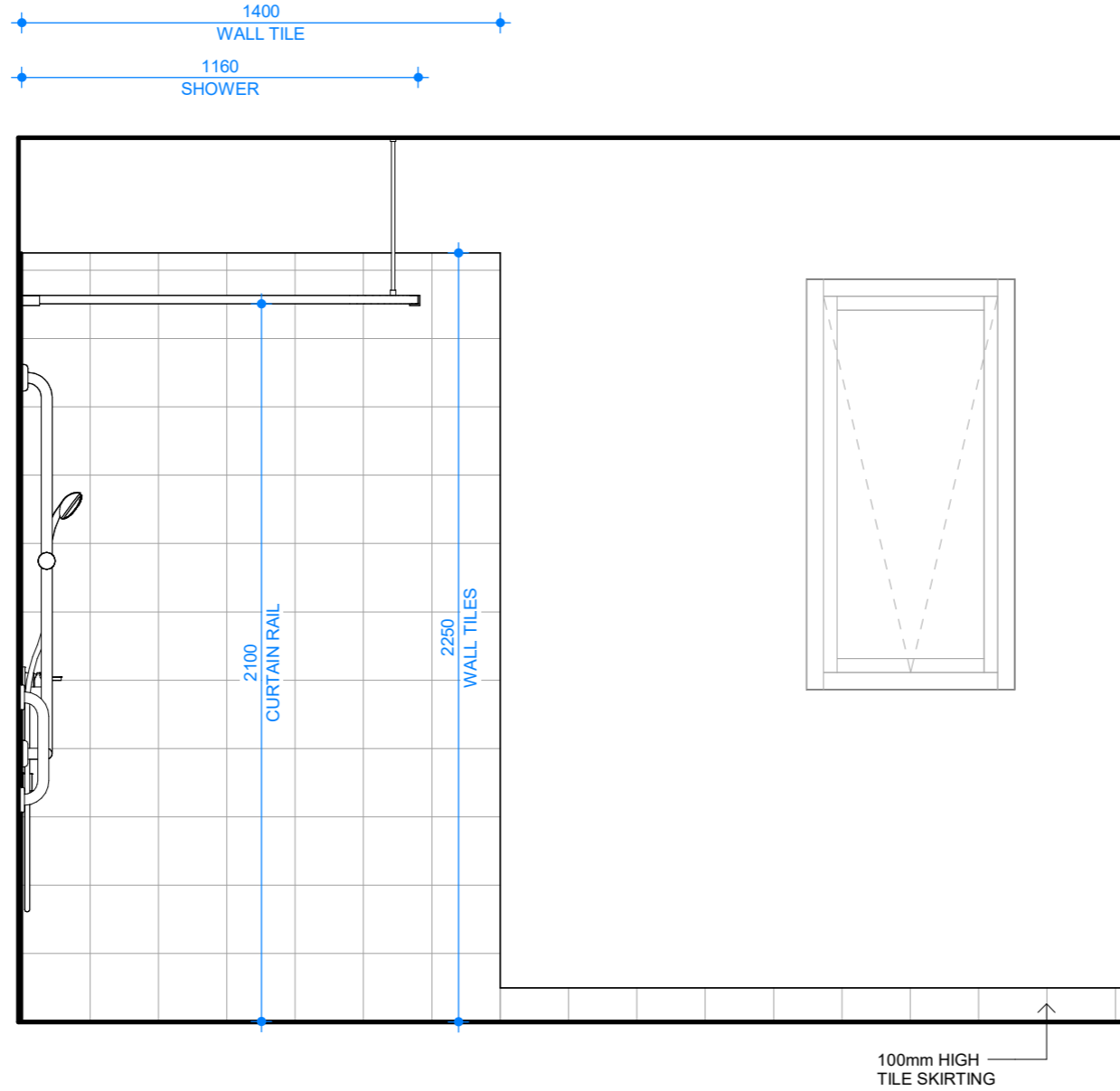
Home: **HPS-ABELIA-12.5(05H.02)** Facade: **C-BYRON 03-COCOA**  
Client: **SJM PROPERTY DEVELOPMENTS**  
Location: **16 OAKMONT ROAD (LOT 39) MIDWAY POINT TAS 7171**  
Drawing: **WET AREA ELEVATIONS - ENSUITE 1**

DRAWING DETAILS	
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SCALE	SHEET SIZE
As indicated	A3
JOB No:	<b>458N</b>
Drwg No:	<b>D07d</b> Issue <b>A03</b>

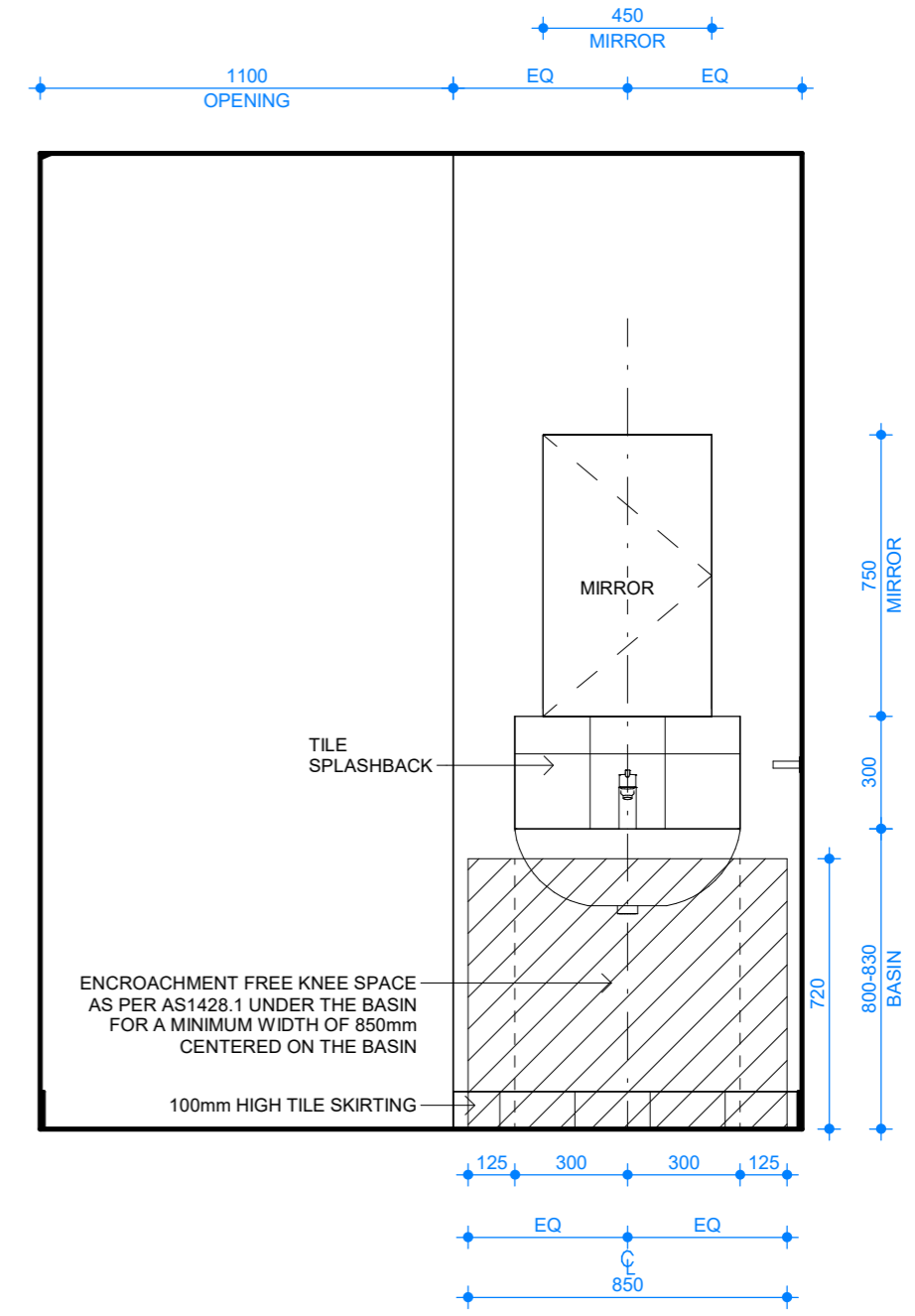
All dimensions to be verified on site



**ENSUITE 2 PLAN**  
1 : 50



**1 ENSUITE 2 ELEVATION**  
D07e 1 : 20



**2 ENSUITE 2 ELEVATION**  
D07d 1 : 20

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**BENCHTOP:**  
35mm POSTFORM LAMINATE BENCHTOPS THROUGHOUT (INCLUDING LAUNDRY)

**Sorell Council**  
Development Application: Development Application - 16 Oakmont Road, Midway Point - P1.pdf  
Plans Reference:P1  
Date Received:4/04/2024

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Client: **SJM PROPERTY DEVELOPMENTS**

Location: **16 OAKMONT ROAD (LOT 39) MIDWAY POINT TAS 7171**

Drawing: **WET AREA ELEVATIONS - ENSUITE 2**

Facade: **C-BYRON 03-COCOA**

**DRAWING DETAILS**

4/2/2024 2:33:53 PM

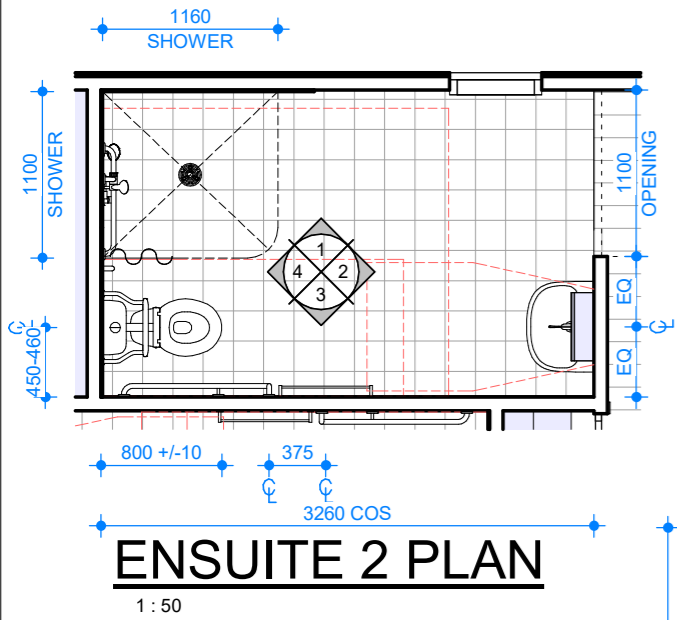
SCALE SHEET SIZE

As indicated A3

JOB No: **458N**

Drwg No: **D07e** Issue **A03**

All dimensions to be verified on site



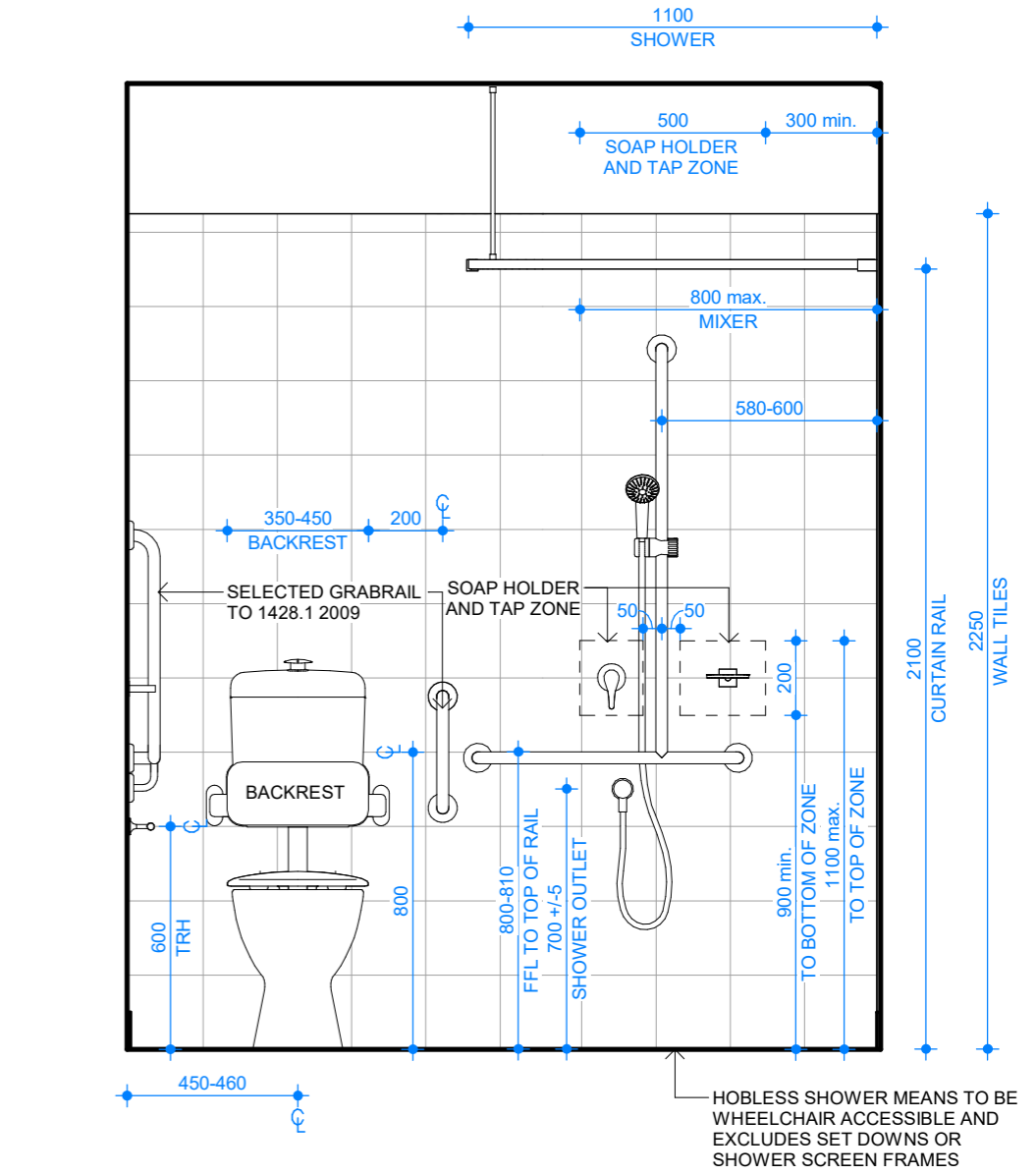
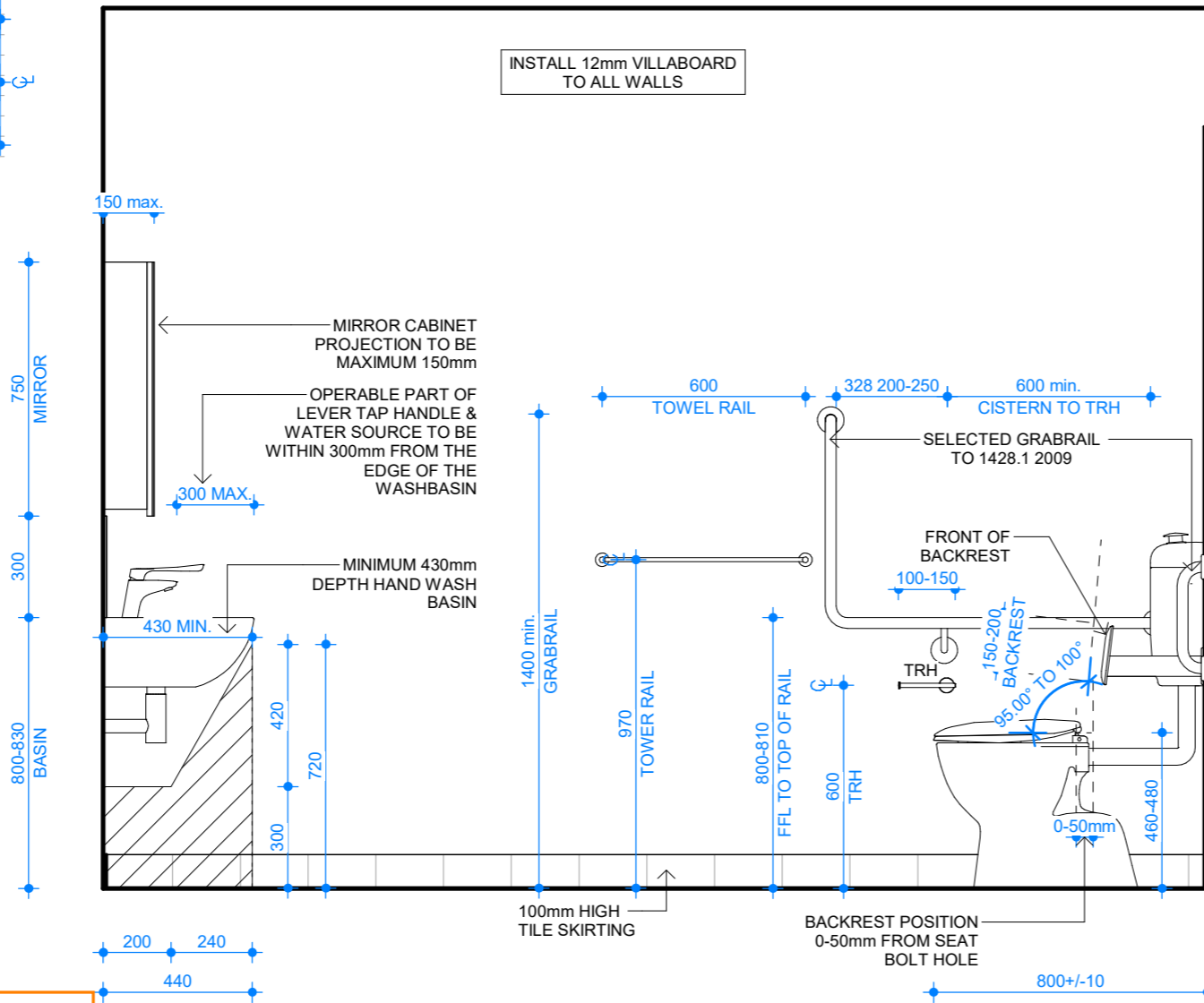
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**BENCHTOP:**  
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**Sorell Council**  
Development Application: Development Application - 16 Oakmont Road, Midway Point - P1.pdf  
Plans Reference:P1  
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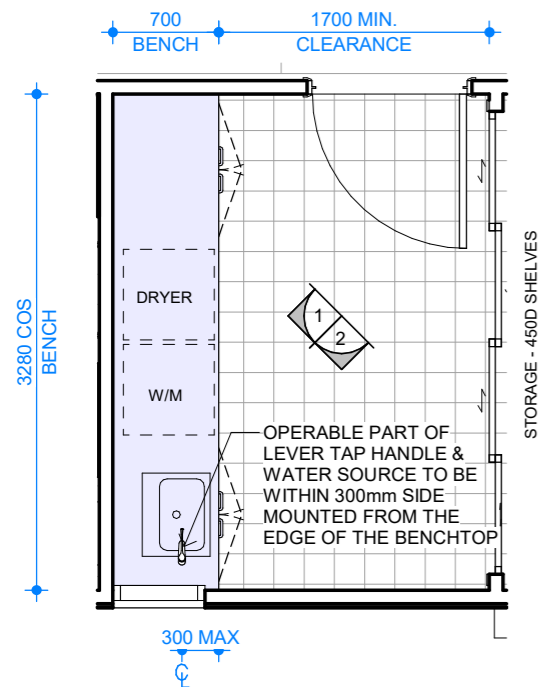
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Home: **HPS-ABELIA-12.5(05H.02)** Facade: **C-BYRON 03-COCOA**  
Client: **SJM PROPERTY DEVELOPMENTS**  
Location: **16 OAKMONT ROAD (LOT 39) MIDWAY POINT TAS 7171**  
Drawing: **WET AREA ELEVATIONS - ENSUITE 2**

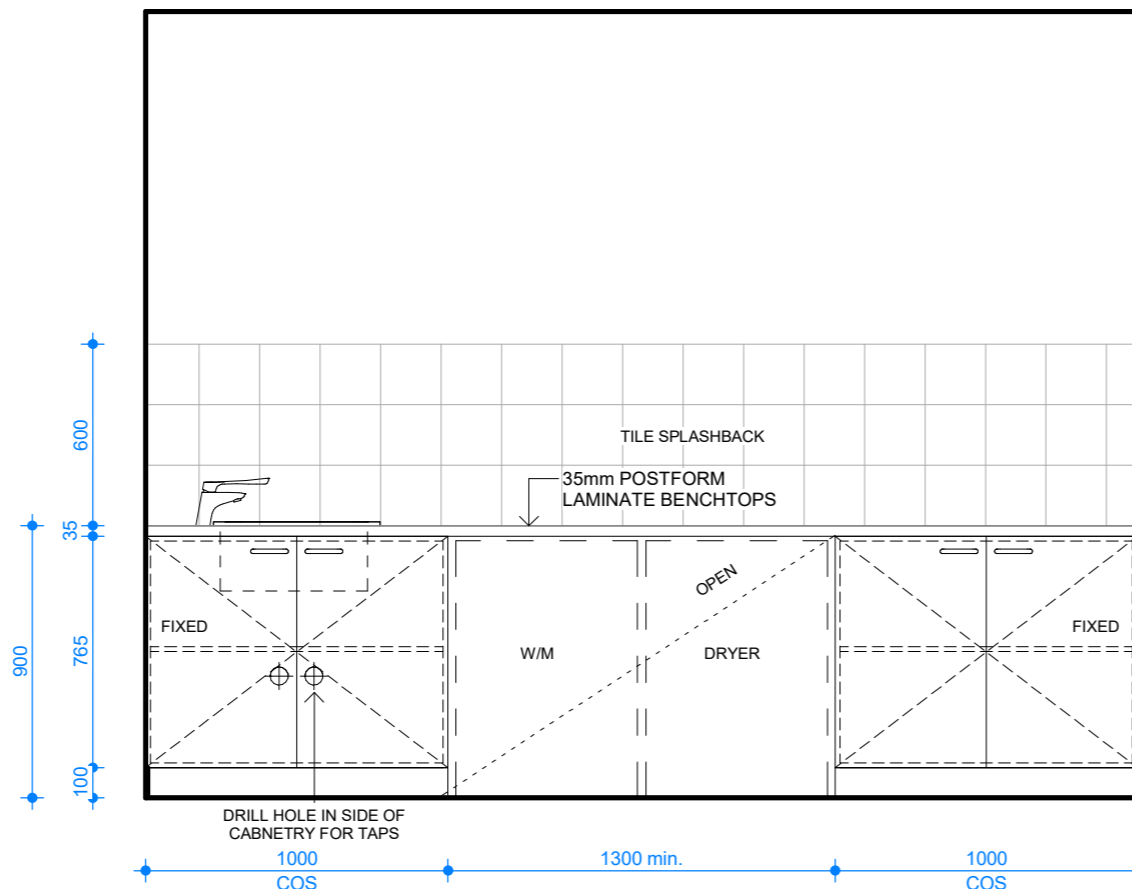
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SCALE	SHEET SIZE
As indicated	A3
JOB No:	<b>458N</b>
Drwg No:	<b>D07f</b> Issue <b>A03</b>

All dimensions to be verified on site



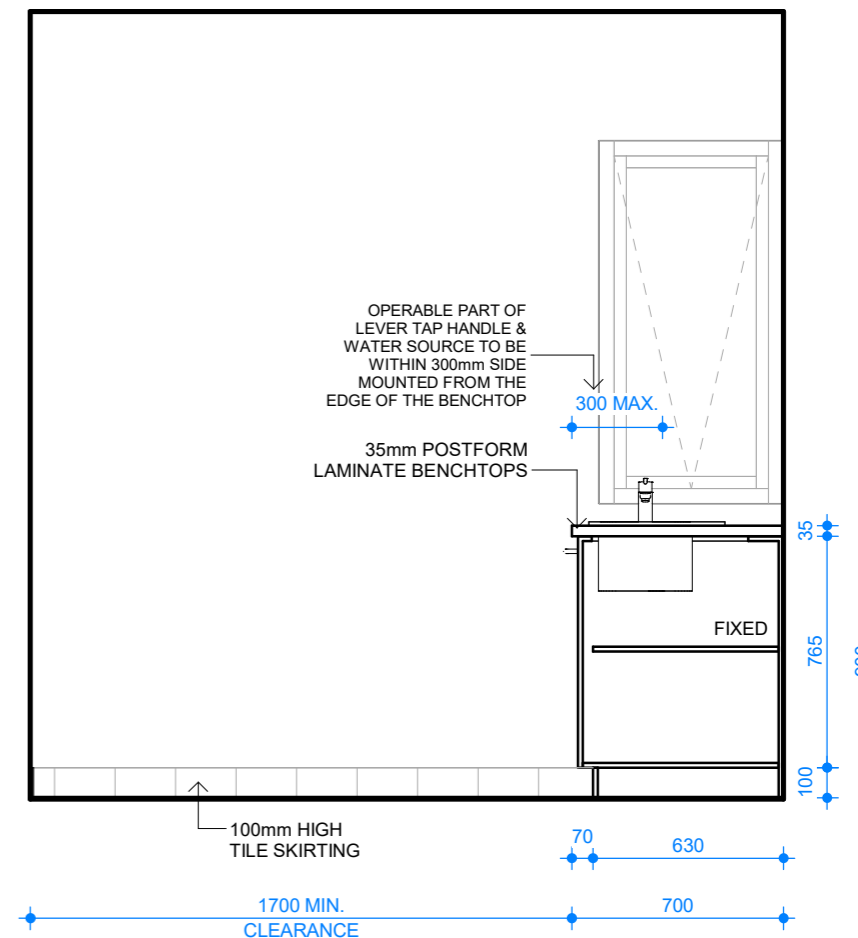
### LAUNDRY PLAN

1 : 50



### 1 LAUNDRY ELEVATION

D07g 1 : 25



### 2 LAUNDRY ELEVATION

D07b 1 : 25

**D PULL HANDLE:**  
D PULL CUPBOARD HANDLES TO ALL CUPBOARDS UNLESS NOTED OTHERWISE

PUSH TO RELEASE MECHANISMS FOR BOTH OVERHEAD AND UNDER BENCH CUPBOARDS

**C.O.S. DIMENSION:**  
ALL DIMENSIONS ARE NOMINAL AND MUST BE VERIFIED ON SITE

**BENCHTOP:**  
35mm POSTFORM LAMINATE BENCHTOPS THROUGHOUT (INCLUDING LAUNDRY)

**Sorell Council**  
Development Application: Development Application - 16 Oakmont Road, Midway Point - P1.pdf  
Plans Reference: P1  
Date Received: 4/04/2024

**IMPORTANT NOTES:**

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1/37 Ascot Dr, Huntingfield TAS 7055  
P +61 3 6289 6601

Home: HPS-ABELIA-12.5(05H.02)

Client: SJM PROPERTY DEVELOPMENTS

Location: 16 OAKMONT ROAD (LOT 39) MIDWAY POINT TAS 7171

Drawing: WET AREA ELEVATIONS - LAUNDRY

Facade: C-BYRON  
03-COCOA

**DRAWING DETAILS**


4/2/2024 2:33:55 PM

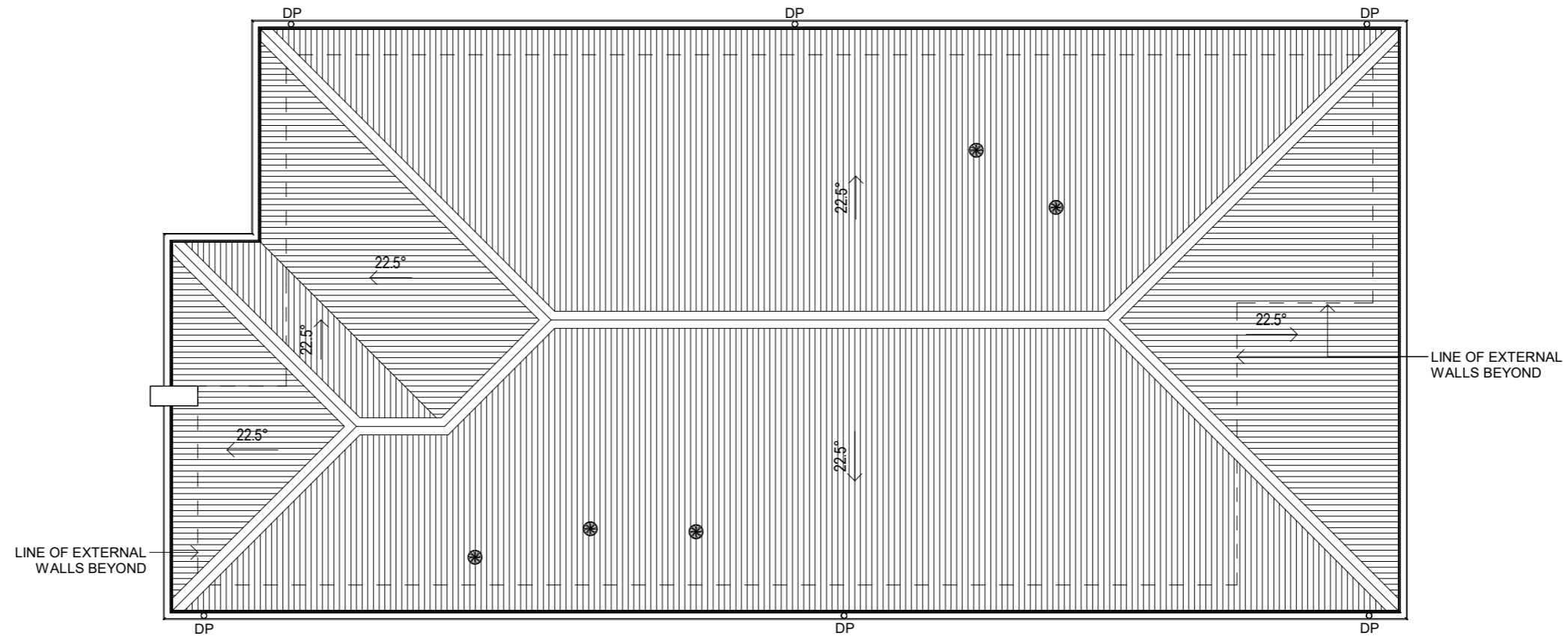
SCALE: As indicated  
SHEET SIZE: A3

JOB No: 458N

Drwg No: D07g Issue A03

All dimensions to be verified on site

LEGEND	
	ROOF VENTILATION - TO NCC REQUIREMENTS



 **Sorell Council**  
 Development Application: Development Application - 16 Oakmont Road, Midway Point - P1.pdf  
 Plans Reference:P1  
 Date Received:4/04/2024

## ROOF PLAN

1 : 100

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Home: **HPS-ABELIA-12.5(05H.02)**

Client: **SJM PROPERTY DEVELOPMENTS**

Location: **16 OAKMONT ROAD (LOT 39) MIDWAY POINT TAS 7171**

Drawing: **ROOF PLAN**

Facade: **C-BYRON  
03-COCOA**



All dimensions to be verified on site

**DRAWING DETAILS**

4/2/2024 2:33:55 PM

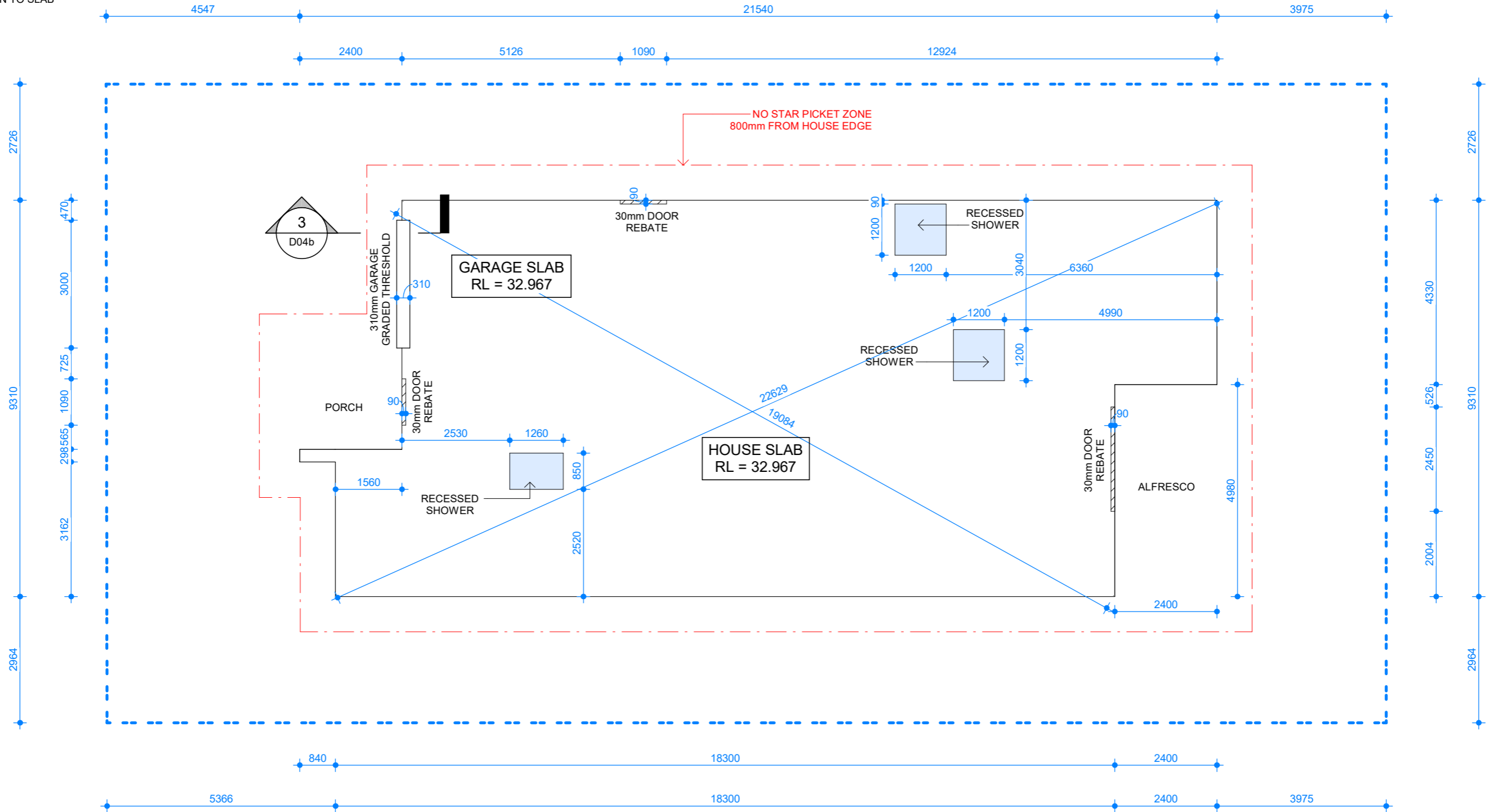
SCALE	SHEET SIZE
1 : 100	A3

JOB No: **458N**

Drwg No: **D08** Issue **A03**

**SLAB PLAN NOTE:**  
 REFER TO DRAWING D09 FOR SLAB PENETRATIONS.  
 REFER TO STRUCTURAL ENGINEER'S PLANS FOR CONCRETE  
 SLAB CONSTRUCTION. SLAB TO BE DESIGNED BASED ON  
 SOIL CLASSIFICATION AS PER AS2870

**SHOWER RECESS:**  
 SHOWER BASES TO BE  
 RECESSED 50mm IN TO SLAB



- IMPORTANT NOTES:**
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# SLAB PLAN

1 : 100



**Sorell Council**  
 Development Application: Development Application - 16 Oakmont Road, Midway Point - P1.pdf  
 Plans Reference:P1  
 Date Received:4/04/2024

1/37 Ascot Dr, Huntingfield TAS 7055  
 P +61 3 6289 6601

Home: **HPS-ABELIA-12.5(05H.02)**

Client: **SJM PROPERTY DEVELOPMENTS**

Location: **16 OAKMONT ROAD (LOT 39) MIDWAY POINT TAS 7171**

Drawing: **SLAB PLAN**

Facade: **C-BYRON 03-COCOA**



All dimensions to be verified on site

**DRAWING DETAILS**

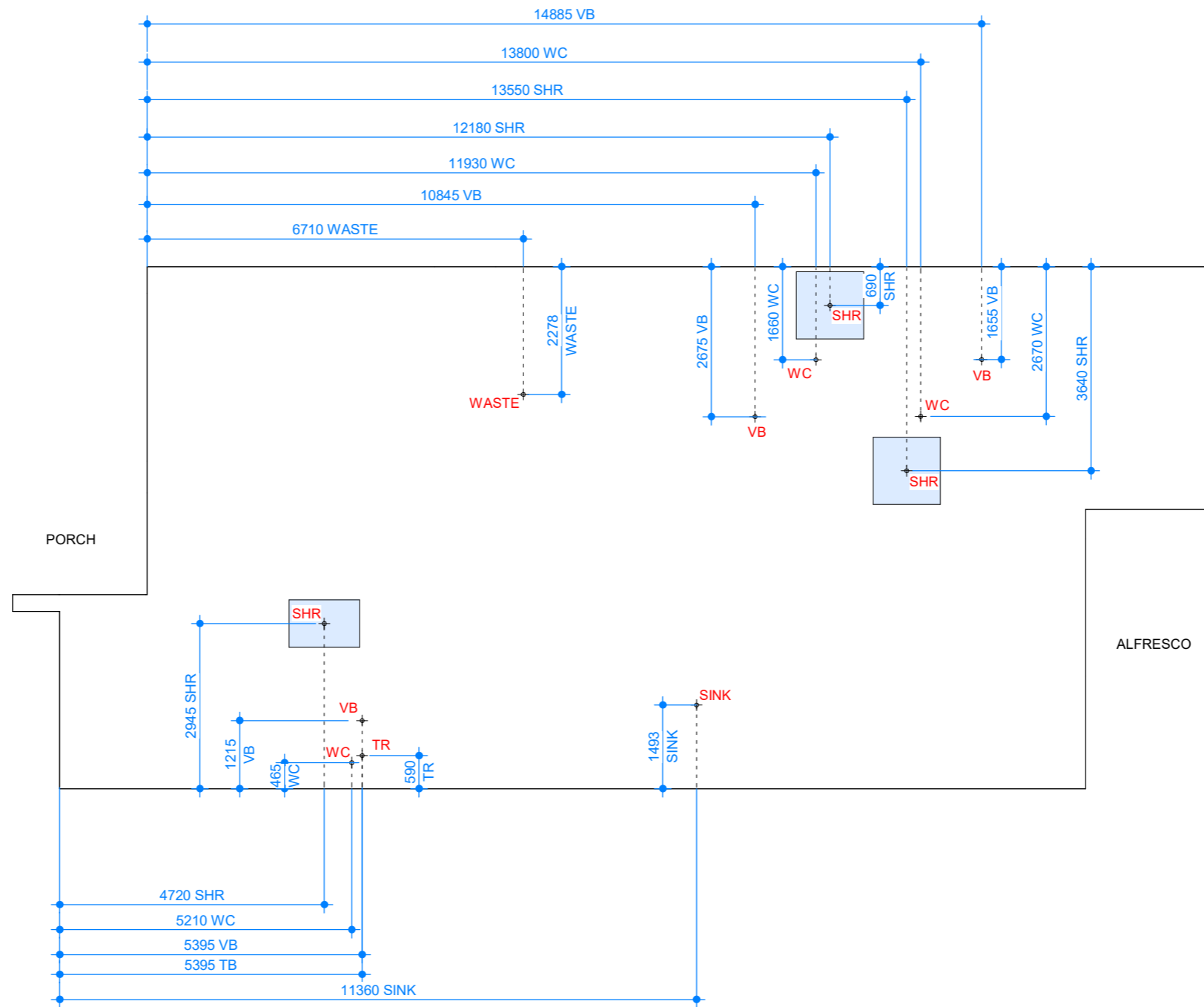
4/2/2024 2:33:55 PM

SCALE SHEET SIZE

1 : 100 A3

JOB No: **458N**

Drwg No: **D09** Issue **A03**



## SLAB PENETRATION PLAN

1:100



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Home: HPS-ABELIA-12.5(05H.02)

Client: SJM PROPERTY DEVELOPMENTS

Location: 16 OAKMONT ROAD (LOT 39) MIDWAY POINT TAS 7171

Drawing: SLAB PENETRATION PLAN

Facade: C-BYRON  
03-COCOA



### DRAWING DETAILS

4/2/2024 2:33:55 PM

SCALE SHEET SIZE  
1:100 A3

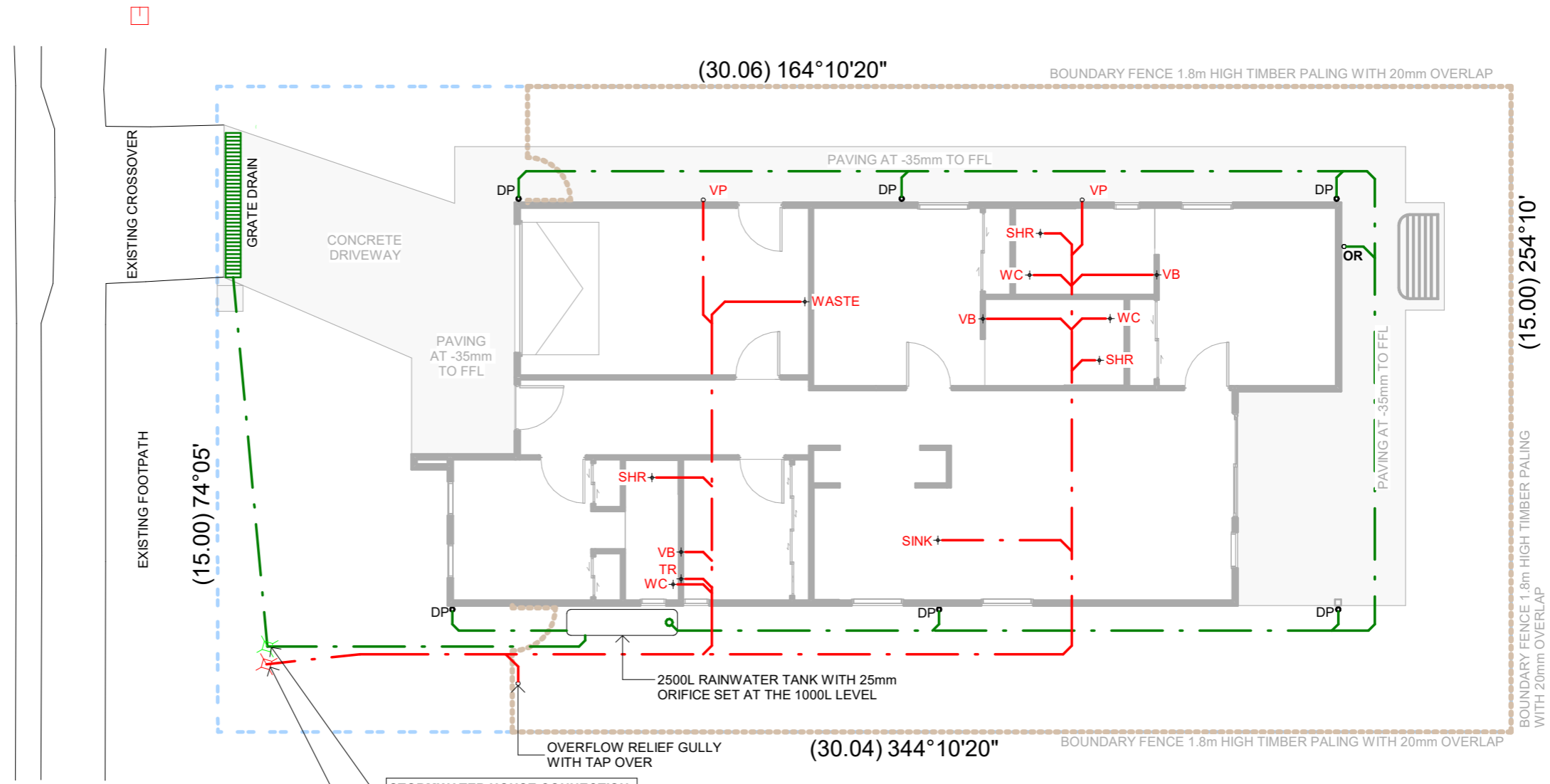
JOB No: 458N

All dimensions to be verified on site

Drwg No: D10a Issue A03



OAKMONT ROAD



**STORMWATER HOUSE CONNECTION:**  
LID RL 32.166  
INV RL 31.380

**SEWER HOUSE CONNECTION:**  
LID RL 32.187  
INV RL 31.541

**NOTE:**  
VENTING OF DRAINS TO COMPLY WITH AS/NZS 3500.2.3.9.2.1 CLAUSE.

PLUMBING LEGEND:	
	100Ø SEWER PIPE
	100Ø STORMWATER PIPE
WC	Ø100 WATER CLOSER
VP	Ø50 VENT PIPE
TR	Ø50 TROUGH
SHR	Ø50 SHOWER
SINK	Ø50 SINK
VB	Ø40 VANITY/BASIN
AAV	AIR ADMITTANCE VALVE
DP	Ø90 DOWNPIPE

# PLUMBING PLAN

1 : 125

**Sorell Council**  
Development Application: Development Application - 16 Oakmont Road, Midway Point - P1.pdf  
Plans Reference: P1  
Date Received: 4/04/2024

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**SJM property developments**  
1/37 Ascot Dr, Huntingfield TAS 7055  
P +61 3 6289 6601

Home: **HPS-ABELIA-12.5(05H.02)**  
Client: **SJM PROPERTY DEVELOPMENTS**  
Location: **16 OAKMONT ROAD (LOT 39) MIDWAY POINT TAS 7171**  
Drawing: **PLUMBING PLAN**

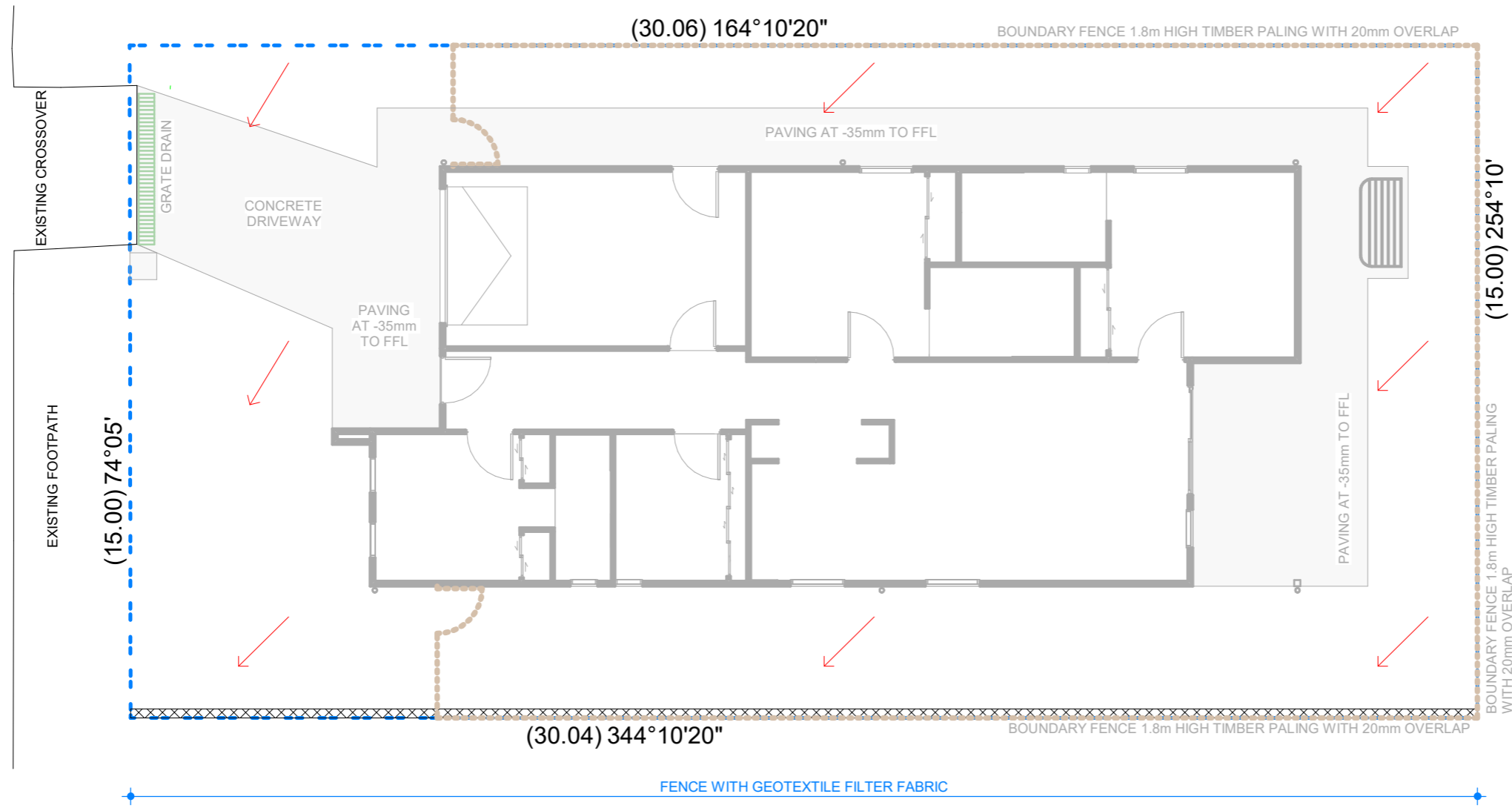
Facade: **C-BYRON 03-COCOA**



DRAWING DETAILS	
4/2/2024 2:33:55 PM	
SCALE	SHEET SIZE
1 : 125	A3
JOB No:	<b>458N</b>
Drwg No:	<b>D10b</b>
Issue	<b>A03</b>

All dimensions to be verified on site

OAKMONT ROAD

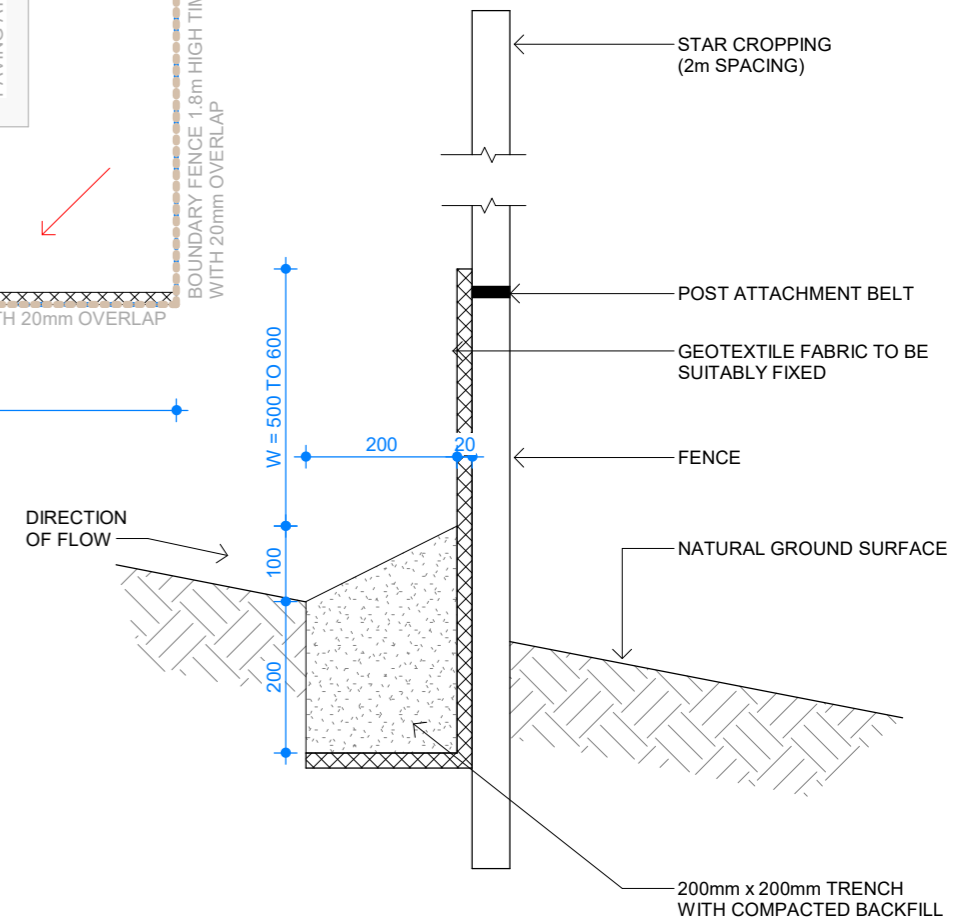


# STORMWATER MANAGEMENT PLAN

1 : 125

LEGEND:	
	FLOW DIRECTION
	SEDIMENT FENCE
	PAVING AREA

**Sorell Council**  
 Development Application: Development Application - 16 Oakmont Road, Midway Point - P1.pdf  
 Plans Reference: P1  
 Date Received: 4/04/2024



# SIDEMENT FENCE SECTION DETAIL

1 : 10

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


Home: **HPS-ABELIA-12.5(05H.02)** Facade: **C-BYRON 03-COCOA**  
 Client: **SJM PROPERTY DEVELOPMENTS**  
 Location: **16 OAKMONT ROAD (LOT 39) MIDWAY POINT TAS 7171**  
 Drawing: **STORMWATER MANAGEMENT PLAN**

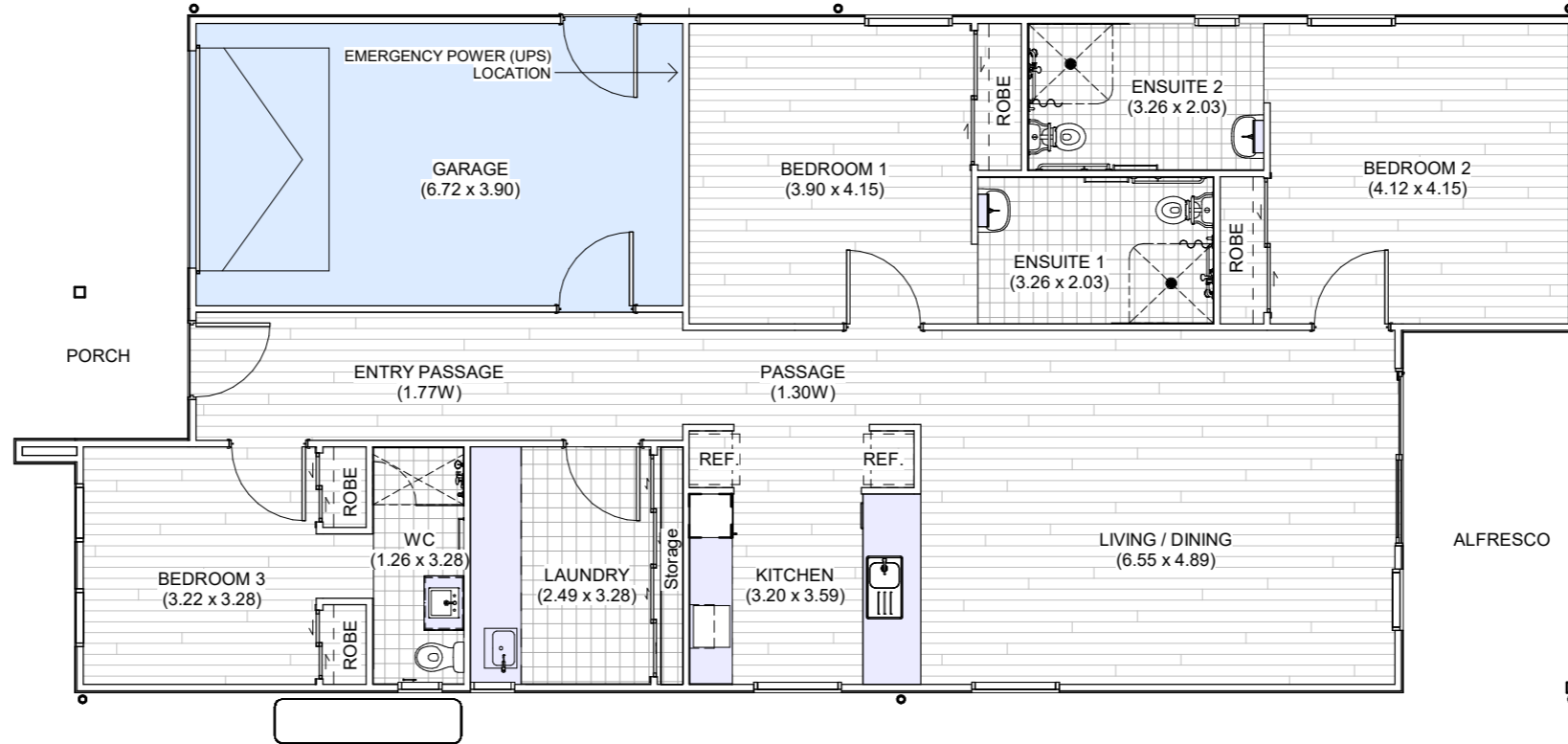
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4/2/2024 2:33:56 PM	
SCALE	SHEET SIZE
As indicated	A3
JOB No:	<b>458N</b>
Drwg No:	<b>D10c</b>
Issue	<b>A03</b>

All dimensions to be verified on site

**NOTE:**  
 ALL FLOOR COVERINGS TO BE FIRM AND EVEN AND FEATURE A TRANSITION BETWEEN ABUTTING SURFACES ( A MAXIMUM VERTICAL TOLERANCE OF 3mm OR 5mm BETWEEN SURFACES IS ALLOWABLE PROVIDED THE LIP IS ROUNDED OR BEVELED.)

ALL INTERNAL FLOOR FINISHES SHALL HAVE A MINIMUM SLIP RESISTANCE OF P3 OR R10.

LEGEND	
	TIMBER OVERLAY
	CERAMIC TILE
	CONCRETE



## FLOOR FINISHES PLAN

1 : 100

 **Sorell Council**  
 Development Application: Development Application - 16 Oakmont Road, Midway Point - P1.pdf  
 Plans Reference:P1  
 Date Received:4/04/2024

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Location: **16 OAKMONT ROAD (LOT 39) MIDWAY POINT TAS 7171**

Drawing: **FLOOR FINISHES PLAN**

Facade: **C-BYRON  
03-COCOA**



**DRAWING DETAILS**

4/2/2024 2:33:56 PM

SCALE SHEET SIZE

1 : 100 A3

JOB No: **458N**

Drwg No: **D11** Issue **A03**

All dimensions to be verified on site

**ELECTRICAL LEGEND:**

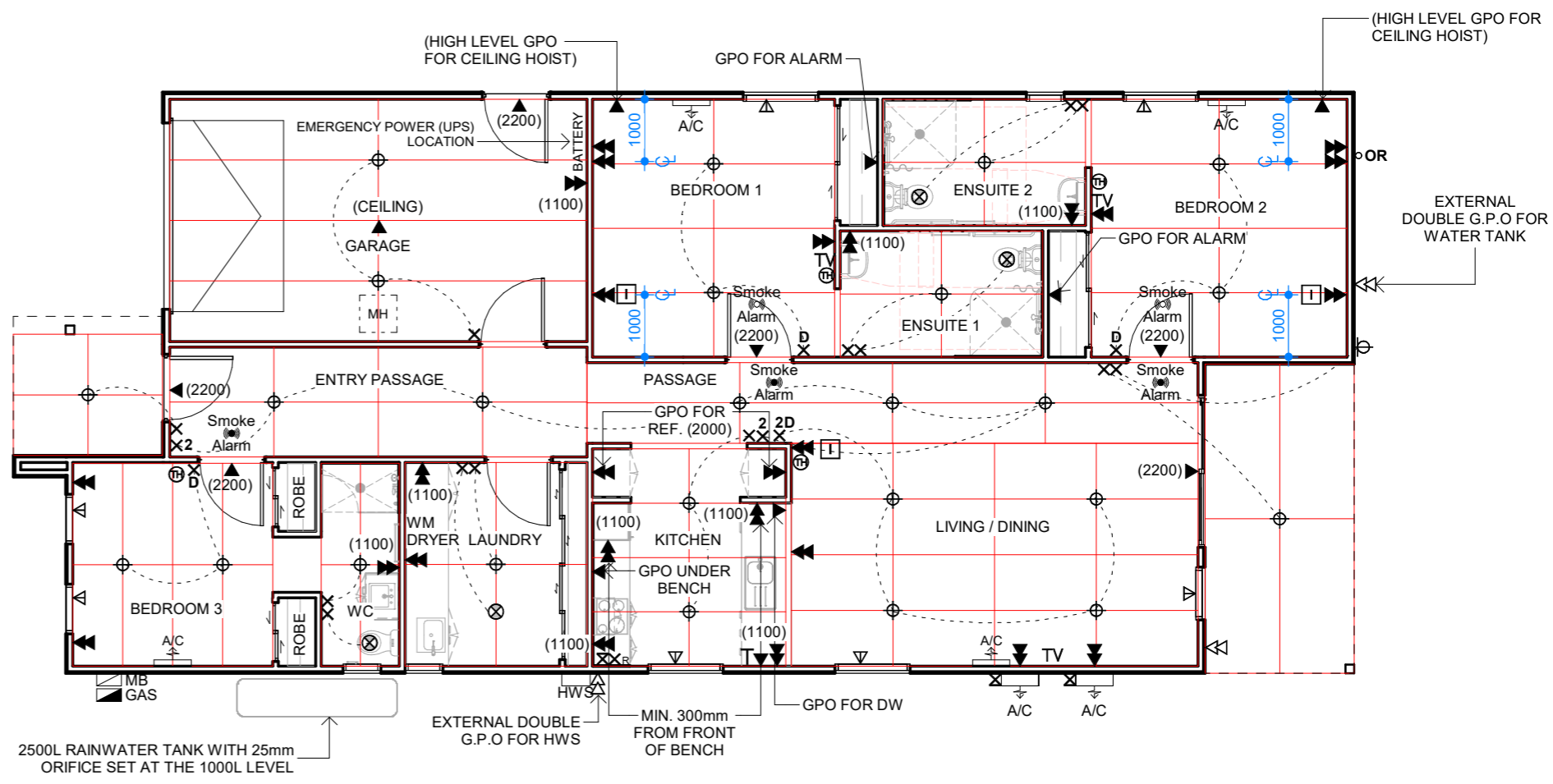
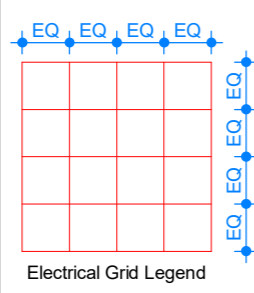
- ⊕ Ceiling Mounted LED - 10W SEALED IC-F RATED.
- ⊕ Pendant Light as Selected LED - 10W
- ⊕ External Wall Mounted Light @ 1800 above adjoining floor level unless otherwise indicated by height shown in brackets
- X Light Switch - Single @ 1000 above adjoining floor level unless otherwise indicated by height shown in brackets
- XD Light Switch - Dimmer @ 1000 above adjoining floor level unless otherwise indicated by height shown in brackets
- X2 Light Switch - Two Way @ 1000 above adjoining floor level unless otherwise indicated by height shown in brackets
- XR Rangehood Switch
- X Isolator Switch - 6mm 32 AMP
- ▲ GPO - Single @ 700 above adjoining floor level unless otherwise indicated by height shown in brackets
- ▲ GPO - Double @ 700 above adjoining floor level unless otherwise indicated by height shown in brackets
- ▲ GPO - Double (External) @ 1200 above adjoining floor level unless otherwise indicated by height shown in brackets
- ▲ GPO - Single (Capped) At window head height
- ▲ GPO - Double (Capped) At window head height
- ⚡ GPO - 3 Phase for Car Charge ALLOW FOR FUTURE INSTALLATION ONLY @ 1100 above adjoining floor level unless otherwise indicated by height shown in brackets
- Conduit for 3 Phase Car Charge ALLOW FOR FUTURE CABLE INSTALLATION ONLY
- TV TV Socket @ 300 above adjoining floor level unless otherwise indicated by height shown in brackets
- T Phone Socket @ 300 above adjoining floor level unless otherwise indicated by height shown in brackets
- ⊗ Ceiling Mounter Exhaust Fan 250mm diameter
- ⊗ Ceiling Fan with Light 250mm diameter
- ⊗ Ceiling Fan 250mm diameter
- Motion Sensor
- ☼ Smoke Alarm
- ☼ Smoke Alarm with Emergency Light
- ↻ Reverse Cycle Air Conditioning
- ⊕ Thermostat
- MH Man Hole 600x600 (Approx. Position)
- I Intercom

**ELECTRICAL NOTES:**

- LIGHT AND GPO SWITCHES SHALL BE ROCKER ACTION, TOGGLE OR PUSH PAD IN DESIGN WITH A MINIMUM WIDTH OF 35mm.
- DIMMABLE LIGHTING SWITCHES SHALL BE PROVIDED IN LIVING AREAS AND BEDROOMS.
- PROVIDE POWER AND CONTROL CABLING TO HEAD OF ENTRY DOORS OF BEDROOMS, ONE EXTERNAL ENTRY DOORWAY AND ONE EXTERNAL DOORWAY TO LIVING
- POWER POINT IN CEILING SPACE FOR DUCTED HEATING & COOLING
- PROVIDE POWER AND CONTROL CABLING TO WINDOWS OF BEDROOMS, AND LIVING AREAS FOR FUTURE WINDOW BLIND AUTOMATION. PROVIDE A CAPPED GPO AT WINDOW HEAD WHERE INDICATED.
- GPO'S IN BEDROOMS TO BE MINIMUM 600mm HIGH FROM FFL.
- GPO'S ABOVE BENCHES AND DESKS TO BE A MINIMUM 300mm FROM EDGE OF BENCH/DESK.
- PROVIDE MINIMUM 300LUX LIGHTING LEVELS AT MAXIMUM INTERVALS OF 1500mm MEASURED DIRECTLY OVER BENCHTOPS.
- ALL LIGHT SWITCHES SHALL BE POSITIONED IN A CONSISTENT LOCATION :
  - 1000mm ABOVE FINISHED FLOOR LEVEL
  - HORIZONTALLY ALIGNED WITH THE DOOR HANDLE AT THE ENTRANCE TO A ROOM.
  - A MINIMUM OF 500mm FROM AN INTERNAL CORNER TO C/L OF THE LIGHT SWITCH.
- STANDARD VIDEO INTERCOM TO BEDROOMS & KITCHEN/LIVING.
- BEDROOMS SHALL HAVE A PROVISION FOR POWER AND INBUILT STRUCTURE, CAPABLE OF INSTALLATION OF A CONSTANT CHARGE CEILING HOIST
- EMERGENCY POWER SOLUTIONS SHALL BE PROVIDED TO CATER FOR A MINIMUM 2-HOUR OUTAGE IN NO LESS THAN 2 DOUBLE GPOs IN PARTICIPANT BEDROOMS AND ANY PROVIDED AUTOMATED DOORS THAT ARE USED FOR ENTRY OR EGRESS.
- BACKUP FOR LIFE SUPPORT SYSTEMS IF NEEDED BY PARTICIPANTS.

LEGEND - SERVICES	
HWS	HOT WATER SERVICE
MB	METER BOX
GAS	GAS METER
OR	OVERFLOW RISER

ILLUMINATION POWER DENSITY		
<b>LIVING AREA:</b>	145.70m <sup>2</sup>	
TOTAL MAXIMUM ALLOWABLE FOR LIVING AREA AT 5WATTS/m <sup>2</sup>	728.50 WATTS	
ACTUAL USAGE = 10WATTS x 20 DOWNLIGHTS	200.00 WATTS	
TOTAL WATTS USAGE =	1.37 WATTS/m <sup>2</sup>	
<b>GARAGE AREA:</b>	27.50m <sup>2</sup>	
TOTAL MAXIMUM ALLOWABLE FOR GARAGE AREA AT 3WATTS/M <sup>2</sup>	82.50 WATTS	
ACTUAL USAGE = 10WATTS x 2 DOWNLIGHTS	20.00 WATTS	
TOTAL WATTS USAGE =	0.73 WATTS/m <sup>2</sup>	
<b>PORCH / ALFRESCO AREA:</b>	17.70m <sup>2</sup>	
TOTAL MAXIMUM ALLOWABLE FOR PORCH / ALFRESCO AREA AT 4WATTS/M <sup>2</sup>	70.8 WATTS	
ACTUAL USAGE = 8WATTS x 2 DOWNLIGHTS	16.00 WATTS	
TOTAL WATTS USAGE =	0.90 WATTS/m <sup>2</sup>	



**ELECTRICAL PLAN**

1 : 100

**Sorell Council**  
 Development Application: Development Application - 16 Oakmont Road, Midway Point - P1.pdf  
 Plans Reference: P1  
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**SJM property developments**

1/37 Ascot Dr, Huntingfield TAS 7055  
 P +61 3 6289 6601

Home: **HPS-ABELIA-12.5(05H.02)** Facade: **C-BYRON 03-COCOA**

Client: **SJM PROPERTY DEVELOPMENTS**

Location: **16 OAKMONT ROAD (LOT 39) MIDWAY POINT TAS 7171**

Drawing: **ELECTRICAL & LIGHTING PLANS**

**DRAWING DETAILS**  
 4/2/2024 2:33:57 PM  
 SCALE 1 : 100 SHEET SIZE A3

JOB No: **458N**

Drwg No: **D12** Issue **A03**

All dimensions to be verified on site

**FIRE SPRINKLER SYSTEM NOTES:**

**THIS PLAN IS FOR SPRINKLER SYSTEMS TO BE CONNECTED TO THE TOWNS MAIN VIA THE DRINKING WATER METER. THIS PLAN IS NOT TO BE USED FOR TANK & PUMP WATER SUPPLIES.**

**INSTALLATION REQUIREMENTS**

- ALL PIPE, FITTING AND SUPPORTS SHALL BE IN ACCORDANCE WITH AS3500.1.
- FOR SPRINKLER SYSTEMS SUPPLIED BY TOWNS MAIN WATER SUPPLIES, ALL PIPE, FITTINGS AND SPRINKLERS SHALL WATERMARK APPROVED.
- SPRINKLER HEADS SHALL BE IN ACCORDANCE WITH THE SPRINKLER HEAD DATA REQUIREMENTS TABLE ON THIS DRAWING.
- PLASTIC PIPE SUPPLYING SPRINKLERS SHALL BE CONCEALED AND NOT EXPOSED TO LIGHT OR WEATHER.
- FOR TOWNS' MAIN WATER SUPPLIES, ALL COLD-WATER DRINKING FIXTURES SHALL BE SUPPLIED BY THE SPRINKLER LOOP WITH THE ONLY PERMITTED EXCEPTION BEING THOSE THAT ARE REQUIRED TO BE SUPPLIED BY NON-POTABLE WATER SUPPLY, BY JURISDICTIONAL REQUIREMENTS.

**HYDRAULIC REQUIREMENTS**

- ALL PIPE, FITTINGS AND VALVES FEEDING THE LOOP FROM TOWNS' MAIN WATER METER, SHALL BE NOT LESS THAN DN 32.
- ALL SPRINKLERS IN THE SYSTEM SHALL BE INSTALLED ON THE ONE COMMON PIPE LOOP ONLY.
- NO BRANCHES SUPPLYING INDIVIDUAL SPRINKLERS ARE PERMITTED.
- BRIDGING OF THE LOOP IS NOT PERMITTED.
- NO ELBOWS ARE PERMITTED IN THE PIPE LOOP. LOOP MUST BE CONTINUOUSLY FLOWTHROUGH ONLY.
- SPRINKLERS SHALL BE SUPPLIED THROUGH NOT LESS THAN DN25MM TEES IN THE PIPE LOOP.
- DN 15 M&F EXTENSION DROPPERS PERMITTED TO BE USED AT TEE BRANCH, FOR SPRINKLER HEIGHT ADJUSTMENT ONLY AND SHALL BE NOT LONGER THAN 100MM.
- SYSTEM SHALL BE DESIGNED AND INSTALLED SUCH THAT THE PRESSURE AND FLOW REQUIREMENTS ON THIS DRAWING CAN BE SATISFIED.
- FIXTURES OR IRRIGATION SYSTEMS THAT MAY DRAW GREATER THAN 25L/MIN SHALL NOT BE INSTALLED.

**SPACING AND LOCATION OF SPRINKLERS**

- SPRINKLERS SHALL BE LOCATED NOT MORE THAT 2.5M FROM A WALL, MEASURED PERPENDICULAR TO THE WALL ONLY.
- SPRINKLER LOCATION MAY BE MOVED NOT MORE THAN 300MM FROM THE POSITION DIMENSIONED ON THIS DRAWING.
- SOURCES OF HEAT THAT MAY OPERATE SPRINKLERS SUCH AND FIRE PLACES, HEATERS, HEAT LAMPS ETC., SHALL NOT BE LOCATED IN CLOSE PROXIMITY TO SPRINKLERS.
- LIGHT FIXTURES SHALL NOT BE INSTALLED CLOSER THAN 300MM FROM SPRINKLERS.
- SPRINKLERS IN THE GARAGE SHALL BE POSITIONED SUCH THAT THE GARAGE DOOR DOES NOT INTERFERE WITH THE SPRAY PATTERN OF SPRINKLERS WHEN THE DOOR IS UP.

**COMMISSIONING REQUIREMENTS**

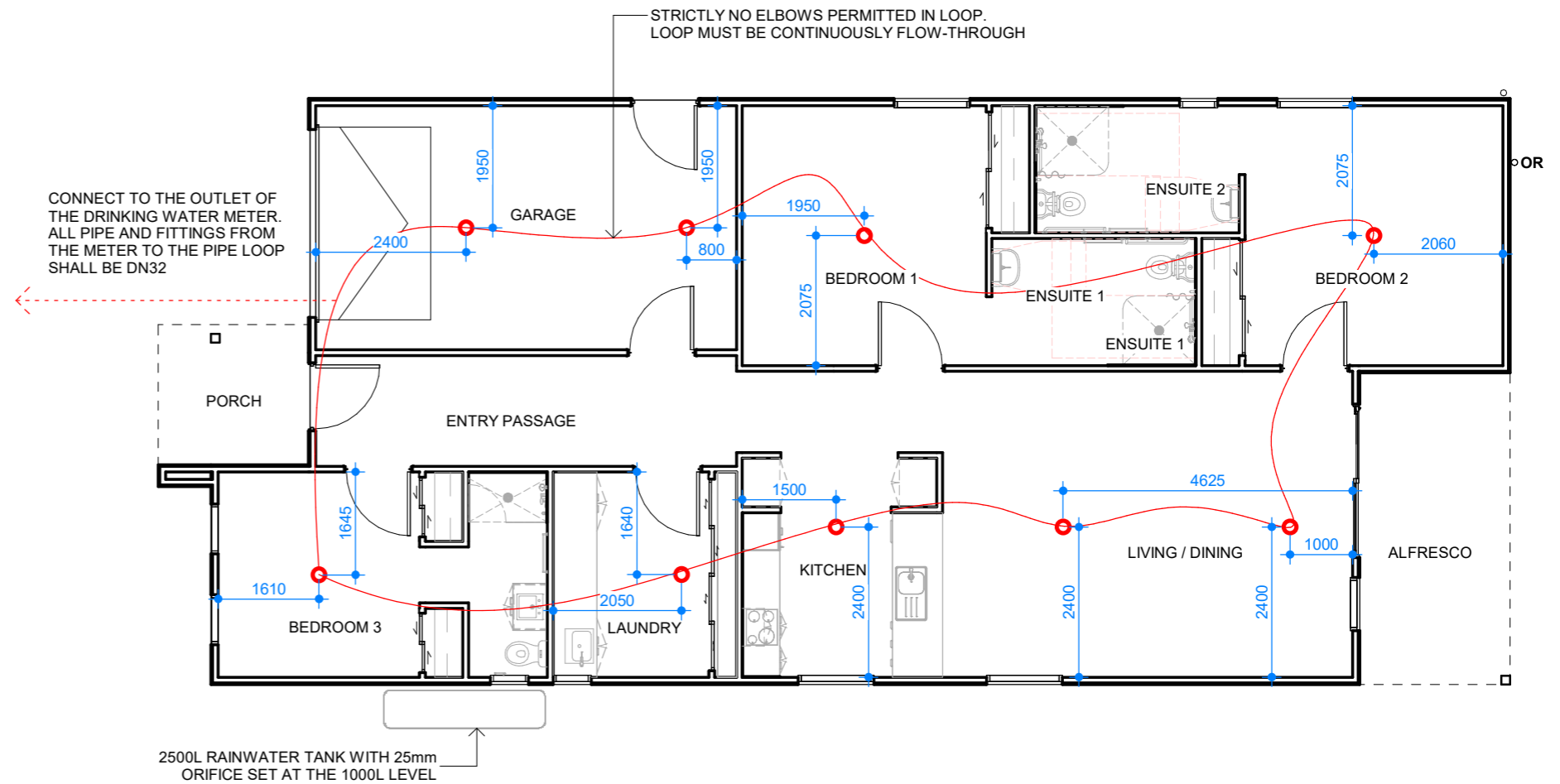
- WIDE ANGLE PHOTOGRAPHS OF EACH SPRINKLER PROTECTED ROOM SHALL BE TAKEN BEFORE CEILING IS INSTALLED WITH GOOD VISIBILITY OF SPRINKLER(S). THESE SHALL BE PROVIDED AS EVIDENCE OF COMPLIANT INSTALLATION FOR CERTIFICATION PURPOSE.
- THE COMBINED SPRINKLER AND DRINKING SYSTEM SHALL BE FLUSHED, THEN PRESSURIZED AND HYDROSTATICALLY TESTED IN ACCORDANCE WITH THE SYSTEM COMMISSIONING PROVISIONS OF AS3500.1.
- A PRESSURE AND FLOW TEST SHALL BE CONDUCTED AFTER SUCCESSFUL COMPLETION OF THE HYDROSTATIC TEST DESCRIBED ABOVE. THE PRESSURE AND FLOW TEST SHALL VALIDATE THAT THE PRESSURE AND FLOW PERFORMANCE REQUIREMENTS ARE MET.
- THE ABOVE COMMISSIONING TEST MUST BE COMPLETED BEFORE CERTIFICATION CAN BE GRANTED.

SPRINKLER HEAD DATA	
SPRINKLER OCCUPANCY TYPE	RESIDENTIAL
SPRINKLER ORIENTATION	CONCEALED OR PENDANT
SPRINKLER OPERATION TEMPERATURE	57 - 74 DEGREES C
K FACTOR (METRIC)	68 TO 72
THREAD SIZE	15mm BSPT
WATERMARK APPROVAL	REQUIRED

**NOTE:**  
FIRE SPRINKLER SYSTEM TO BE IN INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF A.S. 2118.5-2008 AUTOMATIC FIRE SPRINKLER SYSTEMS HOME FIRE SPRINKLER SYSTEMS (RECONFIRMED 2020)

**PRESSURE AND FLOW PERFORMANCE REQUIREMENTS**

**50 L/Min @ 150 kPa**  
PRESSURE MEASURED IMMEDIATELY DOWNSTREAM OF THE WATER METER



**FIRE SPRINKLER PLAN FOR TOWNS MAIN CONNECTION**

1 : 100

● FIRE SPRINKLER  
○ OR OVERFLOW RISER

**Sorell Council**  
Development Application: Development Application - 16 Oakmont Road, Midway Point - P1.pdf  
Plans Reference: P1  
Date Received: 4/04/2024

**IMPORTANT NOTES:**

- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWN SCALE.
- ALL LEVELS, DIMENSIONS AND EXISTING CONDITIONS TO BE CHECKED BY CONTRACTOR AND VERIFIED BEFORE COMMENCEMENT OF WORKS ON SITE. ANY DISCREPANCIES TO BE REPORTED TO THE OFFICE IMMEDIATELY.
- WINDOW SIZES ARE NOMINAL ONLY, SIZES MAY CHANGE DUE TO AVAILABILITY.
- FLOOR PLANS ARE DIMENSIONED TO TIMBER STUD FRAME.
- ALL WORKS MUST BE EXECUTED IN A WORKMANLIKE MANNER AND MUST CONFORM TO THE LATEST APPLICABLE AUSTRALIAN STANDARDS.
- THESE DRAWINGS SHALL NOT BE ALTERED, REPRODUCED, COPIED IN PART OR IN WHOLE WITHOUT THE WRITTEN PERMISSION FROM ACCESS LIVING GROUP.
- ALL DIMENSION ARE NOMINAL AND MUST BE VERIFIED ON SITE.



1/37 Ascot Dr, Huntingfield TAS 7055  
P +61 3 6289 6601

Home: **HPS-ABELIA-12.5(05H.02)**  
Client: **SJM PROPERTY DEVELOPMENTS**  
Location: **16 OAKMONT ROAD (LOT 39) MIDWAY POINT TAS 7171**  
Drawing: **SPRINKLER PLAN**

Facade: **C-BYRON 03-COCOA**



All dimensions to be verified on site

**DRAWING DETAILS**

4/2/2024 2:33:58 PM

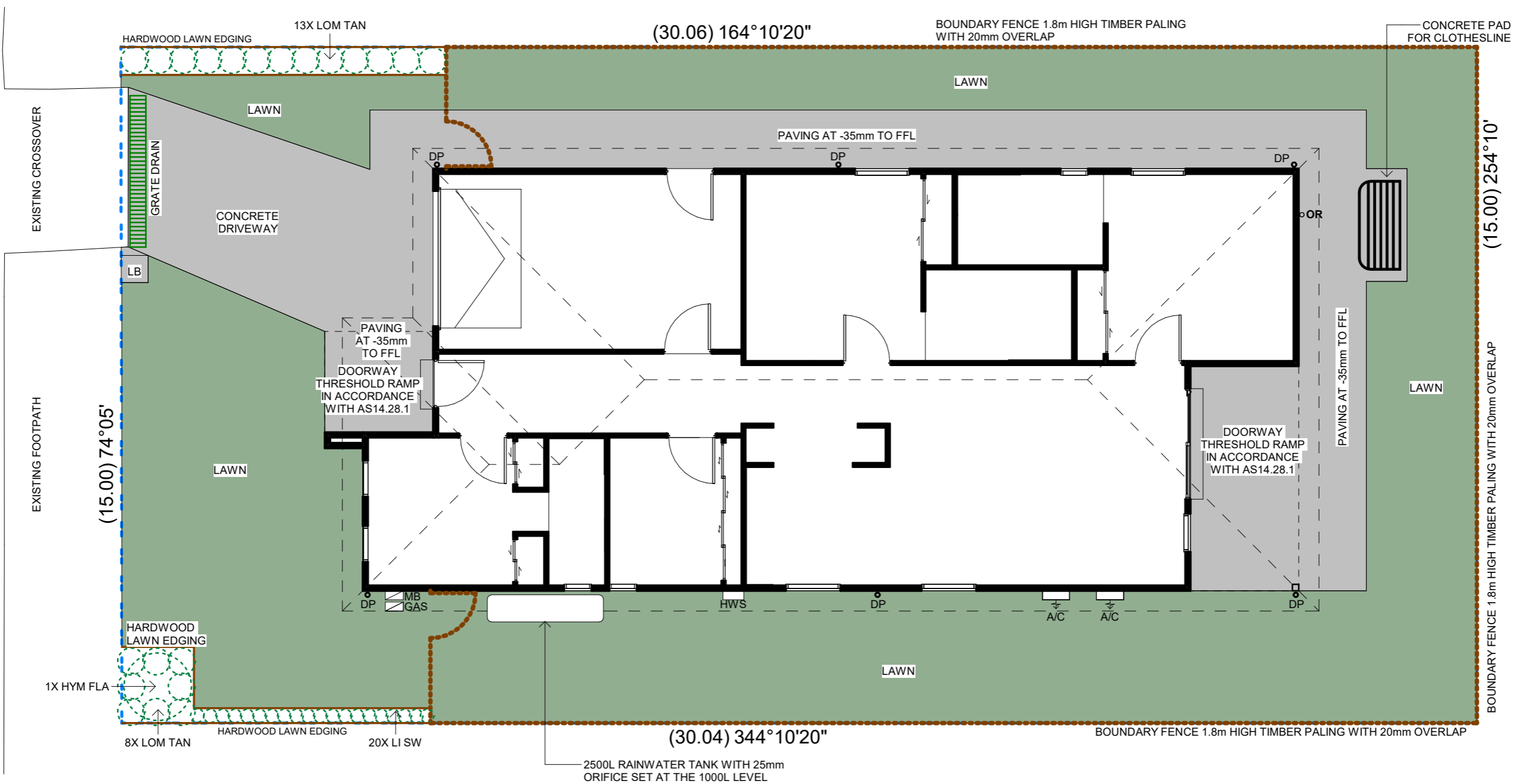
SCALE SHEET SIZE

1 : 100 A3

JOB No: **458N**

Drwg No: **D13** Issue **A03**

OAKMONT ROAD



## LANDSCAPE PLAN

1 : 100

**Sorell Council**  
 Development Application: Development Application - 16 Oakmont Road, Midway Point - P1.pdf  
 Plans Reference: P1  
 Date Received: 4/04/2024

- IMPORTANT NOTES:**
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Facade: **C-BYRON 03-COCOA**



DRAWING DETAILS	
4/2/2024 2:33:58 PM	
SCALE	SHEET SIZE
1 : 100	A3
JOB No:	<b>458N</b>
Drwg No:	<b>D14</b> Issue <b>A03</b>

SELECTED PLANT LIST						
NO	CODE	POT	BOTANICAL NAME	COMMON NAME	HEIGHT	WIDTH
<b>TREES</b>						
1	HYM FLA	400	HYMENOSPORUM FLAVUM	NATIVE FRANGIPANI	8.0	4.0
<b>SHRUBS</b>						
21	LOM TAN	140	LOMANDRA LONGIFOLIA "TANIKA"	MAT RUSH	0.4	0.6
<b>GROUND COVERS</b>						
20	LI SW	140	LIRIOPE MUSCARI 'STRIPY WHITE'	STRIPEY WHITE	0.3	0.4

All dimensions to be verified on site