



# SORELL PLANNING AUTHORITY (SPA) AGENDA

21 MARCH 2023

COUNCIL CHAMBERS

COMMUNITY ADMINISTRATION CENTRE (CAC)

# NOTICE OF MEETING

Notice is hereby given that the next meeting of the Sorell Planning Authority (SPA) will be held at the Community Administration Centre (CAC), 47 Cole Street, Sorell on Tuesday, 21 March 2023 commencing at 4:30 pm.

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## C E R T I F I C A T I O N

I, Robert Higgins, General Manager of the Sorell Council, hereby certify that in accordance with Section 65 of the *Local Government Act 1993*, the reports in this Agenda have been prepared by persons who have the qualifications and experience necessary to give such advice. Information and recommendations or such advice was obtained and taken into account in providing general advice contained within the Agenda.

ROBERT HIGGINS  
GENERAL MANAGER  
16 March 2023



## AGENDA

FOR THE SORELL PLANNING AUTHORITY (SPA) MEETING TO BE HELD AT THE  
COMMUNITY ADMINISTRATION CENTRE (CAC), 47 COLE STREET, SORELL ON  
TUESDAY 21 MARCH 2023

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### TABLE OF CONTENTS

1.0	ATTENDANCE	1
2.0	CONFIRMATION OF THE MINUTES OF 28 FEBRUARY 2023	1
3.0	DECLARATIONS OF PECUNIARY INTEREST	1
4.0	LAND USE PLANNING	2
4.1	DEVELOPMENT APPLICATION NO. 5 2023 / 34 - 1	2
4.2	DEVELOPMENT APPLICATION NO. 5 2023 / 33 - 1	21

## 1.0 ATTENDANCE

^

Chairperson Mayor Vincent  
Deputy Mayor C Wooley  
Councillor M Brown  
Councillor S Campbell  
Councillor J Gatehouse  
Councillor M Miro Quesada Le Roux  
Councillor M Reed  
Councillor N Reynolds  
Councillor C Torenus  
Robert Higgins, General Manager

## 2.0 CONFIRMATION OF THE MINUTES OF 28 FEBRUARY 2023

### RECOMMENDATION

“That the Minutes of the Sorell Planning Authority (SPA) Meeting held on 28 February 2023 be confirmed.”

## 3.0 DECLARATIONS OF PECUNIARY INTEREST





In considering the following land use planning matters the Sorell Planning Authority intends to act as a planning authority under the *Land Use Planning and Approvals Act 1993*.

## 4.0 LAND USE PLANNING

### 4.1 DEVELOPMENT APPLICATION NO. 5 2023 / 34 - 1

<b>Applicant:</b>	Loci Architecture & Planning
<b>Proposal:</b>	Business and Professional Services (Jobs Hub) & Car Parking in Dubs & Co Road Reserve
<b>Site Address:</b>	47 Cole Street, Sorell (CT 164990/1)
<b>Planning Scheme:</b>	<i>Tasmanian Planning Scheme Sorell</i>
<b>Application Status</b>	Discretionary
<b>Relevant Legislation:</b>	Section 57 of the <i>Land Use Planning and Approvals Act 1993 (LUPAA)</i>
<b>Reason for SPA meeting:</b>	Council owned land

<b>Relevant Zone:</b>	15.0 General Business
<b>Proposed Use:</b>	Business and Professional Services
<b>Applicable Overlay(s):</b>	Flood-Prone Hazard Area, Airport Obstacle Limitation Area
<b>Applicable Codes(s):</b>	Parking and Sustainable Transport and Road and Railway Assets
<b>Valid Application Date:</b>	14/02/2023
<b>Decision Due:</b>	4/04/2023
<b>Discretion(s):</b>	1 Frontage setback
	2 Design
	3 Parking design
	4 Flood-prone hazard
<b>Representation(s):</b>	Two

#### RECOMMENDATION

That pursuant to Section 57 of the *Land Use Planning and Approvals Act 1993* Council resolve that Planning Application 5.2023.34.1 for Business and Professional Services (Jobs Hub) & Car Parking in Dubs & Co Road Reserve at 47 Cole Street, Sorell be approved, subject to the following conditions:

1. Development shall generally be in accordance with the endorsed plans submitted on 2 February 2023 except as may be amended by the conditions of this permit.
2. All requirements of TasWater Submission to Planning Authority Notice Reference TWDA 2022/00199-SOR and dated 23 February 2023.



3. Landscaping through a combination of trees, shrubs and lawn, must:
  - (a) Be provided and maintained on the land to improve the appearance of areas used for car parking and vehicular access and soften the appearance of, and partially screen, the bulk of buildings;
  - (b) Have a maximum potential height of no more than 1m within 9m of an intersection of two or more public roads;
  - (c) Be described in a landscape plan submitted to the General Manager prior to the commencement of the works. If satisfactory, the landscape plan will be endorsed and will form part of the permit; and
  - (d) Be implemented in accordance with the landscape plan no later than one month after the completion of works unless otherwise agreed to in writing by the General Manager.

#### **Environmental Health**

4. Before commencing works on the site the applicant must provide a construction environmental management plan details proposed measures to prevent pollutants leaving the site. The plan shall include but not be limited to:
  - (a) Soil and water management;
  - (b) Dust suppression;
  - (c) Noise management;
  - (d) Air pollution control;
  - (e) Washing down of construction vehicles to; and
  - (f) Light spillage from construction or security lighting.
5. All external lighting on the building and car park shall be located to minimize light spillage onto neighbouring properties and comply with AS/NZS 4282:2019 Control of the obtrusive effects of lighting.

#### **Development engineering**

6. Prior to the issue of a building permit, a detailed car parking plan prepared and certified by a qualified civil engineer [or other competent person] must be submitted showing:
  - (a) Location and dimension of all car parking spaces, access, aisles and turning areas;
  - (b) Turning paths;
  - (c) Pavement construction;
  - (d) Line marking or other delineation; and
  - (e) Design surface levels and drainage.

If satisfactory, the car parking plan will be endorsed and will form part of this permit.

15. Stormwater shall be discharged to the existing piped Council stormwater system in accordance with the following:
- (a) All stormwater pipes collecting runoff from driveways, car parking, turning areas and other hard surfaces shall be designed to suit the calculated stormwater runoff from the property;
  - (b) A concrete kerb or other equivalent means shall be installed along the entire length of the internal driveway, car parking and turning areas to direct stormwater into the stormwater system. Grated pits shall be installed at suitable locations;
  - (c) All grated pits, grated drains and stormwater lot connections must be constructed to a trafficable standard; and
  - (d) No ground stormwater runoff generated from the development shall be directed onto neighbouring properties.

#### NRM

- 7. Prior to commencing works, a Soil and Water Management Plan (SWMP) must be implemented to ensure that soil and sediment does not leave the site during the construction.
- 8. No topsoil is to be removed from the site.  
*Advice: this condition is to minimise the spread of weeds from the site.*

#### NOTE: THE FOLLOWING ADVICE APPLIES TO THIS PERMIT

- The permit does not take effect until 15 days after the date that this permit was served on you as the applicant and each representor provided that no appeal is lodged as provided by s53 of the *Land Use Planning and Approvals Act 1993*.
- This permit does not imply that any other approval required under any other legislation or by-law has been granted.
- This planning approval shall lapse at the expiration of two (2) years from the date on which this permit became valid, if the permit is not substantially commenced. At the discretion of the Planning Authority, the expiration date may be extended for a further two (2) years on two separate occasions for a total of six (6) years. Once lapsed, a new application will be required.
- Any changes to the use or development approved, may be deemed as substantially in accordance with the permit or may first require either a formal amendment to this permit or a new permit.

You may appeal against the above conditions, any such appeal must be lodged within fourteen (14) days of service of this notice to TASCAT, 38 Barrack Street Hobart 7000 Ph: ☎(03) 6165 6790 or email [resourceplanning@tascat.tas.gov.au](mailto:resourceplanning@tascat.tas.gov.au)

## Executive Summary

Application is made for Business and Professional Services (Jobs Hub) & Car Parking in Dubs & Co Road Reserve at 47 Cole Street, Sorell. This site is zoned 15.0 General Business and is located to the north of the Council Community Administration Centre.

The key planning considerations relate to the design of the building and car parking.

The application is considered to comply with each applicable standard of the *Tasmanian Planning Scheme - Sorell* and is recommended for conditional approval.

## Relevance to Council Plans & Policies

Strategic Plan 2019-2029	Objective 1: To Facilitate Regional Growth Objective 2: Responsible Stewardship and a Sustainable Organisation Objective 3: To Ensure a Liveable and Inclusive Community
Asset Management Strategy 2018	The proposal includes new building and car parking assets. Design and construction standards for these assets are considered in this report.
Risk Management Strategy 2018	In its capacity as a Planning Authority, Council must determine this application. Due diligence has been exercised in preparing this report and there are no predicted risks from a determination of this application.
Financial Implications	No financial implications are anticipated unless the decision is appealed to TASCAT. In such instances, legal counsel is typically required.
Open Space Strategy 2020 and Public Open Space Policy	No implications.
Enforcement Policy	Not applicable.
Environmental Sustainability Policy	There are no environmental implications associated with the proposal.

## Legislation

- This report details the reasons for the officer recommendation.
- Broadly, the planning authority can either adopt or change the recommendation by adding, modifying or removing conditions or replacing an approval with a refusal (or vice versa). Any alternative decision requires a full statement of reasons to comply with the *Judicial Review Act 2000* and the *Local Government (Meeting Procedures) Regulations 2015*.



- The planning authority has a specific role in LUPAA. As noted by the Tribunal:

The role of the Council in relation to planning matters is, in very broad terms, to uphold its planning scheme. In that context it is in a sense, blind to everything but the terms of the Scheme. It cannot put economic advantage or perceived community benefits over the terms of the Scheme. And in the context of enforcement proceedings unless expressly authorised to do so, it may not take any approach which is inconsistent with the terms of its Scheme.

#### Planning Scheme Operation – for Zones, Codes and site specific provisions

- Clause 5.6.1 requires that each applicable standard is complied with if an application is to be approved.
- Clause 5.6.2, in turn, outlines that an applicable standard is any a standard that deals with a matter that could affect, or could be affected by, the proposal.
- A standard can be met by either complying with an acceptable solution or satisfying the performance criteria, which are equally valid ways to comply with the standard.
- An acceptable solution will specify a measurable outcome. Performance criteria require judgement as to whether or not the proposal reasonably satisfies the criteria.
- Clause 6.10 outlines the matters that must be considered by a planning authority in determining applications. Clause 6.11 outlines the type of conditions and restrictions that can be specified in a conditional approval.

#### Referrals

Agency / Dept.	Referred?	Response?	Conditions?	Comments
Development Engineering	Yes	Yes	Yes	Nil
Environmental Health	Yes	Yes	Nil	
Plumbing	Yes	Yes	Nil	
NRM	No			
TasWater	Yes	Yes	Yes	Nil
State Growth	No			
Heritage Tasmania	Yes	Yes	Nil	Nil

## Report

### Description of Proposal

Application is made to construct the jobs hub building. The building will be occupied by a number of organisations provided employment and related services, however, the principal occupancy will be related to employment services including training. The building is located directly north of the Council Community Administration Centre (CAC).

The building is a single storey structure oriented to face the future outdoor plaza area and cultural precinct. The structure is clad in nailstrip in Ironstone with timber and cement sheet features. Large box windows are utilised to add interest and reduce massing. The building has an overall dimension of 30.5m by 10.4m with a height of 4.9m.

Two stages are proposed, with the second stage to be the smaller element on the western elevation comprised of COURT02 and several offices.

Twenty-two car parking spaces are proposed to be constructed at 90 degrees to Dubs and Co Drive. The parking spaces may be utilised in the future by users of the plaza and cultural hub. The site plan shows the one-way only extension of the existing CAC access road to connect to Dubs and Co Drive which is a requirement of the emergency services hub development.

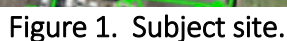
The application is supported by:

- a planning assessment report from loci architecture and planning; and
- landscape drawings from Inspiring Place;
- car parking assessment by Ratio;
- stormwater management plan also addressing flood risk by Flussig; and
- architectural drawings from loci architecture and planning.

### Description of Site

The site is a central area of General Business zoned land. It is a large, flat area of serviced land north of the Council CAC. Council intends to develop the land east of the building as an outdoor plaza and a cultural hub. Land to the north includes the new child care centre and a large, vacant lot with an approved mixed-use development. Dwellings exist approximately 30m to the north-west from the building.





## Zone

**SORELL COUNCIL**

15.4.3 A1	Design	Yes, as all mechanical plant is screened, security shutters are not used and parking is illuminated.
15.4.3 A2	Design	No, as the building entrance is oriented to the future (rather than current) plaza and the façade to Dubs and Co Drive has less than 40% glazing or doorways.

*Performance Criteria Assessment 1 – Clause 15.4.2 P2 Frontage Setback*

*Buildings must have a setback from a frontage that is compatible with the streetscape and minimises opportunities for crime and anti-social behaviour, having regard to:*

- (a) providing small variations in building alignment to break up long façades;*
- (b) providing variations in building alignment appropriate to provide a forecourt or space for public use, such as outdoor dining or landscaping;*
- (c) the avoidance of concealment spaces;*
- (d) the ability to achieve passive surveillance; and*
- (e) the availability of lighting.*

It is considered that the performance criteria is satisfied as:

- the setback is consistent with other buildings on the same property, including the mens shed and memorial hall;
- the streetscape to Dubs and Co Drive is evolving rather than set;
- the setback retains ability for pedestrian access from the ex-rail corridor to the future cultural precinct;
- the setback enables landscape consistent with the intents for the outdoor plaza area; and
- concealment spaces are avoided.

*Performance Criteria Assessment 2 – Clause 15.4.3 P2 Design*

*New buildings or alterations to an existing façade must be designed to be compatible with the streetscape, having regard to:*

- (a) how the main pedestrian access to the building addresses the street or other public places;*
- (b) windows on the façade facing the frontage for visual interest and passive surveillance of public spaces;*
- (c) architectural detail or public art on large expanses of blank walls on the façade facing the frontage and other public spaces so as to contribute positively to the streetscape and public spaces;*
- (d) installing security shutters or grilles over windows or doors on a façade facing the frontage or other public spaces only if essential for*



- the security of the premises and any other alternatives are not practical; and*
- (e) *the need for provision of awnings over a public footpath.*

It is considered that the performance criteria is satisfied as:

- the streetscape along the southern side of Dubs and Co Drive consists of a car wash, one house, park and ride facility, the mens shed and the CAC and is expected to evolve into a more conventional and active business streetscape;
- there are sufficient windows in the northern elevation; and
- the northern elevation is to be landscaped.

## Code

### Parking and Sustainable Transport Code

Applicable Code standards		
Clause	Matter	Complies with acceptable solution?
C2.5.1 A1	Numbers	Yes, the 22 vehicle spaces exceed the minimum number of spaces required.
C2.5.2 A1	Bicycle	Yes, by way of condition as noted in the loci report.
C2.6.1 A1	Construction	Yes, car parking is sealed and drained as required by the acceptable solution.
C2.6.2 A1.1	Design and layout	No, each space has the required dimensions and gradient but cannot enter and exit the site in a forward direction as required by the acceptable solution.
C2.6.2 A1.2	Accessible spaces	Yes, compliant accessible spaces are provided.
C2.6.3 A1	Access numbers	NA, no change to vehicle access.
C2.6.4 A1	Lighting	NA, as outside hours use is not proposed.
C2.6.5 A1	Pedestrian aisle	Yes, compliant aisles are provided.

### Performance Criteria Assessment 4 – Clause C2.6.2 P1 Design and Layout

*All parking, access ways, manoeuvring and circulation spaces must be designed and readily identifiable to provide convenient, safe and efficient parking, having regard to:*

- the characteristics of the site;*
- the proposed slope, dimensions and layout;*
- useability in all weather conditions;*
- vehicle and pedestrian traffic safety;*
- the nature and use of the development;*
- the expected number and type of vehicles;*

- (g) *the likely use of the parking areas by persons with a disability;*
- (h) *the nature of traffic in the surrounding area;*
- (i) *the proposed means of parking delineation; and*
- (j) *the provisions of Australian Standard AS2890.1:2004 Parking facilities, Part 1: Offstreet car parking and AS 2890.2 -2002 Parking facilities, Part 2: Offstreet commercial vehicle facilities.*

It is considered that the performance criteria is satisfied as:

- the parking layout is design in accordance with the Australian Standard; and
- the parking design is consistent with parking in the street.

#### Road and Railway Assets Code

Applicable Code standards		
Clause	Matter	Complies with acceptable solution?
C3.5.1 A1.4	Traffic generation	Yes, as the increase in traffic will be less than an average of 20% more than existing, having regard to all uses that use the existing access.

#### Flood-Prone Areas Hazards Code

The flood-prone areas code applies as the area has been modelled as being subject to overland flow in a 1% AEP event to a depth of between 0.1m and 0.2m. The area is also notably wet at times. The modelling predates development upstream and downstream that have changed the overland flow path.

The performance criteria for clause C12.6.1 provides:

##### *P1.1*

*Buildings and works within a flood-prone hazard area must achieve and maintain a tolerable risk from a flood, having regard to:*

- (a) *the type, form, scale and intended duration of the development;*
- (b) *whether any increase in the level of risk from flood requires any specific hazard reduction or protection measures;*
- (c) *any advice from a State authority, regulated entity or a council; and*
- (d) *the advice contained in a flood hazard report.*

##### *P1.2*

*A flood hazard report also demonstrates that the building and works:*

- (a) *do not cause or contribute to flood on the site, on adjacent land or public infrastructure; and*
- (b) *can achieve and maintain a tolerable risk from a 1% annual exceedance probability flood event for the intended life of the use without requiring any flood protection measures.*

It is considered that the performance criteria is satisfied as:

- the report from Flussig demonstrates that the development has a floor level above the 1% AEP level; and
- the report form Flussig also shows that the building will have minimal effect on adjoining land.

### Safeguarding of Airports Code

Applicable Code standards		
Clause	Matter	Complies with acceptable solution?
C16.6.1 A1	Height	Yes, as the height is less than 152m AHD.

### Representations

Clause 6.10.1 of the planning scheme requires the consideration of any representation received but 'only insofar as each such matter is relevant to the particular discretion being exercised'.

Two representations have been received, which are addressed in the following table.

Issue	Relevant Clause	Response
Crime and anti-social behaviour in a residential street	Nil	
Lack of parking for nearby residents	C2.0	The use has more than sufficient parking for its needs, with overflow available in the park and ride and CAC if necessary.
Reduces on-street parking	C2.0	The development will increase on-street parking.
Height and setback is incompatible	15.4.1 & 15.4.2	Height is consistent with that of a single dwelling and well below the height limit for any zone in the scheme.

### Conclusion

The application is considered to comply with each applicable standard of the *Tasmanian Planning Scheme Sorell* and is recommended for conditional approval.

**Shane Wells**

**Manager Planner**

Attachments: Plans and Representations x 2

**SORELL JOBS HUB**  
**DUBS & CO DRIVE, SORELL, TASMANIA 7172**

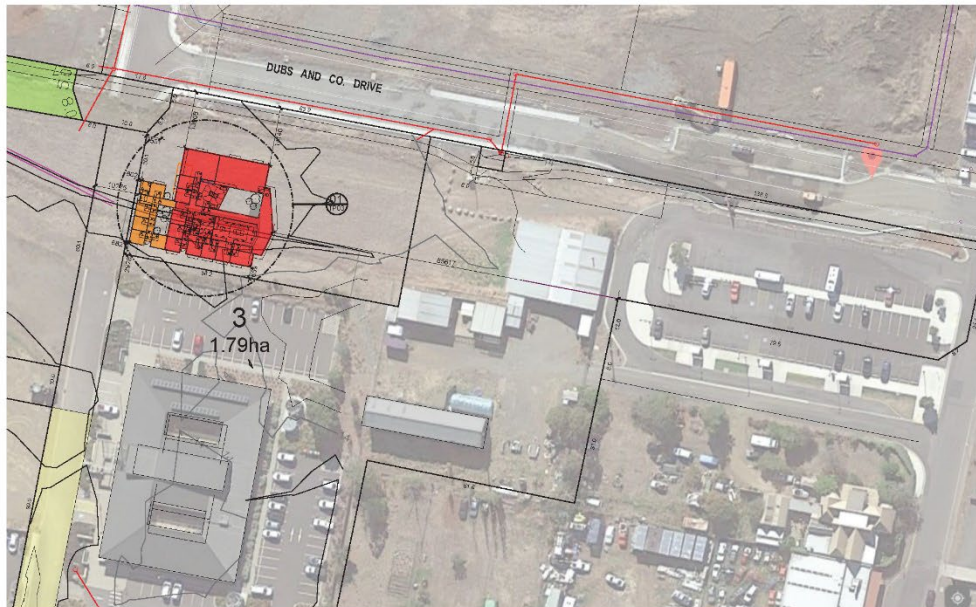


CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT - IF IN DOUBT, ASK!

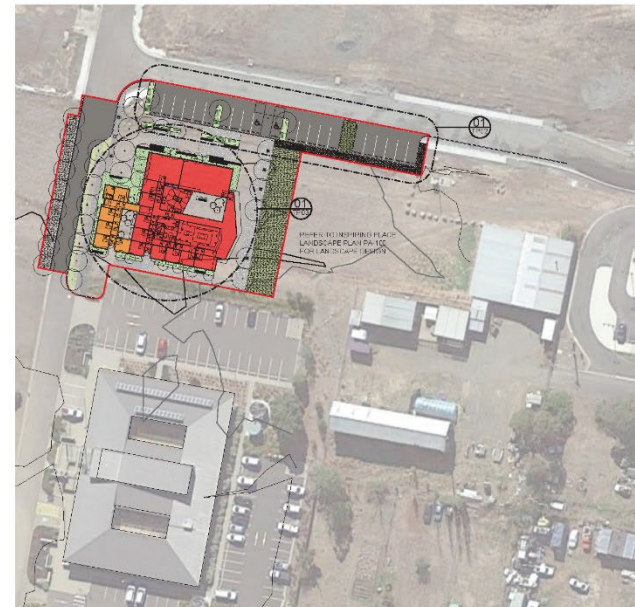


AGENDA  
SORELL PLANNING AUTHORITY (SPA) MEETING  
21 MARCH 2023

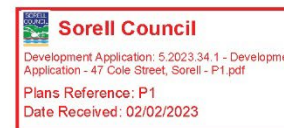
**PRELIMINARY  
NOT FOR  
CONSTRUCTION**



**01 SITE PLAN 01 - BUILDING LOCATION**  
SCALE 1:100



**02 SITE PLAN 02 - LANDSCAPING & PARKING LOCATION.**  
SCALE 1/8"=1'-0"

[illegible]

CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT - IF IN DOUBT, ASK!



**PRELIMINARY  
NOT FOR  
CONSTRUCTION**



 **Sorell Council**  
Development Application: 5.2023.34.1 - Development  
Application - 47 Cole Street, Sorell - P1.pdf  
Plans Reference: P1  
Date Received: 02/02/2023

**loci** architecture + planning  
Mobile 0488 385 225 Email: loci@robertgini.com  
PO BOX 705 NORTH HOBART 7002  
Accreditation # CC5354 H-RATA # 40050

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**SORELL JOBS HUB BUILDING**  
Dubs & Co. Drive, Sorell, TAS 7172

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**Sorell Council**  
47 Cole Street, Sorell, TAS 7172

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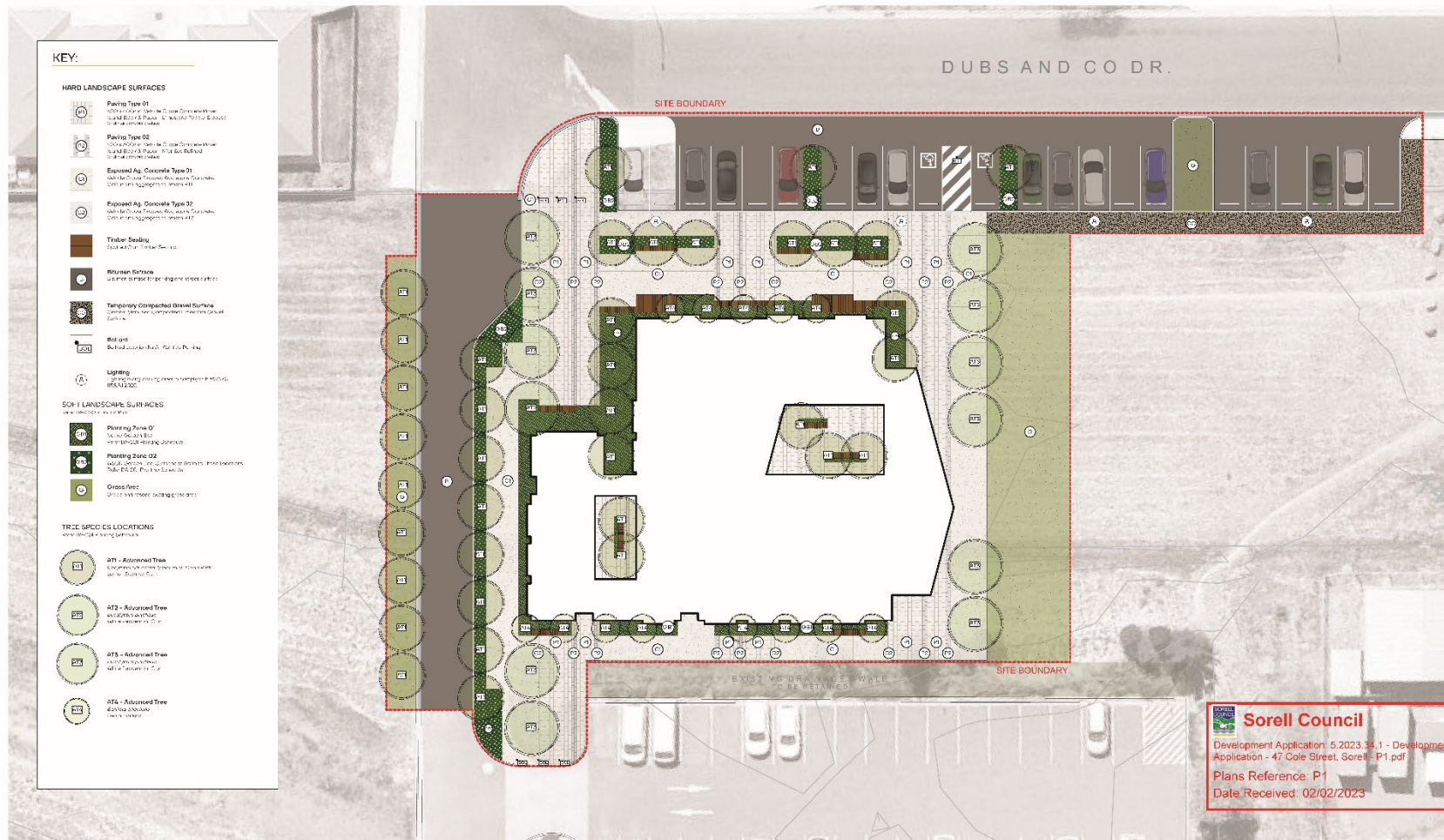
**CAR PARKING PLAN**

**01** PARKING PLAN  
TP01 SCALE: 20X

CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT - IF IN DOUBT, ASK!



**AGENDA**  
**SORELL PLANNING AUTHORITY (SPA) MEETING**  
**21 MARCH 2023**



210 Collins Street, Hobart, Tasmania 7000  
ph (03) 6231 1818 email: jerrydearyse@inspiringplace.com.au

REV	AMENDMENTS	DATE

This drawing must be read in conjunction with other construction documents including the project specifications and any instructions issued during the course of the contract. Contractors must verify all dimensions on site before commencement of works. Do not scale off drawings.

**ISSUED FOR APPROVAL**

Project:  
**SORELL JOBS HUB LANDSCAPE**

Client:  
**PREPARED FOR SORELL COUNCIL**

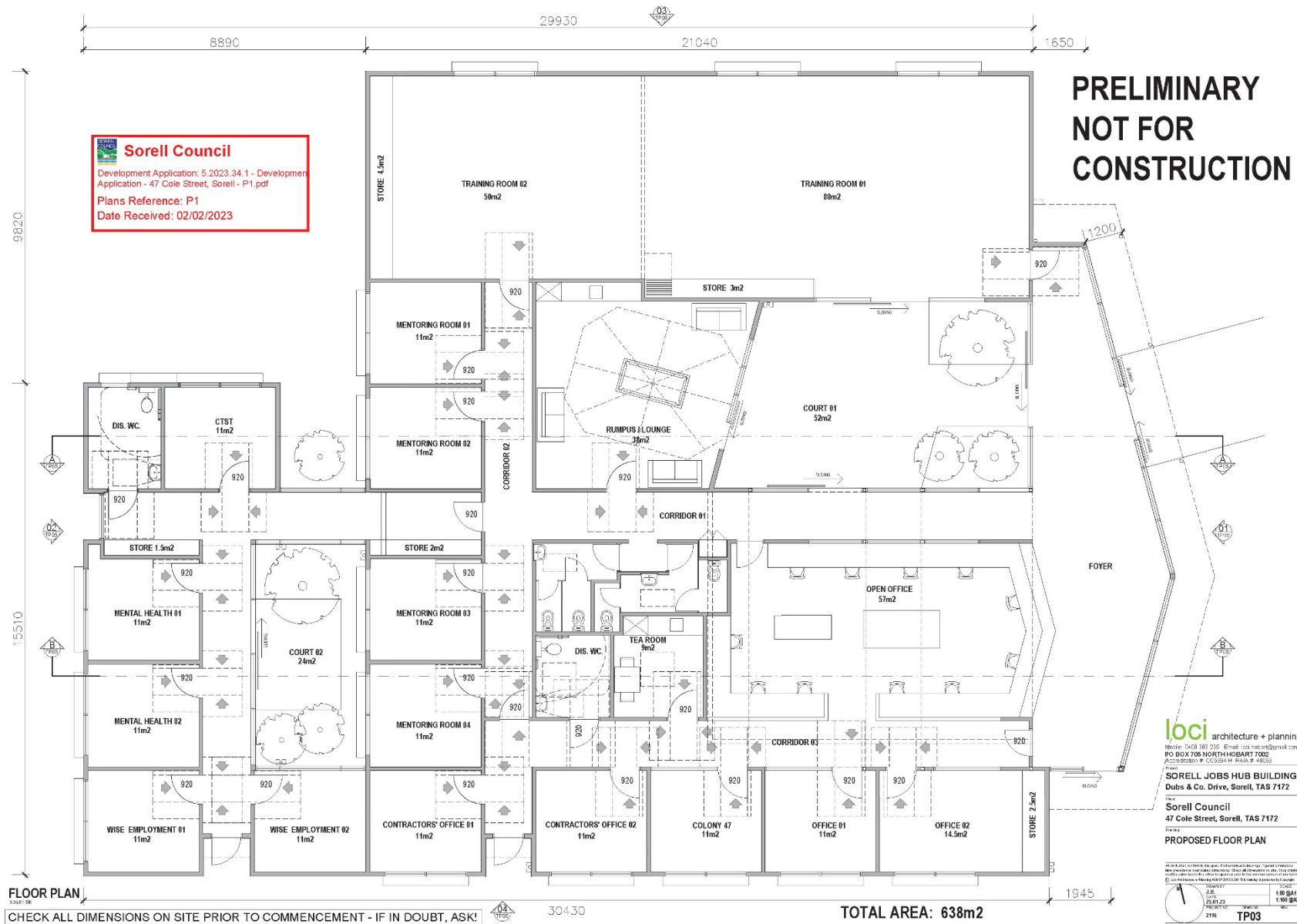
Address:  
**Station Lane, Sorell 7172**

Drawing No.	Title		
<b>DA-100</b>	<b>LANDSCAPE PLAN</b>		
Project No.	Drawn	Date Printed	
22 / 2	JDS	30/03/23	
North	Approved	Scale	
	JDS	1:300 (N15)	
Revision	Stage	<b>PLANNING APPROVAL</b>	

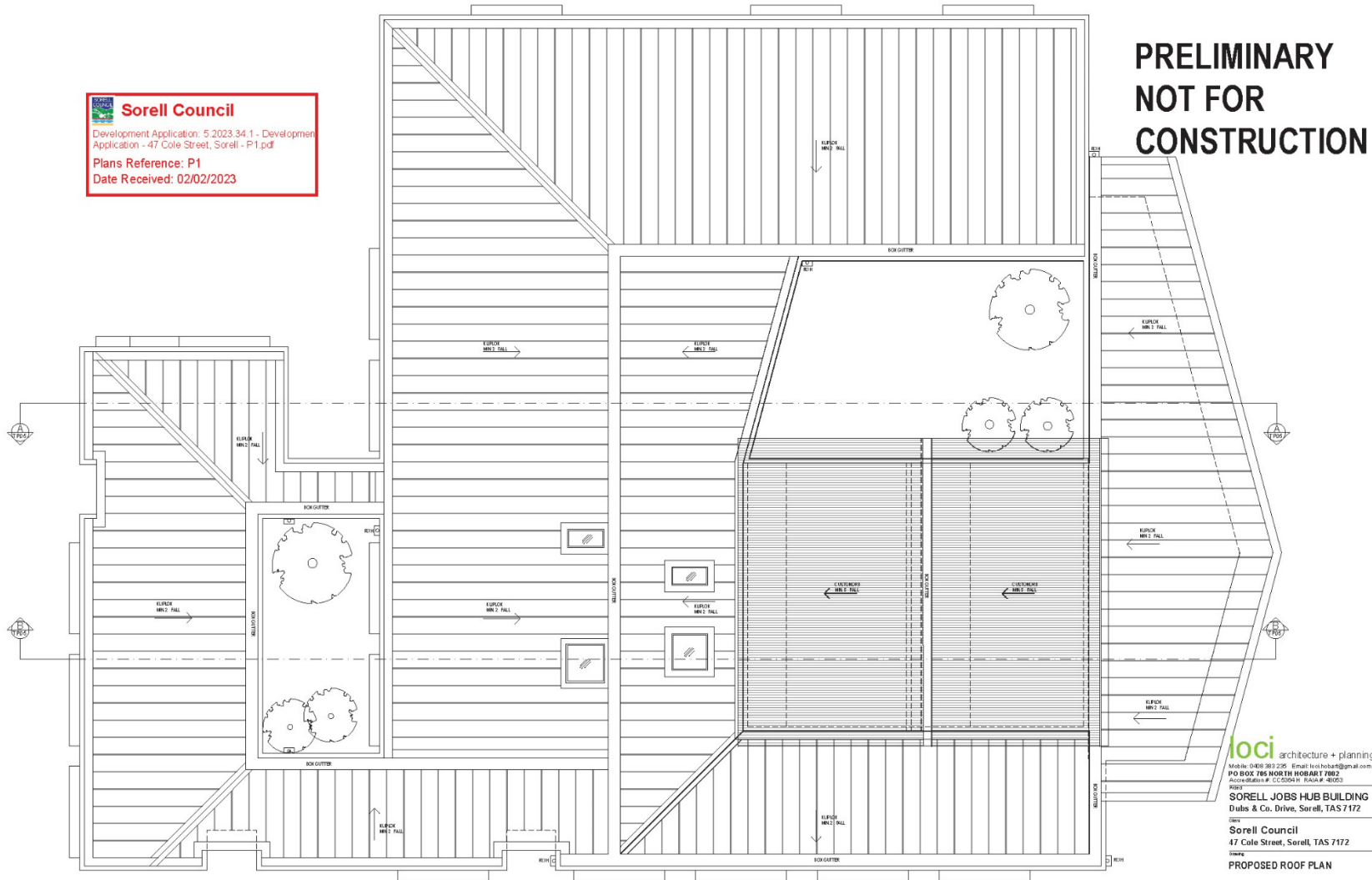
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**AGENDA**  
**SORELL PLANNING AUTHORITY (SPA) MEETING**  
**21 MARCH 2023**







**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

**loci** architecture + planning  
Mobile: 0408 363 235 Email: loci.hobart@gmail.com  
**PO BOX 765 NORTH HOBART 7002**  
Accreditation #: CC5304 H RAIA #: 4003  
R043  
**SORELL JOBS HUB BUILDING**  
Dubs & Co. Drive, Sorell, TAS 7172  
Dubs  
**Sorell Council**  
47 Cole Street, Sorell, TAS 7172  
Dubs  
**PROPOSED ROOF PLAN**

All work shall conform to the applicable codes, standards and drawings of the project. The drawings shall be prepared by the design professional. The design professional shall be responsible for the design and shall be authorized to sign the drawings for the project. The design professional shall be responsible for the design and shall be authorized to sign the drawings for the project.

© L&L Architecture - Planning 304 3200000-000 The drawing is a preliminary drawing. Copyright 2016

DESIGNED BY: J.B. SCALE: 1:50 @A1  
 DATE: 05/07/20 1:100 @A3  
 DRAWING NO.: 2016 TP04

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SORELL PLANNING AUTHORITY (SPA) MEETING  
21 MARCH 2023

**From:**  
**To:** [Sorell Council](#)  
**Subject:** New Building Development (BUSINESS & PROFESSIONAL SERVICES - JOBS HUB) 47 Cole Street opposition  
**Date:** Tuesday, 28 February 2023 7:36:24 AM

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I am a resident of \_\_\_\_\_ of which there are 31 villas with many young families and elderly residents. The proposed new development is about 10 metres from the large number of villas and the rest of the street up that western side of Dubs and Co. Drive is all residential houses with new homes going up regularly in the area.

There is also a busy family daycare centre that runs all day about 150m from the proposed development and many school children that walk to the bus terminal that would pass the new development in the afternoon.

It's not appropriate to have a constant influx of unemployed or underemployed people frequenting this area within such close proximity to these already established developments. This clearly poses a risk to privacy and also increases the risk of crime in the area with so many vulnerable people residing here and constant new people becoming aware of and able to eye off the area. Not only that, having services like this on a residential street will greatly devalue the area economically and aesthetically.

Parking would also be an issue as residents of \_\_\_\_\_ only have one space per villa and would have to compete with the 21 staff and those utilising the service daily for spaces on the street and in the car park at the bus terminal.

Kind regards,

**From:**

**To:**

**Subject:**

Date:

**Sorell Council**

5.2023.34.1 47 Cole Street Sorell apposed development

Tuesday, 28 February 2023 9:53:04 AM

### 5.2023.34.1 47 Cole Street Sorell - apposed development

Attention General Manager.

I live in the housing estate with a toddler.

This development backs directly on a residential housing estate in which the 31 units/houses are full of families with young children and elderly people.

There is a child care centre about 200 meters from this development, on the same street with parents dropping off and picking up babies/children during all times of the day.

Bringing people to the area that don't need to be there will increase crime and anti-social behaviour, not to mention putting families at risk for break ins etc.

There is only enough on road parking for the 31 units/residents as it is, which will be taken up with this development leaving the local families with no parking. Having 21 staff members in this development parked in the street as well.

There are also young school children catching the bus at the bus mall in Dubs and Co Drive, across from the child care centre. Children also walk home from school along this street to get to the adjoining residential areas.

#### 15.4.1 building height

Is not compatible with the street scape due to it being predominately residential houses with simply one retail store (far down the road from and a childcare centre.

Does cause unreasonable loss of adjoining residential zones.

It is literally backing onto a residential housing estate.

### 15.4.2 setbacks

Is not compatible with the street scape due to it being predominately residential houses with simply one retail store (far down the road and a childcare centre).

It takes up the opportunity for local on road parking spots.

Reduces privacy of local residents as this development literally can see into residents properties.

The use of air conditioning machinery, noise to residents backing onto the development.

Re (c) minimises opportunities for crime and anti-social behaviour -

This is a major factor in apposing this development. This development doesn't minimise crime and anti-social behaviour, it increases it.

I cannot see where this has been addressed in the proposed development document.

There are many families in this exact area that have young children, bringing unemployed and unnecessary people into this area is not only a safety issue for young families but a privacy issue.

Thank you

## 4.2 DEVELOPMENT APPLICATION NO. 5 2023 / 33 - 1

Applicant:	Loci Architecture & Planning
Proposal:	Additions & Alterations to Existing Clubrooms for New Function Centre & Car Parking
Site Address:	11 Arthur Street, Sorell (CT 35403/1)
Planning Scheme:	<i>Sorell Interim Planning Scheme 2015</i>
Application Status	Discretionary
Relevant Legislation:	Section 57 of the <i>Land Use Planning and Approvals Act 1993 (LUPAA)</i>
Reason for SPA meeting:	Council owned land
Relevant Zone:	28.0 Recreation
Proposed Use:	Community Meeting and Entertainment
Applicable Overlay(s):	Priority Vegetation Area, Airport Obstacle Limitation Area
Applicable Codes(s):	Parking and Sustainable Transport and Road and Railway Assets
Valid Application Date:	08/02/2023
Decision Due:	4/04/2023
Discretion(s):	1 Hours
Representation(s):	Nil

### RECOMMENDATION

That pursuant to Section 57 of the *Land Use Planning and Approvals Act 1993* Council resolve that Planning Application 5.2023.33.1 for Additions & Alterations to Existing Clubrooms for New Function Centre & Car Parking at 11 Arthur Street, Sorell be approved, subject to the following conditions:

1. Development shall generally be in accordance with the endorsed plans submitted on 31 January 2023 except as may be amended by the conditions of this permit.
2. All requirements of TasWater Submission to Planning Authority Notice Reference TWDA 2023-00170-SOR and dated 14 February 2023.
3. Landscaping through a combination of trees, shrubs and lawn, must:
  - (a) Be provided and maintained on the land to improve the appearance of areas used for car parking and vehicular access and soften the appearance of, and partially screen, the bulk of buildings;
  - (c) Be described in a landscape plan submitted to the General Manager prior to the commencement of the works. If satisfactory, the landscape plan will be endorsed and will form part of the permit; and
  - (d) Be implemented in accordance with the landscape plan no later than one month after the completion of works unless otherwise agreed to in writing by the General Manager.



### Environmental Health

4. Before commencing works on the site the applicant must provide a construction environmental management plan details proposed measures to prevent pollutants leaving the site. The plan shall include but not be limited to:
  - (a) Soil and water management;
  - (b) Dust suppression;
  - (c) Noise management;
  - (d) Air pollution control;
  - (e) Washing down of construction vehicles to; and
  - (f) Light spillage from construction or security lighting.

### Development engineering

5. Prior to the issue of a building permit, a detailed car parking plan prepared and certified by a qualified civil engineer [or other competent person] must be submitted showing:
  - (a) Location and dimension of all car parking spaces, access, aisles and turning areas;
  - (b) Turning paths;
  - (c) Pavement construction;
  - (d) Line marking or other delineation;
  - (e) Design surface levels and drainage; and
  - (f) Delineation of specific and clear vehicle manoeuvring routes from Arthur Street to the building footprint that minimise conflict with vehicles circulating through the property to access one or more facilities within the property.

If satisfactory, the car parking plan will be endorsed and will form part of this permit.

*Advice: It is recommended that the access gates be removed or rebuilt with sufficient width to enable to safe two-way movement of vehicles and a 2.5m shared path. The existing narrow gates impede the safe and efficient movement of vehicles and pedestrians and are no longer fit for purpose given the increase in usage within Pembroke Park. Suitable give-way signage is also recommended for vehicles exiting the site due to instances of some users viewing the access as a road, rather than an access point, and failing to give-way in accordance with traffic laws.*

6. Stormwater shall be discharged to the existing piped Council stormwater system in accordance with the following:
- (a) A concrete kerb or other equivalent means shall be installed along the entire length of the internal driveway, car parking and turning areas to direct stormwater into the stormwater system. Grated pits shall be installed at suitable locations;
  - (b) All grated pits, grated drains and stormwater lot connections must be constructed to a trafficable standard; and
  - (c) No ground stormwater runoff generated from the development shall be directed onto neighbouring properties.

#### NRM

7. No topsoil is to be removed from the site.  
*Advice: this condition is to minimise the spread of weeds from the site.*
8. Native vegetation must not be directly or indirectly impacted by the works through removal, lopping or excavation.

#### NOTE: THE FOLLOWING ADVICE APPLIES TO THIS PERMIT

- This permit does not imply that any other approval required under any other legislation or by-law has been granted.
- This planning approval shall lapse at the expiration of two (2) years from the date on which this permit became valid, if the permit is not substantially commenced. At the discretion of the Planning Authority, the expiration date may be extended for a further two (2) years on two separate occasions for a total of six (6) years. Once lapsed, a new application will be required.
- Any changes to the use or development approved, may be deemed as substantially in accordance with the permit or may first require either a formal amendment to this permit or a new permit.

You may appeal against the above conditions, any such appeal must be lodged within fourteen (14) days of service of this notice to TASCAT, 38 Barrack Street Hobart 7000 Ph: ☎(03) 6165 6790 or email [resourceplanning@tascat.tas.gov.au](mailto:resourceplanning@tascat.tas.gov.au)



## Executive Summary

Application is made for Additions & Alterations to Existing Clubrooms for a New Function Centre & Car Parking at 11 Arthur Street, Sorell. Pembroke Park is zoned 28.0 Recreation.

The key planning consideration relate to the design and treatment of car parking.

The application is considered to comply with each applicable standard of the *Tasmanian Planning Scheme Sorell* and is recommended for conditional approval.

## Relevance to Council Plans & Policies

Strategic Plan 2019-2029	Objective 1: To Facilitate Regional Growth Objective 2: Responsible Stewardship and a Sustainable Organisation Objective 3: To Ensure a Liveable and Inclusive Community
Asset Management Strategy 2018	The proposal includes new building and car parking assets. Design and construction standards for these assets are considered in this report.
Risk Management Strategy 2018	In its capacity as a Planning Authority, Council must determine this application. Due diligence has been exercised in preparing this report and there are no predicted risks from a determination of this application.
Financial Implications	No financial implications are anticipated unless the decision is appealed to TASCAT. In such instances, legal counsel is typically required.
Open Space Strategy 2020 and Public Open Space Policy	The proposal will broaden the range of recreation activities within the Pembroke Park site, consistent with the objectives of the open space strategy.
Enforcement Policy	Not applicable.
Environmental Sustainability Policy	There are no environmental implications associated with the proposal.

## Legislation

- This report details the reasons for the officer recommendation.
- Broadly, the planning authority can either adopt or change the recommendation by adding, modifying or removing conditions or replacing an approval with a refusal (or vice versa). Any alternative decision requires a full statement of reasons to comply with the *Judicial Review Act 2000* and the *Local Government (Meeting Procedures) Regulations 2015*.



- The planning authority has a specific role in LUPAA. As noted by the Tribunal:

The role of the Council in relation to planning matters is, in very broad terms, to uphold its planning scheme. In that context it is in a sense, blind to everything but the terms of the Scheme. It cannot put economic advantage or perceived community benefits over the terms of the Scheme. And in the context of enforcement proceedings unless expressly authorised to do so, it may not take any approach which is inconsistent with the terms of its Scheme.

#### Planning Scheme Operation – for Zones, Codes and site specific provisions

- Clause 5.6.1 requires that each applicable standard is complied with if an application is to be approved.
- Clause 5.6.2, in turn, outlines that an applicable standard is any a standard that deals with a matter that could affect, or could be affected by, the proposal.
- A standard can be met by either complying with an acceptable solution or satisfying the performance criteria, which are equally valid ways to comply with the standard.
- An acceptable solution will specify a measurable outcome. Performance criteria require judgement as to whether or not the proposal reasonably satisfies the criteria.
- Clause 6.10 outlines the matters that must be considered by a planning authority in determining applications. Clause 6.11 outlines the type of conditions and restrictions that can be specified in a conditional approval.

#### Referrals

Agency / Dept.	Referred?	Response?	Conditions?	Comments
Development Engineering	Yes	Yes	Yes	Nil
Environmental Health	Yes	Yes	Nil	
Plumbing	Yes	Yes	Nil	
NRM	Yes	Yes	Nil	
TasWater	Yes	Yes	Yes	Nil
State Growth	No			



## Report

### Description of Proposal

Application is made for an upper-level extension to the clubrooms to provide a function centre.

At ground level, the existing clubrooms would remain largely as is. The external walls are to be rendered, a new foyer with lift to be added on the western side and a refit of the communal kiosk area.

The new upper level would overhang all four elevations of the existing building with dimensions of 27.4m by 17.2m. The floor layout provides a function area of 178m<sup>2</sup>, which equates to a capacity of approximately 120 persons. Also included is a kitchen, bar, cool rooms, office, storeroom and toilets. The western elevation includes a 15m x 2.1m deck and the eastern elevation includes a full length deck. The height is 6.5m.

Cladding is a mixture of nailstrip in Monument, timber battens, cement sheet and rendered lock.

Car parking for 33 vehicles plus two motorcycles and a bike rack is provided for on the southern side of the existing building. The car park includes pedestrian circulation routes and landscaping. It is understood that there is an existing budget item that would also allow sealing of the gravel area between the existing building and the second oval.

The application is supported by:

- a planning assessment report from loci architecture and planning; and
- architectural drawings by loci architecture and planning.

### Description of Site

The development footprint is limited to the existing clubrooms and the immediately surrounding land within the Pembroke Park complex. The area is located between the two ovals. The area has a flat topography and works are near remnant eucalypts.

Adjoining land to the north-west directly adjoining residential development. Land to the north-east and east is also residential and is separated by existing roads. All works are located more than 100m from adjoining dwellings.

Vehicle access is from Arthur Street. The area is fully serviced. Stormwater from the existing building is directed to subsurface tanks within the complex.

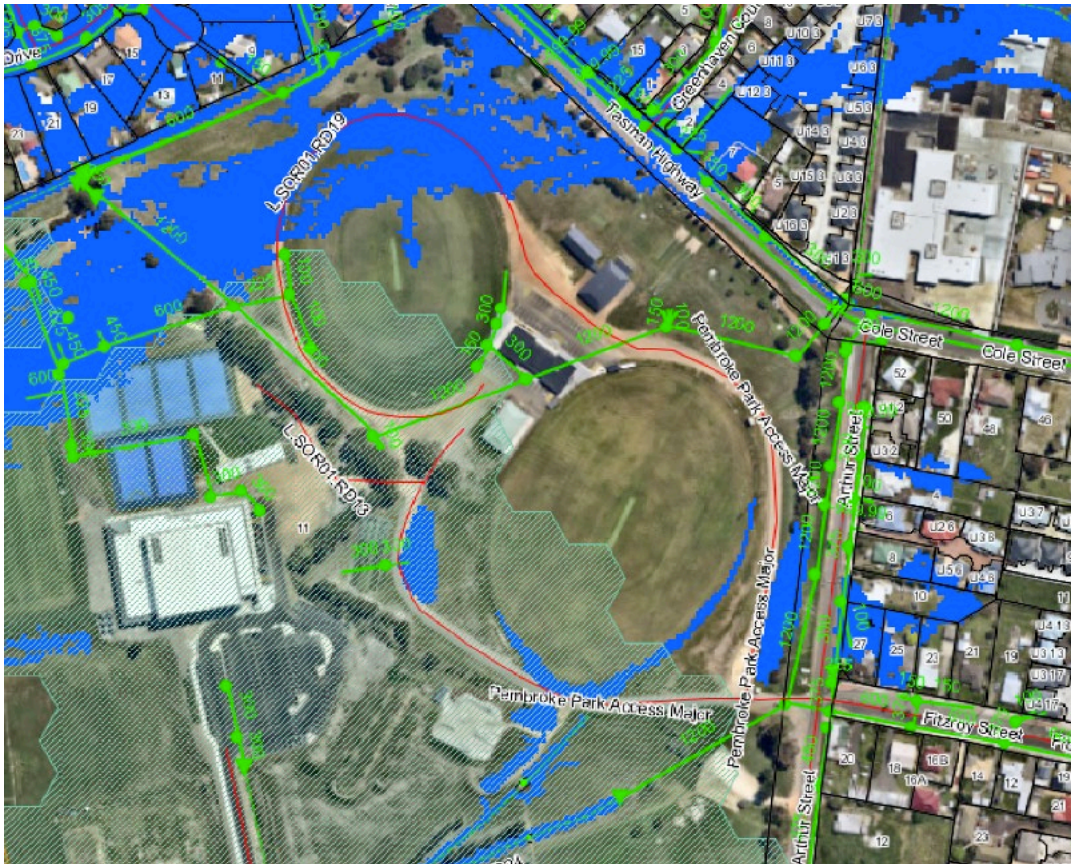


Figure 1. Subject site. Overlays for Priority Vegetation Area and Flooding shown.

## Planning Assessment

### Use

The use of a function centre is categorised as Community Meeting and Entertainment which is a discretionary use in the zone. The purpose of the Recreation Zone is to:

- 28.1.1 To provide for active and organised recreational use and development ranging from small community facilities to major sporting facilities.
- 28.1.2 To provide for complementary uses that do not impact adversely on the recreational use of the land.
- 28.1.3 To ensure that new major sporting facilities do not cause unreasonable impacts on adjacent sensitive uses.

### Zone

Applicable zone standards		
Clause	Matter	Complies with acceptable solution?
28.3.1 A1	Hours	No, as operating hours are proposed from 6am to midnight, whereas the acceptable solution is 8am to 10pm if within 50m of a residential zone. Refer to performance criteria assessment below.

28.3.1 A2	Floodlighting	NA, no floodlighting proposed.
28.3.1 A3	Vehicles	Yes, as commercial vehicles movements are to be within 7am to 6pm Monday to Friday and 8am to 5pm Saturday, Sunday and Public Holidays
28.3.2 A1	Major sporting facility	NA, the complex is not a major sporting facility, which is defined as ‘a sporting facility providing for national standard sporting competition with associated spectator facilities’.
28.4.1 A1	Height	Yes, as the 6.5m height is less than 10m.
28.4.1 A2	Frontage setback	Yes, as the frontage setback is more than 5m.
28.4.1 A3	Setback	Yes, as the setbacks exceed 3.25m.
28.4.1 A4	Noise	Yes, no source noise generating plant such as compressors are within 10m of a boundary.
28.4.2 A1	Storage	Yes, as outdoor storage areas are screened from view (i.e., bin storage area).

*Performance Criteria Assessment 1 – Hours 28.3.1 P1*

*Hours of operation for Sports and Recreation and uses listed as Discretionary, excluding Emergency Services or Visitor Accommodation, must not cause an unreasonable loss of amenity to adjacent sensitive uses having regard to:*

- (a) the timing, duration or extent of vehicle movements;*
- (b) noise, lighting or other emissions;*
- (c) the nature and intensity of the proposed use;*
- (d) the characteristics and frequency of any emissions generated;*
- (e) the existing levels of amenity; and*
- (f) set up, testing and removal of event related equipment.*

It is considered that no unreasonable loss of amenity to adjoining residential use will occur and the performance criteria is satisfied as:

- the new function centre will take on many events that are currently held in the clubrooms and which occur without complaint;
- the additional events that use the function centre can be reasonably expected to operate in a manner similar to those existing events referred to above.

## Code

### Parking and Sustainable Transport Code

Applicable Code standards		
Clause	Matter	Complies with acceptable solution?
C2.5.1 A1	Numbers	Yes, the 33 vehicle spaces exceed the minimum number of both the new function centre and the existing clubrooms.
C2.5.2 A1	Bicycle	Yes, a sufficient bicycle rack is included.
C2.5.3 A1	Motorcycles	Yes, two motorcycle spaces is the minimum required.
C2.6.1 A1	Construction	Yes, car parking is sealed and drained as required by the acceptable solution.
C2.6.2 A1.1	Design and layout	Yes, each space has the required dimensions and gradient and can enter and exit the site in a forward direction as required by the acceptable solution.
C2.6.2 A1.2	Accessible spaces	Yes, compliant accessible spaces are provided.
C2.6.3 A1	Access numbers	NA, no change to vehicle access.
C2.6.5 A1	Pedestrian aisle	Yes, compliant aisles are provided.

### Road and Railway Assets Code

Applicable Code standards		
Clause	Matter	Complies with acceptable solution?
C3.5.1 A1.4	Traffic generation	Yes, as the increase in traffic will be less than an average of 20% more than existing, having regard to all uses that use the existing access.

### Natural Assets Code

Applicable Code standards		
Clause	Matter	Complies with acceptable solution?
C7.6.2 A1	Priority vegetation	Yes, as no clearance of native vegetation is proposed.

### Safeguarding of Airports Code

Applicable Code standards		
Clause	Matter	Complies with acceptable solution?
C16.6.1 A1	Height	Yes, as the height is less than 152m AHD.

## Representations

Nil

## Conclusion

The application is considered to comply with each applicable standard of the *Tasmanian Planning Scheme Sorell* and is recommended for conditional approval.

**Shane Wells**

**Manager Planner**

Attachments: Plans

**SORELL FUNCTION CENTRE  
ALTERATIONS & ADDITIONS  
SORELL CRICKET CLUB, SORELL, TASMANIA**



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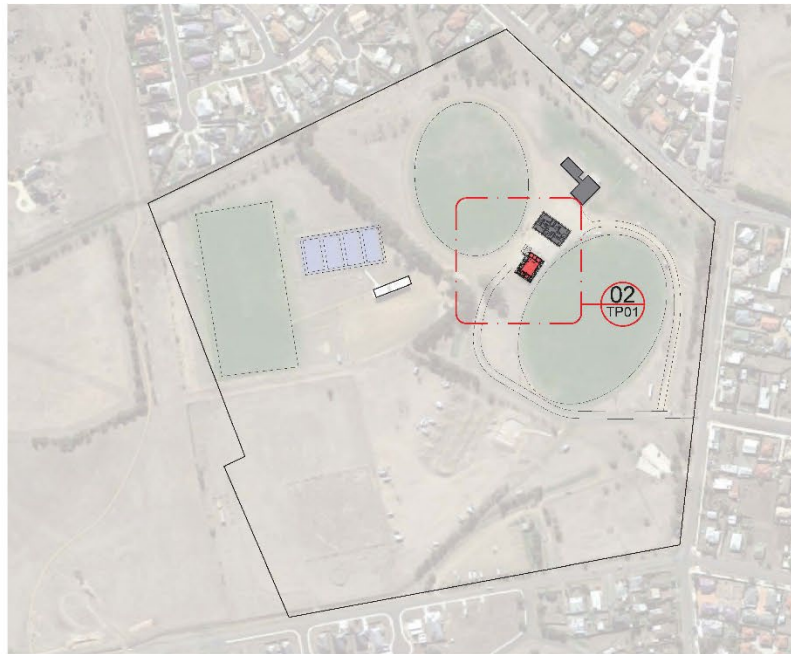


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**SORELL PLANNING AUTHORITY (SPA) MEETING**  
**21 MARCH 2023**

**loci** architecture + planning  
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Phone: 03 6234 6821 Mobile 0419 287 376  
Accreditation # CC26354 H 1941A # 41803  
**SORELL FUNCTION CENTRE**  
7 Tasman Hwy, Sorell, TAS 7172  
**Sorell Council**  
47 Cole Street, Sorell, TAS 7172







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SITE PLAN  
SCALE 1:4000



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02  
-  
LOCALISED SITE PLAN  
SCALE 1:1000

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Phone: 0343 6521 Mobile: 0428 383 215  
Accreditation #: CC0364 H. R.A.A. #: 45083  
Email: [info@lociarch.com.au](mailto:info@lociarch.com.au)

**SORELL FUNCTION CENTRE**  
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**Sorell Council**  
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Drawn:  
**EXISTING SITE PLANS**

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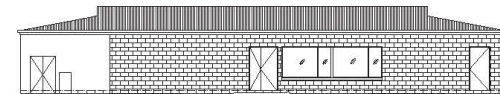


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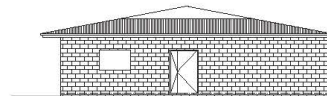
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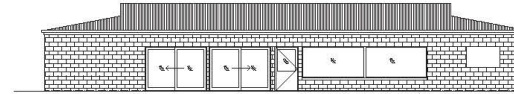
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04 NORTHWEST ELEVATION  
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03 **NORTHEAST ELEVATION**  
SCALE 1/2"=1'-0"



05 **SOUTHEAST ELEVATION**  
SCALE 1:100

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Access: 4242 6521 A13504 N Hobart 8

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Client  
**Sorell Council**  
47 Cale Street, Sorrell, TAS 7172

Working

**EXISTING FLOOR PLAN  
& ELEVATIONS**

As per the drawings on the next 2 sheets, please arrange a copy of drawings  
into presentation order, standard conditions. Check all drawings for any  
discrepancies in the above or approved plans. It is the responsibility of the client to  
ensure the drawings are correct and complete.

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**SITE PLAN**  
SCALE 1:4000



02  
•  
**LOCALISED SITE PLAN**  
SCALE 1:1000

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Accreditation: # CC03864 H. RAAIA # 48003

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47 Cole Street, Sorell, TAS 7172

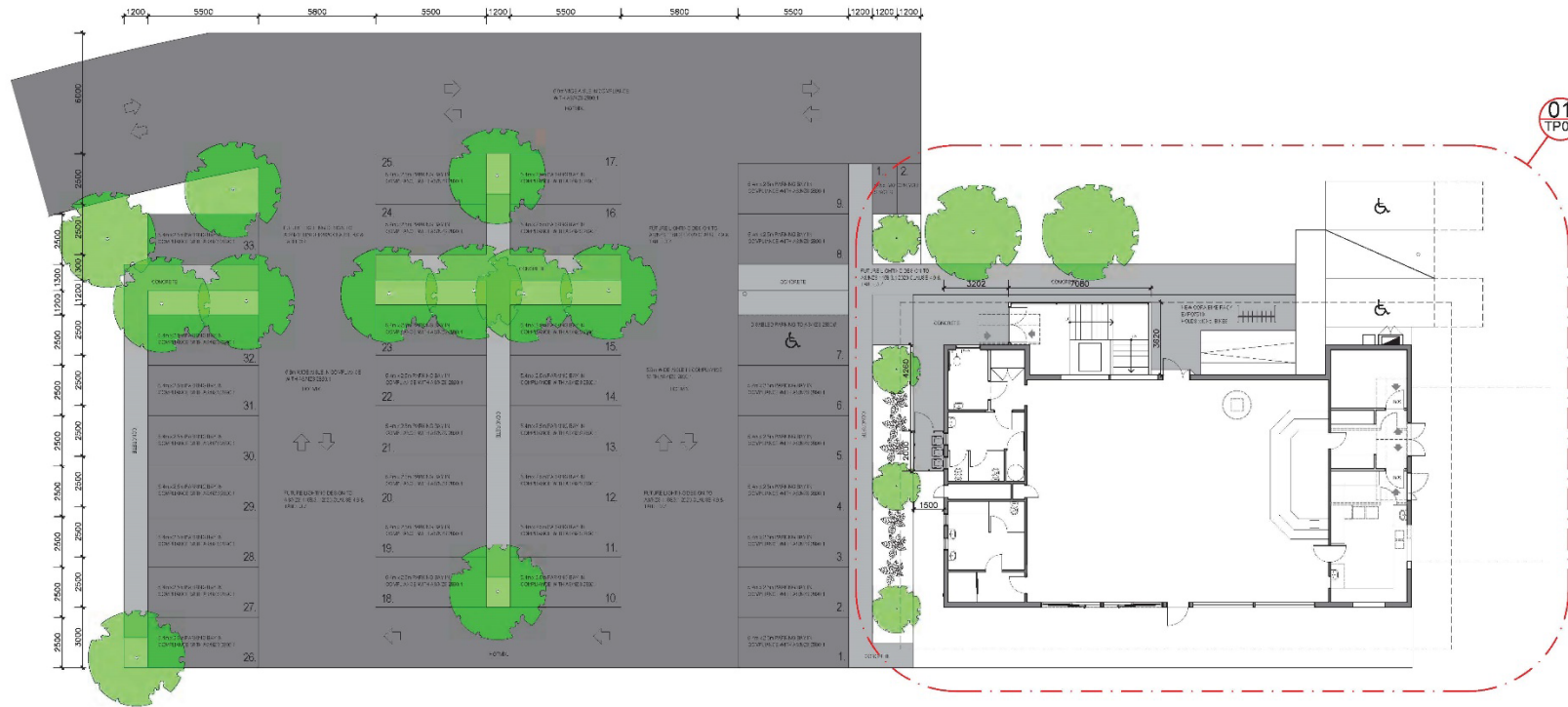
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**PROPOSED SITE PLANS**

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Checked by: J.S. 12.04.23  
Scale: 1:1000  
Date: 12.04.23  
Project: TP03

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**21 MARCH 2023**



01  
TP03

**CARPARK PLAN**  
SCALE 1:200



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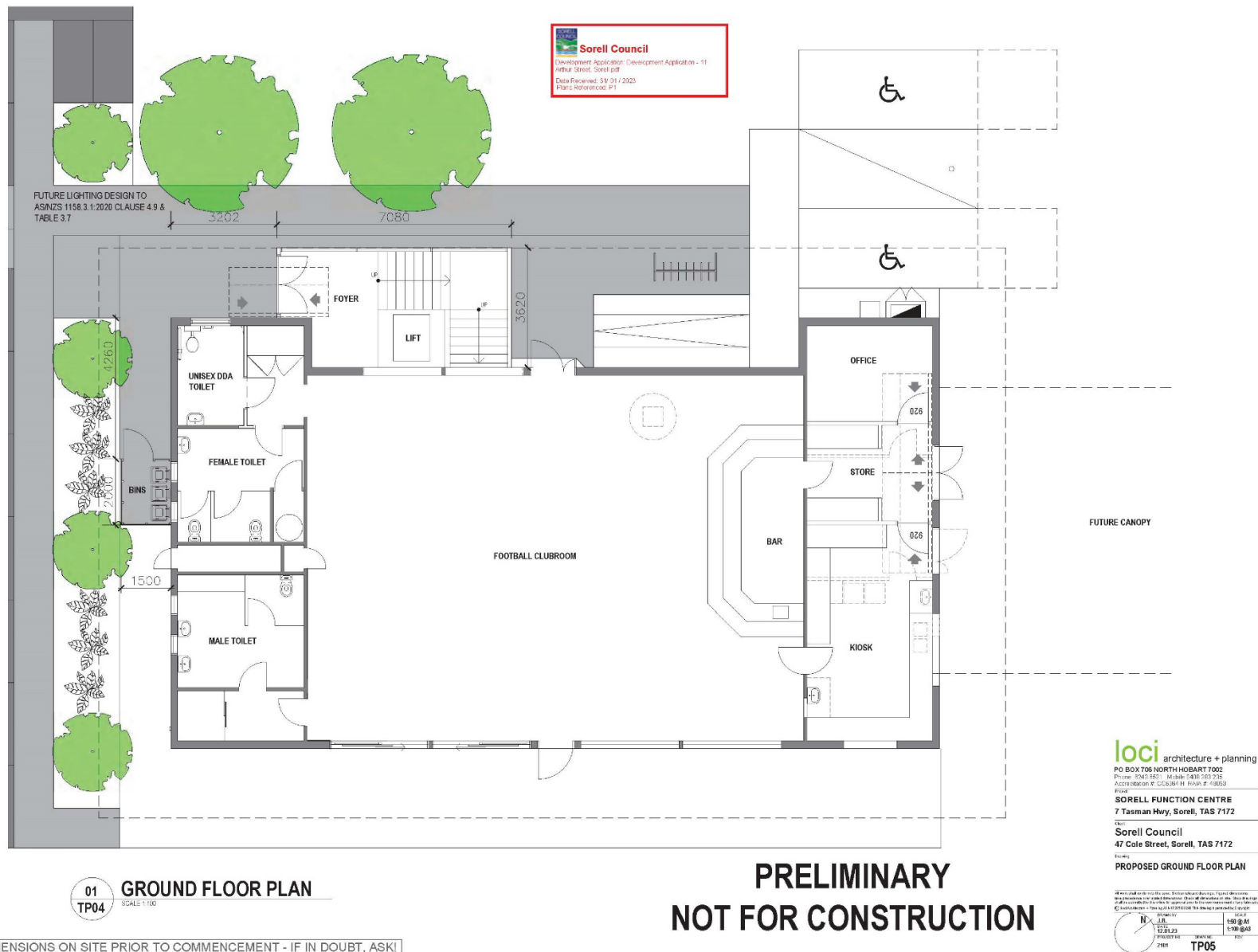
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Accreditation: W. 000584 H. RAIA # 48053  
Tasmanian Planning Authority  
**SORELL FUNCTION CENTRE**  
7 Tasman Hwy, Sorell, TAS 7172  
Tasmanian Planning Authority  
**Sorell Council**  
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Tasmanian Planning Authority  
**PROPOSED CARPARK PLAN**

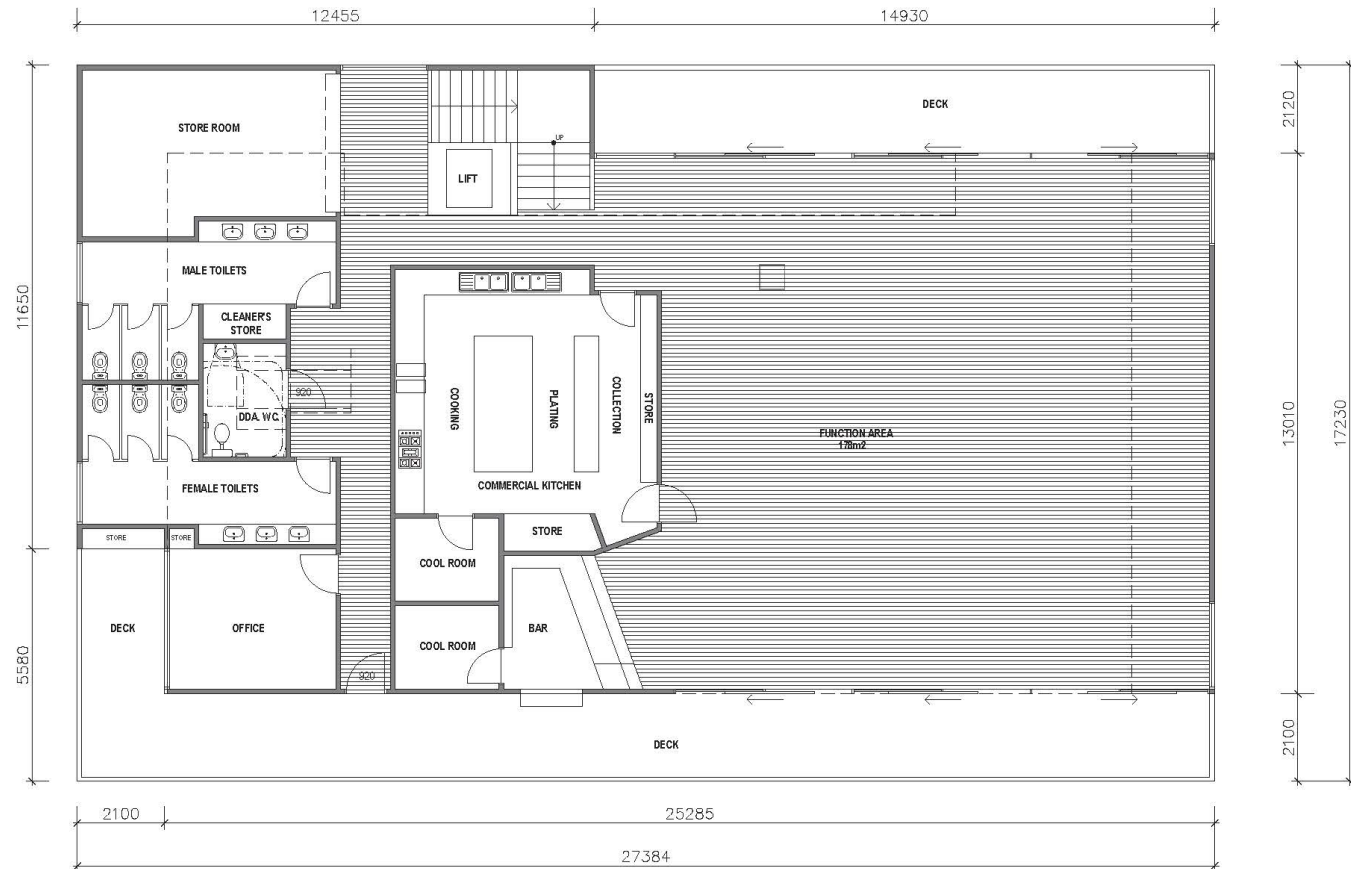




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**SORELL PLANNING AUTHORITY (SPA) MEETING**  
**21 MARCH 2023**



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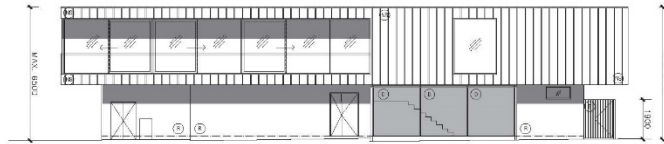
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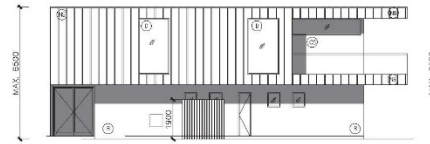
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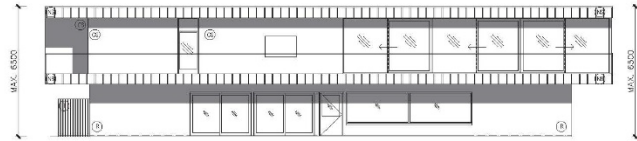
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**SORELL PLANNING AUTHORITY (SPA) MEETING**  
**21 MARCH 2023**



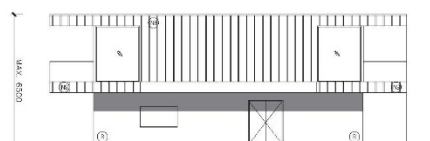
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02 SOUTHWEST ELEVATION  
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03 SOUTHEAST ELEVATION  
E501100



04 NORTHEAST ELEVATION  
E501100



**PRELIMINARY  
NOT FOR CONSTRUCTION**

CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT - IF IN DOUBT, ASK!

#### FINISHES LEGEND

- (NS) Nailstrip. Colorbond Monument.
- (R) Render existing wall. Colour TBC
- (T) Timber battens - Tasmanian Oak. Clear finish.
- (D) Danpal translucent polycarbonate.
- (CS) Cement Sheet. Clear finish.

**loci** architecture + planning

PO BOX 705 NORTH HOBART 7002  
Phone: 6543 8271 Mobile: 0438 581 218  
Email: loci@lociarchitect.com.au  
SORELL FUNCTION CENTRE  
7 Tasman Hwy, Sorell, TAS 7172

Client  
**Sorell Council**  
47 Cole Street, Sorell, TAS 7172

Drawing  
**PROPOSED ELEVATIONS 01**



**AGENDA**  
**SORELL PLANNING AUTHORITY (SPA) MEETING**  
**21 MARCH 2023**