



DEVELOPMENT ASSESSMENT SPECIAL COMMITTEE (DASC) AGENDA

20 SEPTEMBER 2022

COUNCIL CHAMBERS

COMMUNITY ADMINISTRATION CENTRE (CAC)

NOTICE OF MEETING

Notice is hereby given that the next meeting of the Development Assessment Special Committee (DASC) will be held at the Community Administration Centre (CAC), 47 Cole Street, Sorell on Tuesday 20 September 2022 commencing at 4:30 pm.

C E R T I F I C A T I O N

I, Robert Higgins, General Manager of the Sorell Council, hereby certify that in accordance with Section 65 of the *Local Government Act 1993*, the reports in this Agenda have been prepared by persons who have the qualifications and experience necessary to give such advice. Information and recommendations or such advice was obtained and taken into account in providing general advice contained within the Agenda.

ROBERT HIGGINS
GENERAL MANAGER
15 September 2022



AGENDA

**FOR THE DEVELOPMENT ASSESSMENT SPECIAL COMMITTEE (DASC) MEETING
TO BE HELD AT THE COMMUNITY ADMINISTRATION CENTRE (CAC), 47 COLE
STREET, SORELL ON TUESDAY 20 SEPTEMBER 2022**

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1.0 ATTENDANCE

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Chairperson Mayor Vincent
Deputy Mayor N Reynolds
Councillor K Degrassi
Councillor V Gala
Councillor G Jackson
Councillor C Torenus
Councillor M Reed
Councillor B Nichols
Robert Higgins, General Manager

2.0 CONFIRMATION OF THE MINUTES OF 6 SEPTEMBER 2022

RECOMMENDATION

“That the Minutes of the Development Assessment Special Committee (DASC) Meeting held on 6th September 2022 be confirmed.”

3.0 DECLARATIONS OF PECUNIARY INTEREST



In considering the following land use planning matters the Development Assessment Special Committee intends to act as a planning authority under the *Land Use Planning and Approvals Act 1993*.

4.0 LAND USE PLANNING

4.1 DEVELOPMENT APPLICATION NO. DA 2022 / 36 - 2

APPLICANT: M A MORROW & S E HARDNER

PROPOSAL: MINOR AMENDMENT SECTION 56 - CHANGES TO FLOOR PLAN & RELOCATION OF BUILDINGS (CT132276/1)

ADDRESS: 406 KELLEVE ROAD, KELLEVE – CT132276/1

RECOMMENDATION

That pursuant to *Section 57* of the *Land Use Planning & Approvals Act 1993*, Council resolve that Development Application No. DA 2022 / 00036 - 2 for Dwelling & Outbuilding (including use of outbuilding for temporary habitation) at 406 Kelleve Road, Kelleve (CT132276/1) for M A Morrow & S E Hardner be approved, subject to the following conditions:

1. *Development shall generally be in accordance with the endorsed plans submitted on 18/02/2022 & 03/08/2022 except as may be amended by the conditions of this permit.

*Note: This condition has been amended pursuant to *Section 56* of the *Land Use Planning & Approvals Act 1993* on 20 September 2022.

Condition 7 to read:

7. *The access shall be located approximately 60 metres north of the existing gate to Kelleve Road and to the satisfaction of Council's Development Engineer.

*Note: This condition has been amended pursuant to *Section 56* of the *Land Use Planning & Approvals Act 1993* on 20 September 2022.

Introduction

At its meeting on 12 April 2022, Council approved a Dwelling & Outbuilding including Temporary Occupancy of the Outbuilding at Lot 1, 406 Kelleve Road Kelleve (CT132276/1).

The site is currently vacant. This amendment seeks to change the location of the dwelling and outbuilding by swapping their locations together with changes to the floor plan for the dwelling.



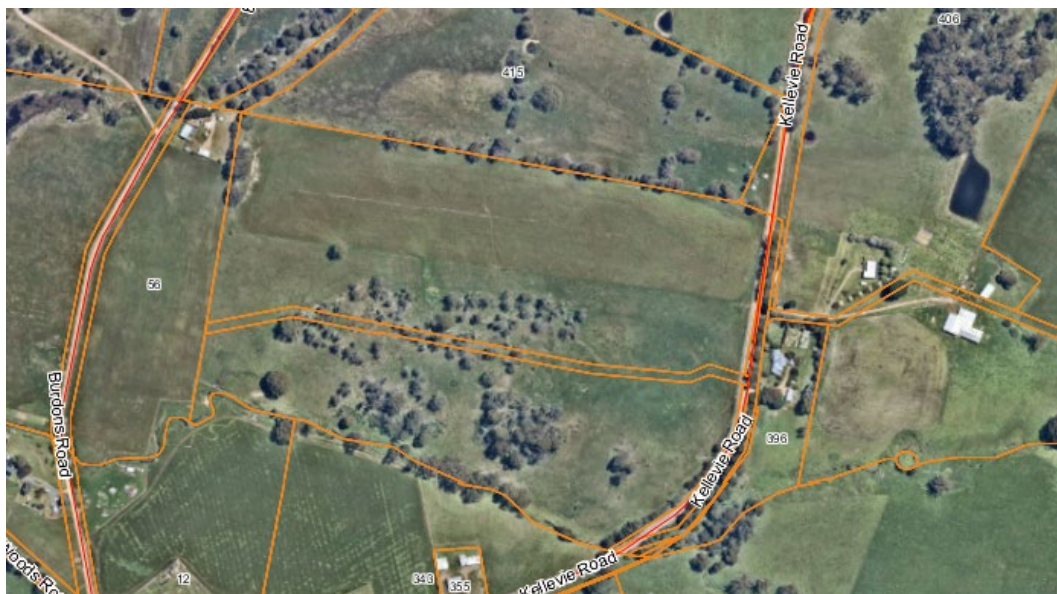


Figure 1 – Subject Property – CT132276/1 Part of 406 Kellevie Road, Kellevie

Strategic plan

The proposal will not affect implementation of Council's Strategic Plan 2019 – 2029.

Annual plan

The proposal will not affect implementation of Council's Annual Plan 2022/2023.

Environmental implications

There are no significant environmental implications associated with this proposal.

Asset management implications

There are no significant asset management implications.

Risk management implications

There are no significant risk management implications associated with this proposal.

Community implications

There are no significant implications for the community associated with this proposal.

Statutory implications

Zone: Rural Resource

Overlays: Bushfire-Prone Areas

Codes: Parking and Access, Stormwater Management, Dispersive Soils

Use Classification: Residential (only if single dwelling), of which dwellings are a discretionary use in the zone of 26.0 Rural Resource.

Representations

The original application was advertised and no representations were received.

Referrals

The application was referred to Council's, Plumbing and Environmental Health Departments and consulted again with respect to the proposed amendments. Responses stated that no changes to any conditions within the existing permit would be necessary.

Engineering, however, requested an amendment to condition 7 of the permit.

The condition change is amended to coincide with recent road improvements to Kellevie Road undertaken by Council. The road has now changed from a gravel surface to sealed surface, therefore removing the reference to "(within the gravel section of Kellevie Road)".

5.2022.36.2 – 406 Kellevie Road

- Minor amendment – delete reference to 'within the gravel section of Kellevie Road' from condition 7 to read as follows:

7. The access shall be located approximately 60 metres north of the existing gate to Kellevie Road and to the satisfaction of Council's Development Engineer.

Date of Receipt of Application

3 August 2022

Date by Which a Decision Must be Made

20 September 2022



Report

This is an application for Minor Amendment *Section 56* considers two amendments.

- Changes to Floor Plan (dwelling)
- Relocation of Buildings (CT132276/1) at 406 Kellevie Road, Kellevie.

The first amendment requests a change to the floor layout of the dwelling. The shape of the dwelling is now rectangle as opposed to a square style building. The number of bedrooms and facilities remain the same.

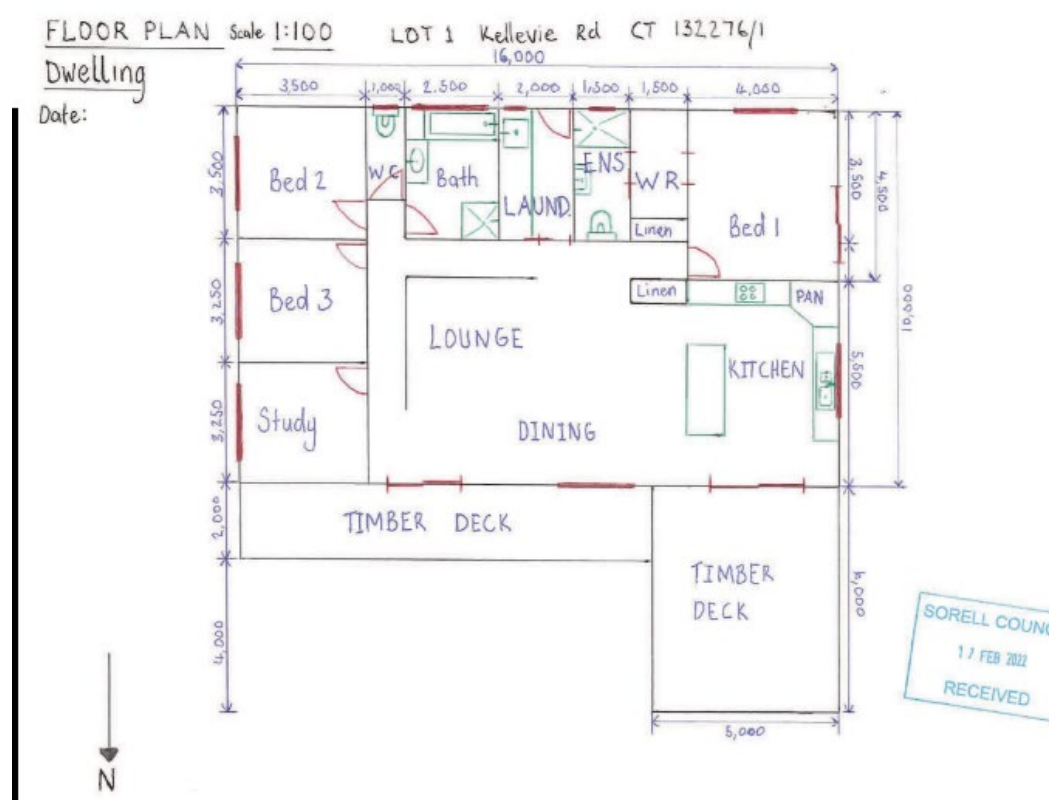


Figure 2 – Version 1 – approved 12/04/2022

Floor Plan V2 Scale 1:100 Lot 1 Kellevie rd Kellevie CT 132276/1

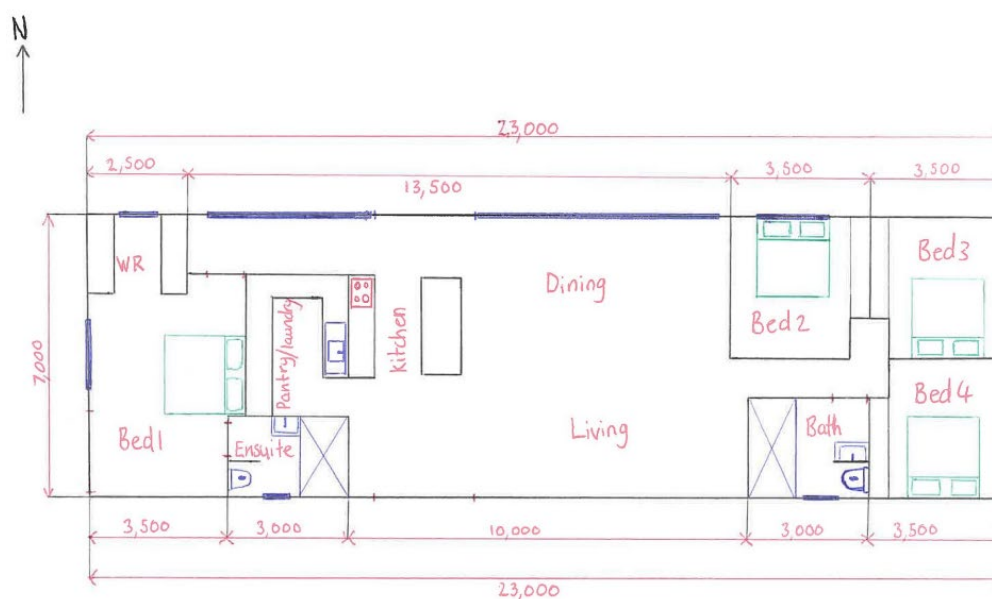


Figure 3 – Floor Plan Version 2 Amended

The second part of the amendment requests a change of the location of the buildings, subsequently swapping their location. The shed will now be located to the south of the car parking area with the dwelling located north west of the car park as outlined below.

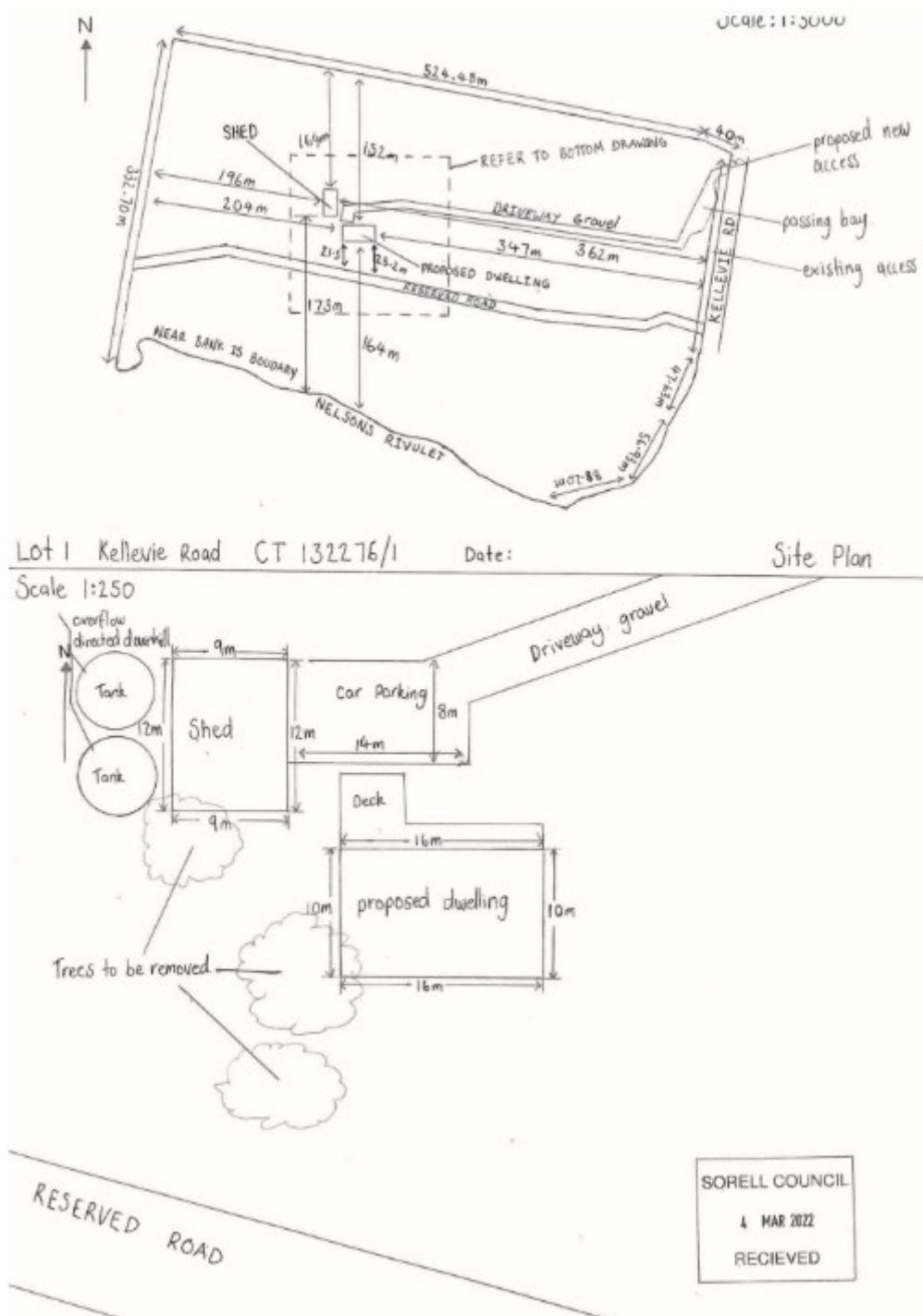


Figure 4 – Version 1 site plan approved 12/04/2022.

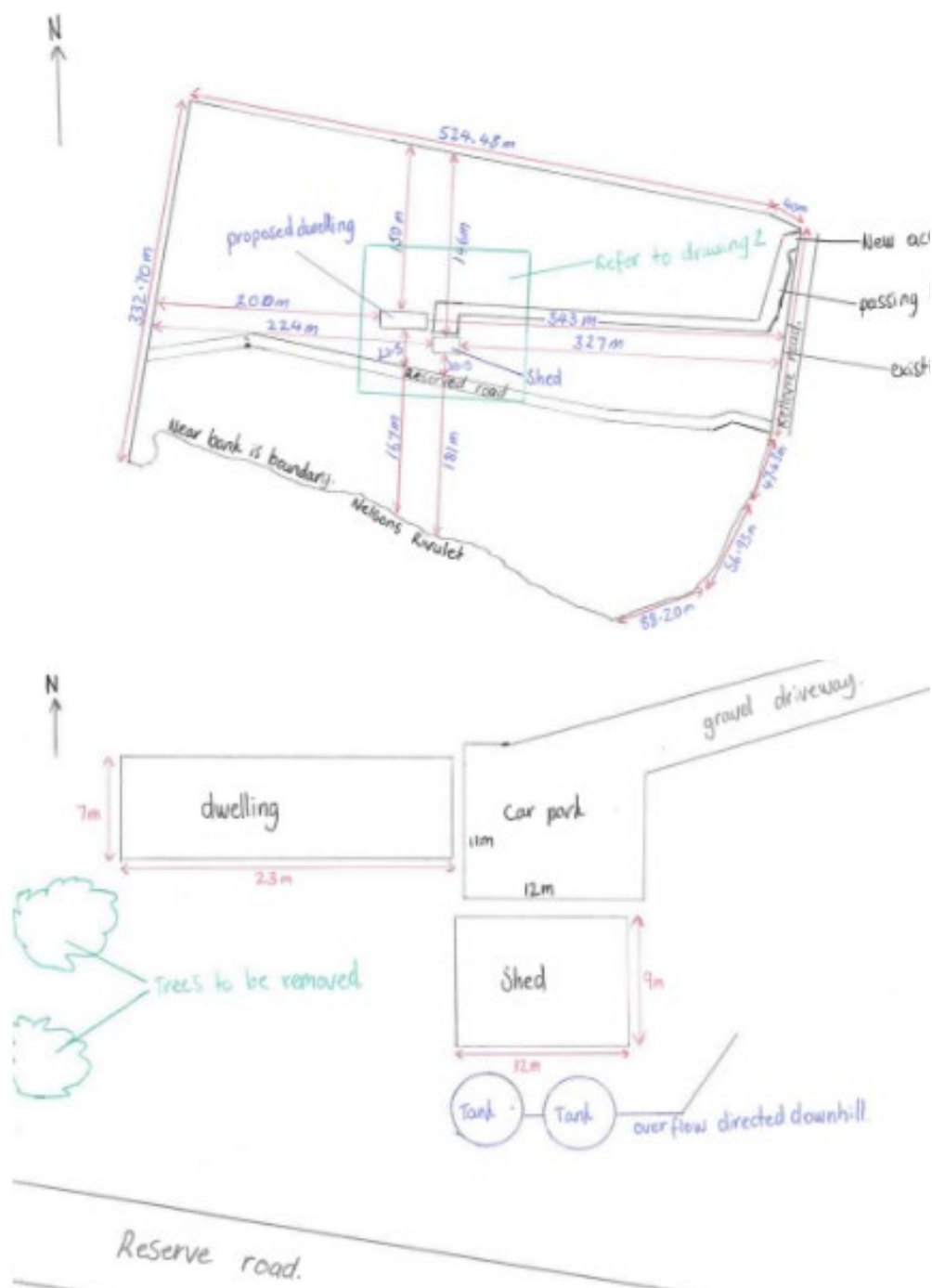


Figure 5 – Version 2 Site Plan Amended

Compliance with the relevant legislative requirements is outlined in the following table.

Clause		Compliance statement
1	<i>The owner of land, or a person with the consent of the owner, may request the planning authority in writing to amend a permit which applies to that land and which is a permit issued by the planning authority.</i>	Complies – the owner is the applicant.
1a	<i>A planning authority that receives a request under subsection (1) to amend a permit – (a) must, within the 28-day period after the request was received, amend, or refuse to amend, the permit; and (b) must, within 7 days – (i) after amending the permit, comply with subsection (3) ; or (ii) after refusing to amend the permit, give notice of the refusal to the person who made the request.</i>	Complies
2	<i>The planning authority may amend the permit if it is satisfied that the amendment – (aa) is not an amendment of a condition or restriction, specified in the permit, that is required, imposed or amended by the Appeal Tribunal; and</i>	Not applicable
	<i>(a) does not change the effect of a condition or restriction, specified in the permit, that is required, imposed or amended by the Appeal Tribunal; and</i>	Not applicable
	<i>(b) will not cause an increase in detriment to any person; and</i>	Complies. The development is well separated from adjoining land to mitigate potential impact on surrounding agricultural potential and to adjoining dwellings. The requested changes are unlikely to impact any person.
	<i>(c) does not change the use or development for which the permit was issued other than a minor change to the description of the use or development.</i>	Complies. The proposal is considered to be a minor change to the description of the use and development.

2A	<i>An amendment of a condition or restriction specified in a permit is not to be taken to contravene subsection (2)(a) by reason only that other conditions or restrictions have been specified in the permit, or amended, by the Appeal Tribunal.</i>	Not applicable.
2B	<i>A condition or restriction (the fresh condition or restriction) specified by the planning authority in a permit is not to be taken, for the purposes of this section, to be required or imposed by the Appeal Tribunal if – (a) the fresh condition or restriction is to the same effect as a condition or restriction that was specified in the permit by the Appeal Tribunal before the planning authority specified the fresh condition or restriction in the permit; and (b) the fresh condition or restriction is not referred to in the decision, in relation to the permit, of the Appeal Tribunal made under section 78 of the Tasmanian Civil and Administrative Tribunal Act 2020.</i>	Not applicable.
3	<i>If the planning authority amends a permit, it must, by notice in writing served on – (a) the person who requested the permit to be amended; and (b) if that person is not the owner of the land, the owner; and (c) in the case of a permit granted under section 57, the owner or occupier of any property which adjoins the land; and (d) any person who made a representation under section 57(5) in relation to the application for the permit – notify those persons of the amendments made to the permit.</i>	Council responsibility to implement.

Conclusion

The minor amendment is considered to comply with Section 56 of the Land Use Planning and Approvals Act 1993 and is recommended for approval.

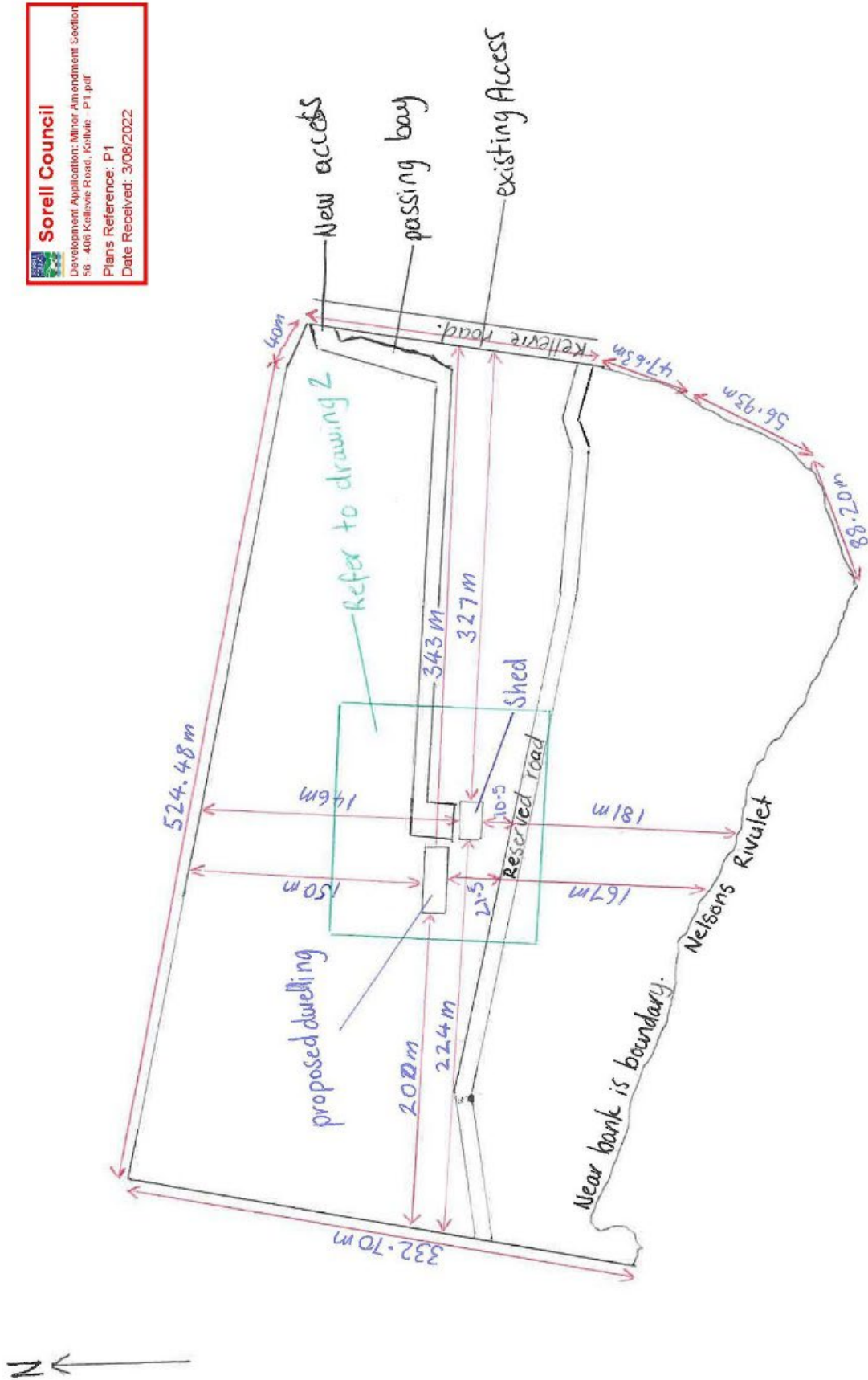
Jenny Richmond

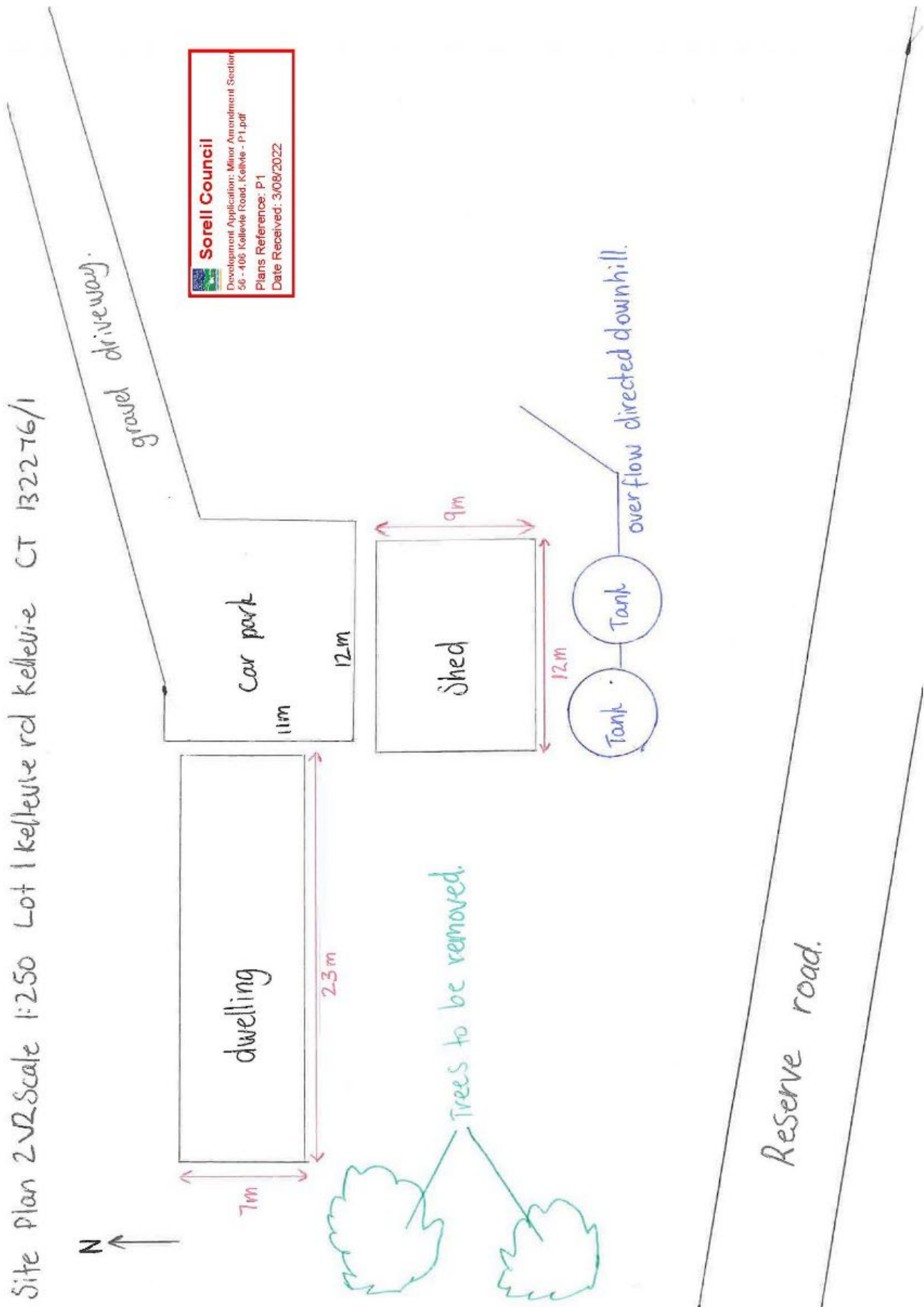
Planning Officer

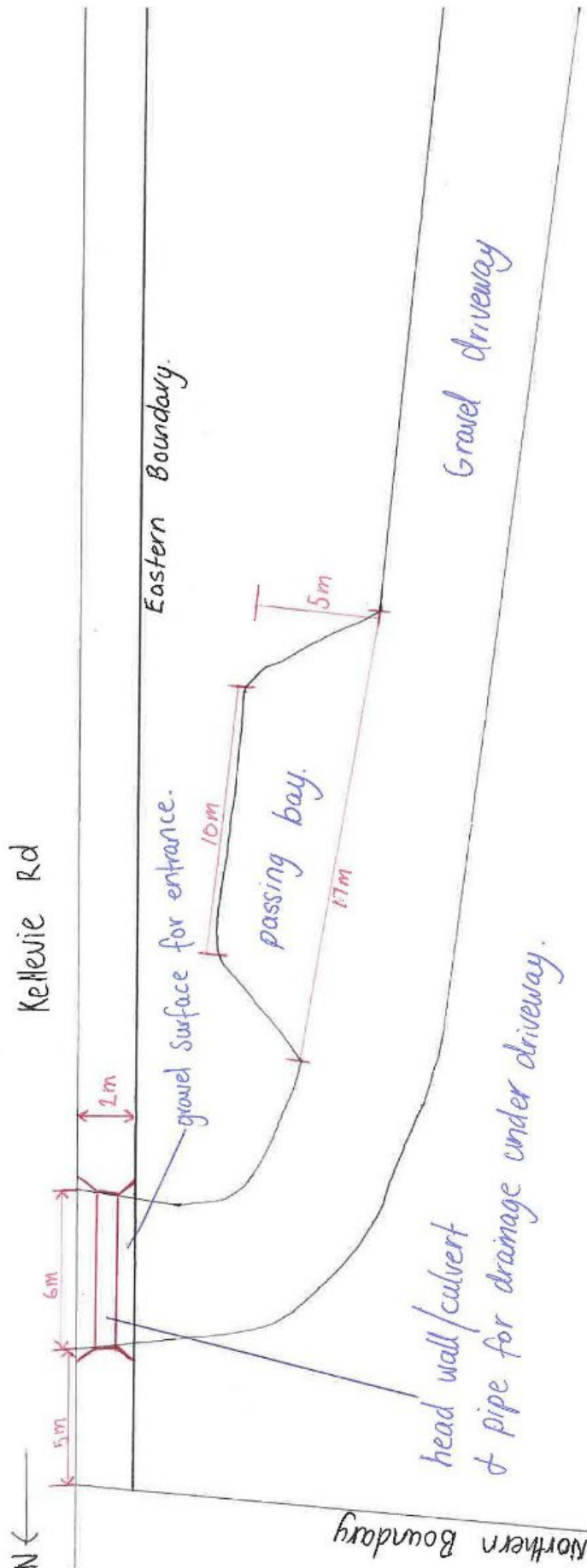
Attachments: Proposal Plans



Site Plan 1 v2 Scale 1:3000 Lot 1 Kellevie rd Kellevie CT 132276/1







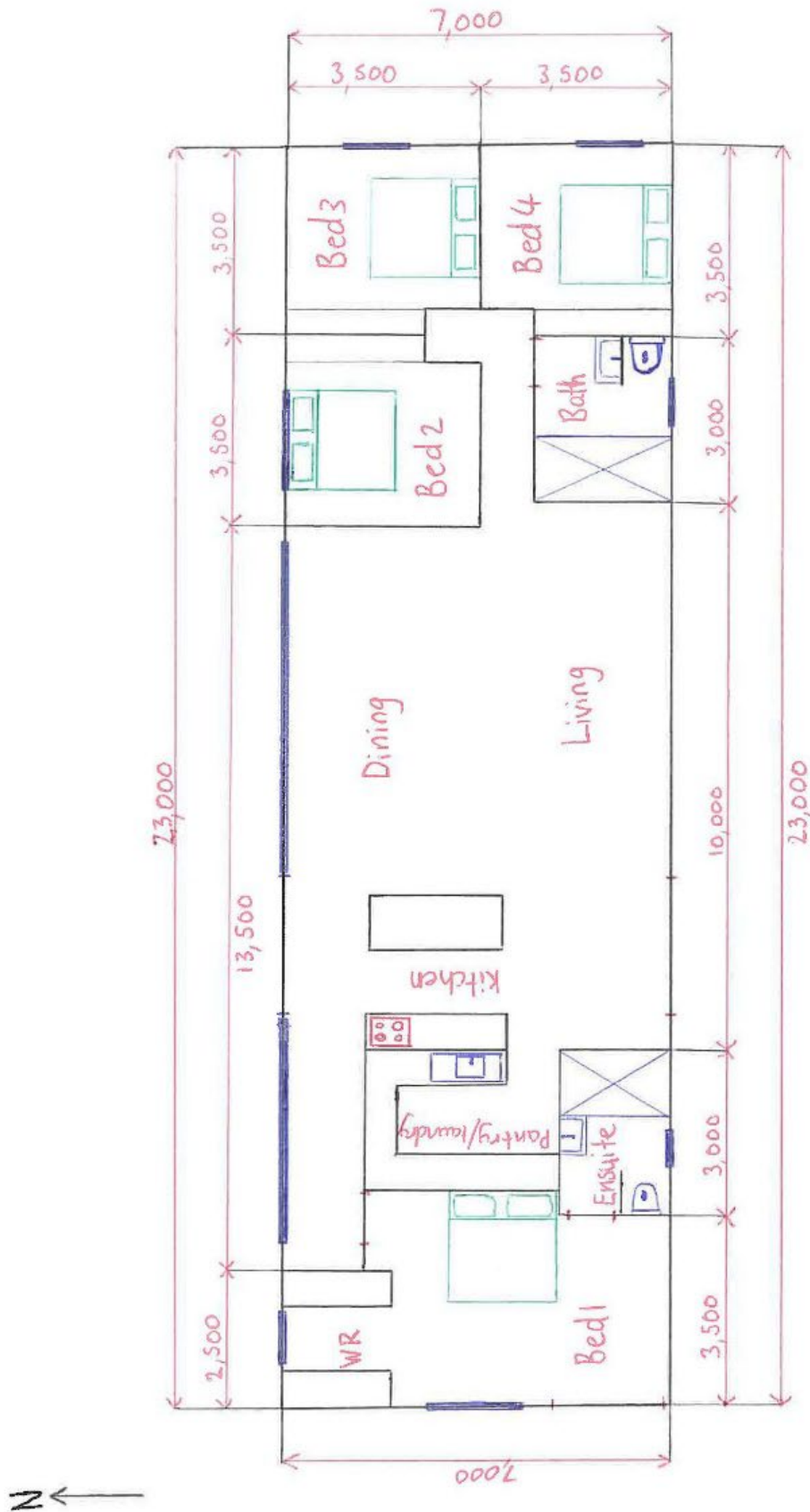
Scale 1:200

127771h

1st 1 Kellevie rd

Site Access Plan

Floor Plan V2 Scale 1:100 Lot 1 Kellevie rd Kellevie CT 132276/1

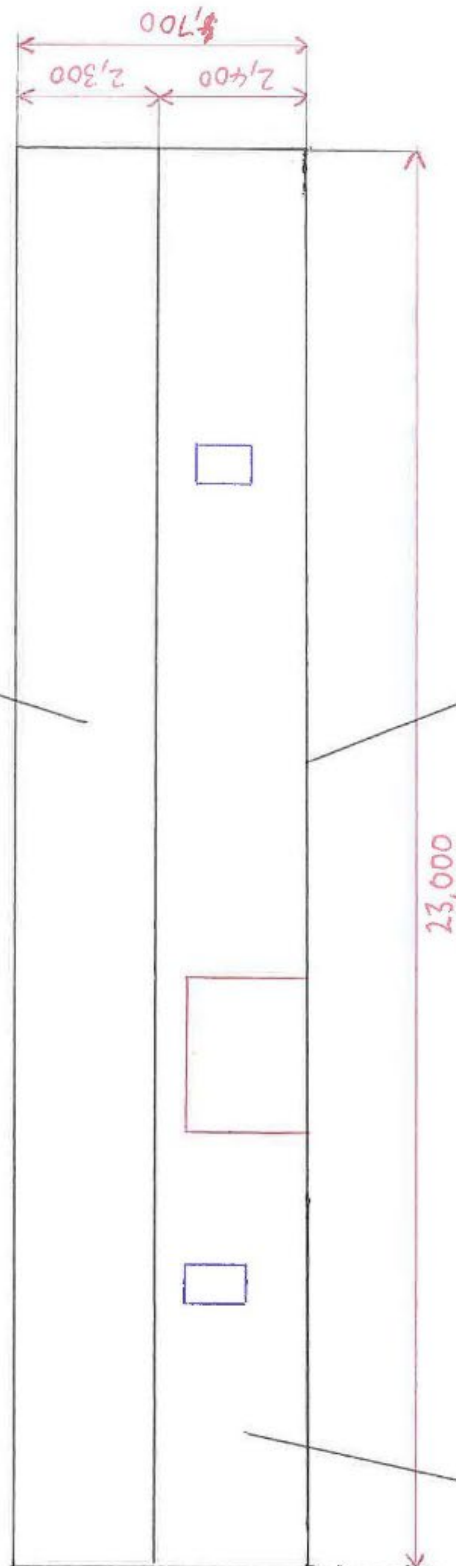


Sorell Council
 Development Application: Minor Amendment Section
 56 - 400 Kellevie Road, Kellevie - P1.pdf
 Plans Reference: P1
 Date Received: 3/08/2022

South Elevation 42 Scale 1:100 Lot 1 Kellevie rd Kellevie CT 132276/1

N ←

Shale grey colourbond roof
25° pitch.



concrete slab on ground.

Sorell Council
Development Application: Minor Amendment Section
50 - 406 Kellevie Road, Kellevie - P1.pdf
Plans Reference: P1
Date Received: 3/08/2022

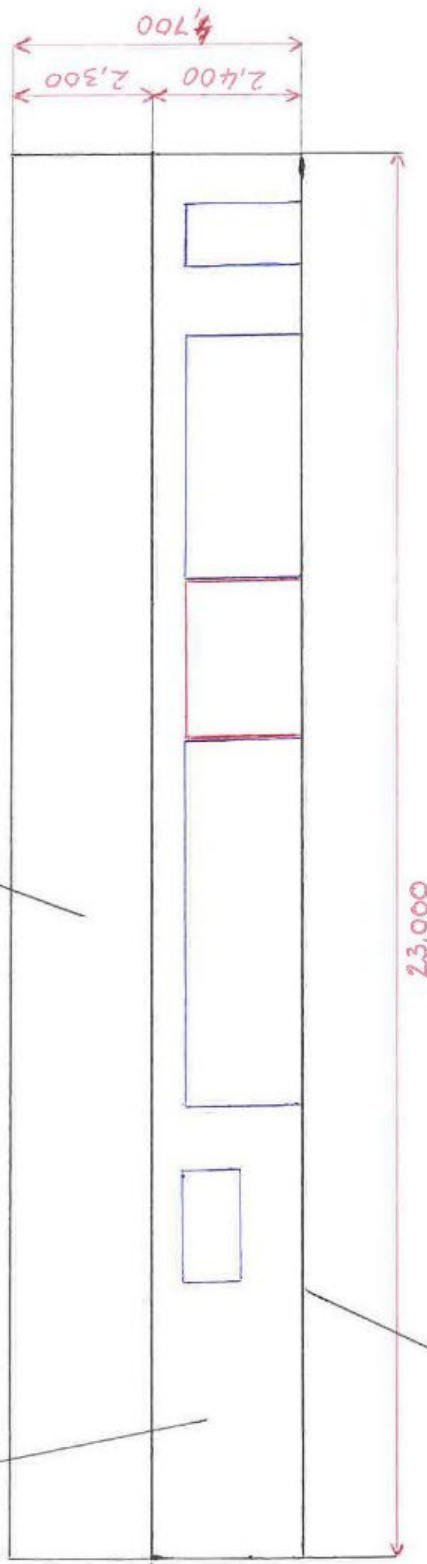


North Elevation v2. Scale 1:100 Lot 1 Kellevie rd Kellevie CT 132276/1

N ↑

Shale grey colourbond roof
2.5° pitch.

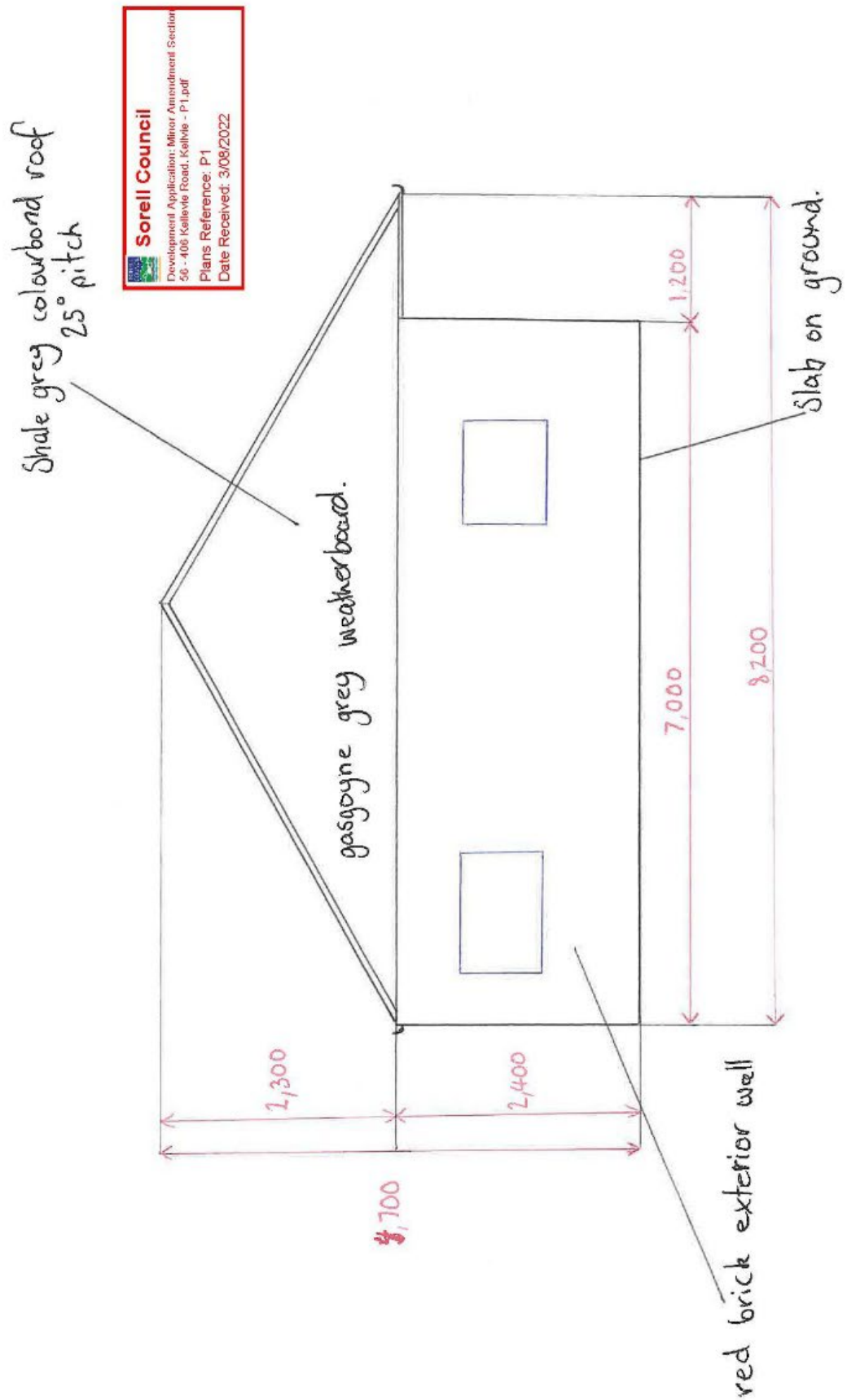
Red brick exterior wall



concrete slab on ground

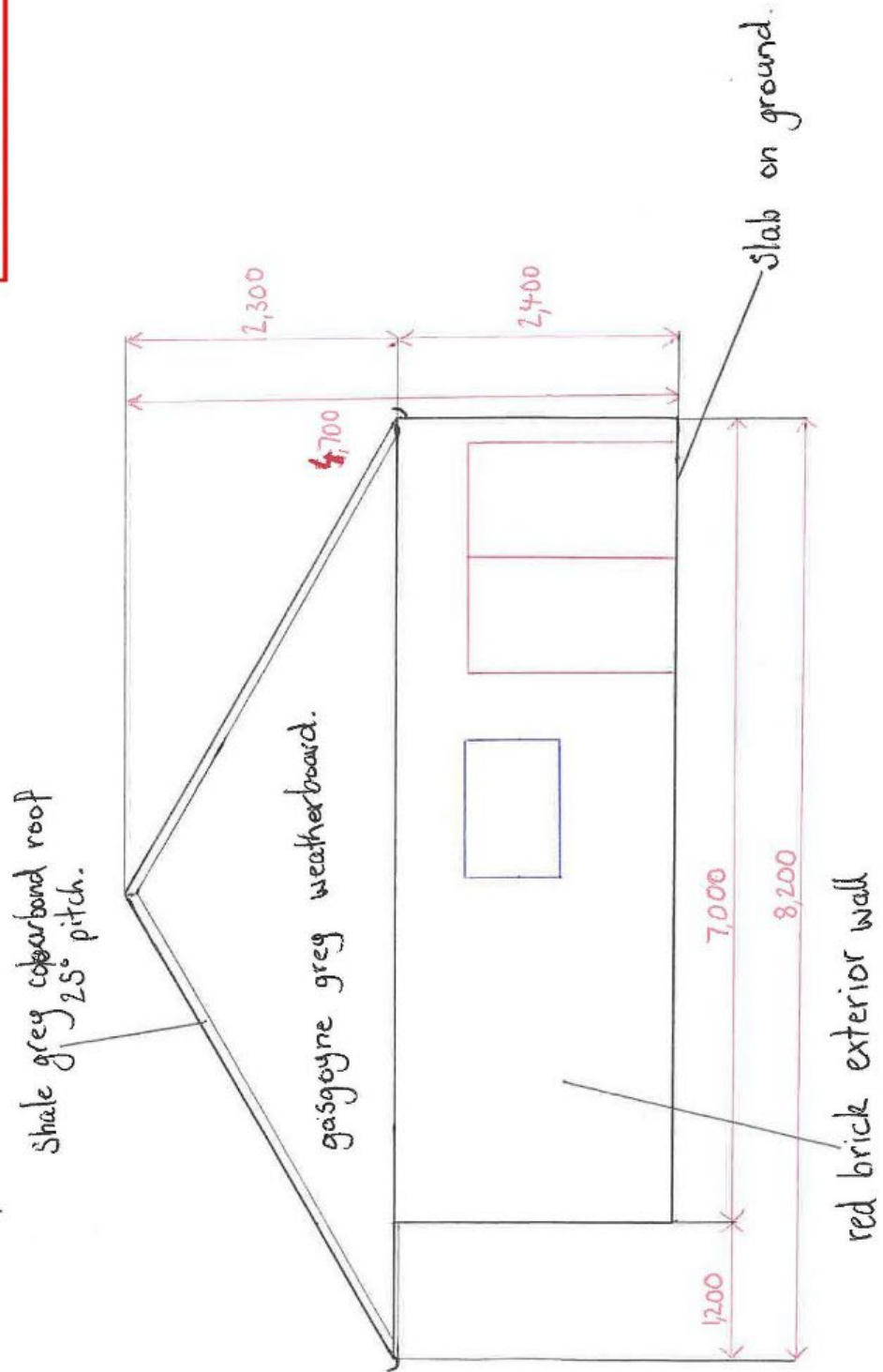


East Elevation v2. Scale 1:50 Lot 1 Kellevie Rd Kellevie CT 132276/1



West Elevation v2. Scale 1:50 Lot 1 Kellewie Rd Kellewie CT 132276/1

N ↑



4.2 DEVELOPMENT APPLICATION NO. DA 2022 / 101 - 2

APPLICANT: SORELL COUNCIL

PROPOSAL: EXTENSION OF HOURS OF OPERATION AT EXISTING SPORTS STADIUM

ADDRESS: 11 ARTHUR STREET, SORELL

RECOMMENDATION

That pursuant to Section 56 of the Land Use Planning and Approvals Act 1993 Council resolve that permit DA 2022 / 101 be amended and that condition 3 be replaced with:

Hours of operation, except for cleaning, office and administrative tasks, are to be restricted to:

Weekdays: 6.00 am to 10.00 pm;

Saturday: 7.00 am to 10.00 pm;

Sunday & public holidays: 7.00 am to 10.00 pm;

Excluding the gym which may operate from 5am.

All patron vehicles associated with stadium activities must leave the site by 10.30 p.m.

Introduction

Application is made for a minor amendment to allow the gym within the South East Sports Stadium to operate from 5am rather than 6am.

Strategic plan

The proposal will not affect implementation of Council's Strategic Plan 2019 – 2029.

Annual plan

The proposal will not affect implementation of Council's Annual Plan 2022/2023.

Environmental implications

There are no significant environmental implications associated with this proposal.

Asset management implications

There are no significant asset management implications.



Risk management implications

There are no significant risk management implications associated with this proposal.

Community implications

There are no significant implications for the community associated with this proposal.

Statutory implications

Zone: Recreation Zone

Overlays: Nil

Codes: Nil

Representations

The original application of the stadium was discretionary and one representation was received with concerns of traffic lights. The vehicle exit point was reconfigured to prevent light spill from traffic.

Referrals

The application was referred to Council's Engineering, Plumbing and Environmental Health Departments. No comments are made or conditions required.

Date of Receipt of Application

13 September 2022.

Date by Which a Decision Must be Made

10 October 2022

Report

Initially, permit DA 2020 / 48 required:

Hours of operation for sports activities within the stadium are to be restricted to:

Weekdays: 8.30 am to 10.00 pm

Saturday: 8.00 am to 10.00 pm

Sunday: 9.00 am to 6.00 pm (including public holidays)



With all vehicles leaving the site by 10.30pm on weekdays, 10.30pm on Saturdays and 6.30pm on Sundays and Public Holidays

This permit was later amended to allow earlier starts on weekdays and Saturday with the following requirement:

Hours of operation for sports activities within the stadium are to be restricted to:

Weekdays: 6.00 am to 10.00 pm

Saturday: 7.00 am to 10.00 pm

Sunday: 9.00 am to 6.00 pm (including public holidays)

With all vehicles leaving the site by 10.30pm on weekdays, 10.30pm on Saturdays and 6.30pm on Sundays and Public Holidays.

A separate permit, DA 2022 / 101 allows earlier and later starts on Sundays and public holidays with the following requirement:

The hours of operation of events conducted in the stadium must comply with the following:

- *6.00. a.m. to 10.00. p.m. from Monday to Friday;*
- *7.00 a.m. to 10.00 p.m. on Saturdays; Sundays or public holidays.*

All patron vehicles associated with stadium activities must leave the site by 10.30 p.m.

It is the later permit, DA 2022 / 101 that regulates operating hours.

A minor amendment is sought to permit DA 2022 / 101 to allow for the gym within the sports centre to commence operations from 5am following a request from the gym operator.

Compliance with the relevant legislative requirements is outlined in the following table.

Clause		Compliance statement
1	<i>The owner of land, or a person with the consent of the owner, may request the planning authority in writing to amend a permit which applies to that land and which is a permit issued by the planning authority.</i>	Complies – the owner is the applicant.
1a	<i>A planning authority that receives a request under subsection (1) to amend a permit –</i>	Complies

	<p>(a) must, within the 28-day period after the request was received, amend, or refuse to amend, the permit; and</p> <p>(b) must, within 7 days –</p> <p>(i) after amending the permit, comply with subsection (3) ; or</p> <p>(ii) after refusing to amend the permit, give notice of the refusal to the person who made the request.</p>	
2	<p>The planning authority may amend the permit if it is satisfied that the amendment –</p> <p>(aa) is not an amendment of a condition or restriction, specified in the permit, that is required, imposed or amended by the Appeal Tribunal; and</p>	Not applicable
	<p>(a) does not change the effect of a condition or restriction, specified in the permit, that is required, imposed or amended by the Appeal Tribunal; and</p>	Not applicable
	<p>(b) will not cause an increase in detriment to any person; and</p>	<p>Complies. Operating hours are regulated by the planning scheme for use within 50m of a residential zone. Only the vehicle entry and exits are within 50m of a residential zone.</p> <p>The acceptable solutions for operating hours commences at 7am Monday to Friday.</p> <p>The potential impact of earlier starts in traffic noise due to increased traffic along Montagu Street directly attributable to the gym. It is unlikely that this effect will be significant</p>
	<p>(c) does not change the use or development for which the permit was issued other than a minor change to the description of the use or development.</p>	Complies. The proposal is considered to be a minor change to the description of the use.
2A	<p>An amendment of a condition or restriction specified in a permit is not to be taken to contravene subsection (2)(a) by reason only that other conditions or restrictions have been specified in the permit, or amended, by the Appeal Tribunal.</p>	Not applicable.

2B	<p><i>A condition or restriction (the fresh condition or restriction) specified by the planning authority in a permit is not to be taken, for the purposes of this section, to be required or imposed by the Appeal Tribunal if –</i></p> <p><i>(a) the fresh condition or restriction is to the same effect as a condition or restriction that was specified in the permit by the Appeal Tribunal before the planning authority specified the fresh condition or restriction in the permit; and</i></p> <p><i>(b) the fresh condition or restriction is not referred to in the decision, in relation to the permit, of the Appeal Tribunal made under section 78 of the Tasmanian Civil and Administrative Tribunal Act 2020.</i></p>	Not applicable.
3	<p><i>If the planning authority amends a permit, it must, by notice in writing served on –</i></p> <p><i>(a) the person who requested the permit to be amended; and</i></p> <p><i>(b) if that person is not the owner of the land, the owner; and</i></p> <p><i>(c) in the case of a permit granted under section 57, the owner or occupier of any property which adjoins the land; and</i></p> <p><i>(d) any person who made a representation under section 57(5) in relation to the application for the permit –</i></p> <p><i>notify those persons of the amendments made to the permit.</i></p>	In this case, the adjoining properties owners are along Attunga Drive and there is no statutory requirement to notify those along Montagu Street. It is considered reasonable, however, to notify Montagu Street property owners.

Conclusion

The minor amendment is considered to comply with Section 56 of the Land Use Planning and Approvals Act 1993 and is recommended for approval.

Shane Wells

Senior Planner

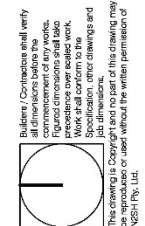
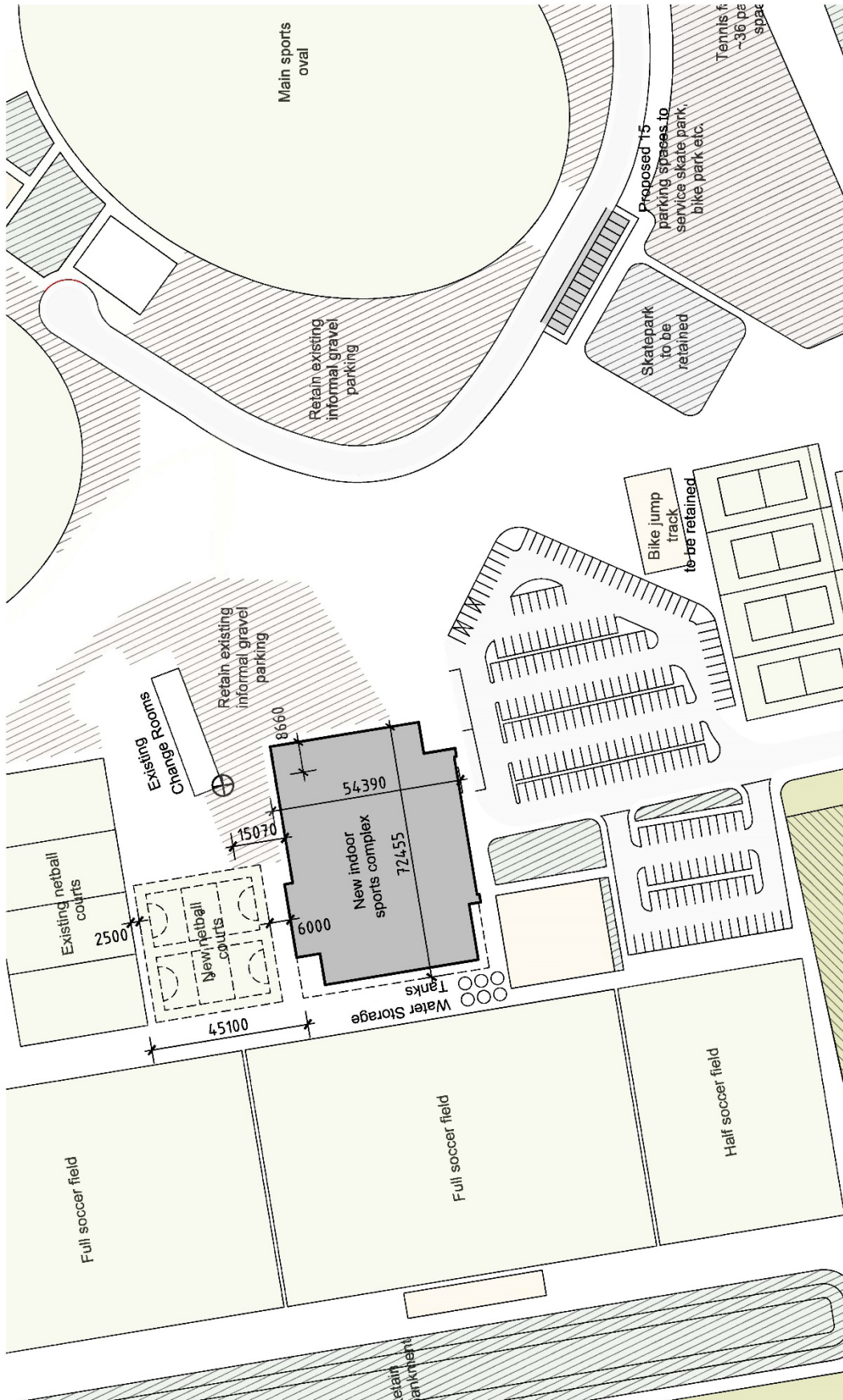
Attachments: Proposal Plan



AGENDA

DEVELOPMENT ASSESSMENT SPECIAL COMMITTEE (DASC) MEETING

20 SEPTEMBER 2022



CLIENT:
SORELL COUNCIL

PROJECT:
PEMBROKE PARK
NEW STADIUM

DRAWING No:
AR-002

REVISION:
-

DRAWING TITLE:
SITE & CONTEXT PLAN

JOB No:
20026

SCALE:
1:1000 @ A3

DRAWN BY:
NH

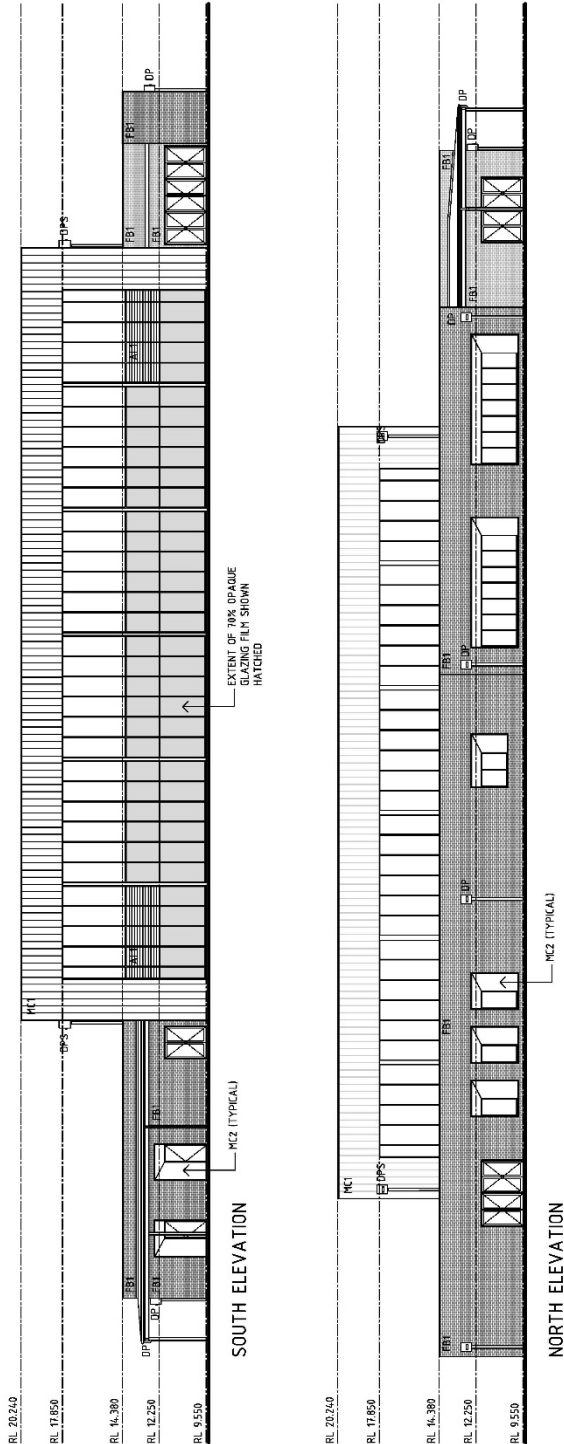
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DATE:
APRIL 2020

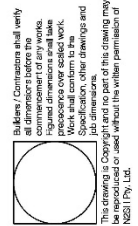
SHEET No:
1 OF 77

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- LEGEND**
- ALL EXPOSED STEELWORK TO VERANDAH AND LOWER BRICK BUILDINGS TO BE PAINTED WITH HIGH GLOSS EXTERIOR ACRYLIC AS PER SPECIFICATION
- COLOUR: MATCH DULUX COLORBOND MONUMENT
- ALL EXPOSED STEELWORK TO STADIUM BUILDING TO BE PAINTED WITH HIGH GLOSS EXTERIOR ACRYLIC AS PER SPECIFICATION
- COLOUR: MATCH DULUX COLORBOND SURFIST
- POWDERCOATED ALUMINIUM FASCIAE, DOWNPIPES, BRACKETS, PLANKS, HEADS, CAPPIES AND FLASHINGS
- COLOUR TO LOWER BRICK BUILDING
- DULUX COLORBOND MONUMENT
- DULUX COLORBOND SURFIST
- POWDERCOATED ALUMINIUM WINDOW FRAMES TO FACE BRICK LOWER BUILDINGS
- COLOUR: DULUX COLORBOND MONUMENT
- POWDERCOATED ALUMINIUM WINDOW FRAMES TO STADIUM BUILDING
- COLOUR: DULUX COLORBOND SURFIST
- MC1 LYSAGHT INSEAM 455PM PAN WITH STANDING SEAM CLADDING
- MC2 FINISH DULUX COLORBOND SURFIST
- FB1 COLORBOND FLAT SHEET METAL CLADDING TO WINDOW FEATURE SURROUNDS
- FB2 FINISH DULUX COLORBOND MONUMENT
- FB3 PGH BRICKS AND PAVERS METALLIC RANGE CLAY EXTRUDED WIRE CUT
- FB4 FACE BRICK
- FB5 COLOR: PERCUTY
- AL1 POWDERCOATED ALUMINIUM LOUVRES
- AL2 ALUMINIUM WINDOW FRAMES
- AL3 ALUMINIUM WINDOW FRAMES
- AL4 ALUMINIUM WINDOW FRAMES
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- AL99 ALUMINIUM WINDOW FRAMES
- AL100 ALUMINIUM WINDOW FRAMES



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CLIENT: SORELL COUNCIL
PROJECT: PEMBROKE PARK NEW STADIUM

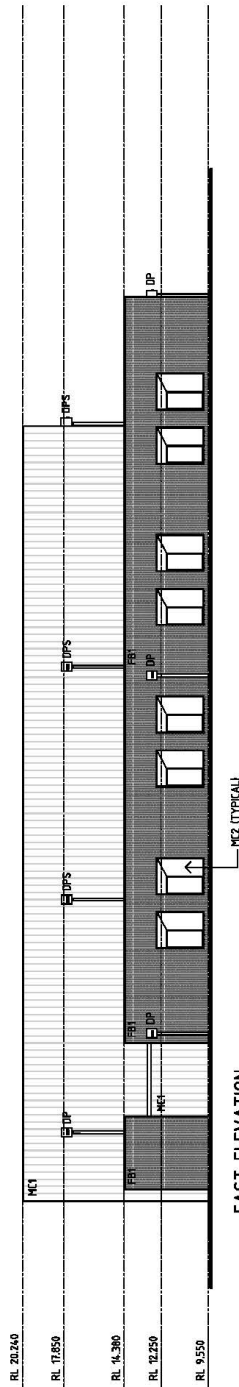
DRAWING NO: AR-601
DRAWING TITLE: ELEVATIONS

REVISION:
JOB NO: 20026
DRAWN BY: NH
DATE: APRIL 2020

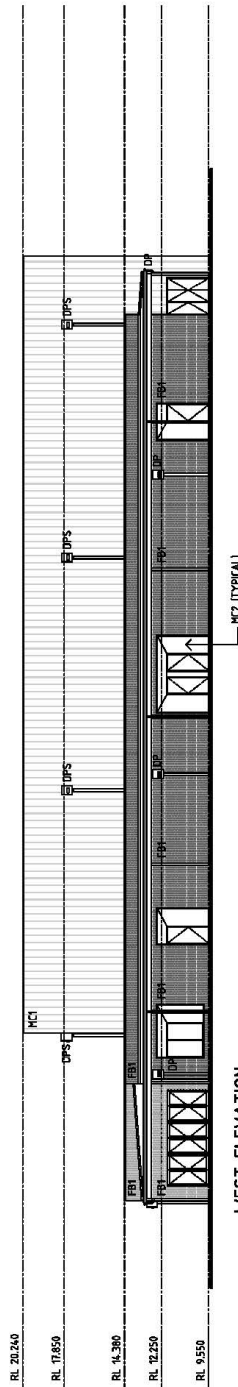
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SHEET NO: 1 OF ??

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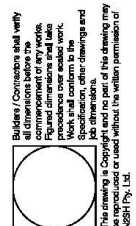
EAST ELEVATION



WEST ELEVATION

LEGEND

- ALL EXPOSED STEELWORK TO VERANDA AND LOWER BRICK BUILDINGS TO BE PAINTED WITH HIGH GLOSS EXTERIOR ACRYLIC AS PER SPECIFICATION
- COLOUR MATCH DILUX COLORBOND MONUMENT
- ALL EXPOSED STEELWORK TO STADIUM BUILDING TO BE PAINTED WITH HIGH GLOSS EXTERIOR ACRYLIC AS PER SPECIFICATION
- COLOUR MATCH DILUX COLORBOND SURPHIST
- POWDERCOATED ALUMINIUM FASCIA, DOWNPipes, FLASHINGS, RAINWATER HEADS, CAPPIES AND FLASHINGS
- COLOUR TO LOWER BRICK BUILDING
- COLOUR TO COURT BUILDING
- POWDERCOATED ALUMINIUM WINDOW FRAMES TO FACE BRICK LOWER BUILDINGS
- COLOUR DILUX COLORBOND MONUMENT
- POWDERCOATED ALUMINIUM WINDOW FRAMES TO STADIUM BUILDING
- COLOUR DILUX COLORBOND SURPHIST
- LYSAGHT ENSEAM 455MM PAN WIDTH STANDING SEAM CLADDING
- FINISH DILUX COLORBOND SURPHIST
- COLORBOND FLAT SHEET METAL CLADDING TO WINDOW FEATURE SURROUNDS
- FINISH DILUX COLORBOND MONUMENT
- PGH BRICKS AND PAVERS METALLIC RANGE CLAY EXTRUDED WIRE CUT
- PALE BRICK
- COLOR PERCUTY
- POWDERCOATED ALUMINIUM LOUVRES
- ALUMINIUM SCREENING AS PER ENGINEERING DOCUMENTATION
- REFER TO ENGINEERS DOCUMENTATION FOR EXTENT OF OPENING
- PROVIDE BLANKING PANEL TO NON SERVICES REQUIRED EXTENT
- COLOR DILUX COLORBOND SURPHIST



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CUSTOMER: SORELL COUNCIL
PROJECT: PEMBROKE PARK NEW STADIUM

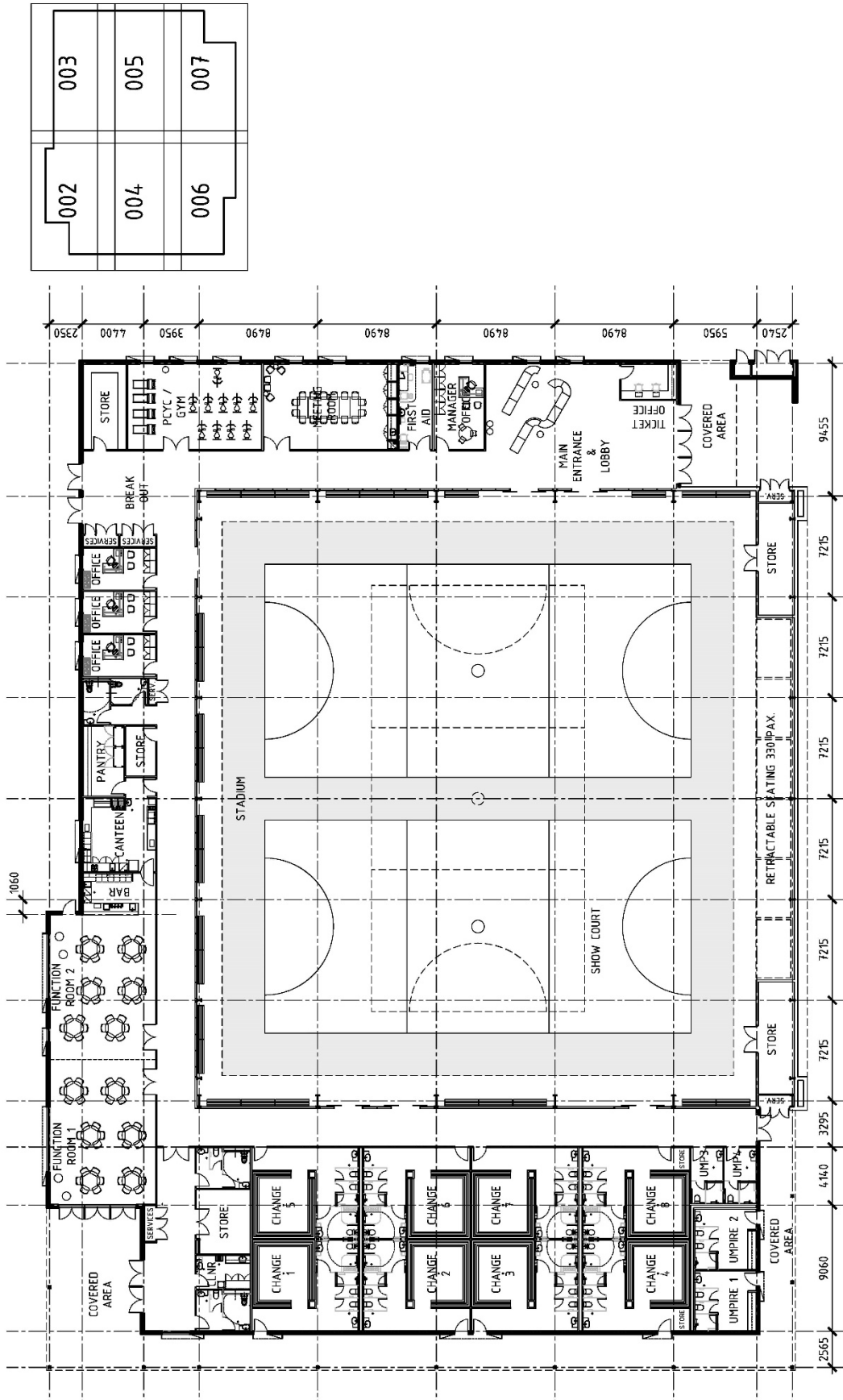
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DRAWING TITLE: ELEVATIONS

REVISION: -
JOB NO: 20026
DRAWN BY: NH
DATE: APRIL 2020

SCALE: 1:250 @ A3
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SHEET NO: 2 OF ??

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DRAWN BY: NH
DATE: APRIL 2020
SHEET No: 1 OF ??

DRAWING No: AR-101
REVISION: -
DRAWING TITLE: REFERENCE PLAN
GROUND FLOOR

CLIENT: SORELL COUNCIL
PROJECT: PEMBROKE PARK
NEW STADIUM



DATE	REVISION	BY:



4.3 DEVELOPMENT APPLICATION NO. DA 2022 / 246 - 1

APPLICANT: KINGS OUTDOOR LIVING

PROPOSAL: ADDITIONS TO COMMUNITY BUILDING (TWO AWNINGS)

ADDRESS: 32 HOFFMAN STREET, MIDWAY POINT

RECOMMENDATION

That pursuant to Section 57 of the Land Use Planning and Approvals Act 1993 Council resolve that Development Application No. DA 2022 / 246 - 1 for additions to community building (two awnings) 32 Hoffman Street, Midway Point for Kings Outdoor Living be approved, subject to the following conditions:

2. Development shall generally be in accordance with the endorsed plans submitted on 16/08/2022 except as may be amended by the conditions of this permit.

NOTE: THE FOLLOWING ADVICE APPLIES TO THIS PERMIT

- This permit shall lapse at the expiration of two (2) years from the date on which it is granted if the development and use is not substantially commenced within that period.
- This permit does not imply that any other approval required under any other by-law or legislation has been granted.
- Separate Building Approval may be required prior to commencement of the development.

You may appeal against the above condition/s, any such appeal must be lodged within fourteen (14) days of service of this notice to the Resource Management and Planning Appeal Tribunal, Level 1, 144-148 Macquarie Street Hobart 7001. Ph ☎ 6165 6794 or email rmpat@justice.tas.gov.au.

Introduction

Application is made for two awnings at the Midway Point Neighbourhood House.

Strategic plan

The proposal will not affect implementation of Council's Strategic Plan 2019 – 2029.

Annual plan

The proposal will not affect implementation of Council's Annual Plan 2022/2023.



Environmental implications

There are no significant environmental implications associated with this proposal.

Asset management implications

There are no significant asset management implications.

Risk management implications

There are no significant risk management implications associated with this proposal.

Community implications

There are no significant implications for the community associated with this proposal.

Statutory implications

Zone: Community Purpose Zone

Overlays: Potentially Dispersive Soils Code

Codes: Stormwater Management Code

Representations

The application is permitted and not subject to public exhibition.

Referrals

The application was referred to Council's Engineering, Plumbing and Environmental Health Departments. No comments are made or conditions required.

Date of Receipt of Application

16 August 2022.

Date by Which a Decision Must be Made

25 September 2022.

Report

Application is made for two awnings at the Midway Point Neighbourhood House. Both awnings are located to the eastern side of the building. One awning is 7.5m x



4.3m x 3m (high) with retractable shade walls. The second awning is 6.6m x 5.1m x 3.5m and is open.

The site is located at the end of Hoffman Street. The neighbourhood house occupies a fee simple title owned by Council and a closed section of the Hoffman Street road reservation. One of the awnings is located over the boundary of the road reservation, which may require adhesion for building approval purposes but does not affect the planning assessment.



Figure 1. Site.

Zone

The neighbourhood house is categorised as community meeting and entertainment which is a permitted use class in the zone.

The proposal complies with the acceptable solutions for the following use Standards:

- 17.3.1 Hours of Operation – no change and therefore not applicable;
- 17.3.2 Noise – noise levels will be less than 55 dBA;
- 17.3.3 External Lighting – no external lighting is proposed;
- 17.3.4 Commercial Vehicle Movements – nil commercial vehicles; and
- 17.3.5 Discretionary Use – not applicable.

The proposal complies with the acceptable solutions for the following development Standards:

- 17.4.1 Building Height A1 – height is less than 8.5m;
- 17.4.2 Setback A1 – frontage setback is more than 4.5m;

- 17.4.2 Setback A2 – setback to a residential zone is more than 3m;
- 17.4.2 Setback A3 – setback to the rural resource or significant agricultural zone are not relevant;
- 17.4.3 Design A1 – not applicable as there is no change to building façade
- 17.4.4 Passive Surveillance A1 – not applicable as there is no change to building façade, car parking or building entrances;
- 17.4.5 Landscaping A1 – not applicable;
- 17.4.6 Outdoor Storage Areas A1 – not applicable; and
- 17.4.6 Fencing A1 – not applicable.

The proposal does not rely on any performance criteria.

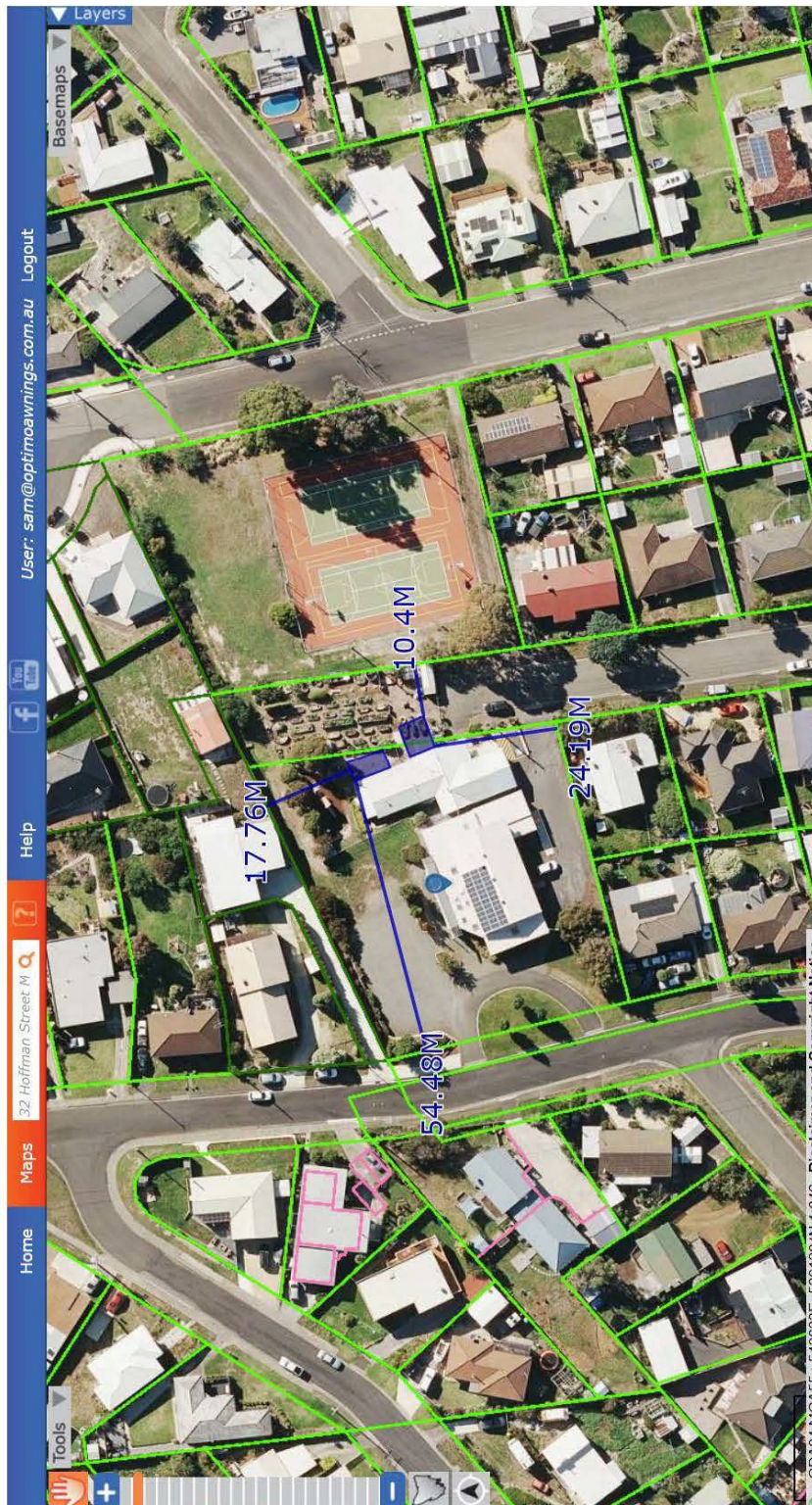
Conclusion

The development application demonstrates compliance with each applicable Standard of the Sorell Interim Planning Scheme 2015 and is accordingly recommended for approval subject to conditions.

Shane Wells

Senior Planner

Attachments: Proposal Plan



Sorell Council

Development Application: Development Application -
Two Awnings to Garden Area.pdf

Plans Reference: P1

Date Received: 16/08/2022



