



SORELL COUNCIL

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: 3 Grierson Drive, Forcett

PROPOSED DEVELOPMENT:

RESIDENTIAL - OUTBUILDING (GARAGE)

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **4:45pm Tuesday 9th March 2021**. Any person may make representation in relation to the proposal/s by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the General Manager. Representations must be received no later than **4:45pm Tuesday 9th March 2021**.

APPLICANT: P & J Sheds Pty Ltd

DATE: 18 February 2021

APPLICATION NO: DA 2021 / 25 - 1



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Disclaimer: This map is a representation of the information currently held by Sorell Council. While every effort has been made to ensure the accuracy of the product, Council accepts no responsibility for any errors or omissions. Any feedback on omissions or errors would be appreciated.

23-Feb-2021

50 m

INDEX OF DRAWINGS - BY DARRYN WHITE CC1623W

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ADDITIONAL DRAWINGS / ENGINEERING
BY NORTHERN CONSULTING ENGINEERS

JOB NO - 15402

SITE INFORMATION

CERTIFICATE OF TITLE: VOLUME - 151940 FOLIO - 7
LAND AREA: 1.130ha

EXISTING FLOOR AREA: 100M²
PROPOSED OUTBUILDING FLOOR AREA: 72M²

PLANNING SCHEME: SORELL INTERIM PLANNING SCHEME

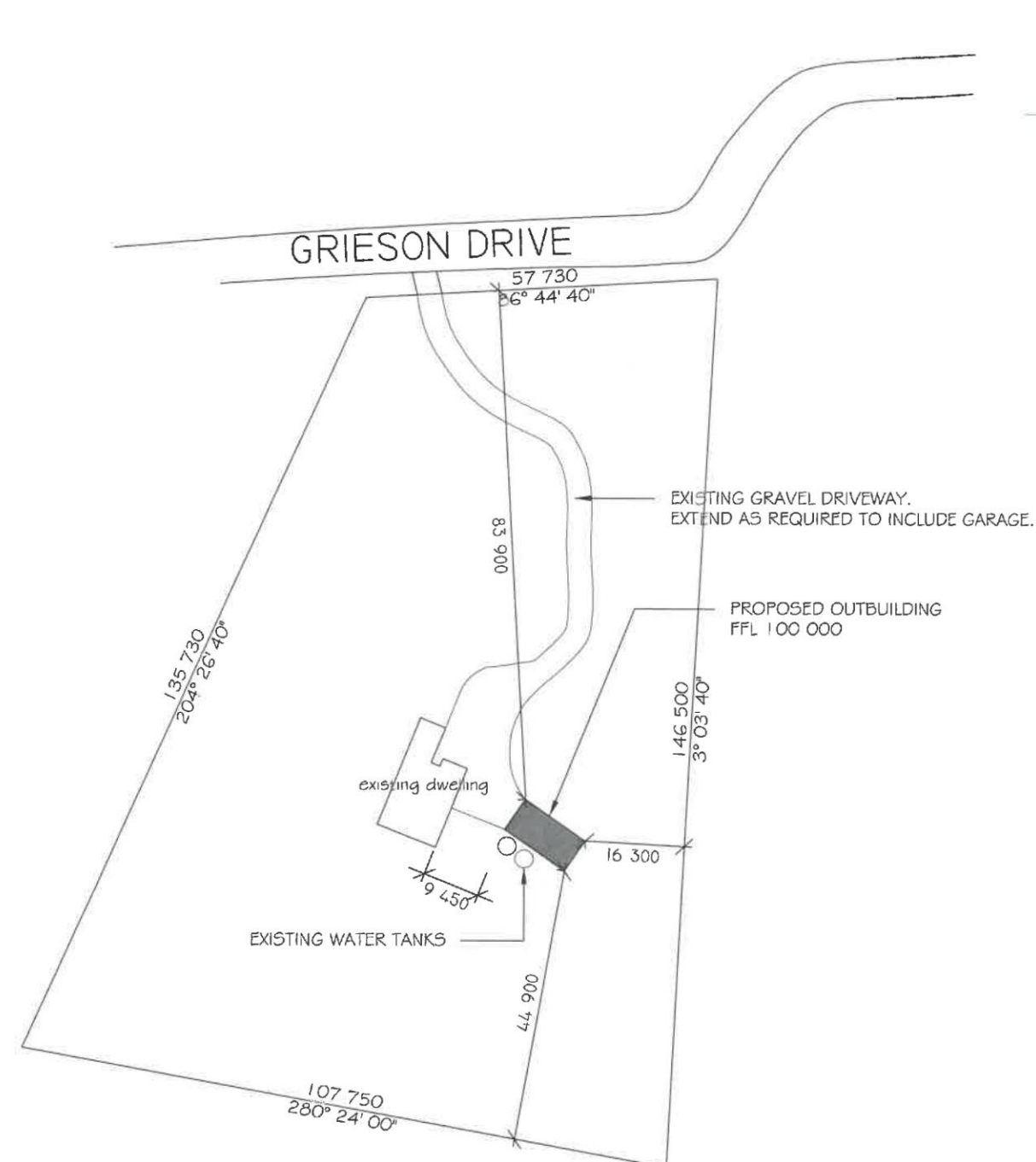
SOIL CLASSIFICATION: ASSUMED M
WIND REGION: A
TERRAIN CATEGORY: TC2
IMPORTANCE LEVEL: 2 (DOMESTIC)
SHIELDING: 1
TOPOGRAPHY: 1
BAL: NOT REQUIRED

INTENDED USE

THE PROPOSED OUTBUILDING IS FOR DOMESTIC USE ONLY.
GENERAL STORAGE & STORAGE OF PRIVATE VEHICLE.

SITE WORKS

SITE CUT AND FILL TO BE CONDUCTED IN PREPARATION FOR OUTBUILDING
CONSTRUCTION.
BASIC VEGETATION CLEARING TO BE CONDUCTED.
NO MATURE TREES TO BE REMOVED.



SITE PLAN 1:1000

PROPOSAL : NEW OUTBUILDING
OWNER : B HEXT & A LOWE
ADDRESS: 3 GRIESON DRIVE FORCETT
SCALE: 1:1000 (A3)
DATE: 11th FEBRUARY 2021
AMENDED:
DRAWN BY: DARRYN WHITE CC1623W
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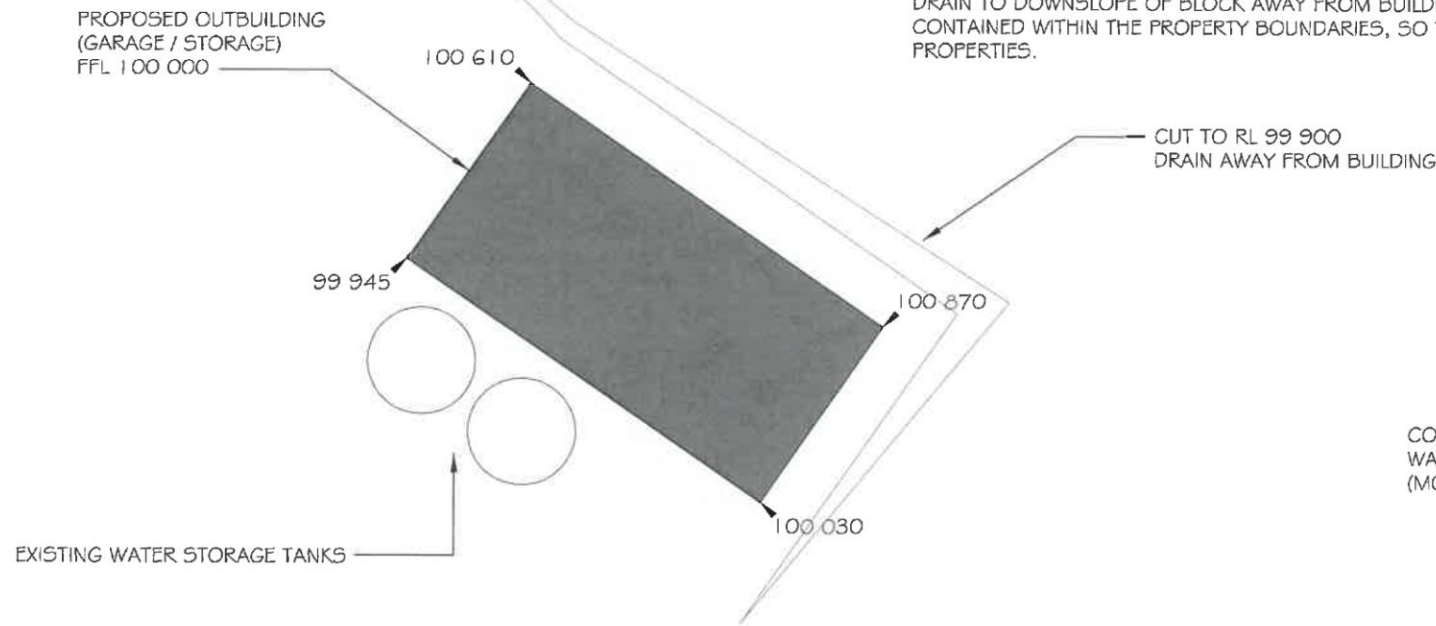




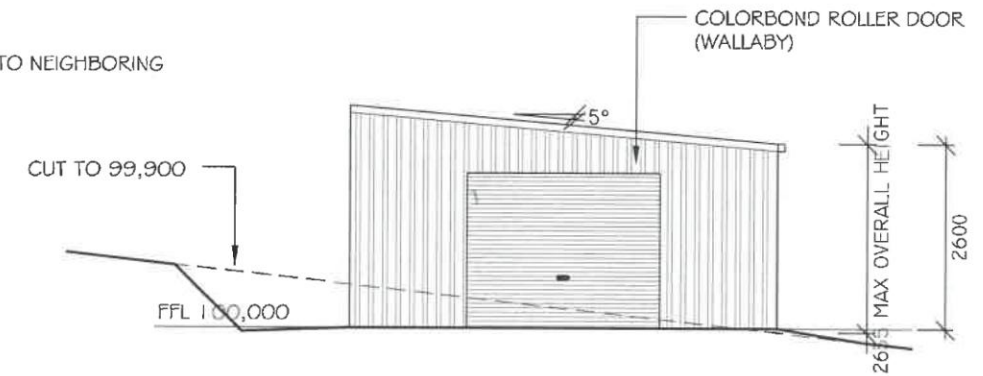
NOTE:
ALL STORMWATER FROM ROOF CATCHMENT TO DISCHARGE VIA DOWNPIPES TO RAINWATER TANK AS INDICATED ON THE SITE PLAN.

OVERFLOW FROM THE TANK TO DISCHARGE AWAY FROM BUILDINGS AND BE CONTAINED WITHIN THE PROPERTY BOUNDARIES, SO TO NOT CAUSE NUISANCE TO NEIGHBORING PROPERTIES.

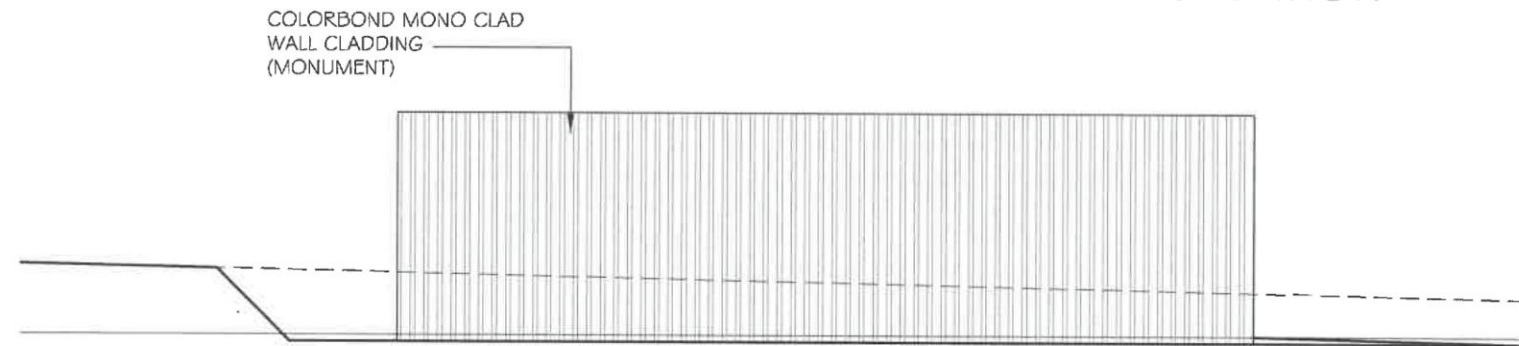
DRIVEWAY CONSTRUCTION TO BE COMPACTED GRAVEL.
SPOON DRAINS TO EDGE OF DRIVEWAY, AS REQUIRED.
DRAIN TO DOWNSLOPE OF BLOCK AWAY FROM BUILDINGS.
CONTAINED WITHIN THE PROPERTY BOUNDARIES, SO TO NOT CAUSE NUISANCE TO NEIGHBORING PROPERTIES.



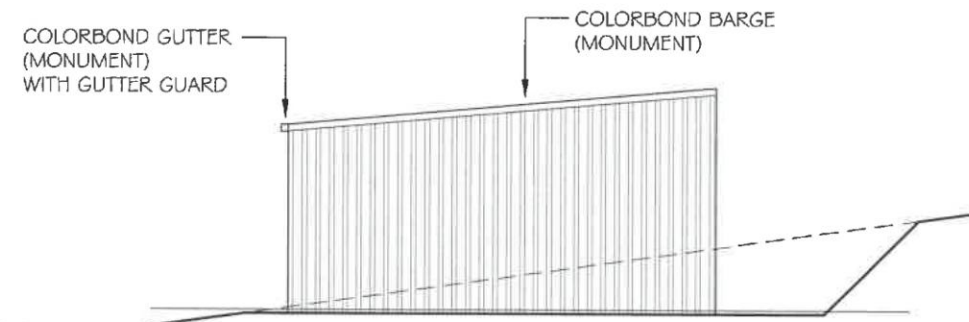
SITE PLAN 1:200



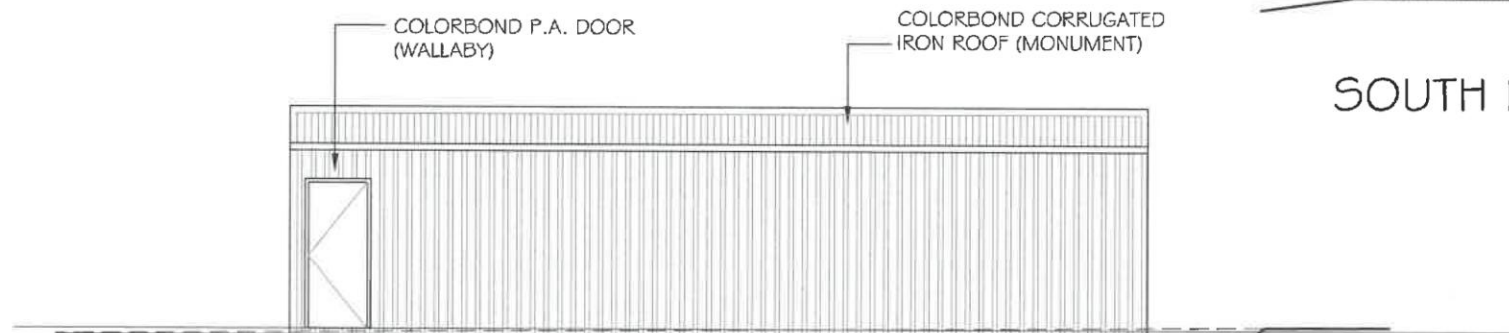
NORTH WEST ELEVATION



NORTH EAST ELEVATION



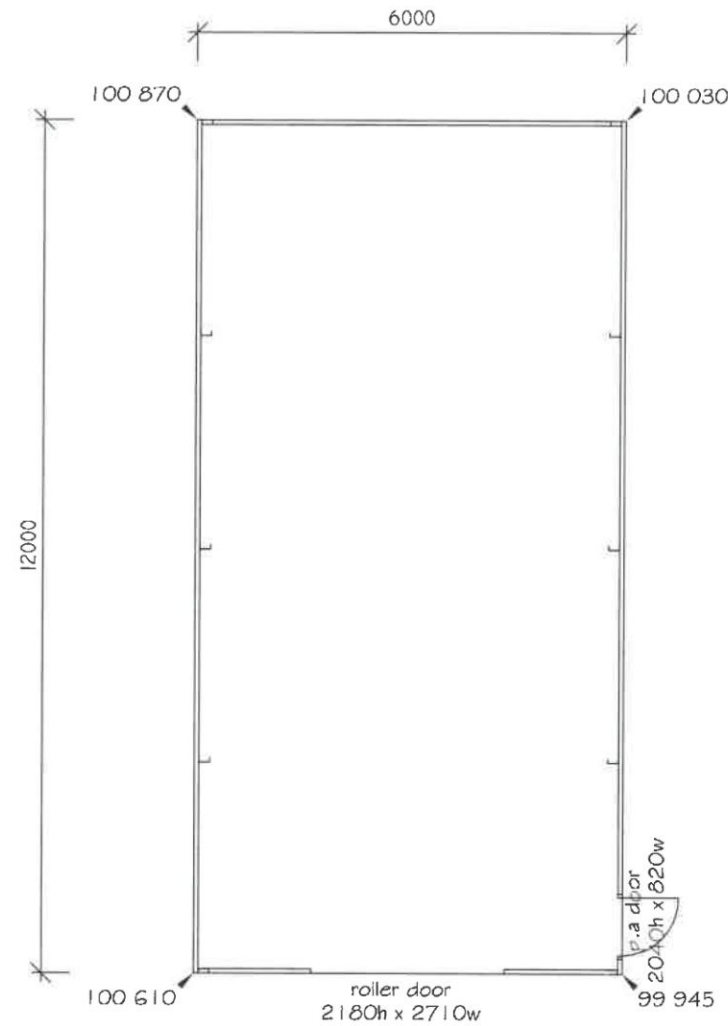
SOUTH EAST ELEVATION



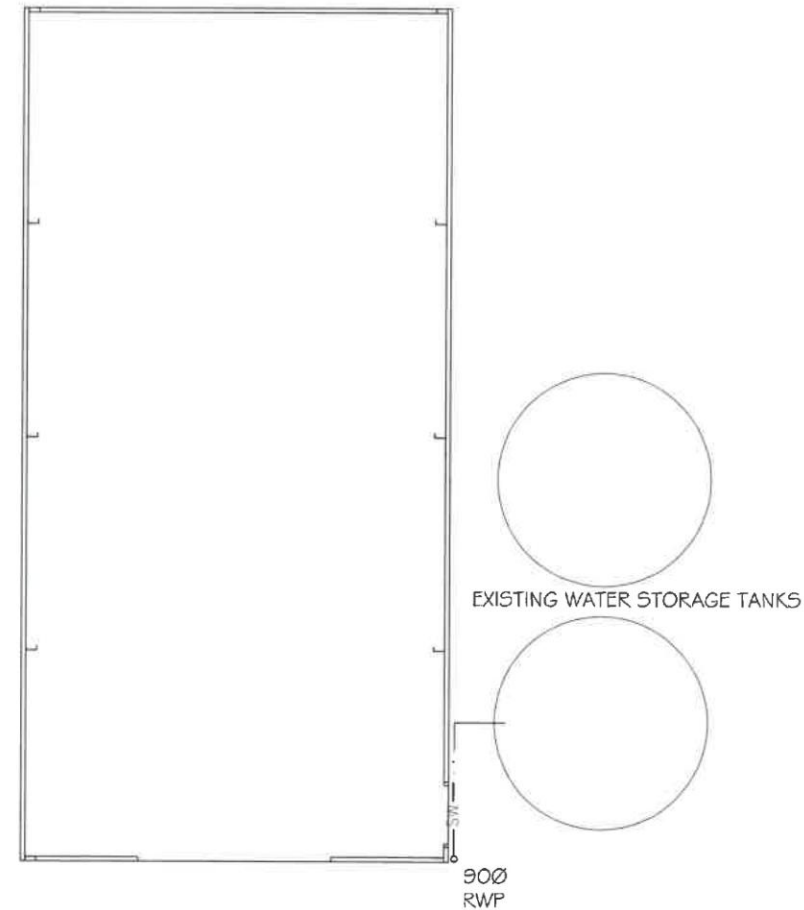
SOUTH WEST ELEVATION

PROPOSAL : NEW OUTBUILDING
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FLOOR PLAN 1:100



DRAINAGE PLAN 1:100

CONSTRUCTION GENERALLY:
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS, NATIONAL CONSTRUCTION CODE (NCC), RELEVANT AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS.

SITE PREPARATION, EXCAVATION AND EARTHWORKS TO COUNCIL REQUIREMENTS AND IN ACCORDANCE WITH PART 3.1.1 OF NCC.

CONCRETE FOOTINGS TO AS 2870.1 AND ENGINEER SPECIFICATIONS.
UNLESS OTHERWISE SPECIFIED, FOOTINGS 20MPA / SLAB 25MPA.

OUTBUILDING STRUCTURAL; DETAILS AND CERTIFICATION AS PER 'FAIR DINKUM SHEDS' DOCUMENTATION.

BUILDER TO VERIFY ALL DIMENSIONS AND DETAILS ON THIS SET OF PLANS PRIOR TO COMMENCEMENT OF WORK ON SITE.

USE WRITTEN DIMENSIONS IN PREFERENCE TO MEASURING OFF THE PLAN.

COUNCIL / CONTRACTOR TO CONTACT P&J SHEDS IF NECESSARY INFORMATION IS NOT PROVIDED ON THIS SET OF PLANS.

COLOURS (COLORBOND®):
 ROOF - MONUMENT
 EXT. WALLS - MONUMENT
 GUTTER - MONUMENT
 BARGE FLASHING - MONUMENT
 CORNER FLASH - MONUMENT
 OPENING FLASH - MONUMENT
 ROLLER DOOR - WALLABY
 P.A. DOOR - WALLABY

PLUMBING GENERALLY:
ALL PLUMBING TO BE IN ACCORDANCE WITH AS 3500.
TAS PLUMBING CODE AND LOCAL AUTHORITY REQUIREMENTS.

90dia PVC STORM WATER TO EXISTING WATER STORAGE TANK.
PLUMBER TO VERIFY CONNECTION LOCATION WITH OWNER.

FIRST INSPECTION OPENING TO BE RAISED TO FINISHED GROUND LEVEL.

REFER TO DRAWINGS BY NORTHERN CONSULTING FOR ALL MEMBER AND MATERIAL DETAILS AS WELL AS FOOTING DESIGN AND SPECIFICATIONS.

NOTE: MINIMUM FOUNDATION DEPTH SHOULD BE 100mm INTO NATURAL GROUND.
IF FILL IS TO BE USED UNDER SLAB COMPACT IN 150mm LAYERS TO A MAXIMUM DEPTH OF 900mm.

ALL EARTHWORKS & EXCAVATION
TO BE IN ACCORDANCE WITH
PART 3.1.1 OF CURRENT NCC.

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