



SORELL COUNCIL

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: 12 Horizon Drive, Sorell

PROPOSED DEVELOPMENT:

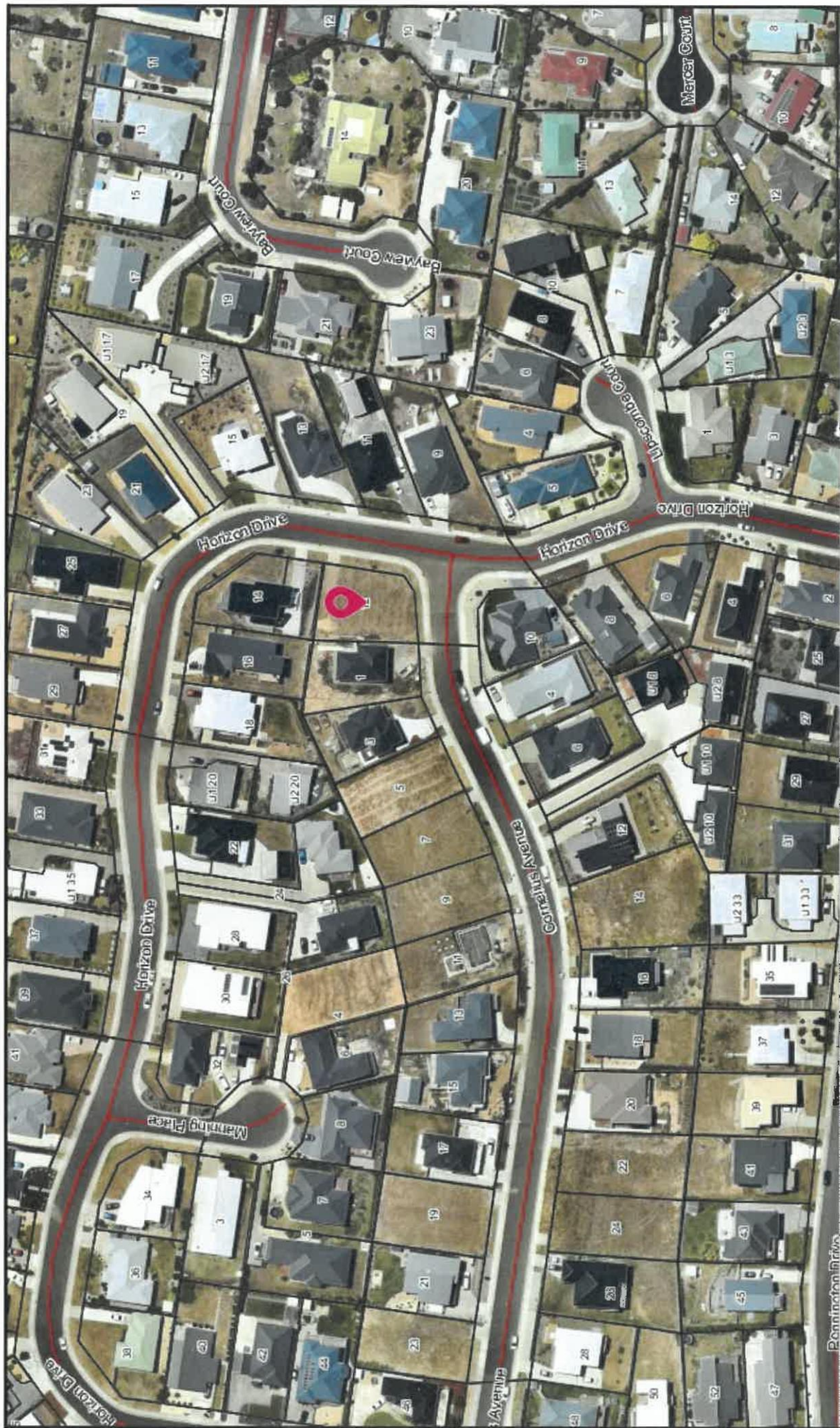
RESIDENTIAL - DWELLING

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **4:45pm Thursday 11th March 2021**. Any person may make representation in relation to the proposal/s by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the General Manager. Representations must be received no later than **4:45pm Thursday 11th March 2021**.

APPLICANT: Creative Homes Hobart

DATE: 23 February 2021

APPLICATION NO: DA 2020 / 475 - 1



23-Feb-2021

12 Horizon Drive, Sorell - The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at

www.sorell.tas.gov.au until 4:45pm Thursday 11th March 2021.

50 m

Disclaimer: This map is a representation of the information currently held by Sorell Council. While every effort has been made to ensure the accuracy of the product, Council accepts no responsibility for any errors or omissions. Any feedback on omissions or errors would be appreciated.



GENERAL NOTES:

1. THIS PLAN HAS BEEN PREPARED BY SURVEY PLUS FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.

2. TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED AT THE TIME OF THIS SURVEY.

3. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.

4. SURVEY PLUS CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.

5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF SURVEY PLUS.

6. HORIZONTAL DATUM IS MGA (Map Grid Australia).

7. VERTICAL DATUM IS AHD (Australian Height Datum).

8. CONTOUR INTERVAL IS 0.2 METRES, INDEX IS 1.0 METRES.

9. SURVEY BY ROBOTIC TOTAL STATION AND GPS.

10. BOUNDARIES ARE COMPILED ONLY FROM SP174114 AND RELEVANT SURVEY INFORMATION OBTAINED FROM LAND TITLES OFFICE AND ARE APPROXIMATE AND SUBJECT TO SURVEY.

11. ALL WINDOWS WERE NOT ABLE TO BE LOCATED DUE TO OBSTRUCTION OF LINE OF SIGHT FROM TOTAL STATION. WINDOW LOCATIONS ARE APPROXIMATE ONLY DUE TO BEING UNABLE TO BE PERPENDICULAR TO WINDOWS WHEN LOCATING WITH TOTAL STATION.

12. 3D DATA TURNED OFF IN LAYER CONTROL.

- 3D TIN
- MAJOR CONTOUR 3D
- MINOR CONTOUR 3D

W1 - 2.70W x #.### Top RL:48.62 First Floor Window
W2 - 2.63W x 2.02H Top RL:48.65 First Floor Window
W3 - 0.83W x 2.02H Top RL:48.65 First Floor Window
W4 - 0.83W x 2.02H Top RL:48.65 First Floor Window
W5 - 1.80W x 1.45H Top RL:48.65 First Floor Window
W6 - 1.41W x 1.01H Top RL:48.65 First Floor Window
W7 - 1.19W x 1.01H Top RL:48.65 First Floor Window
W10 - 1.55W x #.### Top RL:45.95 Ground Floor Window
W11 - 0.89W x #.### Top RL:45.95 Ground Floor Window
W12 - 0.92W x #.### Top RL:46.05 Ground Floor Window

W20 - #.###W x H Top RL:47.72 First Floor Window
W21 - #.###W x #.###H Top RL:47.75 First Floor Window
W22 - 2.42W x 1.82H Top RL:47.72 First Floor Window
W23 - 2.42W x 1.82H Top RL:47.72 First Floor Window
W30 - #.###W x #.###H Top RL:45.10 Ground Floor Window
W31 - 2.42W x #.###H Top RL:45.10 Ground Floor Window

#.### denotes: Unable to locate windows due to obstruction of line of sight from instrument.

GPS DATA SCALE LOCATION

JOB CONTROL POINT

POINT NO: #2

DESCRIPTION: R/S IN

FOOTPATH#

GPS SCALE FACTOR =

1.000379938

E: 546065.552

N: 5263796.653

RL: 37.539

EPU = 0.04±

LEGEND

FP = Water Tap
SV = Stop Valve

BM1# = BENCH MARK
R/Set in Footpath
RL:37.58

PROPOSED SITE PLAN

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CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.

DO NOT SCALE DRAWINGS.
ALWAYS USE WRITTEN DIMENSIONS.

REV:	DESCRIPTION:	INITIAL:	DATE:
C	WINDOW AND MASTER BEDROOM CHANGES	KH	03/12/20
D	ISSUED FOR CLIENT REVIEW	KH	15/12/20
E	ISSUED FOR APPROVAL	KH	18/01/21
F	COUNCIL REF	KH	10/02/21



**CREATIVE HOMES
HOBART**

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 12 Horizon Drive Sorell	CLIENT: Deborah McLean
DESIGNER: I. Brown	ACCRED. NO.: CC6652
DRAWN: K. Harrison	DATE: FEBRUARY 2021
CHECKED:	DATE:
SCALE: 1:200	REV: F
SHEET: 1 of 6	DESIGN TYPE: ONE195
DRAWING NO: 126665	

LOT SERVICES UNABLE TO BE LOCATED:

- NO ELECTRICITY LOT CONNECTION
- NO COMMUNICATIONS LOT CONNECTION
- NO SEWER LOT CONNECTION

NOTES
BUILDER AND SUBCONTRACTORS TO VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. GIVE 24 HOURS MINIMUM NOTICE WHERE AMENDMENTS ARE REQUIRED TO DESIGN OF WORKING DRAWINGS. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEERS AND SURVEYORS DRAWINGS AND NOTES. DO NOT SCALE DRAWINGS.
DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE. BUILDING SPECIFICATION AND ENGINEERS DRAWINGS SHALL OVERRIDE ARCHITECTURAL DRAWINGS.

IMPORTANT NOTICE FOR ATTENTION OF OWNER
THE OWNERS ATTENTION IS DRAWN TO THE FACT THAT FOUNDATIONS AND ASSOCIATED DRAINAGE IN ALL SITES REQUIRES CONTINUING MAINTENANCE TO ASSIST FOOTING PERFORMANCE. ADVICE FOR FOUNDATION MAINTENANCE IS CONTAINED IN THE CSIRO BUILDING TECHNOLOGY FILE 18 AND IT IS THE OWNERS RESPONSIBILITY TO MAINTAIN THE SITE IN ACCORDANCE WITH THIS DOCUMENT.

-THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS SHEETS, CONSULTANTS DRAWINGS, DOCUMENTS, SCHEDULES AND SPECIFICATIONS (AS APPLICABLE).
-THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING & UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.
-LOCATION OF ALL EXISTING ONSITE SERVICES TO BE CONFIRMED ONSITE PRIOR TO CONSTRUCTION

SOIL AND WATER MANAGEMENT NOTES:
SITE TO BE VEGETATED AND PLANTED ACCORDING TO THE HOBART REGIONAL SOIL AND WATER MANAGEMENT CODE OF PRACTICE.

SITE TO BE DISTURBED AS MINIMALLY AS POSSIBLE. (I.E. ONLY BUILDING, DRAINAGE AND IMMEDIATE ADJOINING AREAS).
INSTALL ALL DRAINAGE LINES PRIOR TO PLACEMENT OF ROOF AND GUTTERING.
CONNECT IMMEDIATELY ONCE DWELLING IS ROOFED.
APPLY TEMPORARY COVERING (E.G. WATERPROOF BLANKETS, VEGETATION OR MULCH) TO ALL DISTURBED AREAS WHERE CONSTRUCTION IS ONLY PARTIALLY COMPLETED, WHICH WILL REMAIN EXPOSED FOR A PERIOD OF 14 DAYS OR MORE.

PROTECT ANY NEARBY OR ON-SITE DRAINAGE PITS FROM SEDIMENT BY INSTALLING SEDIMENT TRAPS AROUND THEM.
LIMIT ENTRY/EXIT TO ONE POINT AND STABILISE. INSTALL FACILITIES TO REMOVE DIRT/ MUD FROM VEHICLE WHEELS BEFORE THEY LEAVE THE SITE.

NOTE
FINAL FFL'S AND DRIVEWAY GRADIENT TBC BY BUILDER AND TO COMPLY WITH BCA AND AUSTRALIAN STANDARDS

IMPORTANT!

SITE INFORMATION AS DRAWN IS APPROXIMATE ONLY. FINAL SITE INFORMATION IS SUBJECT TO A DETAILED CONTOUR SURVEY BY LICENSED SURVEYOR.

SOIL CLASSIFICATION:	M
WIND CLASSIFICATION:	N3

SITE COVERAGE

SITE AREA	608.0 m ²
PROPOSED BUILDING FOOTPRINT	152.3 m ²
PROPOSED SITE COVERAGE	25.05 %

PROPOSED STORMWATER LAYOUT TO ENGINEER'S DETAILS
NOTE: ALL PROPOSED STORMWATER TO BE DISCHARGED TO EXISTING INFRASTRUCTURE

•DP 90mm DOWNPIPE

EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IMPLEMENTED ON THE SITE IN ACCORDANCE WITH COUNCIL REQUIREMENTS

AREAS:

FLOOR AREA:	118.1 m ²
PORCH:	0.8 m ²
GARAGE:	24.4 m ²
ALFRESCO:	9.0 m ²
TOTAL AREA:	152.3 m ²

BAL. SELECTED BALUSTRADE TO BUILDER'S STANDARD DETAIL INSTALLED IN ACCORDANCE WITH NCC

DP 90mm DOWNPIPE

MASONRY ARTICULATION JOINT - LOCATION TO ENGINEER'S DETAILS

CEILING MOUNTED INTERCONNECTED SMOKE DETECTORS, MAINS WIRED WITH BATTERY BACKUP, ALL IN ACCORDANCE WITH AS 3786.

NOTE: LIFT OFF HINGES TO WC TO BE INSTALLED AS REQUIRED IN ACCORDANCE WITH NCC.

SELECTED ENSUITE TILES, FITTINGS & FIXTURES

SELECTED WARDROBE FITOUT

SELECTED TIMBER DECK - WITH STAIR AND BALUSTRADE TO ENGINEER'S DETAILS AND INSTALLED IN ACCORDANCE WITH NCC & AS

SELECTED LAUNDRY TUB, TILES, FITTINGS & FIXTURES

SELECTED WARDROBE DOORS AND INTERNAL JOINERY

SELECTED BATHROOM TILES, FITTINGS & FIXTURES

SELECTED KITCHEN JOINERY, SPLASHBACK, FITTINGS & FIXTURES

PROPOSED FLOOR PLAN RESIDENCE: 152.3m²

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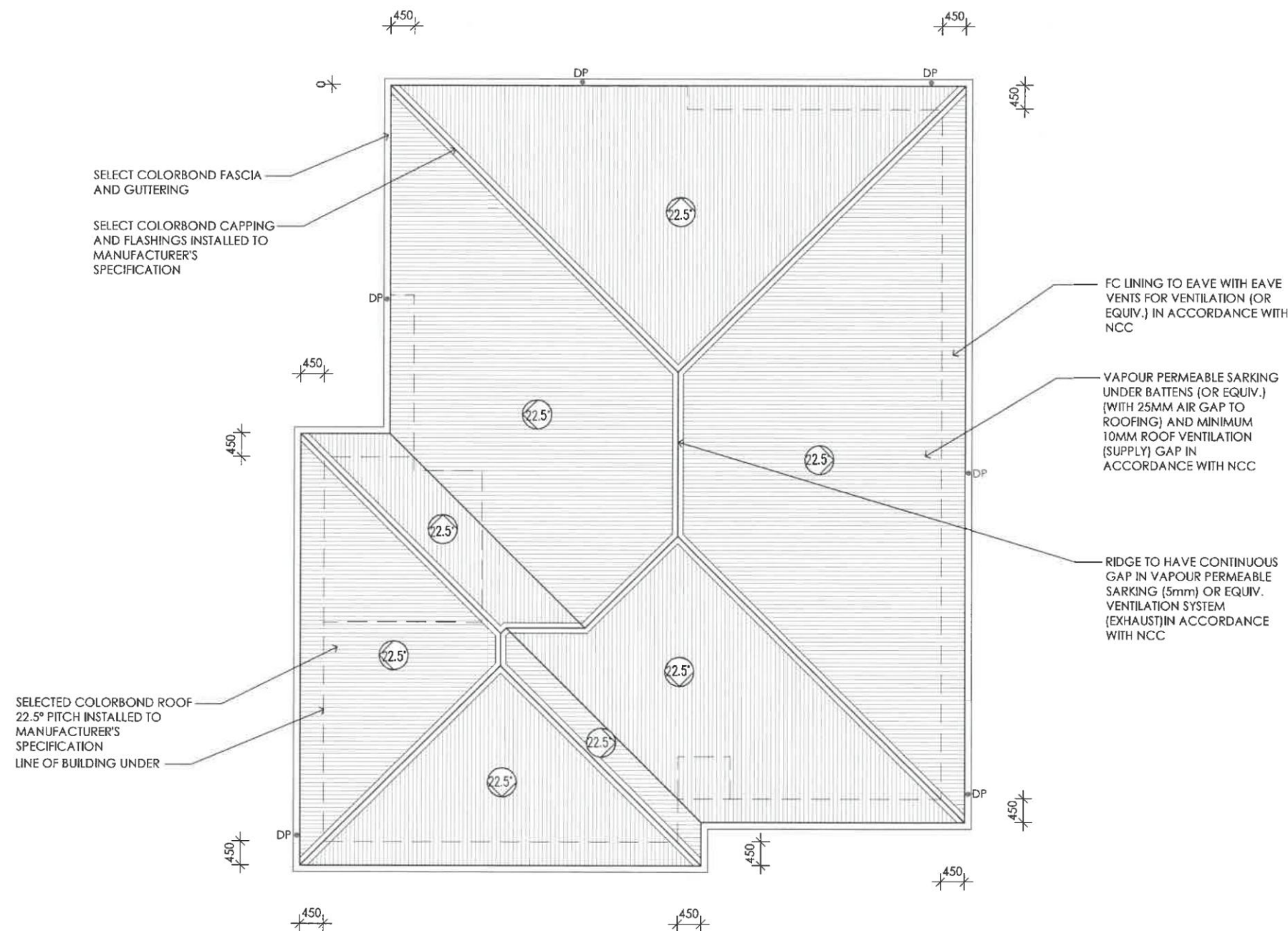


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CREATIVE HOMES HOBART
CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 12 Horizon Drive Sorell	CLIENT: Deborah McLean
DESIGNER: I. Brown	ACCRED. NO.: CC6652
DRAWN: K. Harrisson	DATE: FEBRUARY 2021
CHECKED:	DATE:
SCALE: 1:100	REV: F
SHEET: 2 of 6	DESIGN TYPE: ONE195
DRAWING NO: 126665	



PROPOSED ROOF PLAN

● DP 90mm DOWNPIPE

Framing part 3.4 NCC
All timber framing, fixing and bracing shall comply with AS 1684 and the requirements of NCC part 3.4.3 manufactured sizes must not be undersized to those specified, for all timber sizes, stress grades, spacing and wall bracing refer to Engineer's details. Tie-down details shall comply with the requirements of tables 3.4.3.8 and 3.4.3.9. Structural steel members shall comply with the requirements of clauses in part 3.4.4. Refer to Engineer's details where provided.

Glazing part 3.6 NCC All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings) all glazing shall comply with the requirements of AS 2047-AS 1288 and NCC clauses in part 3.6.

Human impact safety requirements shall comply with NCC clauses 3.6.4 pane within 500mm from finished floor level & glazed full height

Note:
Builder and subcontractors to verify all dimension and levels prior to the commencement of any work. Give 24hrs minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with Engineer's and Surveyor's drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and Engineer's drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

Important notice for attention of Owners:
the Owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the Owners responsibility to maintain the site in accordance with this document. Energy efficiency bulk insulation between external studs to be insulated with min R2.0. (Ensure batts fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface).

External walls are to be clad with perforated reflective foil over the outside of the timber frame. Ceiling to be insulated with R4.0 and reflective foil. Floor to be insulated with R2.0 batts. Seal exhaust fans to Ensuite, Bathroom, Laundry and Kitchen. Building to be sealed in accordance with NCC part 3.12.3
Construction of the external walls, floor and roof compliance of air leakage to comply with NCC part 3.12.3.5

General:
All flashings to be in accordance with part 3.3 of the NCC. Weep holes and damp proof coursing in accordance with 3.3.4.4 and 3.3.4.5 of the NCC. Fibre cement sheet in accordance with 3.5.3.4 of the NCC. Block construction in accordance with NCC requirements. Plasterboard to internal wall linings and ceilings with selected cornice. (see below for wet areas)

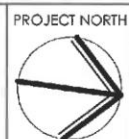
Health & amenity part 3.8 NCC: showers, baths and wall fixtures to all wet areas shall comply with the requirements of clauses 3.8.1.1, 3.8.1.2, 3.8.1.3, 3.8.1.4, 3.8.1.5 and 3.8.1.6. In all wet areas provide selected ceramic tiles to concrete floors or over 15mm cement sheeting where timber framed floors are proposed.

Provide waterproof plasterboard sheeting to all walls and ceilings. Provide ceramic tiles, lampanel or other approved water resistant lining to a minimum height of 1800mm to shower walls and to a height of min 150mm behind baths, basins, sinks, troughs, washing machines and wall fixtures, for the required extent of area to be protected refer to figures 3.8.1.1, 3.8.1.2 and 3.8.1.1.

For typical installation requirements of shower recesses, tap flanges, shower troughs, floors & waterproof membranes refer to figures 3.8.1.5, 3.8.1.6, 3.8.1.7, 3.8.1.8 and 3.8.1.9. For typical installation requirements & sealing of wall junctions with benchtops, laundry sinks & baths refer to figures 3.8.1.10 and 3.8.1.11. Materials shall comply with the requirements of clauses 3.8.1.3, 3.8.1.4 and 3.8.1.5. Refer to AS 3740-2010 for waterproofing of domestic wet areas, as well as appropriate wall & floor treatment when not using a prefabricated shower unit (eg. Min 1:100 fall to waste).

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JOB ADDRESS: 12 Horizon Drive Sorell	CLIENT: Deborah McLean
DESIGNER: I. Brown	ACCRED. NO.: CC6652
DRAWN: I. Brown	DATE: FEBRUARY 2021
CHECKED:	DATE:
SCALE: 1:100	REV: F
SHEET: 3 of 6	DESIGN TYPE: ONE195
DRAWING NO: 126665	

EASTERN ELEVATION

SELECTED COLORBOND ROOFING INSTALLED TO MANUFACTURER'S SPECIFICATIONS

COLORBOND FASCIA AND GUTTERING

ALUMINIUM FRAMED WINDOWS

NORTHERN ELEVATION

SELECTED COLORBOND ROOFING INSTALLED TO MANUFACTURER'S SPECIFICATIONS

COLORBOND FASCIA AND GUTTERING

SELECTED FACE BRICK

SELECTED ENTRY DOOR

SELECTED LIGHTWEIGHT CLADDING

ALUMINIUM FRAMED WINDOWS

EXTENT OF EXCAVATION BATTER MAX 1:1.5

OBSCURED SAFETY GLASS

Framing part 3.4 NCC
All timber framing, fixing and bracing shall comply with AS 1684 and the requirements of NCC part 3.4.3 manufactured sizes must not be undersized to those specified, for all timber sizes, stress grades, spacing and wall details shall comply with the requirements of tables 3.4.3.8 and 3.4.3.9. Structural steel of members shall comply with the requirements of clauses in part 3.4.4. Refer to Engineer's details where provided.

Glazing part 3.6 NCC All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings) all glazing shall comply with the requirements of AS 2047-AS 1288 and NCC clauses in part 3.6.

Human impact safety requirements shall comply with NCC clauses 3.6.4 pane within 500mm from finished floor level & glazed full height

Note:
Builder and subcontractors to verify all dimension and levels prior to the commencement of any work. Give 24hrs minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with Engineer's and Surveyor's drawings and notes. Do not scale drawings. Scale. Building specification and Engineer's drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

Important notice for attention of Owners: the Owners attention is drawn to the fact that foundations and associated drainage to assist footing performance. Advice for CSIRO building technology file 18 and it is the Owners responsibility to maintain the site in accordance with this document. Energy efficiency bulk insulation between external studs to be insulated with min R2.0. (Ensure studs fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface).

External walls are to be clad with perforated reflective foil over the outside of the timber frame. Ceiling to be insulated with R4.0 and batts. Seal exhaust fans to Ensuite, Bathroom, Laundry and Kitchen. Building to be sealed in accordance with NCC part 3.12.3
Construction of the external walls, floor and roof compliance of air leakage to comply with NCC part 3.12.3.5

General:
All flashings to be in accordance with part 3.3 of the NCC. Weep holes and damp proof coursing in accordance with 3.3.4.4 and 3.3.4.5 of the NCC. Fibre cement sheet in accordance with 3.5.3.4 of the NCC. Block construction in accordance with NCC requirements. Plasterboard to internal wall linings and ceilings with selected cornice. (see below for wet areas)

Health & amenity part 3.8 NCC: showers, baths and wall fixtures to all wet areas shall comply with the requirements of clauses 3.8.1.1, 3.8.1.2, 3.8.1.3, 3.8.1.4, 3.8.1.5 and 3.8.1.6. In all wet areas provide selected 15mm cement tiles to concrete floors or over framed floors are proposed.

Provide waterproof plasterboard sheeting to all walls and ceilings. Provide ceramic tiles, lamipanel or other approved water resistant shower walls and to a height of 1800mm to behind baths, basins, sinks, troughs, washing machines and wall fixtures. For the required extent of area to be protected refer to figures 3.8.1.1, 3.8.1.2 and 3.8.1.1.

For typical installation requirements of shower recesses, lap flanges, shower troughs, floors & waterproof membranes refer to figures 3.8.1.5, 3.8.1.6, 3.8.1.7, 3.8.1.8 and 3.8.1.9. For typical installation requirements & sealing of wall junctions with figures 3.8.1.10 and 3.8.1.11. Materials shall comply with the requirements of clauses 3.8.1.3, 3.8.1.4 and 3.8.1.5. Refer to AS 3740-2010 for waterproofing of domestic floor treatment when not using a prefabricated shower unit (eg. Min 1:100 fall to waste).

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PROJECT NORTH

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CREATIVE HOMES HOBART
CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS:
12 Horizon Drive
Sorell

DESIGNER: I. Brown

DRAWN: I. Brown

CHECKED:

SCALE: 1:100

ACCRED. NO.: CC6652

DATE: FEBRUARY 2021

DATE:

REV:

CLIENT:
Deborah McLean

SHEET:

DESIGN TYPE: 4 of 6

DRAWING NO: ONE195

of NCC part 3.6. All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings) all glazing shall comply with the requirements of AS 2047-AS 1288 and NCC clauses in part 3.6.

Human impact safety requirements shall comply with NCC clauses 3.6.4 and 3.6.5 within 500mm from finished floor level & glazed full height.

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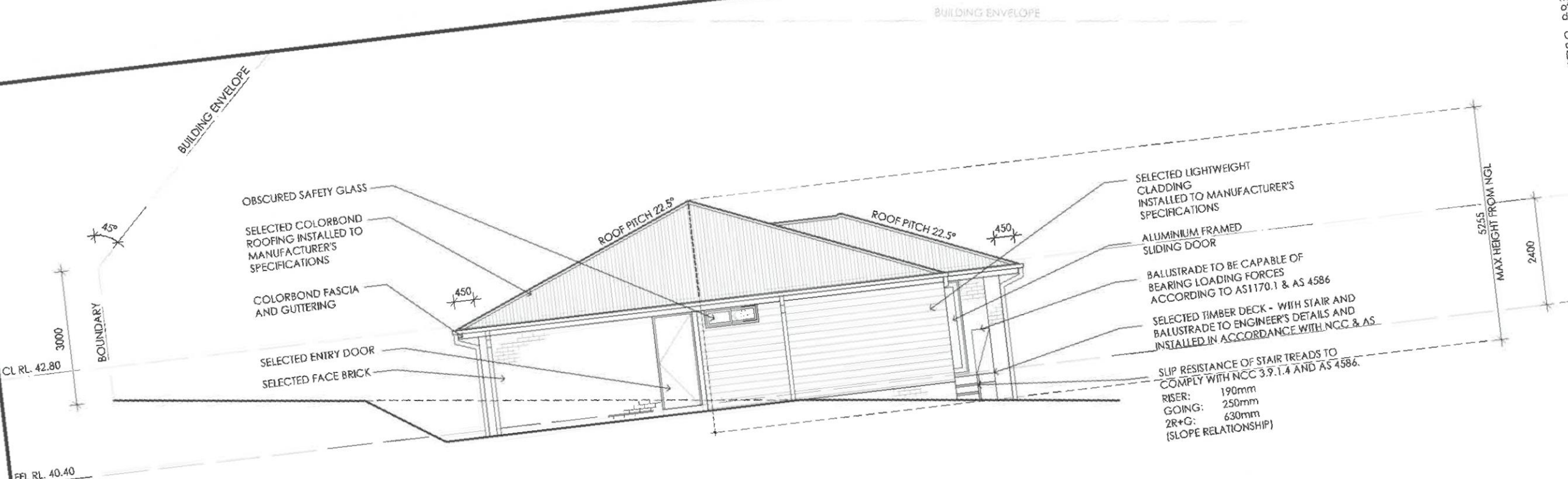
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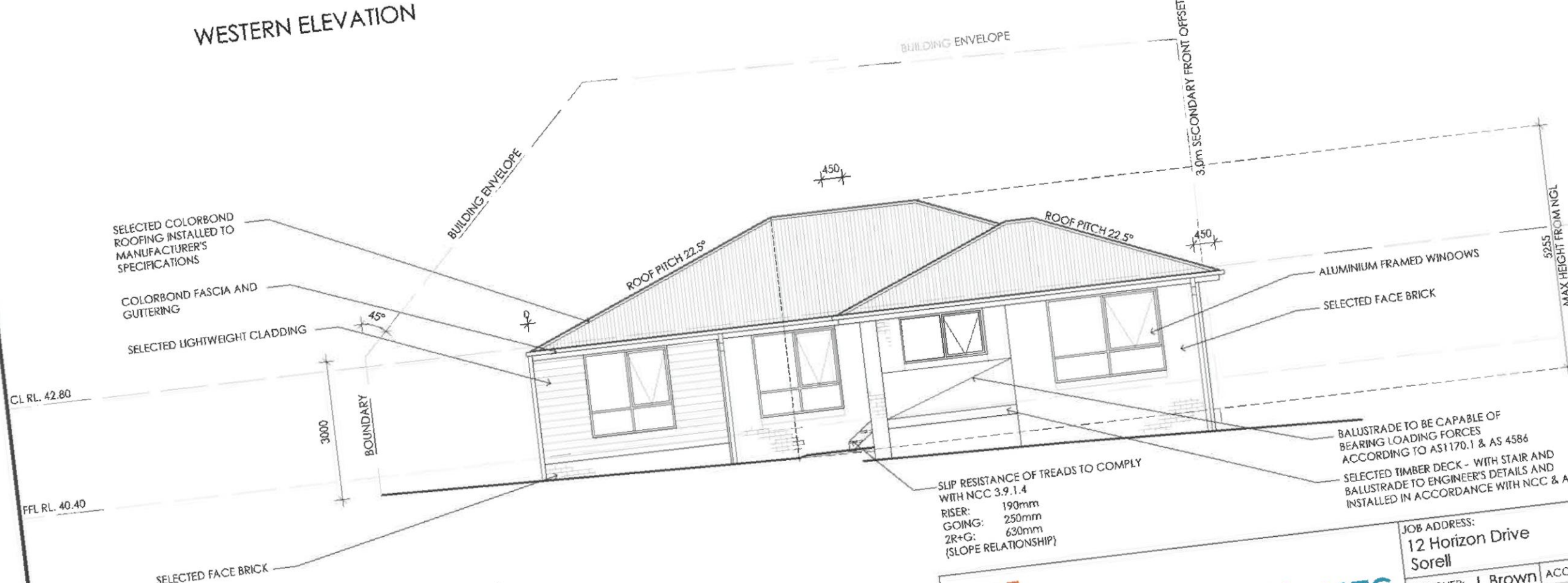
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Provide waterproof plasterboard sheeting to all walls and ceilings. Provide ceramic tiles, lampanel or other approved water resistant lining to a minimum height of 1800mm to shower walls and to a height of min 1500mm behind baths, basins, sinks, troughs, washing machines and wall fixtures, for the required extent of area to be protected refer to figures 3.8.1.1, 3.8.1.2 and 3.8.1.1.

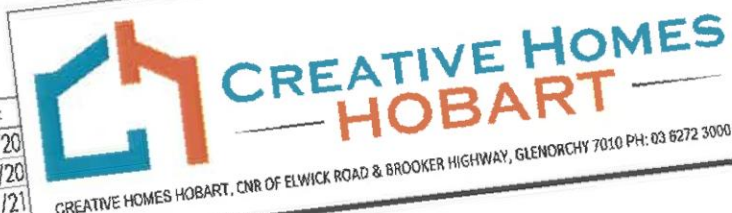
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WESTERN ELEVATION



SOUTHERN ELEVATION

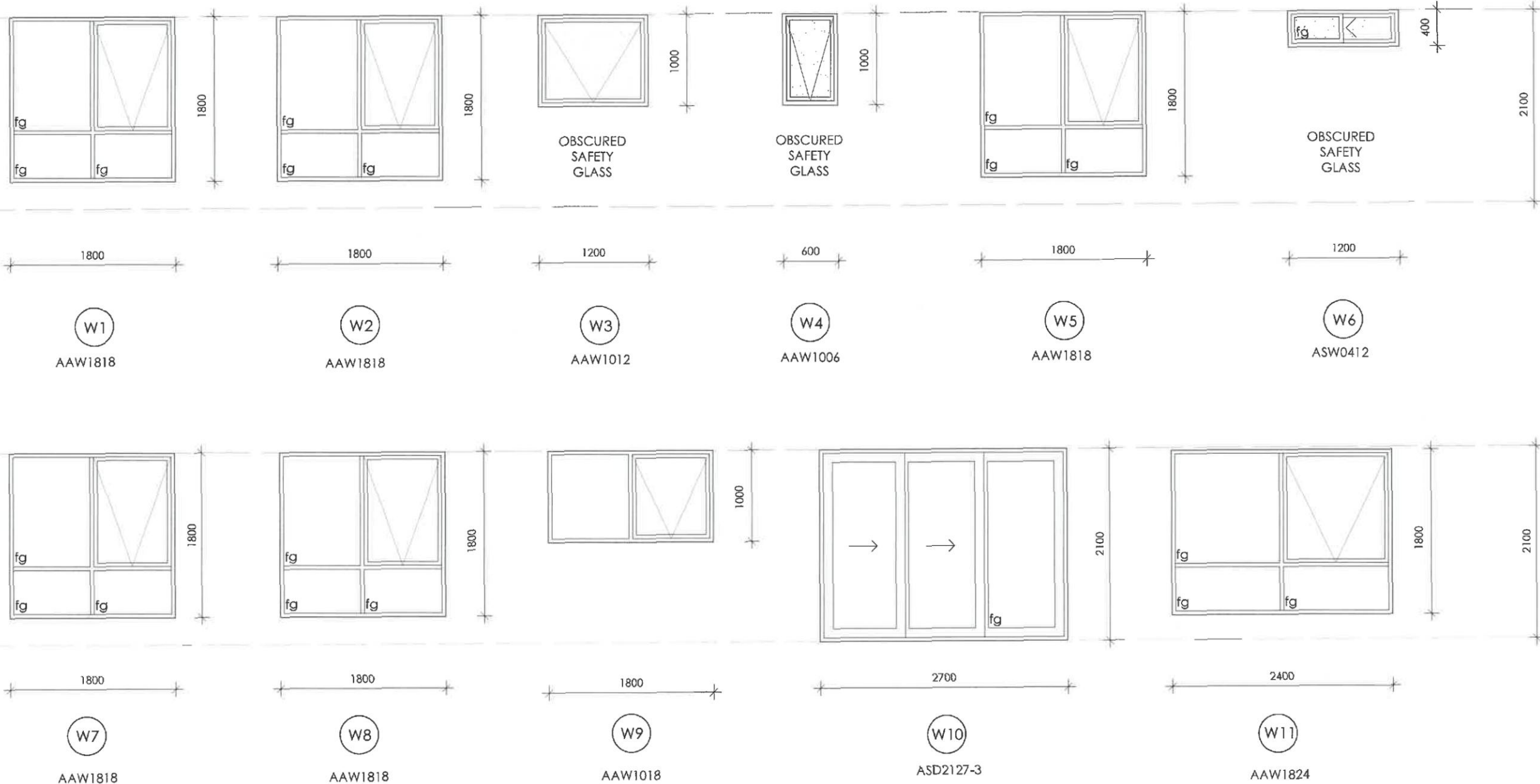


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KH	10/02/21

JOB ADDRESS: 12 Horizon Drive Sorell		ACCRED. NO.: CC6652	CLIENT: Deborah McLean
DESIGNER: I. Brown	DATE: FEBRUARY 2021	SHEET: 5 of 6	ONE195
DRAWN: I. Brown	DATE:	DESIGN TYPE:	
CHECKED:	REV: F	DRAWING NO:	126665
SCALE: 1:100			



Framing part 3.4 NCC
All timber framing, fixing and bracing shall comply with AS 1684 and the requirements of NCC part 3.4.3 manufactured sizes must not be undersized to those specified, for all timber sizes, stress grades, spacing and wall bracing refer to Engineer's details. Tie-down details shall comply with the requirements of tables 3.4.3.8 and 3.4.3.9. Structural steel members shall comply with the requirements of clauses in part 3.4.4. Refer to Engineer's details where provided.

Glazing part 3.6 NCC All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings) all glazing shall comply with the requirements of AS 2047-AS 1288 and NCC clauses in part 3.6.

Human impact safety requirements shall comply with NCC clauses 3.6.4 pane within 500mm from finished floor level & glazed full height

Note:
Builder and subcontractors to verify all dimension and levels prior to the commencement of any work. Give 24hrs minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with Engineer's and Surveyor's drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and Engineer's drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

Important notice for attention of Owners:
The Owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the Owners responsibility to maintain the site in accordance with this document. Energy efficiency bulk insulation between external studs to be insulated with min R2.0. (Ensure batts fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface).

External walls are to be clad with perforated reflective foil over the outside of the timber frame. Ceiling to be insulated with R4.0 and reflective foil. Floor to be insulated with R2.0 batts. Seal exhaust fans to Ensuite, Bathroom, Laundry and Kitchen. Building to be sealed in accordance with NCC part 3.12.3
Construction of the external walls, floor and roof compliance of air leakage to comply with NCC part 3.12.3.5

General:
All flashings to be in accordance with part 3.3 of the NCC. Weep holes and damp proof coursing in accordance with 3.3.4.4 and 3.3.4.5 of the NCC. Fibre cement sheet in accordance with 3.3.4 of the NCC. Block construction in accordance with NCC requirements. Plasterboard to internal wall linings and ceilings with selected cornice. (see below for wet areas)

Health & amenity part 3.8 NCC: showers, baths and wall fixtures to all wet areas shall comply with the requirements of clauses 3.8.1.1, 3.8.1.2, 3.8.1.3, 3.8.1.4, 3.8.1.5 and 3.8.1.6. In all wet areas provide selected ceramic tiles to concrete floors or over 15mm cement sheeting where timber framed floors are proposed.

Provide waterproof plasterboard sheeting to all walls and ceilings. Provide ceramic tiles, lamipanel or other approved water resistant lining to a minimum height of 1800mm to shower walls and to a height of min 150mm behind baths, basins, sinks, troughs, washing machines and wall fixtures, for the required extent of area to be protected refer to figures 3.8.1.1, 3.8.1.2 and 3.8.1.1.

For typical installation requirements of shower recesses, tap flanges, shower troughs, floors & waterproof membranes refer to figures 3.8.1.5, 3.8.1.6, 3.8.1.7, 3.8.1.8 and 3.8.1.9. For typical installation requirements & sealing of wall junctions with benchtops, laundry sinks & baths refer to figures 3.8.1.10 and 3.8.1.11. Materials shall comply with the requirements of clauses 3.8.1.3, 3.8.1.4 and 3.8.1.5. Refer to AS 3740-2010 for waterproofing of domestic wet areas, as well as appropriate wall & floor treatment when not using a prefabricated shower unit (eg. Min 1:100 fall to waste).

fg FIXED GLAZING

WINDOW SCHEDULE

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PROJECT NORTH	CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.	DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.	REV:	DESCRIPTION:	INITIAL:	DATE:
			C	WINDOW AND MASTER BEDROOM CHANGES	KH	03/12/20
			D	ISSUED FOR CLIENT REVIEW	KH	15/12/20
			E	ISSUED FOR APPROVAL	KH	18/01/21
			F	COUNCIL RFI	KH	10/02/21

 **CREATIVE HOMES**
HOBART

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

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