



SORELL COUNCIL

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: 35 Whitelea Court, Sorell

PROPOSED DEVELOPMENT:

RESIDENTIAL - DWELLING

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **4:45pm Monday 1st March 2021**. Any person may make representation in relation to the proposal/s by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the General Manager. Representations must be received no later than **4:45pm Monday 1st March 2021**.

APPLICANT: Wilson Homes

DATE: 11 February 2021

APPLICATION NO: DA 2020 / 474 - 1



35 Whitelea Court Sorell -The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until 4:45pm Monday 1st March 2021

Disclaimer: This map is a representation of the information currently held by Sorell Council. While every effort has been made to ensure the accuracy of the product, Council accepts no responsibility for any errors or omissions. Any feedback on omissions or errors would be appreciated.

11-Feb-2021

10 m

ZONE: 10.0 GENERAL RESIDENTIAL
325m DISTANCE FROM CALM MARINE

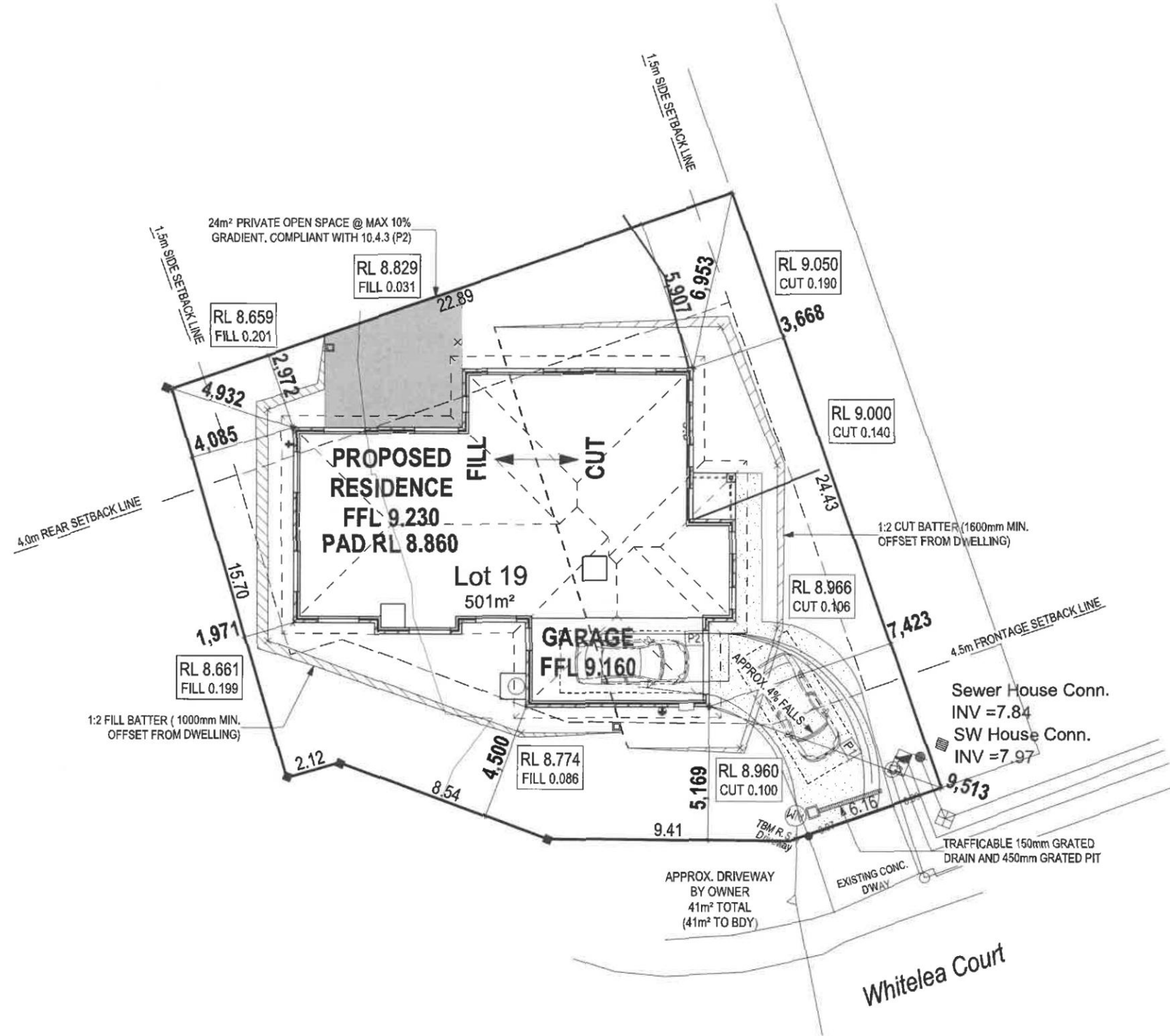
REFER TO SHEET 1 (COVER SHEET) FOR ALL
BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

WIND CLASSIFICATION	N2
WITHIN 1 KM. OF BREAKING SALT WATER	NO
WITHIN 100 M. OF SALT WATER	NO
MINIMUM AHD FLOOR LEVEL APPLICABLE	NO
SURVEY AREA	NEW
LATITUDE	0° 00' 00" S
LONGITUDE	0° 00' 00" E

APPROX. IMPORT/EXPORT FILL	
CUT VOLUME	11.99m³
FILL VOLUME	13.11m³
DIFFERENCE	1.12m³

EVEN CUT & FILL	
LOT SIZE:	501m²
HOUSE:	170.64m²
SITE COVERAGE:	34%

BAL-LOW BUSHFIRE REQUIREMENTS
NO SPECIAL CONSTRUCTION REQUIREMENTS



THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE
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SIGNATURE:

DATE:

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DRAWING	DRAWN
2 CT SITING	DDI 2020.10.21
3 PLAN PRESENTATION - INITIAL ISSUE	DDI 2020.11.25
4 PRELIM PLAN SET - DRAINAGE UPDATE	RLW 2020.12.03
5 PRELIM PLANS - PCV01 UPDATE	MSP 2020.12.14
6 PRELIM PLANS - PLANNING RFI	MSP 2021.01.07

CLIENT:	MR JUSTIN & MRS KASEY ATKINSON
ADDRESS:	WHITELEA COURT, SORELL TAS 7172
LOT / SECTION / CT:	19 / - / 179047
COUNCIL:	SOORELL COUNCIL

HOUSE DESIGN:	AMALFI TWO
FACADE DESIGN:	CLASSIC
SHEET TITLE:	SITE PLAN
SHEET No.:	2 / 15

HOUSE CODE:	H-WDNAMF20SA
FACADE CODE:	F-WDNAMF10CLASA
SCALES:	1:200

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712698

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CDP CHARGED DOWNPIPE DIRECTED TO TANK
SDP STANDARD DOWNPIPE DIRECTED TO STORMWATER DISCHARGE

REFER 'BRICK COURSING AND WINDOW FLASHING DETAIL' FOR BRICK COURSING & WINDOW FLASHING DETAILS

ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

REFER TO WINDOW & DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS

FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



TOTAL FLOOR AREAS

GARAGE	24.28
LIVING	143.43
PORCH	2.93
TOTAL	170.64 m²

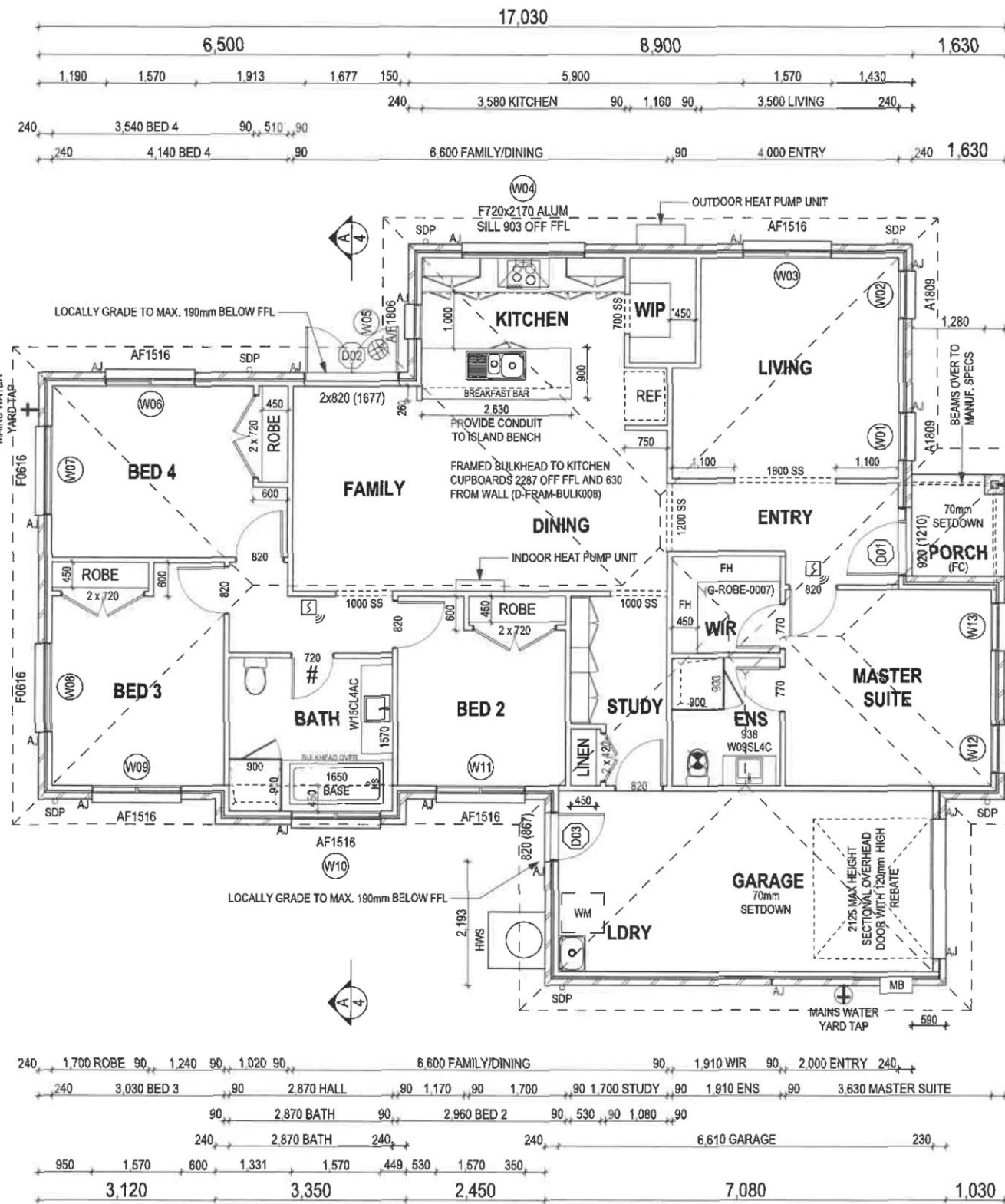
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NO SPECIAL CONSTRUCTION REQUIREMENTS



W03 COMPLIANT WITH PART 10.4.4 (A1)
SUNLIGHT AND OVERSHADOWING

FLOOR PLAN LEGEND

- HS / WS HOB SPOUT / WALL SPOUT
FACE BRICK / COMMON BRICK
BAG & PAINT / RENDER
SOUND INSULATION
AJ BRICK ARTICULATION JOINT
3D DENOTES DRAWER SIDE
MECHANICAL VENTILATION SWITCHED TO LIGHT
L.B.W. LOAD BEARING WALL
THIS DOOR OPENS FIRST
SMOKE ALARM
LIFT OFF HINGE
+ WATER POINT
WP FRIDGE WATER POINT
GAS GAS BAYONET



ALL DIMENSIONS ARE FRAME DIMENSIONS

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SHAMPOO RECESS SIZE	STRUCTURAL DIMENSIONS
	WIDTH HEIGHT
"SMALL"	470 x 380mm 548mm 446mm
"MEDIUM"	800 x 380mm 878mm 446mm
"LARGE"	1500 x 380mm 1578mm 446mm

REFER WILSON HOMES' DETAIL G-WETA-TILE01 FOR FURTHER DETAIL PRIOR TO INSTALLATION.

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SHEET TITLE:	GROUND FLOOR PLAN

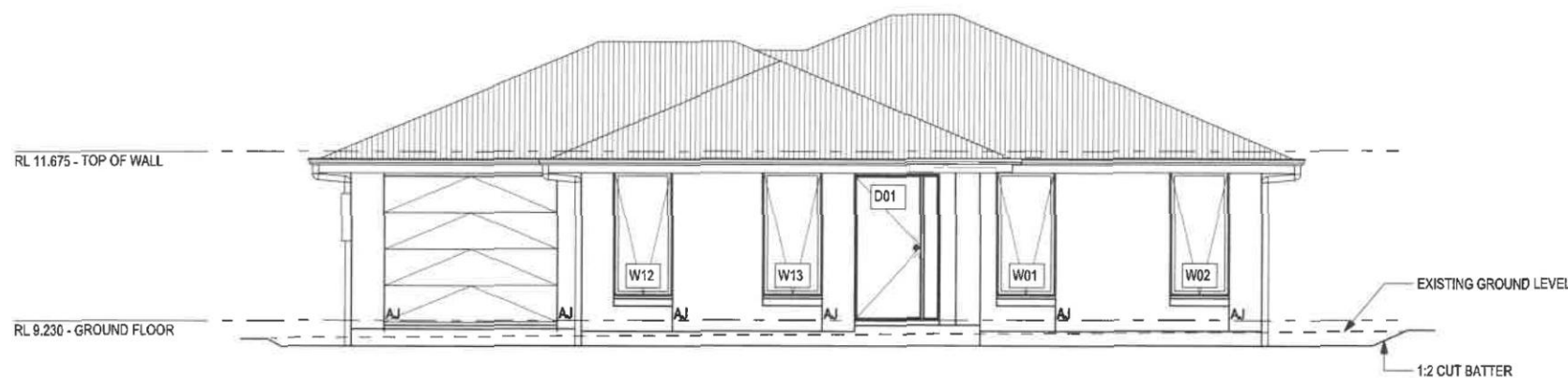
HOUSE CODE:	H-WDNAMF20SA
FACADE CODE:	F-WDNAMF10CLASA
SHEET No.:	3 / 15
SCALES:	1:100

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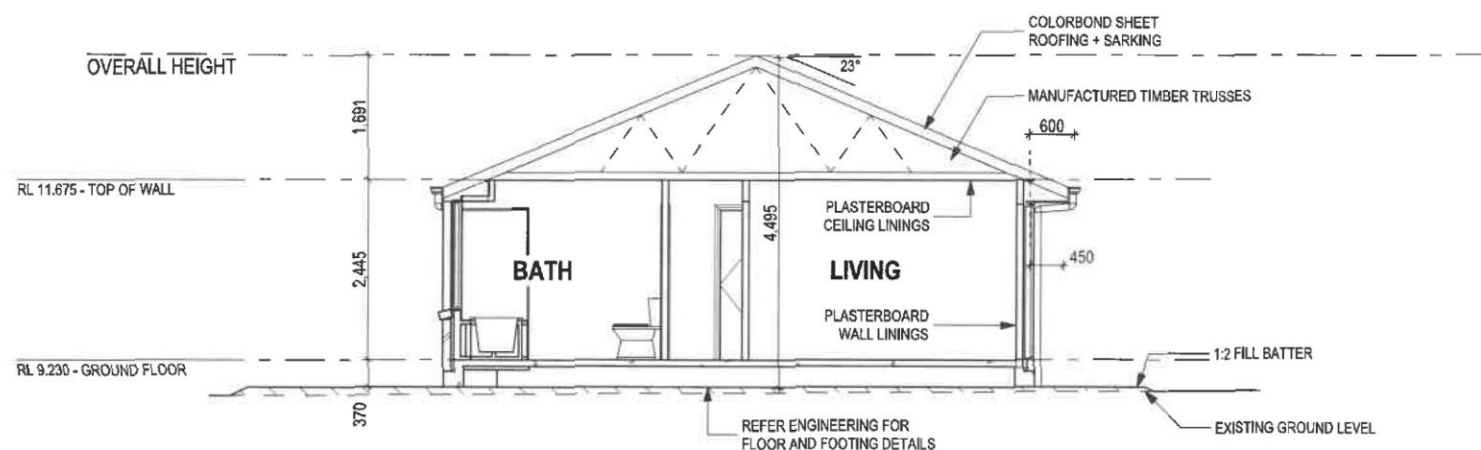
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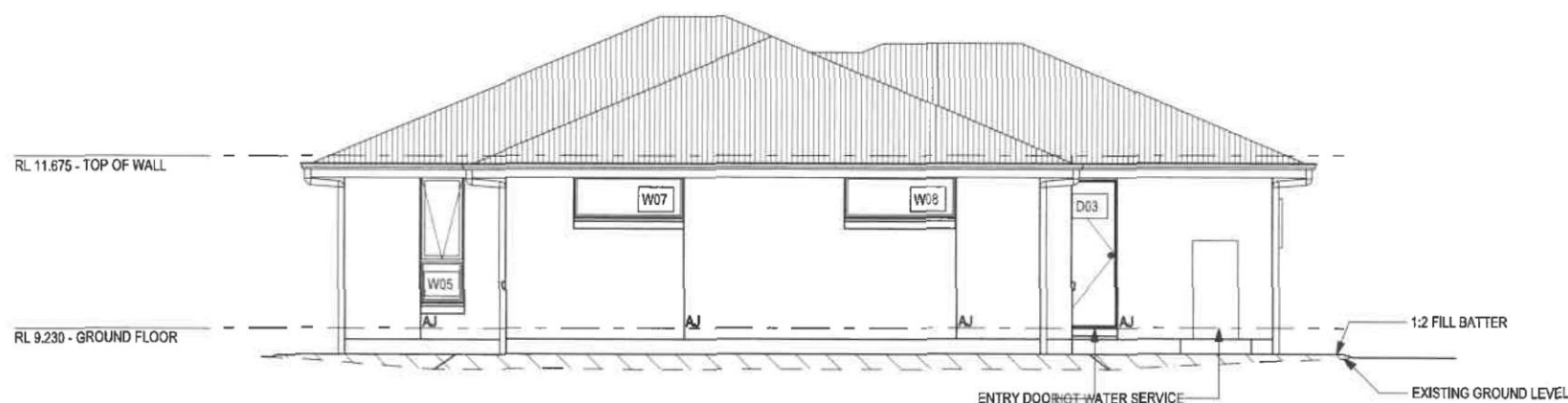
SH = SNAP HEADER SILL



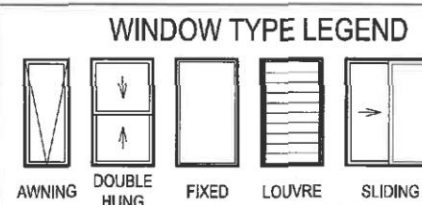
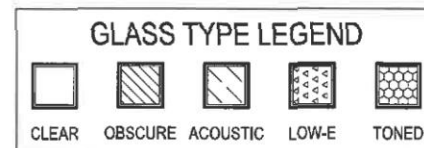
EAST ELEVATION
Scale: 1:100



SECTION A-A
Scale: 1:100



WEST ELEVATION
Scale: 1:100



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SHEET TITLE:	ELEVATIONS / SECTION

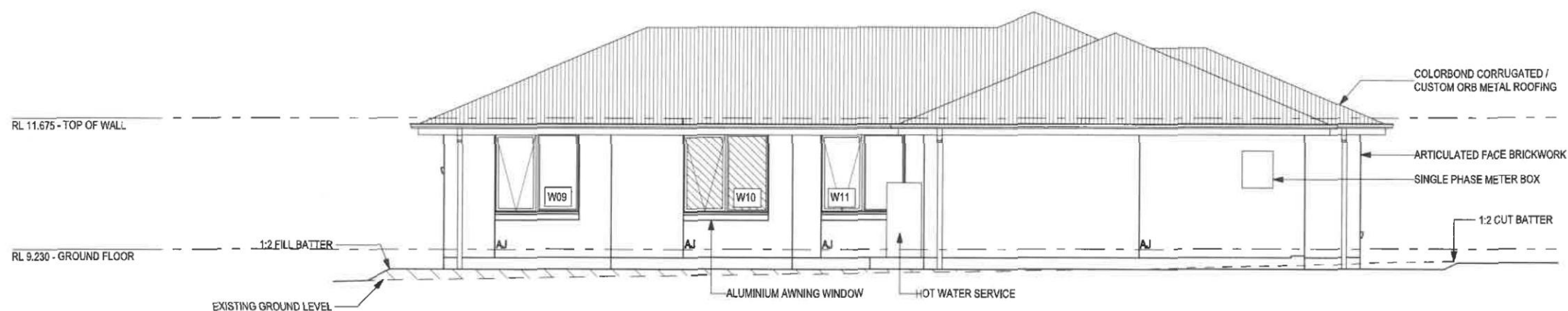
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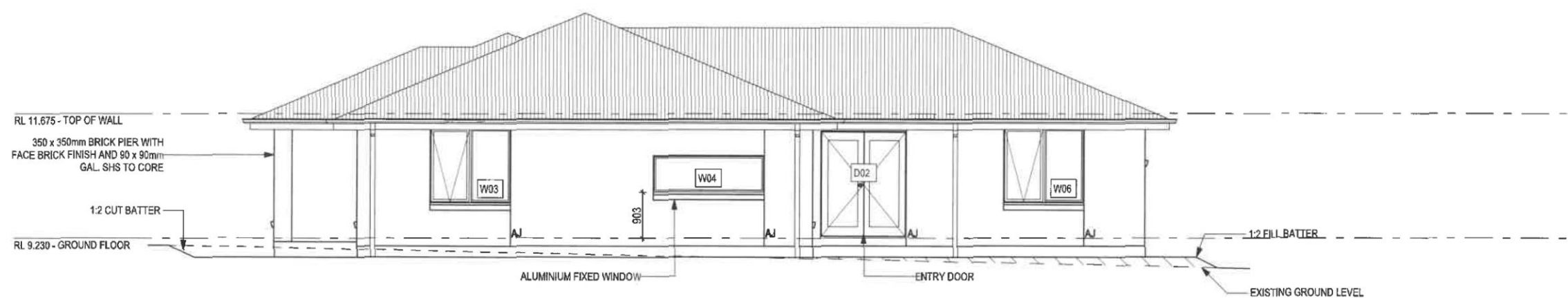
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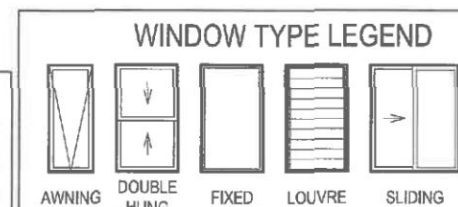
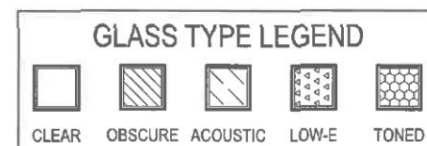
SH = SNAP HEADER SILL



SOUTH ELEVATION
Scale: 1:100



NORTH ELEVATION
Scale: 1:100



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WINDOW SCHEDULE

0.3 ASSUME LOOKING FROM OUTSIDE

^{1,2} ASSUME LOOKING FROM INSIDE

ID	CODE*	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m²)	FRAME TYPE	SILL TYPE	ORIENT.	GLAZING AREA (m²)	GLAZING TYPE	ADDITIONAL INFORMATION¹
W01	A1809	LIVING	1,800	850	5,300	1.53	ALUMINIUM	ANGLED	NE	1.21	CLEAR, DOUBLE GLAZED	
W02	A1809	LIVING	1,800	850	5,300	1.53	ALUMINIUM	ANGLED	NE	1.21	CLEAR, DOUBLE GLAZED	
W03	AF1516	LIVING	1,460	1,570	6,060	2.29	ALUMINIUM	ANGLED	NW	1.87	CLEAR, DOUBLE GLAZED	MP 785
W04	F720x2170	KITCHEN	720	2,170	5,780	1.56	ALUMINIUM	ANGLED	NW	1.36	CLEAR, DOUBLE GLAZED, TOUGHENED	
W05	AF1806	KITCHEN	1,800	610	4,820	1.10	ALUMINIUM	ANGLED	SW	0.80	CLEAR, DOUBLE GLAZED	BP 600
W06	AF1516	BED 4	1,460	1,570	6,060	2.29	ALUMINIUM	ANGLED	NW	1.87	CLEAR, DOUBLE GLAZED	MP 785
W07	F0616	BED 4	600	1,570	4,340	0.94	ALUMINIUM	ANGLED	SW	0.79	CLEAR, DOUBLE GLAZED	
W08	F0616	BED 3	600	1,570	4,340	0.94	ALUMINIUM	ANGLED	SW	0.79	CLEAR, DOUBLE GLAZED	
W09	AF1516	BED 3	1,460	1,570	6,060	2.29	ALUMINIUM	ANGLED	SE	1.87	CLEAR, DOUBLE GLAZED	MP 785
W10	AF1516	BATH	1,460	1,570	6,060	2.29	ALUMINIUM	ANGLED	SE	1.87	OBSCURE, DOUBLE GLAZED, TOUGHENED	MP 785
W11	AF1516	BED 2	1,460	1,570	6,060	2.29	ALUMINIUM	ANGLED	SE	1.87	CLEAR, DOUBLE GLAZED	MP 785
W12	A1809	MASTER SUITE	1,800	850	5,300	1.53	ALUMINIUM	ANGLED	NE	1.21	CLEAR, DOUBLE GLAZED	
W13	A1809	MASTER SUITE	1,800	850	5,300	1.53	ALUMINIUM	ANGLED	NE	1.21	CLEAR, DOUBLE GLAZED	
						22.11						

EXTERIOR DOOR SCHEDULE

0.1 ASSUME LOOKING FROM OUTSIDE

ID	CODE*	ROOM	HEIGHT	WIDTH	AREA (m²)	FRAME TYPE	SILL TYPE	ORIENT.	GLAZING TYPE	DOOR TYPE	ADDITIONAL INFORMATION¹
D01	920	ENTRY	2,106	1,210	2.55	ALUMINIUM	SNAP HEADER	NE	DOOR(S): N/A - SIDELIGHT(S): CLEAR	SWINGING	
D02	2x820	—	2,106	1,677	3.53	ALUMINIUM	SNAP HEADER	SE	DOOR(S): CLEAR, DOUBLE GLAZED, TOUGHENED - SIDELIGHT(S): N/A	SWINGING	
D03	820	GARAGE	2,106	867	1.83	ALUMINIUM	SNAP HEADER	SW	DOOR(S): N/A - SIDELIGHT(S): N/A	SWINGING	
					7.91 m²						

INTERIOR DOOR SCHEDULE

QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING	ADDITIONAL INFORMATION
2	1000 SS	SQUARE SET OPENING	2,155	1,000	N/A	
1	1200 SS	SQUARE SET OPENING	2,155	1,200	N/A	
1	1800 SS	SQUARE SET OPENING	2,155	1,800	N/A	
1	2 x 420	SWINGING	2,040	840	N/A	
3	2 x 720	SWINGING	2,040	1,440	N/A	
1	700 SS	SQUARE SET OPENING	2,155	700	N/A	
1	720	SWINGING	2,040	720	N/A	LIFT-OFF HINGES
2	770	SWINGING	2,040	770	N/A	
5	820	SWINGING	2,040	820	N/A	

PICTURE / TV RECESS & SQUARE SET WINDOW SCHEDULE

QTY	TYPE	HEIGHT	WIDTH	AREA (m ²)
-----	------	--------	-------	------------------------

NOTE:
Windows supplied **MUST HAVE** Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Restricted windows to have their openability restricted as per N.C.C 3.9.2.5.

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HOUSE DESIGN: AMALFI TWO		HOUSE CODE: H-WDNAMF20SA
FACADE DESIGN: CLASSIC		FACADE CODE: F-WDNAMF10CLASA
SHEET TITLE: WINDOW & DOOR SCHEDULES	SHEET No.: 6 / 15	SCALES:

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NATURAL LIGHT AND VENTILATION

ROOM	AREA	WINDOW ID	LIGHT REQUIRED	LIGHT ACHIEVED	VENTILATION REQ'D	VENTILATION ACH'D
OPEN KITCHEN/ LIVING/ DINING	34.39 m²	D02, W04, W05	3.44 m²	5.69 m²	1.72 m²	4.19 m²
MASTER SUITE	15.87 m²	W12, W13	1.59 m²	2.42 m²	0.79 m²	2.42 m²
BED 2	9.71 m²	W11	0.97 m²	1.87 m²	0.49 m²	0.92 m²
BED 3	11.76 m²	W08, W09	1.18 m²	2.56 m²	0.59 m²	1.28 m²
BED 4	12.34 m²	W02	1.23 m²	2.56 m²	0.62 m²	1.28 m²
LIVING	14.63 m²	W01, W02, W03	1.46 m²	4.29 m²	0.73 m²	3.25 m²

PART 3.8.4 LIGHT: Minimum 10% of the floor area of a habitable room required (natural light)

PART 3.8.5 VENTILATION: Minimum 5% of the floor area of a habitable room required. (An exhaust fan may be used for sanitary compartment, laundry or bathroom provided contaminated air discharges directly to the outside of the building by way of ducts).

INSULATION SCHEDULE

AREA	
ROOF	SARKING
CEILING	R4.1 BULK INSULATION (OR EQUIVALENT) EXCLUDING GARAGE
WALLS (EXT)	BRICK VENEER R2.0 BATTS +1 LAYER SISALATION. SISALATION ONLY TO GARAGE WALL WRAP TO ENTIRE HOUSE
FLOORS	
WALLS (INTERNAL)	R2.0 BULK INSULATION (OR EQUIVALENT) TO INTERNAL WALLS ADJACENT TO GARAGE

CLEARANCE IS REQUIRED FOR UNCOMPRESSED INSTALLATION OF BULK INSULATION & TIMBERS SHOULD BE SIZED ACCORDINGLY
210mm FOR R4.1 BULK INSULATION
210mm FOR R5.0 BULK INSULATION
260mm FOR R6.0 BULK INSULATION
THESE DIMENSIONS ARE NOMINAL AND MAY VARY DEPENDING ON THE TYPE OF INSULATION TO BE INSTALLED

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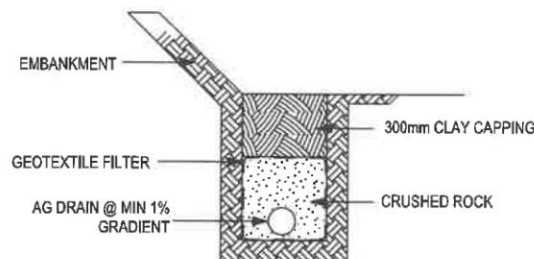
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WHERE AG DRAIN IS <1.5m FROM FOOTING, THE FOLLOWING ENGINEERING PRINCIPLES ARE REQUIRED:

1. AG DRAIN TO BE CAPPED WITH 300mm OF CLAY TO PREVENT INGRESS OF SURFACE RUN-OFF UNLESS IT IS UNDER A PAVING SLAB ETC (AG DRAINS ARE DESIGNED FOR REMOVAL OF GROUND WATER, SURFACE WATER SHOULD BE DEALT WITH SEPARATELY).
2. AG DRAIN TO HAVE A MINIMUM 1% TO A GRATED PIT WHICH DRAINS TO THE STORMWATER SYSTEM.
3. INSTALL A GEOTEXTILE FILTER SOCK TO THE SLOTTED DRAIN, AND ENCLOSE THE WHOLE DRAIN IN GEOFABRIC (TO THE UNDERSIDE OF CLAY CAPPING)
4. PROVIDE ADDITIONAL GRATED PITS/ OR INSPECTION OPENINGS ALONG THE LENGTH OF THE AG DRAIN AND AT THE HIGH POINT TO MAKE THE EFFECT OF A BLOCKAGE VISIBLE AND ENABLE A BLOCKAGE TO BE CLEARED.

AG DRAIN DETAIL N.T.S.

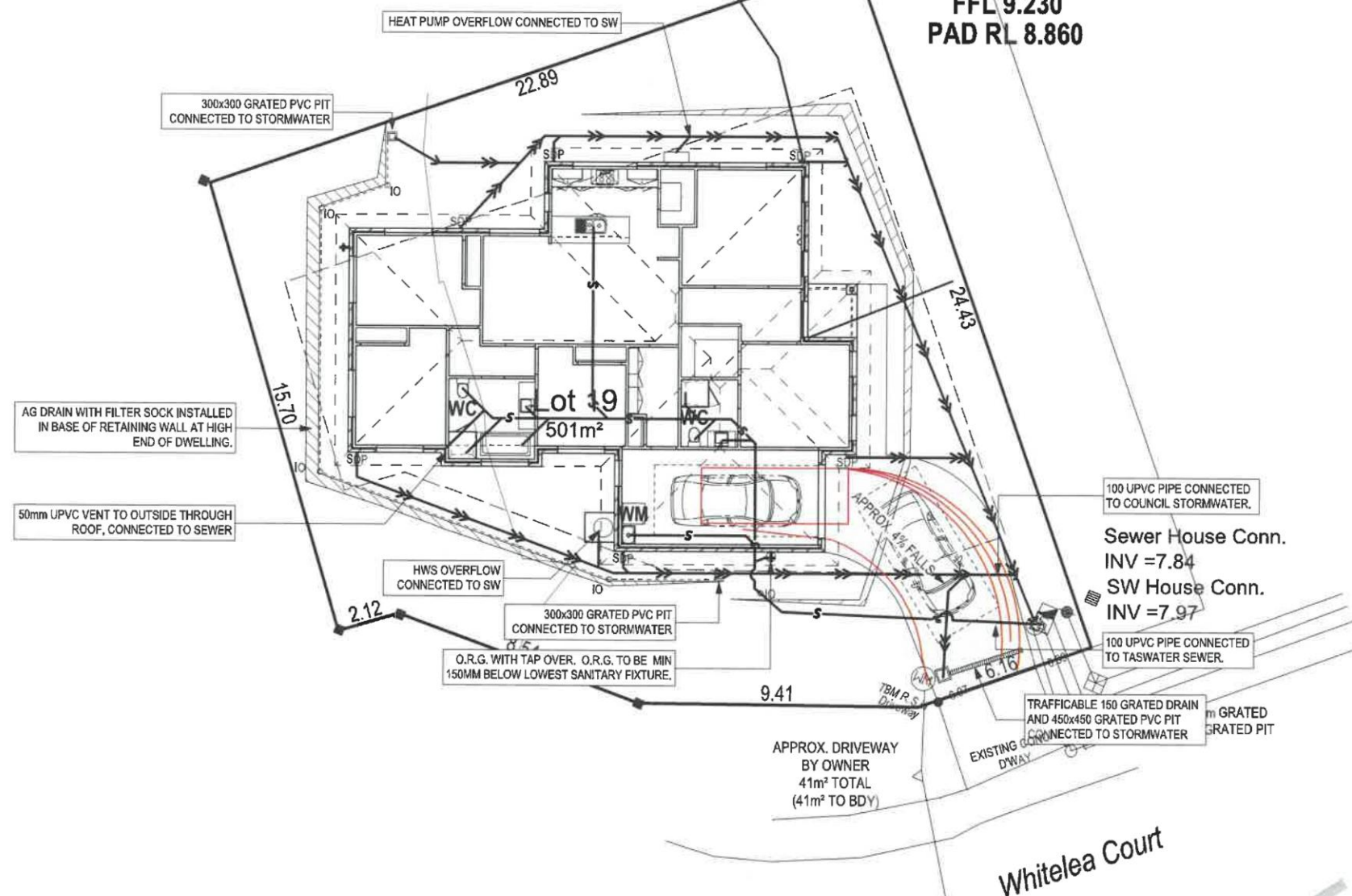
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

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CDP CHARGED DOWNPIPE DIRECTED TO TANK
SDP STANDARD DOWNPIPE DIRECTED TO STORMWATER DISCHARGE

DRAINAGE LEGEND

- IO INSPECTION OPENING
- SURFACE PIT
- STORMWATER LINE
100 UPVC FALL @ 1:60
- S — SEWERAGE LINE 100 UPVC
FALL @ 1:60
- AG DRAIN
- ⊕ MAINS YARD TAP + ORG
- † MAINS YARD TAP



PROPOSED
RESIDENCE
FFL 9.230
PAD RL 8.860



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WILSON
HOMES

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2 CT SITING	DDI 2020.10.21
3 PLAN PRESENTATION - INITIAL ISSUE	DDI 2020.11.25
4 PRELIM PLAN SET - DRAINAGE UPDATE	RLW 2020.12.03
5 PRELIM PLANS - PCV01 UPDATE	MSP 2020.12.14
6 PRELIM PLANS - PLANNING RFI	MSP 2021.01.07

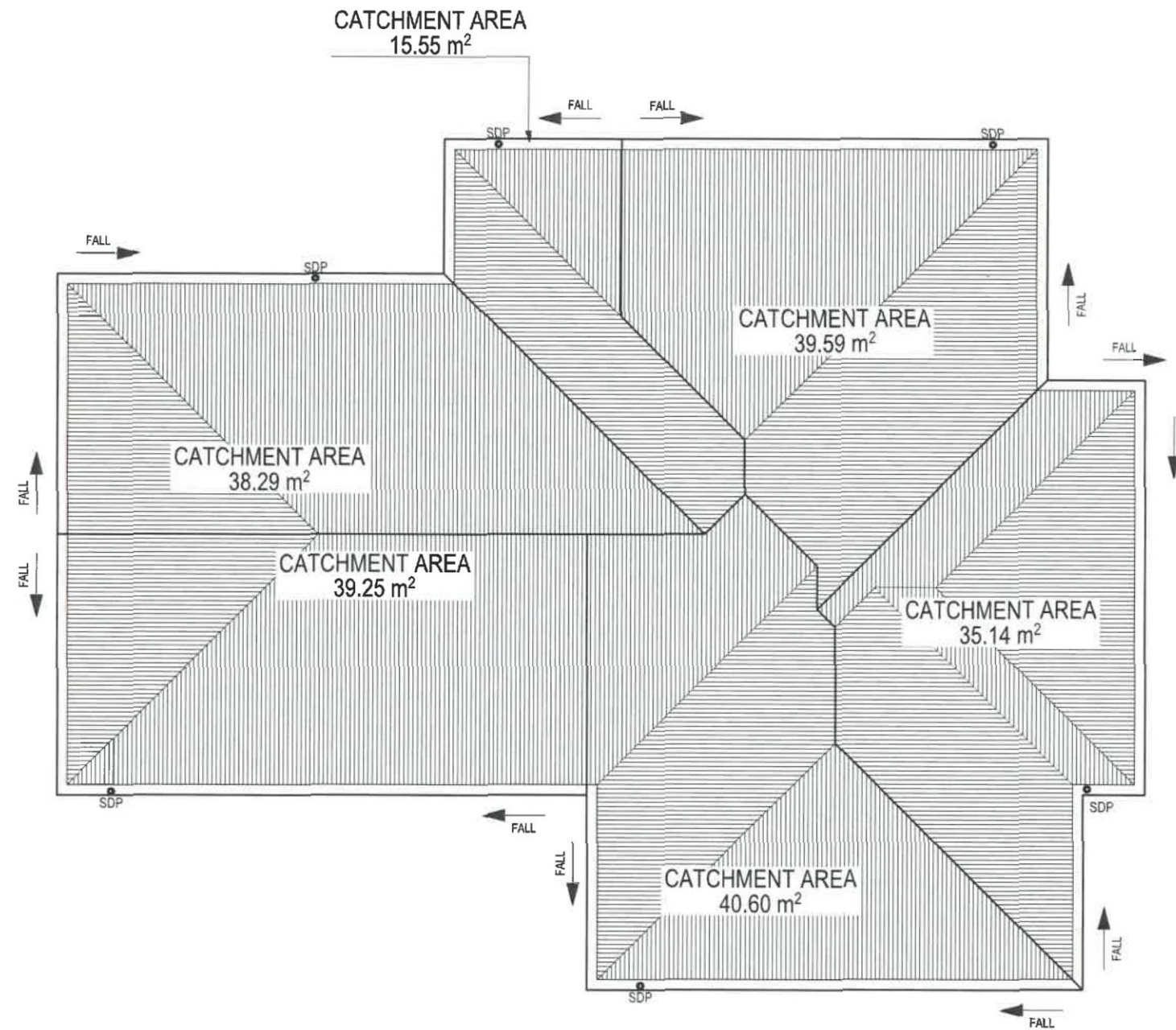
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ADDRESS:	WHITELEA COURT, SORELL TAS 7172
LOT / SECTION / CT:	19 / - / 179047
COUNCIL:	SOEELL COUNCIL

HOUSE DESIGN:	AMALFI TWO
FACADE DESIGN:	CLASSIC
SHEET TITLE:	DRAINAGE PLAN

SHEET No.:	8 / 15
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HOUSE CODE:	H-WDNAMF20SA
FACADE CODE:	F-WDNAMF10CLASA
SCALES:	1:200

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WHERE DOWNPIPES ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO N.C.C.3.5.2.5(b)

POSITION AND QUALITY OF DOWNPIPES ARE NOT TO BE ALTERED WITHOUT CONSULTATION WITH DESIGNER.

AREAS SHOWN ARE SURFACE AREAS CATCHMENT AREAS, NOT PLAN AREAS

Downpipe roof calculations (as per AS/NZS3500.3:2015)

Ah	208.42	Area of roof (including 115mm Slotted Quad Gutter) (m ²)
Ac	267.67	Ah x Slope factor (Table 3.4.3.2 from AS/NZS 3500.3:2015) (1.21 for 23° pitch) (m ²)
Ae	6300	Cross sectional area of 57 x 115 Slotted Quad Gutter (mm ²)
DRI	99	Design Rainfall Intensity (determined from Figure E8 from AS/NZS 3500.3:2015)
Acdp	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2015) (m ²)
Required Downpipes	4.2	Ac / Acdp
Downpipes Provided	6	

THIS DWELLING IS BEING CONSTRUCTED IN A BAL LOW AREA
RESTRICTIONS FOR CONSTRUCTION METHODS/MATERIALS MAY APPLY REFER NOTES

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HOUSE DESIGN:	AMALFI TWO
FACADE DESIGN:	CLASSIC
SHEET TITLE:	ROOF DRAINAGE PLAN
SHEET No.:	9 / 15
HOUSE CODE:	H-WDNAMF20SA
FACADE CODE:	F-WDNAMF10CLASA
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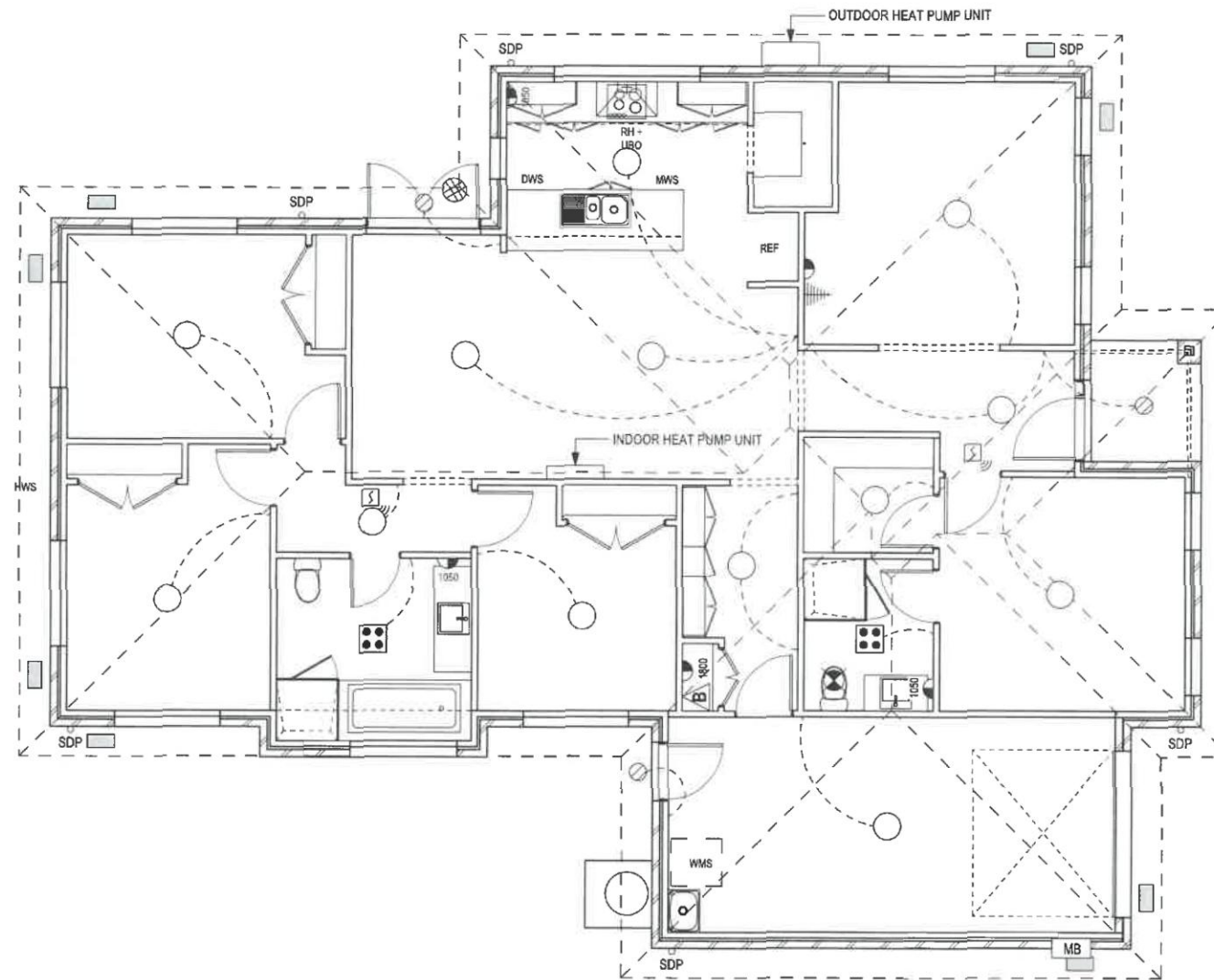
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ALL EXHAUSTS (RANGEHOOD, BATHROOM, TASTICS, OR SIMILAR MECHANICAL VENTILATION) TO BE VENTILATED TO OUTSIDE AIR VIA THE EAVES IN ACCORDANCE WITH NCC VOL 2, PART 3.8.7.3.

LED DOWNLIGHTS GENERALLY IC RATED, WITH 90mm DIA CUTOUTS. REFER TO LIGHTING SPECIFICATIONS FOR FURTHER PROJECT SPECIFIC SELECTIONS AND DETAILS.



ELECTRICAL LEGEND

- STANDARD OUTDOOR LIGHT
- OUTDOOR LED DOWNLIGHT
- LED DOWNLIGHT (9W)
- STANDARD CEILING LIGHT (30W)
- WALL LIGHT (30W)
- FLOODLIGHT
- SENSOR
- FLOOD LIGHT WITH SENSOR
- PENDANT FITTING
- FLUORESCENT LIGHT POINT (36W)
- 2 x FLUORESCENT LIGHT POINT (72W)
- 2 x SLIM FLUORESCENT LIGHT POINT (28W)
- SINGLE POWERPOINT
- DOUBLE POWERPOINT
- WATERPROOF SINGLE POWERPOINT
- WATERPROOF DOUBLE POWERPOINT
- FAN/HEAT/LIGHT (70W)
- MECHANICAL VENTILATION SWITCHED TO LIGHT
- TV POINT
- NATIONAL BROADBAND NETWORK
- PAY TV POINT
- PHONE POINT
- SMOKE ALARM (INTERCONNECTED WHERE MORE THAN 1)
- CEILING FAN
- CAT 5 OR 6 DATA SOCKET
- PRE-WIRE ONLY
- SOFFIT VENT

ALL GPOs 300mm OFF FFL UNLESS OTHERWISE NOTED

PROVIDE SINGLE GPOs FOR MW,DW,REF,WMS.
INSTALL ISOLATION SWITCH WITHIN 2m OF COOKTOP

For Roofs With >22 Degree Roof Pitch.

Ceiling Area	148.35
Ventilation Surface Area Required (Total - 1/300th of Ceiling Area)	0.49
Ventilation Surface Area Required (Ridge Ventilation - 30% of Total)	0.14835
Ventilation Surface Area Required (Eave Ventilation - 70% of Total)	0.34615
Ventilation Area per Whirlybird (if used)	0.07
Ventilation Area per Vented Eave Sheets (2.4m sheet) (if used)	0.022
Ventilation Area per Eave Vents (min. 400 x 200mm) (if used)	0.04
Minimum required soffit ventilation (eave vents) NB: to be evenly spaced around soffit	8
Ridge ventilation to be provided by continuous gap to ridge cappings	
AS3959 Compliant ember mesh and compressible blanket to ridge vents on jobs in BAL zones	

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COUNCIL:	SOEELL COUNCIL

HOUSE DESIGN:	AMALFI TWO
FACADE DESIGN:	CLASSIC
SHEET TITLE:	ELECTRICAL PLAN

HOUSE CODE:	H-WDNAMF20SA
FACADE CODE:	F-WDNAMF10CLASA
SHEET No.:	10 / 15

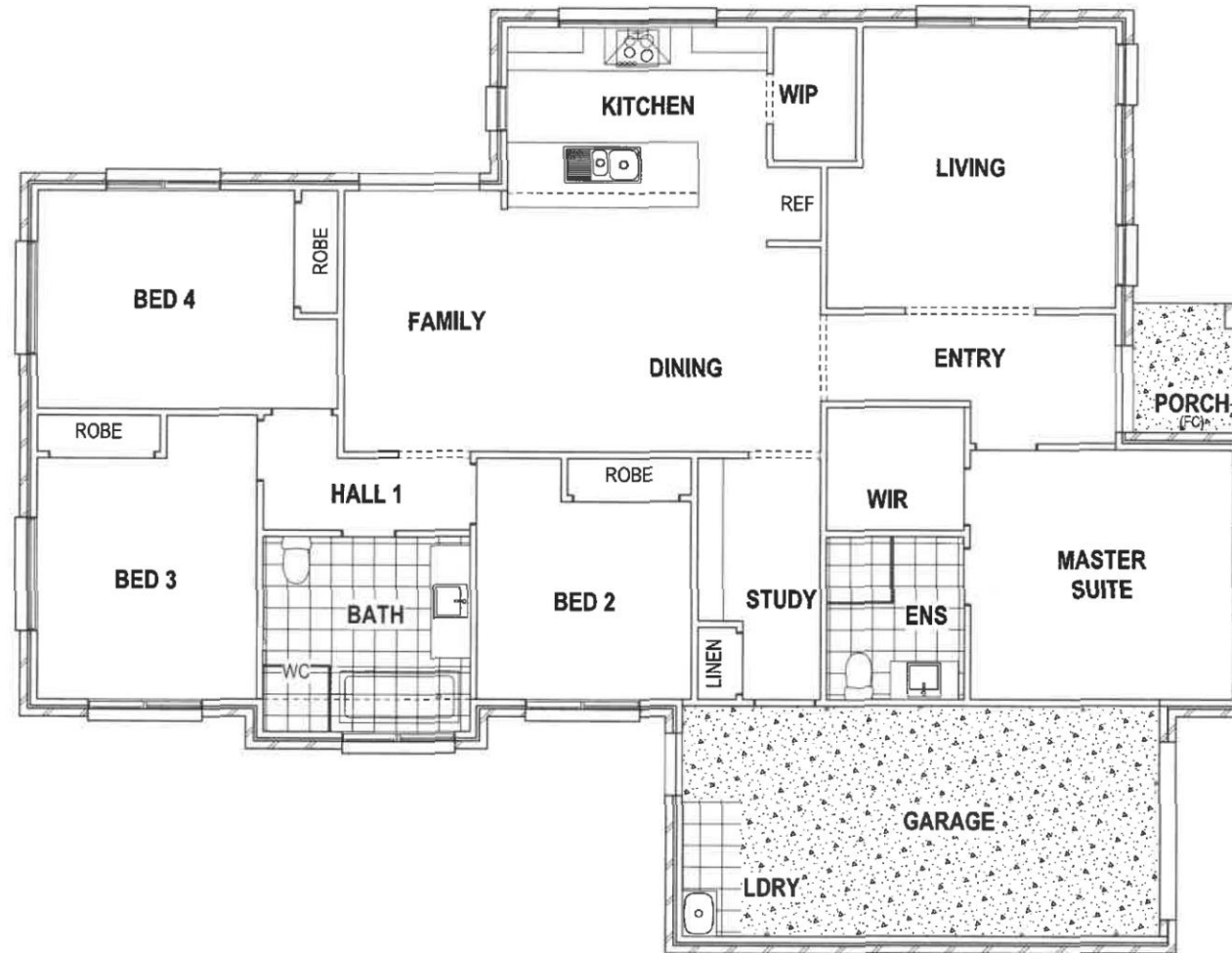
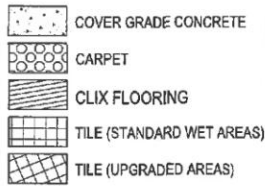
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FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.
TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND



BAL-LOW BUSHFIRE REQUIREMENTS
NO SPECIAL CONSTRUCTION REQUIREMENTS

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FACADE DESIGN:	CLASSIC	FACADE CODE:	F-WDNAMF10CLASA
SHEET TITLE:	FLOOR COVERINGS	SHEET No.:	11 / 15
		SCALES:	1:100

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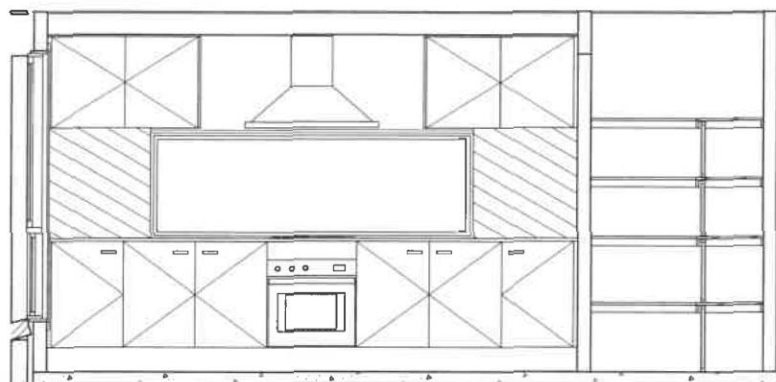
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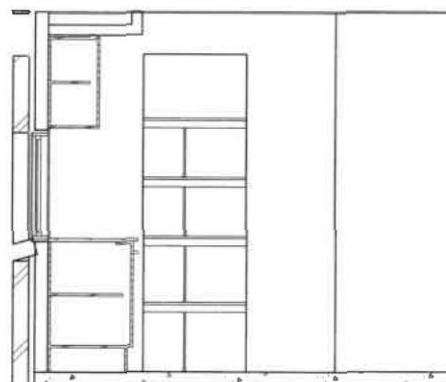
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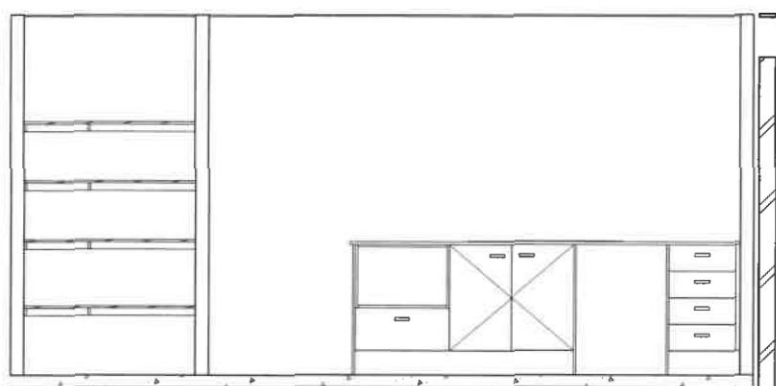
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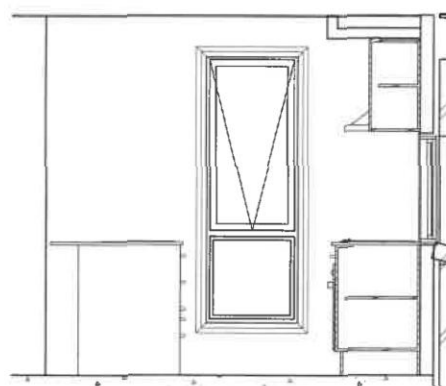
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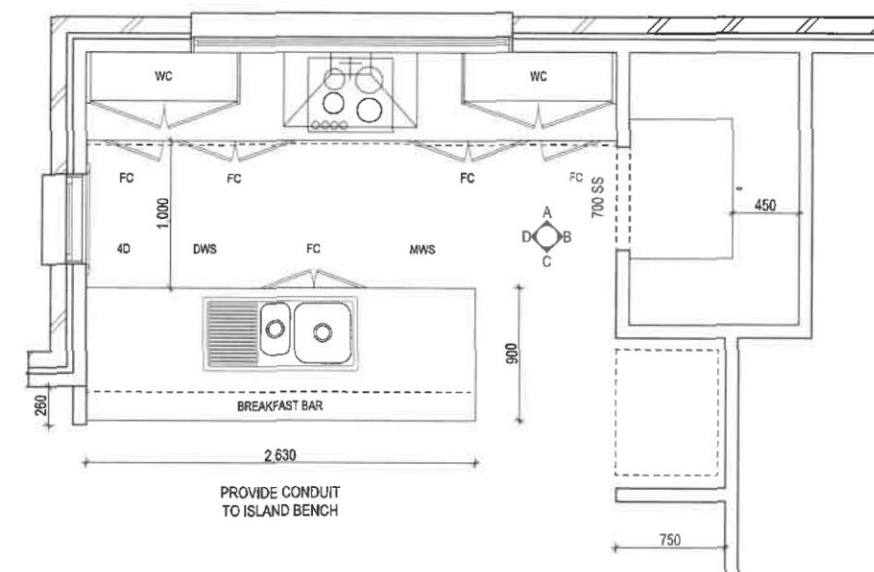
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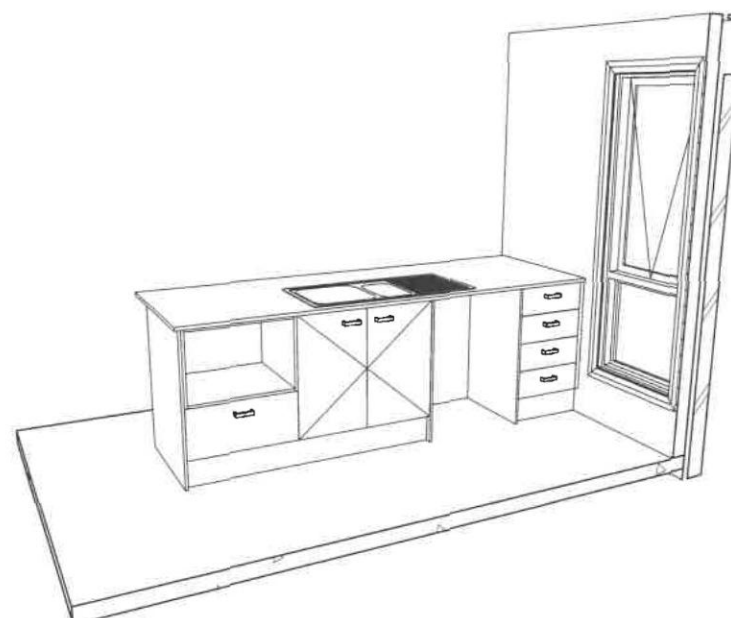
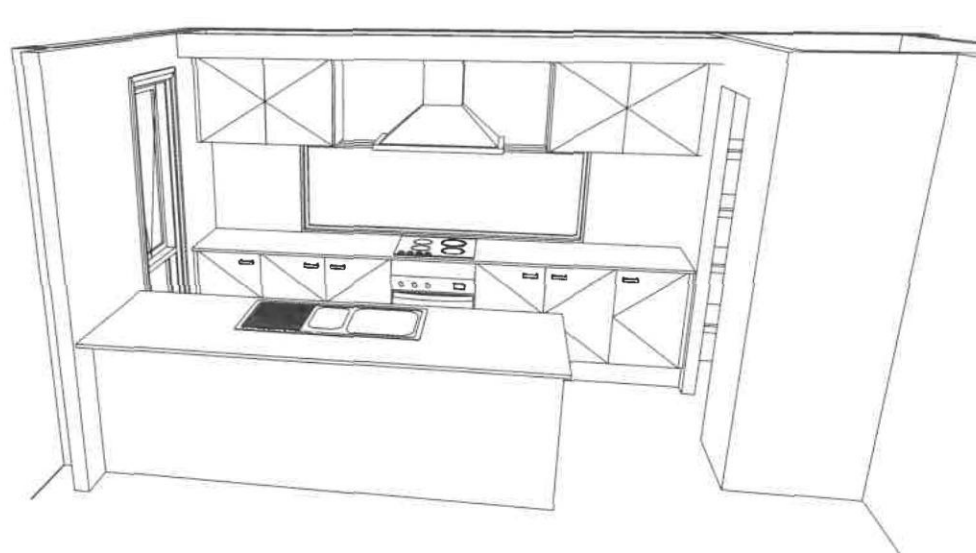
ELEVATION C
Scale: 1:50



ELEVATION D
Scale: 1:50



KITCHEN PLAN
Scale: 1:50



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COUNCIL:	SORELL COUNCIL

HOUSE DESIGN:	AMALFI TWO
FACADE DESIGN:	CLASSIC
SHEET TITLE:	KITCHEN DETAILS

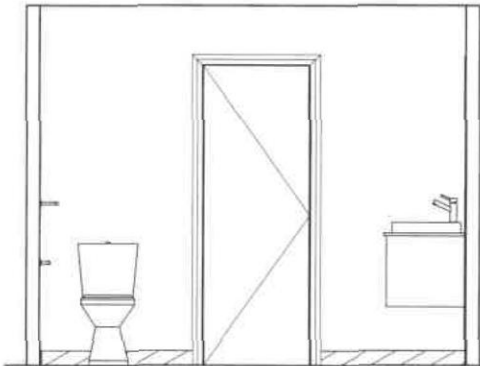
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FACADE CODE:	F-WDNAMEF10CLASA
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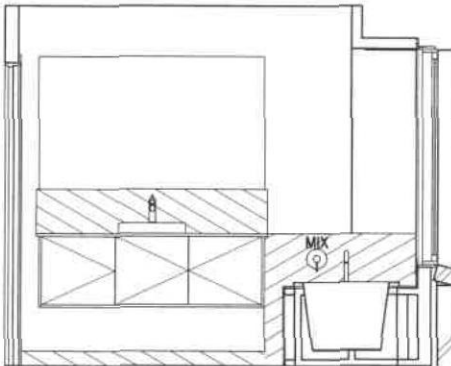
BAL-LOW BUSHFIRE REQUIREMENTS
NO SPECIAL CONSTRUCTION REQUIREMENTS

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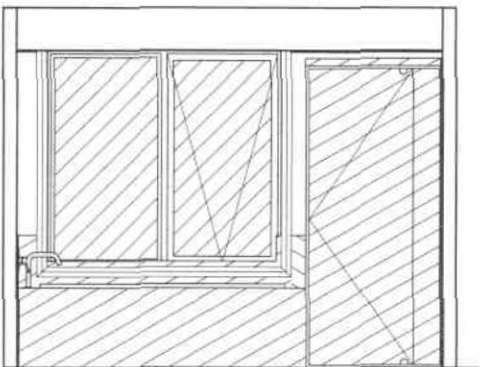
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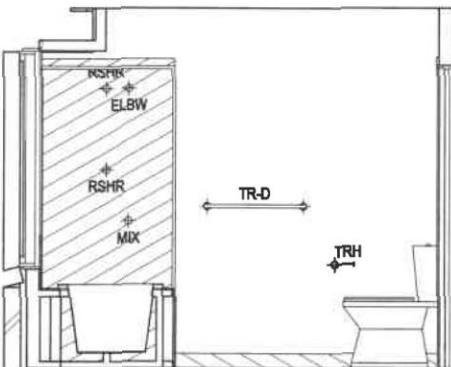
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ELEVATION B
Scale: 1:50



ELEVATION C
Scale: 1:50



ELEVATION D
Scale: 1:50



BATHROOM PLAN
Scale: 1:50

LEGEND	
RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER

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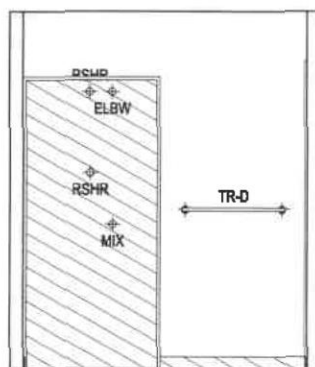
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FACADE DESIGN:	CLASSIC	FACADE CODE:	F-WDNAME10CLASA
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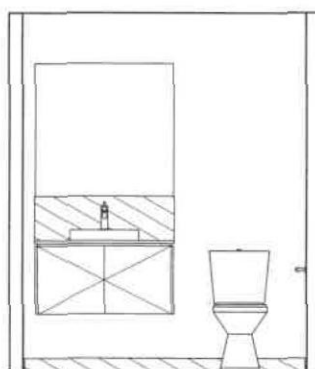
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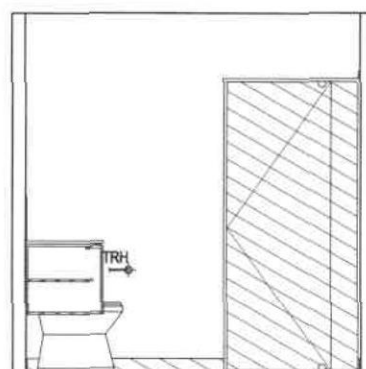
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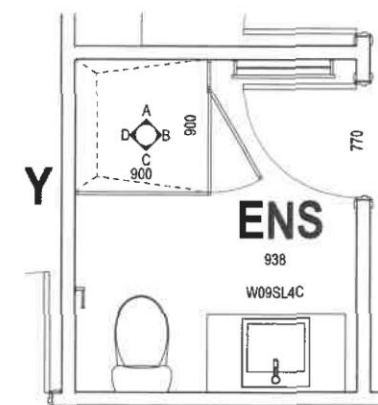
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ELEVATION C
Scale: 1:50



ELEVATION D
Scale: 1:50



ENSUITE PLAN
Scale: 1:50

LEGEND

RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
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FACADE DESIGN:	CLASSIC
SHEET TITLE:	ENSUITE DETAILS

SHEET No.:	14 / 15
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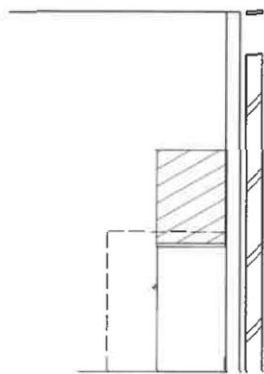
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FACADE CODE:	F-WDNAMF10CLASA
SCALES:	1:50

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712698

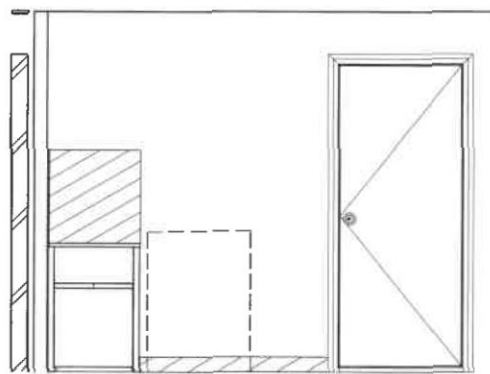
BAL-LOW BUSHFIRE REQUIREMENTS
NO SPECIAL CONSTRUCTION REQUIREMENTS

REFER TO SHEET 1 (COVER SHEET) FOR
ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

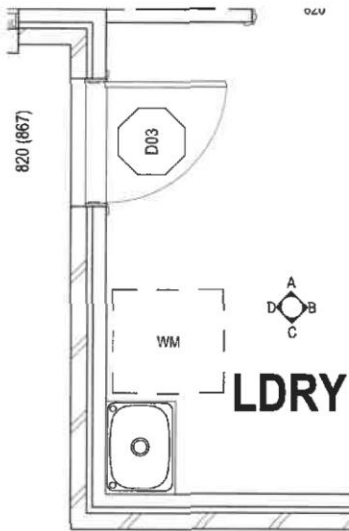
DETAILS DEPICTED ON THIS SHEET ARE A
REPRESENTATION ONLY



ELEVATION C
Scale: 1:50



ELEVATION D
Scale: 1:50



LAUNDRY PLAN
Scale: 1:50

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE
ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

ALL DIMENSIONS ARE FRAME DIMENSIONS

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DRAWING	DRAWN
2 CT SITING	DDI 2020.10.21
3 PLAN PRESENTATION - INITIAL ISSUE	DDI 2020.11.25
4 PRELIM PLAN SET - DRAINAGE UPDATE	RLW 2020.12.03
5 PRELIM PLANS - PCV01 UPDATE	MSP 2020.12.14
6 PRELIM PLANS - PLANNING RFI	MSP 2021.01.07

CLIENT:	MR JUSTIN & MRS KASEY ATKINSON
ADDRESS:	WHITELEA COURT, SORELL TAS 7172
LOT / SECTION / CT:	19 / - / 179047
COUNCIL:	SORELL COUNCIL

HOUSE DESIGN:	AMALFI TWO	HOUSE CODE:	H-WDNAMF20SA
FACADE DESIGN:	CLASSIC	FACADE CODE:	F-WDNAMF10CLASA
SHEET TITLE:	LAUNDRY DETAILS	SHEET No.:	15 / 15
SCALES:	1:50		

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