



## **SORELL COUNCIL**

# **NOTICE OF PROPOSED DEVELOPMENT**

Notice is hereby given that an application has been made for planning approval for the following development:

**SITE: 40 Moomere Street, Carlton**

**PROPOSED DEVELOPMENT:**

**RESIDENTIAL - DWELLING**

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at [www.sorell.tas.gov.au](http://www.sorell.tas.gov.au) until **4:45pm Tuesday 9<sup>th</sup> March 2021**. Any person may make representation in relation to the proposal/s by letter or electronic mail ([sorell.council@sorell.tas.gov.au](mailto:sorell.council@sorell.tas.gov.au)) addressed to the General Manager. Representations must be received no later than **4:45pm Tuesday 9<sup>th</sup> March 2021**.

**APPLICANT: K Macfarlane**

**DATE: 18 February 2021**

**APPLICATION NO: DA 2020 / 196 - 1**





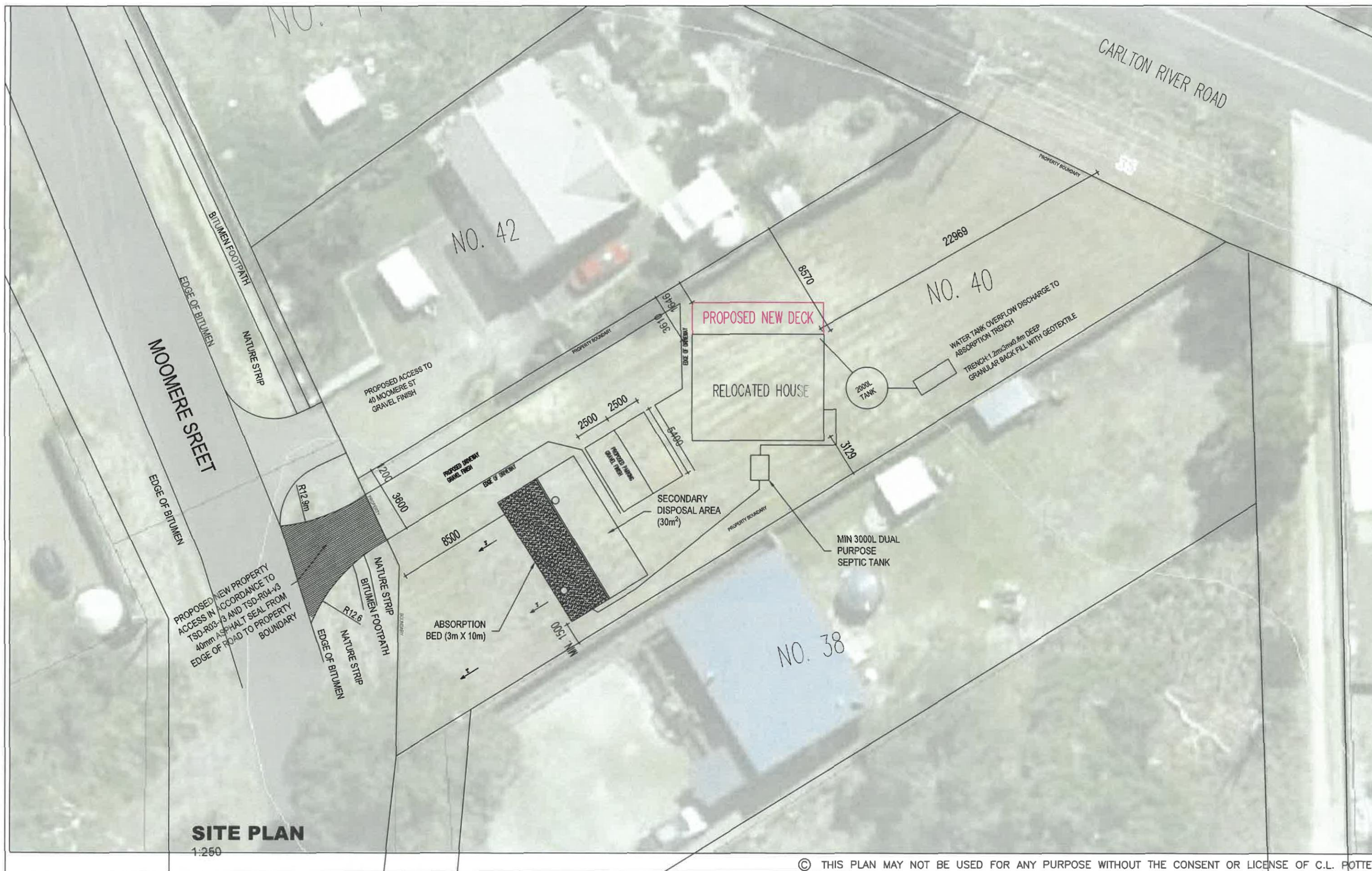
40 Moomere Street, Carlton - The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at [www.sorell.tas.gov.au](http://www.sorell.tas.gov.au) until 4:45pm Tuesday 9th March 2021

Disclaimer: This map is a representation of the information currently held by Sorell Council. While every effort has been made to ensure the accuracy of the product, Council accepts no responsibility for any errors or omissions. Any feedback on omissions or errors would be appreciated.

23-Feb-2021

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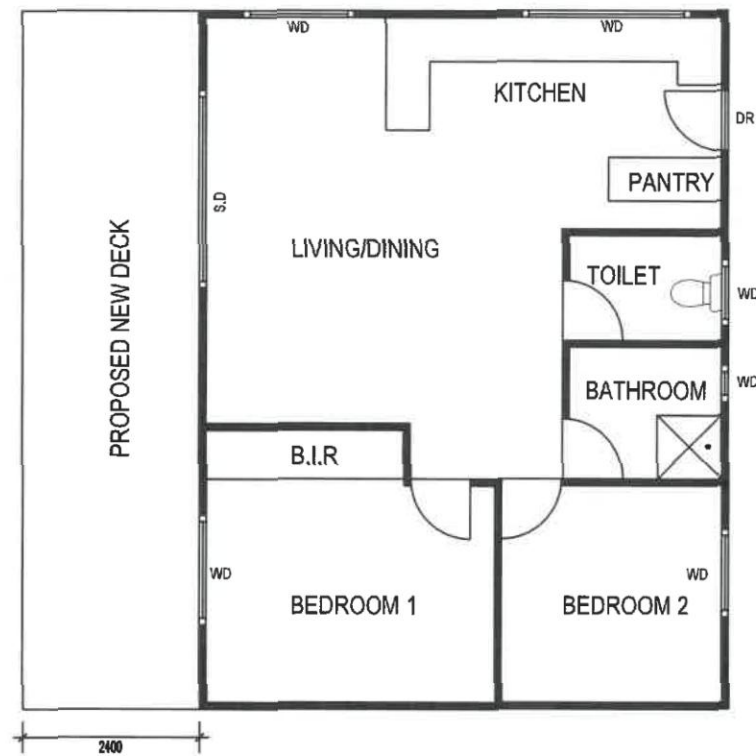




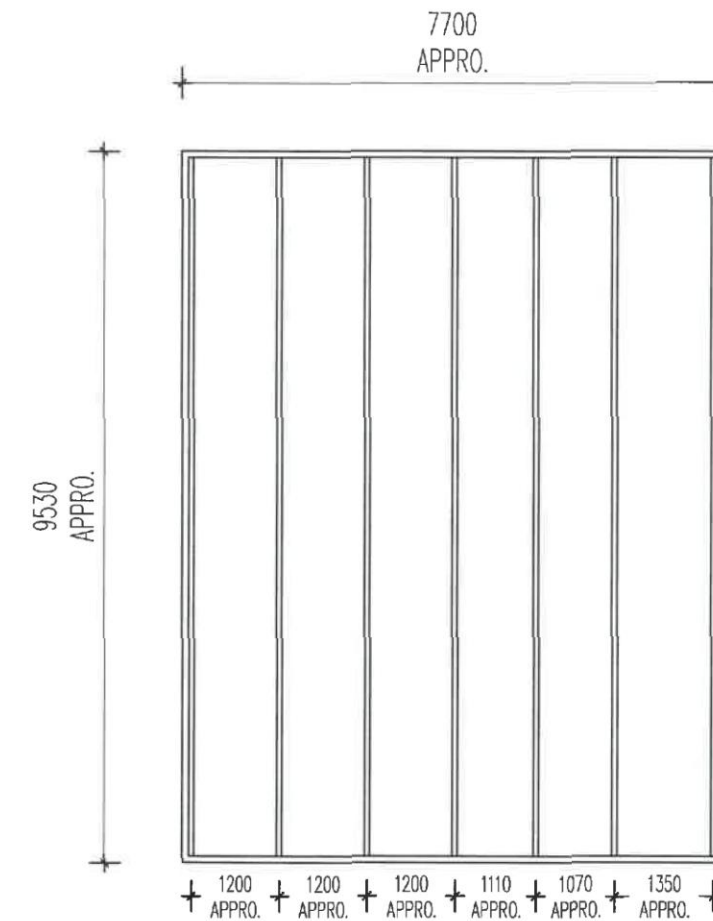
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<p><b>CHRIS. L. POTTER</b> M.I.E.Aust. C.P.Eng. Consulting Engineer CC2679R E-mail chris@chrispotterengineering.com</p> <p>9 Warwick St. NORTH HOBART Tasmania 7000 Telephone (03) 62 314 143 Mobile 0407 794 292 Facsimile (03) 62 343 360</p>	<p>DRAWN AW</p> <p>SCALE AS SHOWN</p> <p>APPROVED  ENGINEER</p>	<p>PROJECT <b>PROPOSED -HOUSE RELOCATION AND NEW DECK -40 MOOMERE STREET, CARLTON, 7173</b></p>	<p>CLIENT <b>LEIGH BELL</b></p> <p>DRAWING TITLE <b>SITE PLAN</b></p>	<p>DRAWING NO. <b>BELL1901-RFI01</b></p> <p>SHEET <b>02</b> OF <b>05</b></p> <p>DATE <b>26-01-2021</b></p> <p>Rev No. <b>3</b></p> <p><b>A3</b></p>
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**FLOOR PLAN**  
1:100



NOTE: ALL DIMENSIONS TO BE CONFIRMED ONSITE

**EXISTING BEARER LAYOUT (APPROXIMATE)**  
1:100

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E-mail [chris@chrispotterengineering.com](mailto:chris@chrispotterengineering.com)

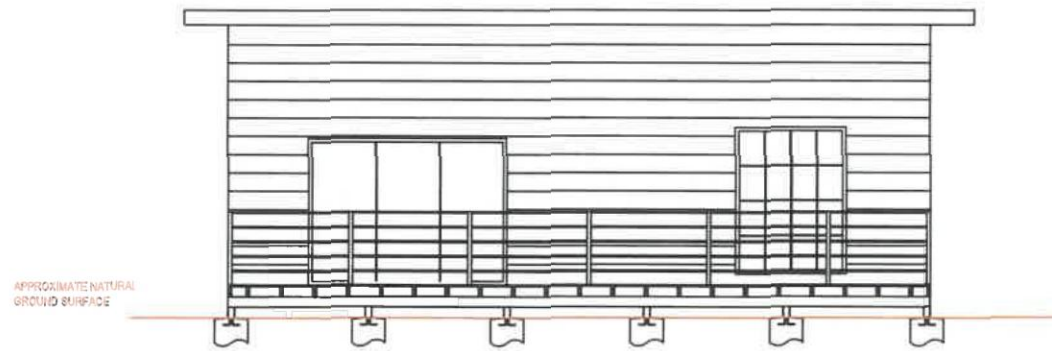
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SCALE AS SHOWN  
APPROVED  
ENGINEER

PROJECT  
**PROPOSED -HOUSE RELOCATION  
AND NEW DECK  
-40 MOOMERE STREET, CARLTON,  
7173**

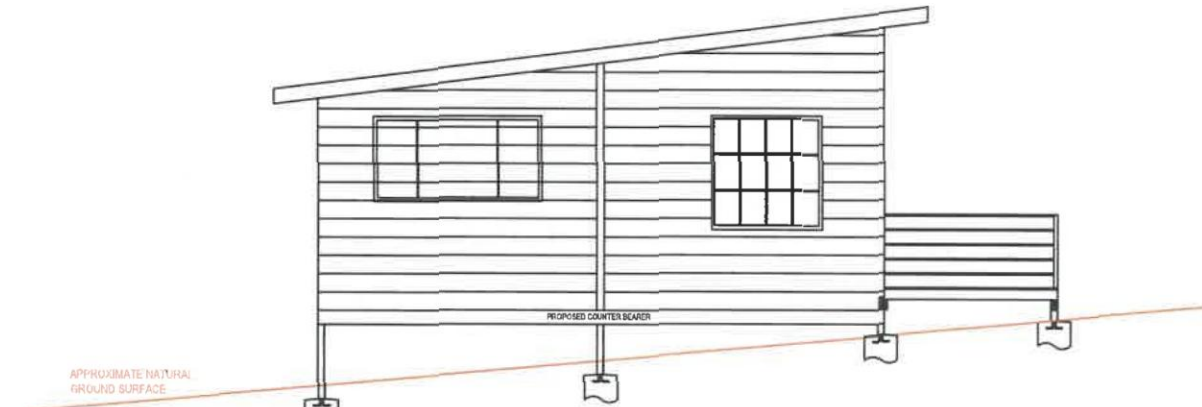
CLIENT  
**LEIGH BELL**

DRAWING TITLE  
**FLOOR PLAN AND EXISTING  
BEARER LAYOUT**

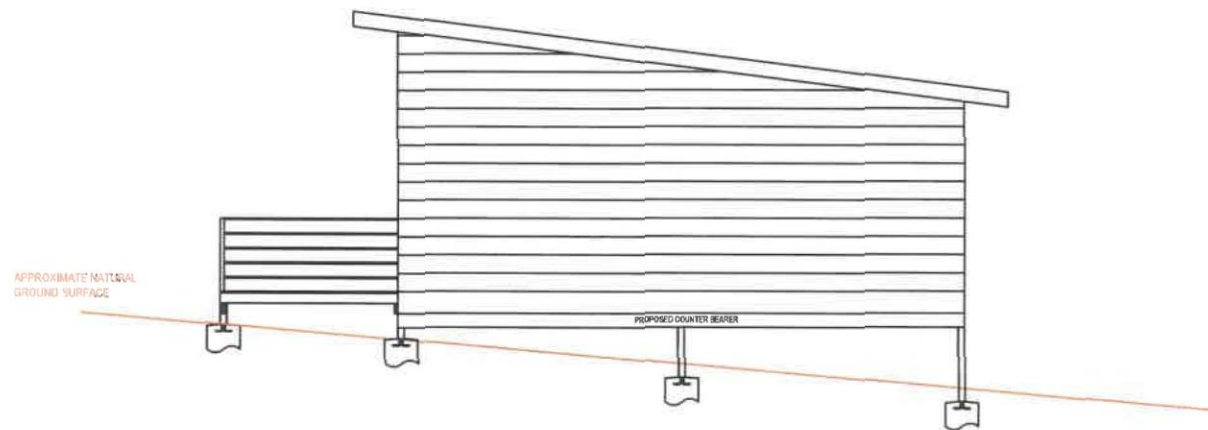
DRAWING NO.  
**BELL1901**  
SHEET 03 OF 05  
DATE  
**26-01-2021**  
Rev No. 3 **A3**



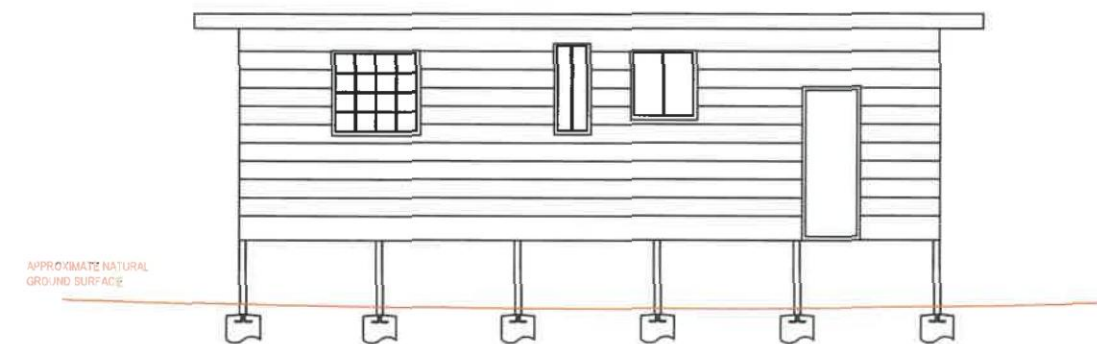
**NORTH ELEVATION**  
1:100



**EAST ELEVATION**  
1:100



**WEST ELEVATION**  
1:100




**SOUTH ELEVATION**  
1:100

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APPROVED  ENGINEER

PROJECT  
**PROPOSED -HOUSE RELOCATION  
AND NEW DECK  
-40 MOOMERE STREET, CARLTON,  
7173**

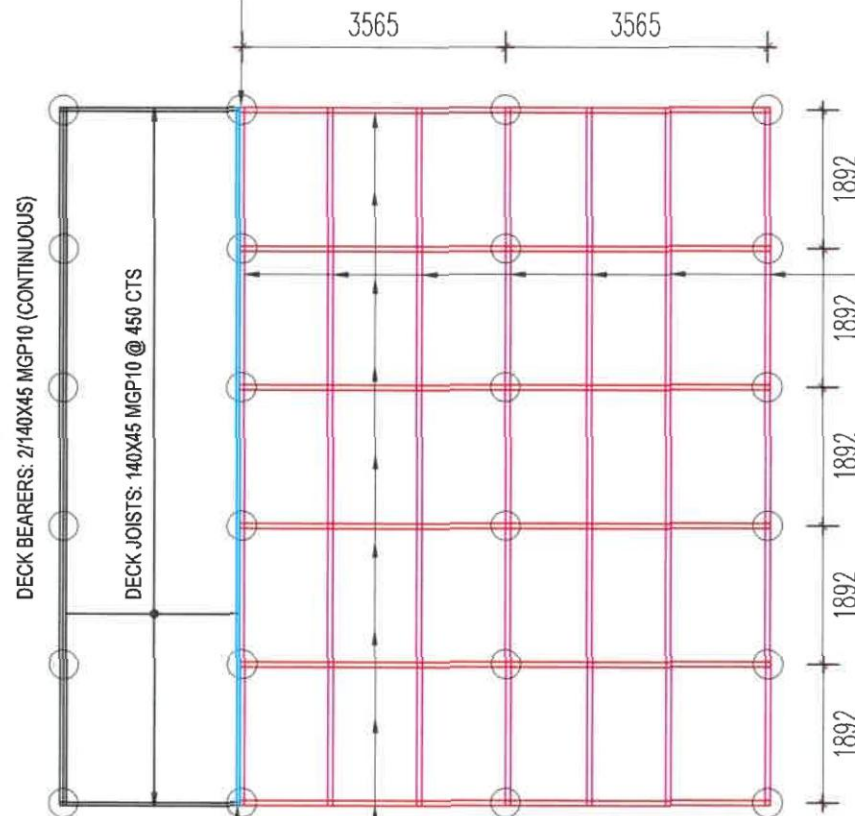
CLIENT  
**LEIGH BELL**  
DRAWING TITLE  
**ELEVATION PLAN**

DRAWING NO.  
**BELL1901**  
SHEET 04 OF 05  
DATE  
**26-01-2021**  
Rev No. 3 **A3**

# PROPOSED PIER LAYOUT AT THE NEW PROPERTY

PADS TO BE 450 DIA.  
PIER TO ENGINEER  
APPROVED SUB BASE

FIX 89X89X3.5 SHS ON  
PAD FOOTING TO LVL  
COUNTER BEARERS

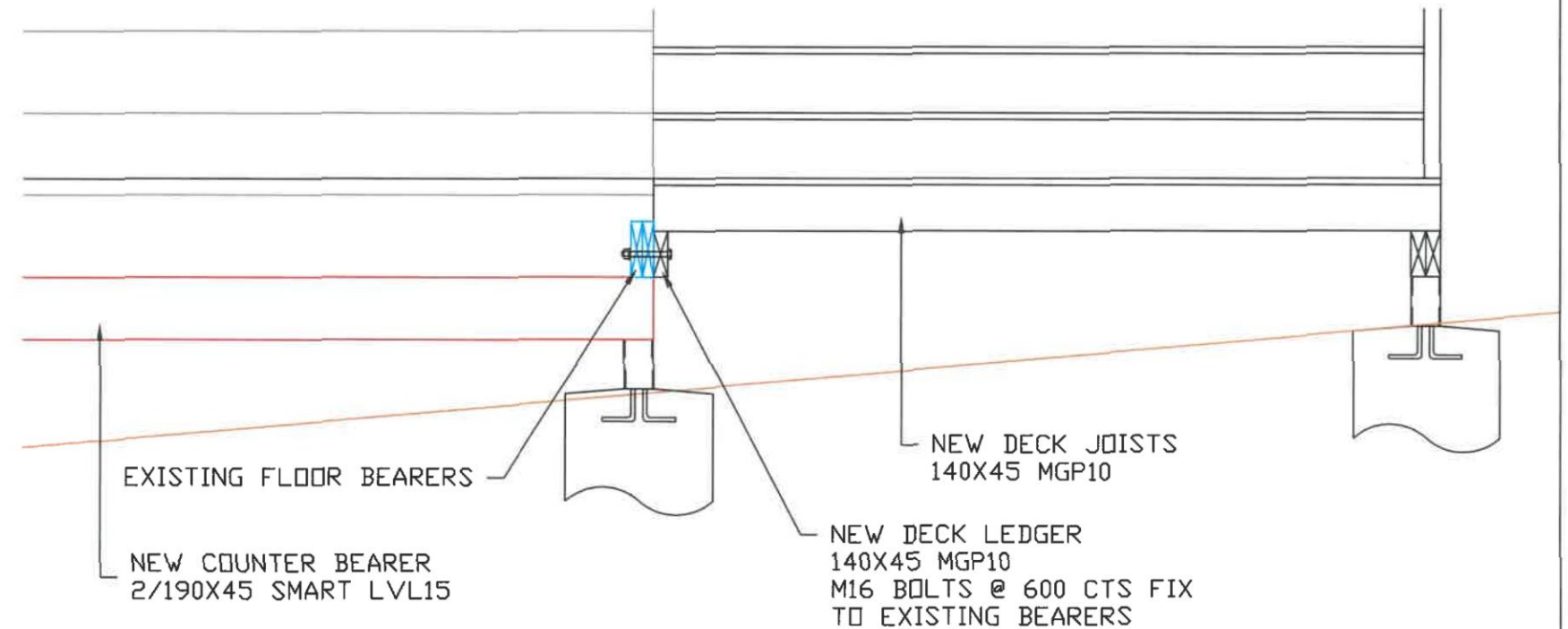


NEW DECK LEDGER TO  
EXISTING BEAR WITH M16  
BOLTS @ 600 CTS

NEW COUNTER  
BEARERS TO BE  
CONSTRUCTED

SmartLVL 15  
2/190X35

EXISTING BEARER  
LOCATIONS -  
(APPROXIMATE)



EXISTING FLOOR BEARERS

NEW COUNTER BEARER  
2/190X45 SMART LVL15

NEW DECK LEDGER  
140X45 MGP10  
M16 BOLTS @ 600 CTS FIX  
TO EXISTING BEARERS

## GENERAL CONCRETE NOTES

- C1. Workmanship, materials and design shall be in accordance with AS 2870-2011 and associated codes listed therein and the specification.
- C2. Concrete Strengths shall be as follows.  
Pad Footings: 25MPa.
- C3. The base for the slab shall be prepared as follows.  
Place 50 max sand blinding watered and compacted under entire slab and slab thickenings.  
Lay 0.2mm "Fortecon" membrane. Tape all joints and seal all penetrations. Place under entire slab including slab thickenings.
- C4. Concrete cover shall be as follows.  
Interior Slab 20mm.  
Exterior Slab 40mm.  
Footings 50mm min.
- C5. Place individual bar chairs at a rate of 25 per 10sq.m of bottom and top slab reinforcement at 1750 crs. approved and as required for adequate support in other members.
- C6. Reinforcement shall be securely wired in place without welding unless approved otherwise.
- C7. Site layout and building proportions to be checked by builder on site.
- C8. All footings shall be bedded or pierced to suitable foundation material.
- C9. No concrete shall be poured prior to inspection and approval by qualified persons.

NOTE:  
TO ARCHITECTS/BUILDING DESIGNERS DIMENSIONS. DO  
NOT SCALE DRAWINGS. LEVELS & SET DOWNS REFER TO  
ARCHITECTURAL DRAWINGS

## PROPOSED FOOTING PLAN AT 40 MOOMERE STREET, CARLTON

1:100

## DECK CONNECTION DETAILS

1:20

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PROJECT

PROPOSED -HOUSE RELOCATION  
AND NEW DECK  
-40 MOOMERE STREET, CARLTON,  
7173

CLIENT

LEIGH BELL

DRAWING TITLE

FOOTING AND FRAMING PLAN

DRAWING NO.

BELL1901

SHEET 05 OF 05

DATE

26-01-2021

Rev No.

3

A3