



SORELL COUNCIL

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: 1 Statesman Court, Sorell (CT179793/13)

PROPOSED DEVELOPMENT:

MULTIPLE DWELLINGS X 2

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **4:45pm Monday 1st March 2021**. Any person may make representation in relation to the proposal/s by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the General Manager. Representations must be received no later than **4:45pm Monday 1st March 2021**.

APPLICANT: Wilson Homes

DATE: 11 February 2021

APPLICATION NO: DA 2019 / 371 - 1



1 Statesman Court, Sorell - The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until 4:45pm Monday 1st March 2021.

11-Feb-2021

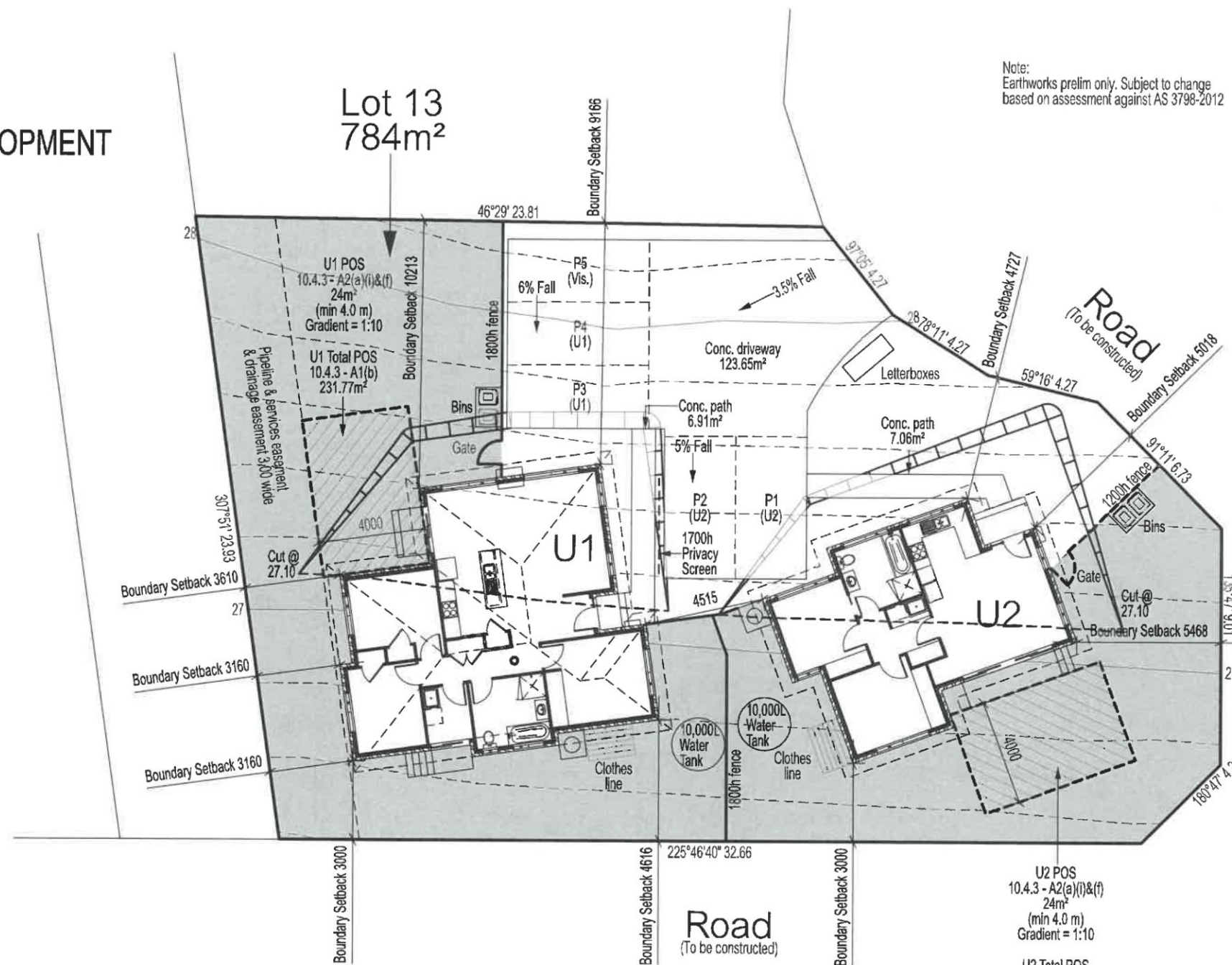
50 m

Disclaimer: This map is a representation of the information currently held by Sorell Council. While every effort has been made to ensure the accuracy of the product, Council accepts no responsibility for any errors or omissions. Any feedback on omissions or errors would be appreciated.



PROPOSED UNIT DEVELOPMENT

UNIT 1 FFL: 27.45
UNIT 2 FFL: 27.45



Note:
Earthworks prelim only. Subject to change
based on assessment against AS 3798-2012

Note:-
Boundaries shown hereon are from preliminary plans.
Before commencement of any building work boundaries shown
hereon should be verified by comparison with the final registered
title dimensions as obtained from the Lands Titles Office.
James McEldowney Surveying accepts no responsibility for
alterations made to preliminary plans prior to final
registration.

At the time of survey, subdivision construction works had not
been completed.
James McEldowney Surveying accepts no responsibility for
alterations which occur to the features and levels shown hereon
subsequent to time of survey.
Do not remove this note from this or subsequent plans.

Waste Storage
10.4.8 A1
Min 1.5m² per unit (2 units)
3.00m² provided

EXPLANATORY NOTES: SORELL COUNCIL INTERIM PLANNING SCHEME

10.4.1- Residential density for multiple dwellings

A1	(a)	Site Density: Min. 325m² per unit 392m² / 2 (units) = 784m² provided
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10.4.3 - Site coverage and private open space for all dwellings

A1	(a)	Site Coverage: Max. 50% of Site = 392m² Proposed site coverage: 170.14m² (21.70%)
	(c)	Impervious Surfaces: Min. 25% of Site to be free of impervious surfaces = 196m² Proposed area free of impervious surfaces: 480.53m² (61.29%)

THIS DWELLING IS BEING CONSTRUCTED IN A BUSHFIRE PRONE AREA (TBC)

Builder to ensure that all construction methods / materials comply with AS3959 - 2009 and sheets T.B.C.

NOTES

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- All work to be carried out in accordance with the current National Construction Code.
- All materials to be installed according to manufacturers specifications.
- Dimensions to take precedence over scale.
- Do not scale from these drawings.

No.	Amendment	Date	Init.	Designer:
D	Changes as per cover sheet	01 Sept. 20	LH	ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au
C	Changes as per cover sheet	26 Aug. 20	LH	
B	Changes as per cover sheet	14 Aug. 19	LH	

Client / Project info:

PROPOSED UNIT DEVELOPMENT
(GOSS-KENNEDY & BROWN)
Lot 13, Gateway Estate,
SORELL

m WILSON
MULTI

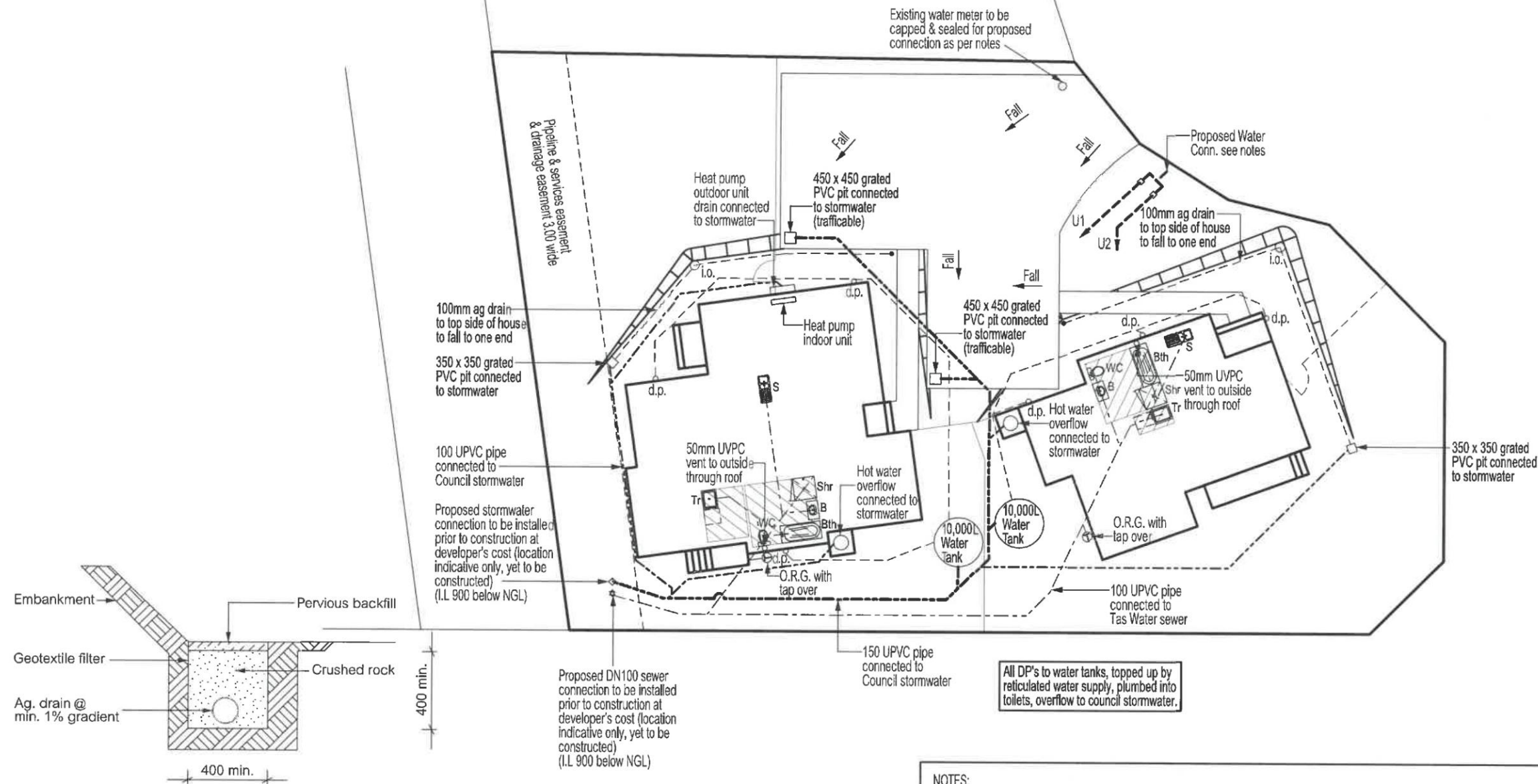
SITE PLAN

Drawn	CK	WH712120
Date	29 April 2019	Sheet
Scale	1:200	

01/03



DRAINAGE LEGEND		
Abbreviation	Fixture	Min. Outlet Size
B	Basin	40Ø
Bth	Bath	40Ø
Shr	Shower	40Ø
S	Sink	50Ø
Tr	Trough	40Ø
WC	Water Closet Pan	100Ø
d.p.	Downpipe	90Ø
----- Sewer Line (100Ø UPVC) (unless noted otherwise)		
----- Stormwater Line (100Ø UPVC) (unless noted otherwise)		



TYPICAL AG DRAIN DETAIL
Not to scale

- NOTES:
- Any modification (including installation of a meter) to the existing property water service shall be undertaken by TasWater at the developer's cost.
 - Meters and check valves detailed are to be provided by Tas Water at the developer's cost.
 - All works are to be in accordance with the Water Supply Code of Australia WSA 03 -2011-3.1 Version 3.1 MRWA Edition V2.0 and Sewerage Code of Australia Melbourne Retail Water Agencies Code WSA 02 -2002 Version 2.3 MRWA Edition 1.0 and TasWater's supplements to these codes.
 - Proposed water service DN32 (ID25)mm. Refer to TasWater standard drawing TW-SD-W-20.
 - Water connections separated by manifold provided by TasWater.
 - Separate 20mm meters with integral dual check valve to be installed within 2m of property boundary at road frontage.


Refer to Roof Plan for
downpipe calculations

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Soil Classification : H-2
Refer to Soil Report for nominated founding depth and description of founding material.

All materials and construction to comply with AS/NZS3500 part 2 & 3

 - Wet areas to comply with N.C.C. 3.8.1.2 and AS3740

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E	Changes as per cover sheet	27 Jan. 21	RJ	ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au
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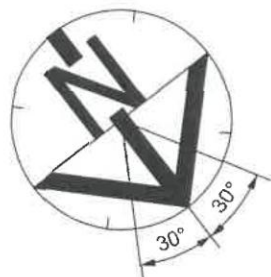
PROPOSED UNIT DEVELOPMENT
(GOSS-KENNEDY & BROWN)
Lot 13, Gateway Estate,
SORELL

WILSON
MULTI

DRAINAGE PLAN

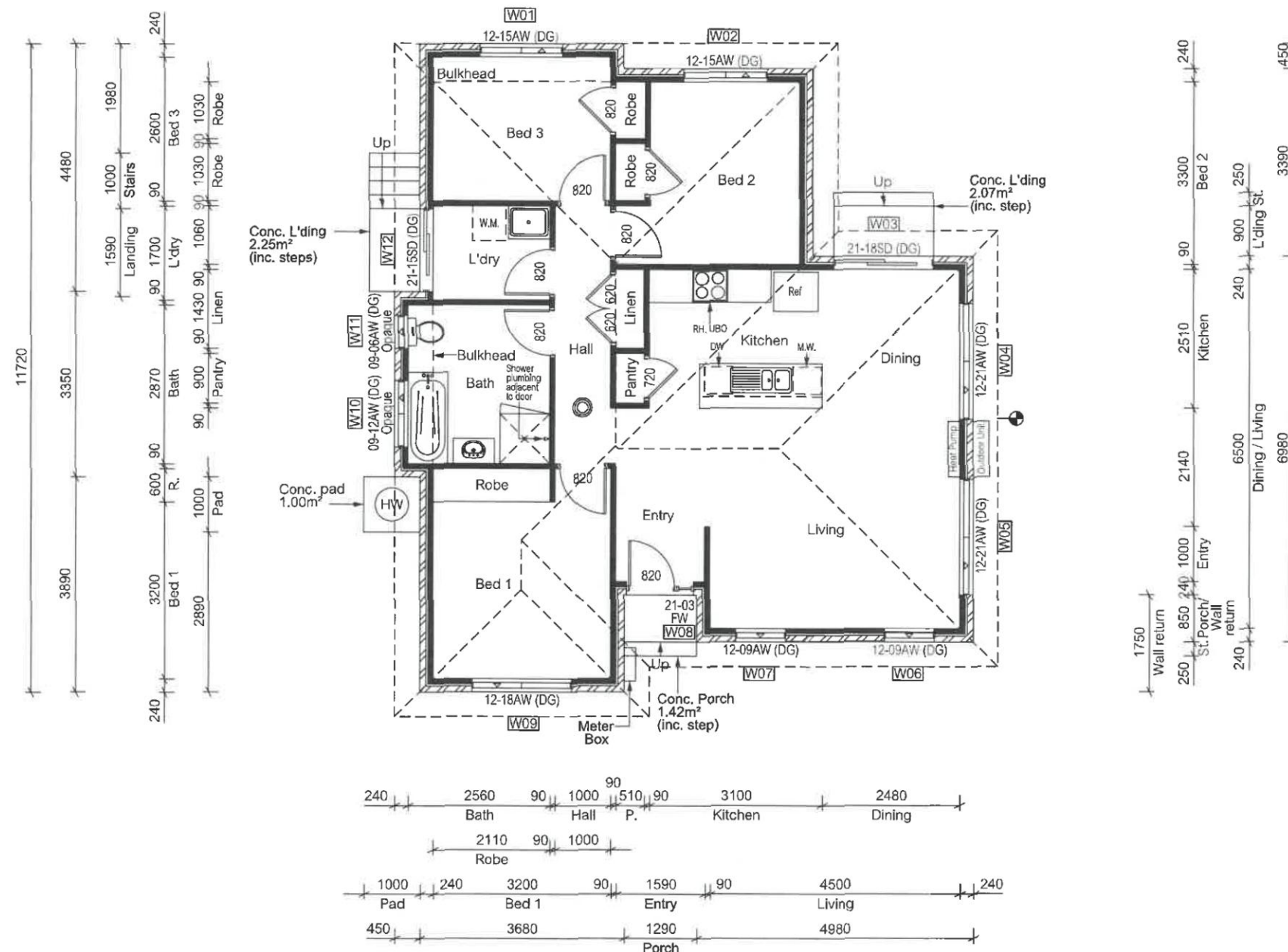
Drawn	LH	WH712120
Date	14 August 2019	Sheet
Scale	1:200	

01a/o3



PD4.1 clause 10.4.4
W04 & W05 satisfy P1.

NOTE: For lightweight cladding, dimensioning is to external edge of studwork NOT to cladding.



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FLOOR AREA = 98.80 sqm

Articulation joints

Smoke Alarm (interconnected where more than 1)

ALL window sizes to be checked and/or confirmed on site prior to ordering glazing units.

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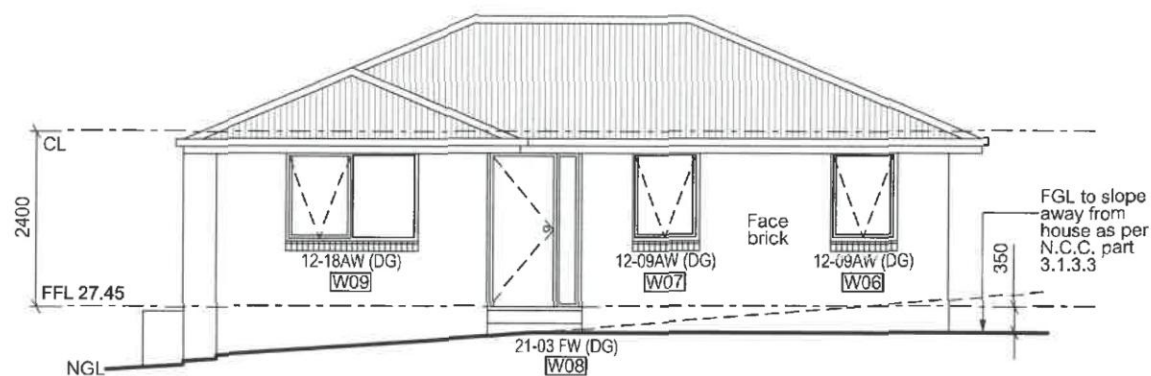
PROPOSED UNIT DEVELOPMENT
(GOSS-KENNEDY & BROWN)
Lot 13, Gateway Estate,
SORELL

WILSON
MULTI

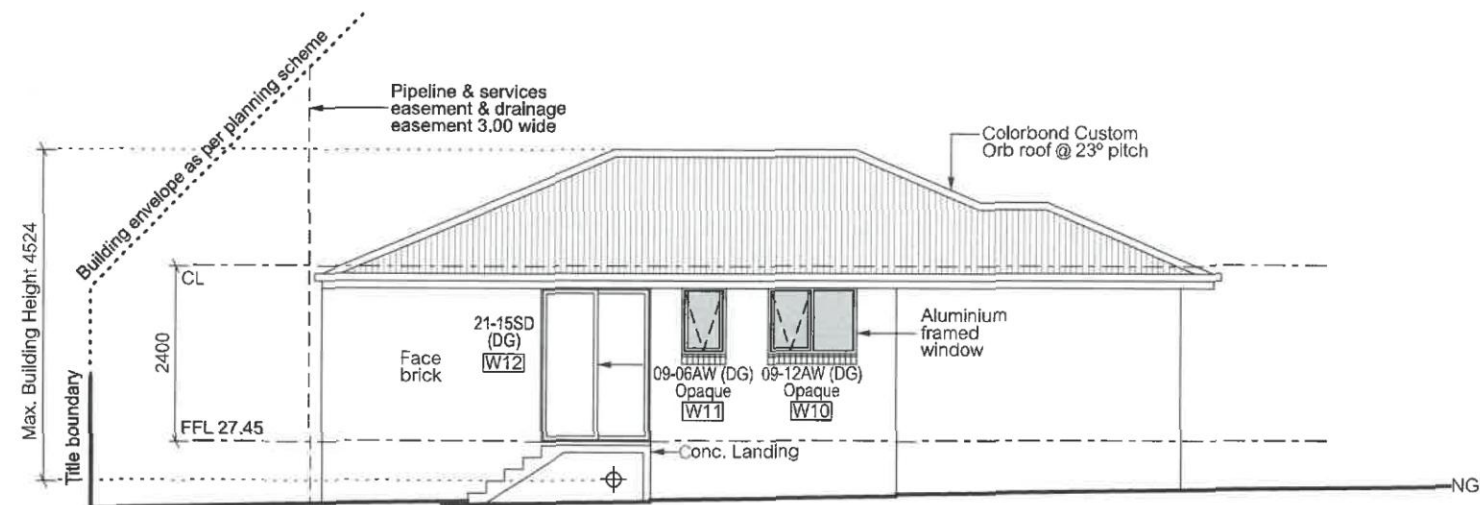
UNIT 1 FLOOR PLAN

Drawn	LH	WH712120
Date	3 May 2019	Sheet
Scale	1:100	
© Copyright 2019		

o2/o5

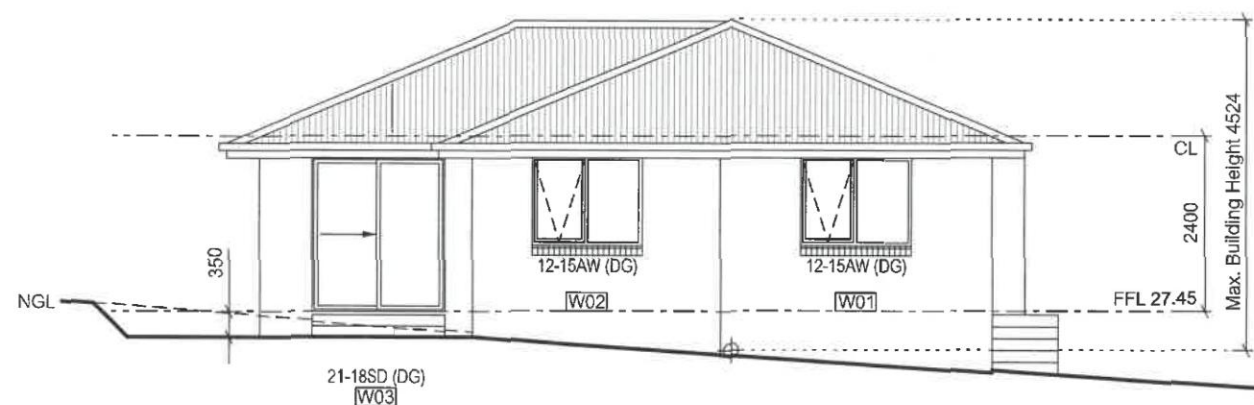


North East Elevation

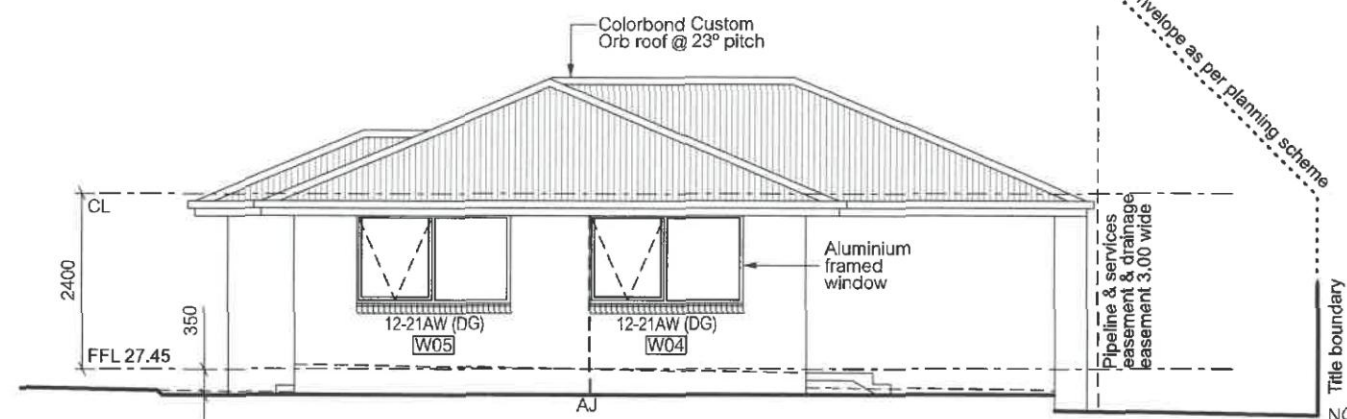


South East Elevation

Material	Colour
Face Brick	tbc
Colorbond Roof	tbc



South West Elevation



North West Elevation

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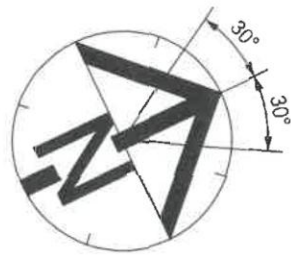
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SORELL

m WILSON MULTI

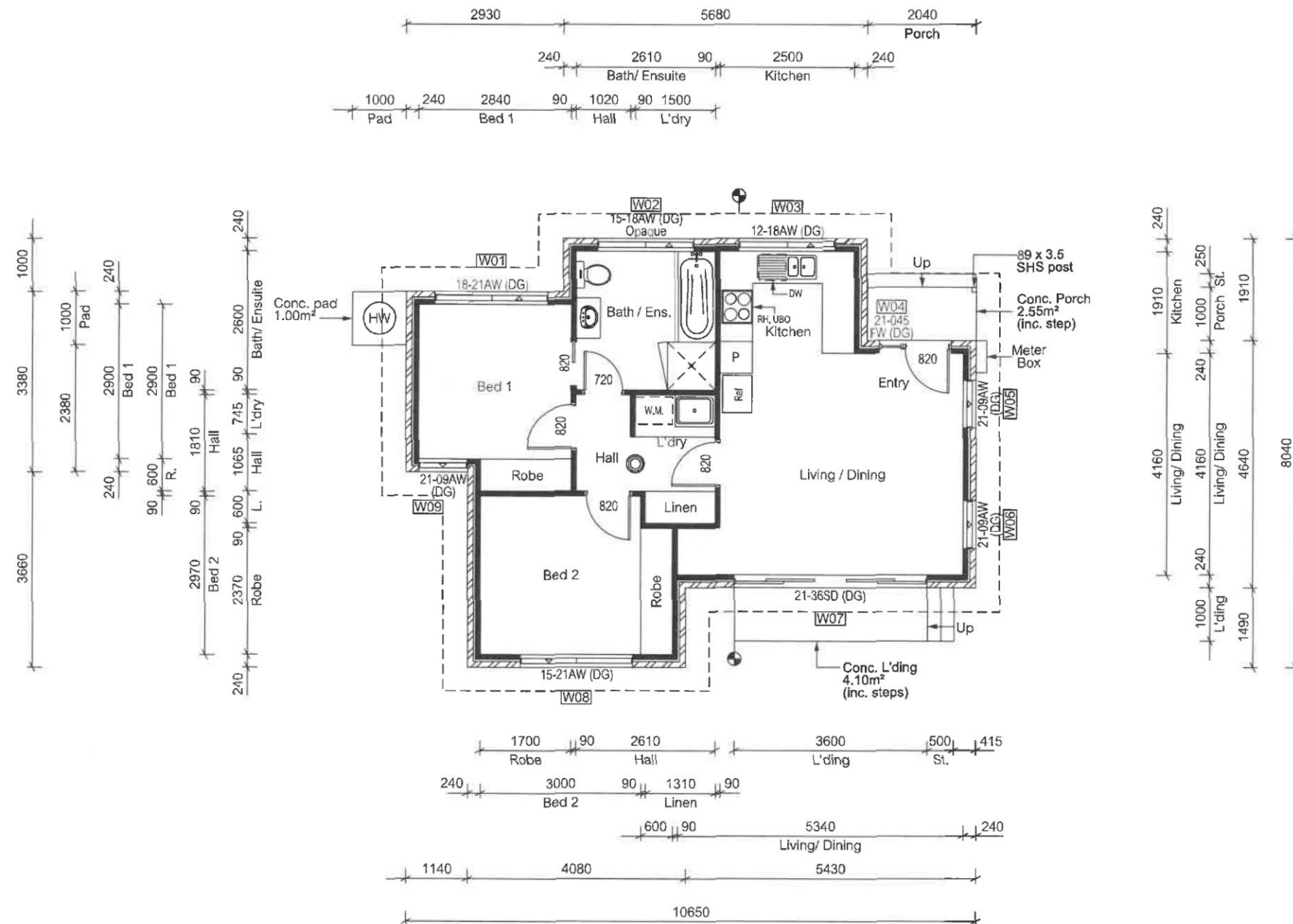
UNIT 1 ELEVATIONS	
Drawn	LH WH712120
Date	5 May 2019 Sheet
Scale	1:100
© Copyright 2019	

03/05



PD4.1 clause 10.4.4
W03 - W06 satisfy P1.

NOTE: For lightweight
cladding, dimensioning is to
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FLOOR AREA = 66.54 sqm

Articulation joints

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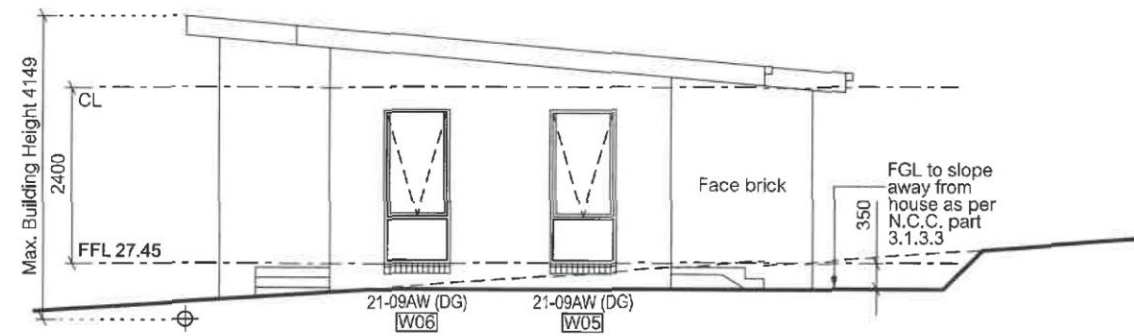
WILSON
MULTI

UNIT 2
FLOOR PLAN

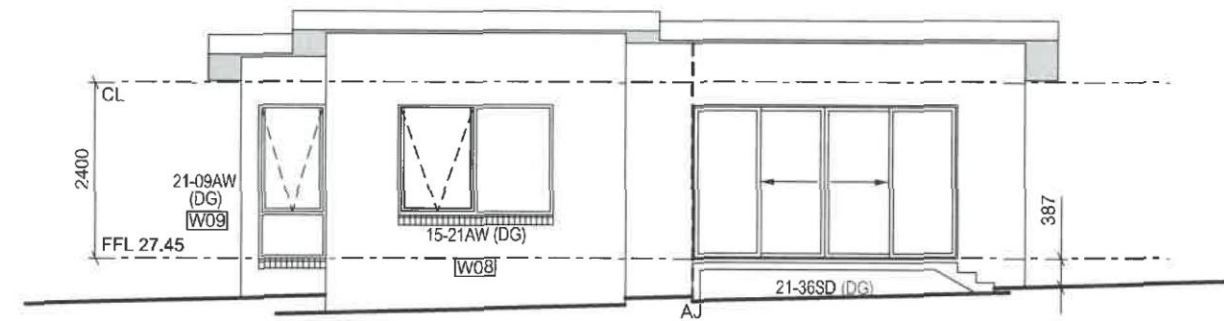
Drawn LH WH712120
Date 3 May 2019
Scale 1:100

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Sheet
04/05

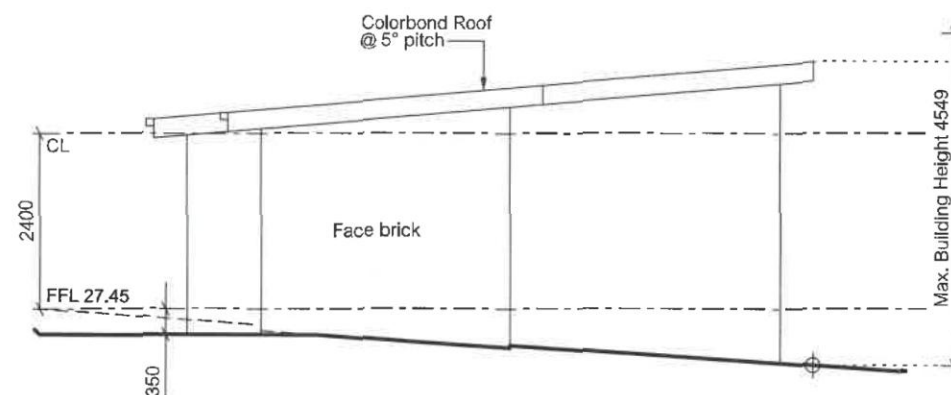


North East Elevation

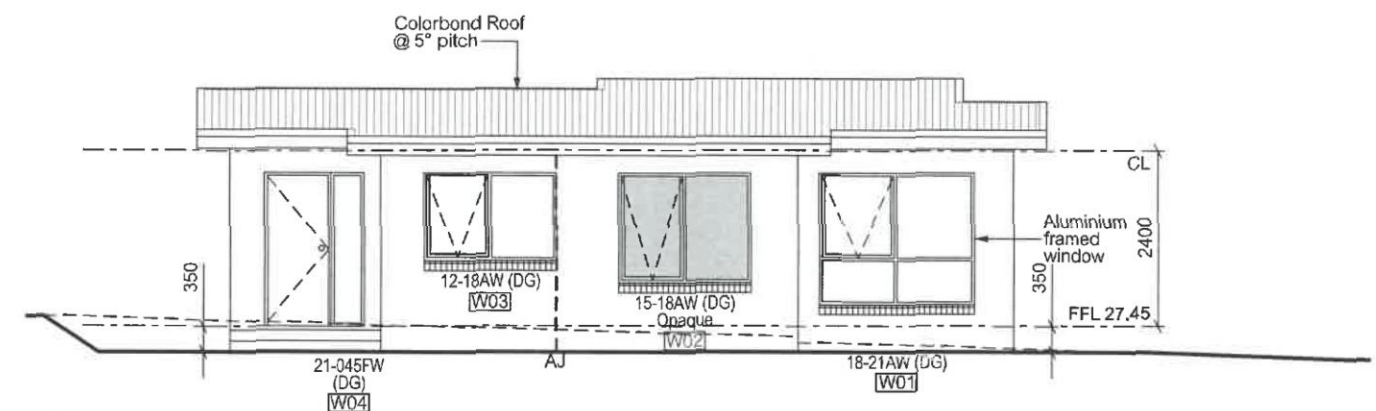


South East Elevation

Material	Colour
Face Brick	tbc
Colorbond Roof	tbc



South West Elevation



North West Elevation

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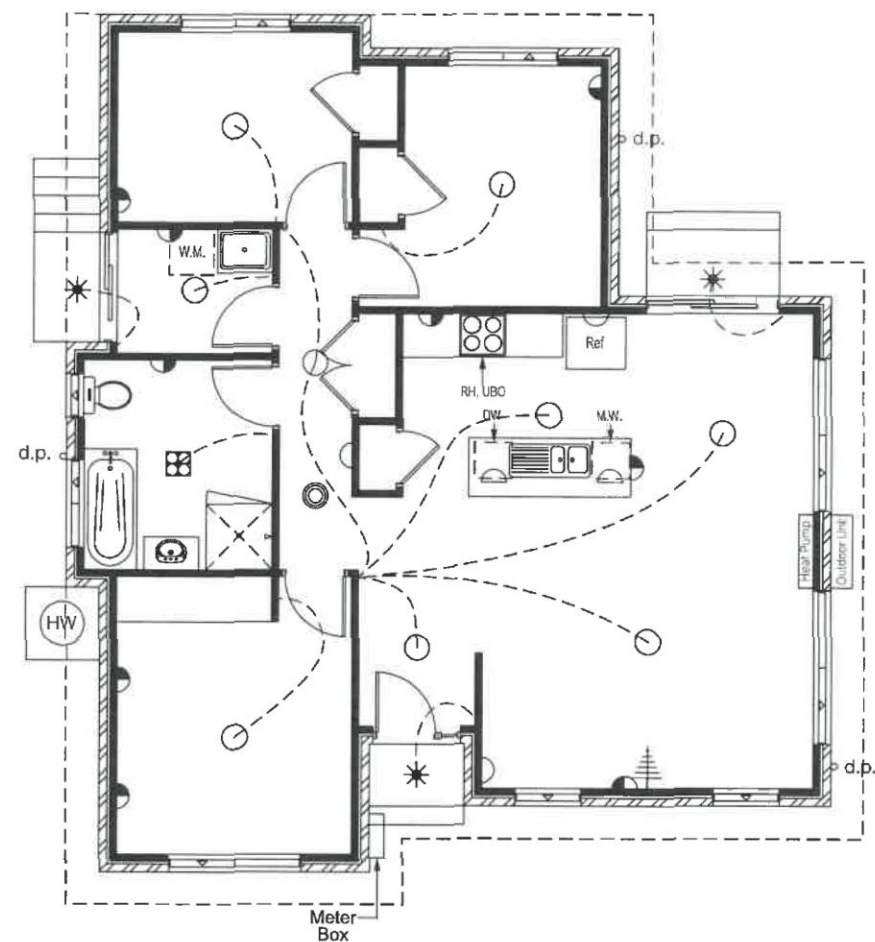
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No.	Amendment	Date	Init.	No.	Amendment	Date	Init.		
E	Changes as per cover sheet	27 Jan. 21	LH						

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UNIT 2 ELEVATIONS	
Drawn	LH WH712120
Date	3 May 2019
Scale	1:100
© Copyright 2019	
Sheet 05/05	



- LEGEND (W = Wattage e.g. 35W = 35 Watts.)
- STANDARD CEILING LIGHT POINT (30W)
 - DOWNLIGHT POINT (UNVENTED) (35W)
 - ★ LED DOWNLIGHT POINT (10W)
(SUITABLE FOR & FITTED WITH INSULATION OVER)
 - WALL LIGHT POINT (30W)
 - 2 x 900 MM FLUORESCENT LIGHT POINT (36W)
 - 2 x SLIM T5 900 MM FLUORESCENT LIGHT POINT (28W)
 - ⋈ LIGHT SWITCH
 - △ SINGLE POWER POINT
 - ▤ DOUBLE POWER POINT
 - ◻ WATER PROOF POWER POINT
 - ⊙ SMOKE ALARM (INTERCONNECTED WHERE MORE THAN 1)
 - ⊞ FAN / HEATER / LIGHT (50W)
 - ⌚ TV CONNECTION POINT
 - ▽ TELEPHONE CONNECTION POINT
 - ⚡ SENSOR LIGHT
 - ⊗ EXHAUST FAN (VENTED TO OUTSIDE)
 - ⊕ FLOOD LIGHT
 - ⌚ CAT 6 CONNECTION POINT
 - ▤ TREAD LIGHTS (2W)
 - ◻ DUCTED VACUUM POINT
 - ⊞ SECURITY SYSTEM KEYPAD
 - ⚡ SECURITY SYSTEM SENSOR

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









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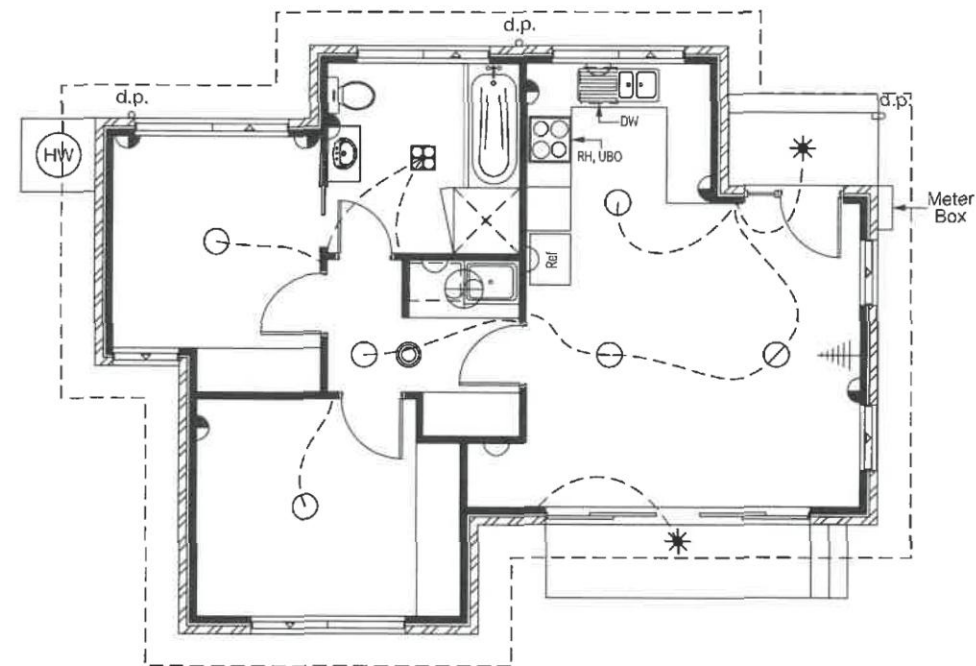
UNIT 1 ELECTRICAL PLAN

Drawn	LH	WH712120
Date	15 August 2019	Sheet
Scale	1:100	

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LEGEND (W = Wattage e.g. 35W = 35 Watts.)

-  STANDARD CEILING LIGHT POINT (30W)
-  DOWNLIGHT POINT (UNVENTED) (35W)
-  LED DOWNLIGHT POINT (10W)
(SUITABLE FOR & FITTED WITH INSULATION OVER)
-  WALL LIGHT POINT (30W)
-  2 x 900 MM FLUORESCENT LIGHT POINT (36W)
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-  TREAD LIGHTS (2W)
-  DUCTED VACUUM POINT
-  SECURITY SYSTEM KEYPAD
-  SECURITY SYSTEM SENSOR



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m WILSON
MULTI

UNIT 2 ELECTRICAL PLAN

Drawn	LH	WH712120
Date	15 August 2019	Sheet
Scale	1:100	

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[Main Menu](#)

LIGHTING CALCULATOR FOR USE WITH J6.2(a) VOLUME ONE AND 3.12.5.5 VOLUME TWO (First issued with NCC 2014)

[Help screen](#)

Building name/description

Proposed Goss-Kennedy & Brown Residence WH712120 - Unit 1, Lot 13 Gateway Estate, Sorell

Classification

Class 1

Number of rows preferred in table below

10

(as currently displayed)

ID	Description	Type of space	Floor area of the space	Design Lamp or Illumination Power Load	Location	Adjustment Factor One			Adjustment Factor Two (n/a for Class 1)			OVERALL DESIGN PASSES		
						Adjustment Factor One	Dimming Percentages		Adjustment Factor Two	Dimming Percentages		Lamp or Illumination Power Density	System Share of % of Aggregate Allowance Used	
						Adjustment	% Area	% of full power	Adjustment	% Area	% of full power	System Allowance	System Design	% of Aggregate Allowance Used
1	Kitchen	Kitchen	8.3 m ²	30 W	Class 1 building							5.0 W/m ²	3.6 W/m ²	8% of 74%
2	Living Room	Living room	16.7 m ²	30 W	Class 1 building							5.0 W/m ²	1.8 W/m ²	4% of 74%
3	Dining Room	Living room	7.4 m ²	30 W	Class 1 building							5.0 W/m ²	4.0 W/m ²	9% of 74%
4	Entry	Corridor	5.3 m ²	30 W	Class 1 building							5.0 W/m ²	5.7 W/m ²	13% of 74%
5	Bath	Bathroom	7.4 m ²	50 W	Class 1 building							5.0 W/m ²	6.8 W/m ²	15% of 74%
6	Hall	Corridor	5.5 m ²	30 W	Class 1 building							5.0 W/m ²	5.4 W/m ²	12% of 74%
7	Laundry	Laundry	3.6 m ²	30 W	Class 1 building							5.0 W/m ²	8.4 W/m ²	19% of 74%
8	Bed 1	Bedroom	12.2 m ²	30 W	Class 1 building							5.0 W/m ²	2.5 W/m ²	6% of 74%
9	Bed 2	Bedroom	10.1 m ²	30 W	Class 1 building							5.0 W/m ²	3.0 W/m ²	7% of 74%
10	Bed 3	Bedroom	9.0 m ²	30 W	Class 1 building							5.0 W/m ²	3.3 W/m ²	7% of 74%
												Allowance	Design Average	
												85.5 m ²	320 W	
												Class 1 building	5.0 W/m ²	3.7 W/m ²

IMPORTANT NOTICE AND DISCLAIMER IN RESPECT OF THE LIGHTING CALCULATOR

The Lighting Calculator has been developed by the ABCB to assist in developing a better understanding of lighting energy efficiency parameters. While the ABCB believes that the Lighting Calculator, if used correctly, will produce accurate results, the calculator is provided "as is" and without any representation or warranty of any kind, including that it is fit for any purpose or of merchantable quality, or functions as intended or at all. Your use of the Lighting Calculator is entirely at your own risk and the ABCB accepts no liability of any kind.

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if inputs
are valid

INSULATION SCHEDULE

Area	Insulation Details
Roof	Sarking OR R1.3 Anticon sarking
Ceiling	R4.1 bulk insulation (or equivalent) excluding GARAGE
Walls (external)	R2.0 bulk insulation (or equivalent) with 1 layer sisalation. Sisalation only to GARAGE
Walls (internal)	N/A or R2.0 bulk insulation (or equivalent) to internal walls adjacent to GARAGE / SUBFLOOR / ROOFSPACE
Floors	R2.0 bulk insulation (or equivalent) to all timber floors

NOTE:
Clearance is required for uncompressed installation of bulk insulation and timbers should be sized accordingly.
210mm for R4.1 Bulk Insulation
240mm for R5.0 Bulk Insulation
260mm for R6.0 Bulk Insulation
These dimensions are nominal and may vary depending on the type of insulation to be installed.
Where solar tubes are located, diffusers are to be installed.
Where skylights are located, ceiling insulation is to be installed to length of shaft.

WINDOW SCHEDULE

WINDOW NUMBER	TYPE	ID	SIZE	GLASS	Uw	SHGC	RESTRICTED
W01	???	???	???	???	???	???	YES / NO
W02	???	???	???	???	???	???	YES / NO
W03	???	???	???	???	???	???	YES / NO
W04	???	???	???	???	???	???	YES / NO
W05	???	???	???	???	???	???	YES / NO
W06	???	???	???	???	???	???	YES / NO
W07	???	???	???	???	???	???	YES / NO
W08	???	???	???	???	???	???	YES / NO
W09	???	???	???	???	???	???	YES / NO
W10	???	???	???	???	???	???	YES / NO
W11	???	???	???	???	???	???	YES / NO
W12	???	???	???	???	???	???	YES / NO

LEGEND:
SW = Sliding window, AW = Awning window, SD = Sliding door, FW = Fixed window, GD = Glazed Door, FD = French door, BRPG = Bushfire Rated Privacy Glass

NOTE:
Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures.
Restricted windows (YES) to have their openability restricted as per N.C.C. 3.9.2.5.
* - Glass specification changed to comply with Bushfire requirements (Refer to sheet ??)

THIS DWELLING IS BEING CONSTRUCTED IN A BUSHFIRE PRONE AREA (TBC)

Builder to ensure that all construction methods / materials comply with AS3959 - 2009 and sheets T.B.C.

NOTES

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Designer:

ANOTHER PERSPECTIVE PTY LTD
PO BOX 21
NEW TOWN
LIC. NO. CC2204H (A. Strugnelli)
Ph: (03) 6231 4122
Fx: (03) 6231 4166
Email:
info@anotherperspective.com.au

Client / Project info:

PROPOSED UNIT DEVELOPMENT
(GOSS-KENNEDY & BROWN)
Lot 13, Gateway Estate,
SORELL

**m WILSON
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UNIT 1 CALCULATIONS
& SCHEDULES

Drawn LH WH712120
Date 15 August 2019 Sheet
Scale N/A

--/--

Building name/description
Proposed Goss-Kennedy & Brown Residence WH712120 - Unit 2, Lot 13 Gateway Estate, Sorell

Classification
Class 1

Number of rows preferred in table below6 (as currently displayed)

ID	Description	Type of space	Floor area of the space	Design Lamp or Illumination Power Load	Location	Adjustment Factor One			Adjustment Factor Two (n/a for Class 1)			OVERALL DESIGN PASSES		
						Adjustment Factor One	Dimming Percentages		Adjustment Factor Two	Dimming Percentages		Lamp or Illumination Power Density	System Share of % of Aggregate Allowance Used	
						Adjustment	% Area	% of full power	Adjustment	% Area	% of full power	System Allowance	System Design	% of Aggregate Allowance Used
1	Kitchen	Kitchen	7.8 m²	30 W	Class 1 building							5.0 W/m²	3.9 W/m²	15% of 82%
2	Living/Dining	Living room	16.6 m²	60 W	Class 1 building							5.0 W/m²	3.6 W/m²	14% of 82%
3	Hall	Corridor	5.5 m²	30 W	Class 1 building							5.0 W/m²	5.4 W/m²	20% of 82%
4	Bath	Bathroom	6.8 m²	50 W	Class 1 building							5.0 W/m²	7.4 W/m²	28% of 82%
5	Bed 1	Bedroom	9.3 m²	30 W	Class 1 building							5.0 W/m²	3.2 W/m²	12% of 82%
6	Bed 2	Bedroom	10.3 m²	30 W	Class 1 building							5.0 W/m²	2.9 W/m²	11% of 82%

56.3 m²230 W

AllowanceDesign Average
Class 1 building5.0 W/m²4.1 W/m²

IMPORTANT NOTICE AND DISCLAIMER IN RESPECT OF THE LIGHTING CALCULATOR

The Lighting Calculator has been developed by the ABCB to assist in developing a better understanding of lighting energy efficiency parameters. While the ABCB believes that the Lighting Calculator, if used correctly, will produce accurate results, the calculator is provided "as is" and without any representation or warranty of any kind, including that it is fit for any purpose or of merchantable quality, or functions as intended or at all. Your use of the Lighting Calculator is entirely at your own risk and the ABCB accepts no liability of any kind.

if inputs
are valid



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INSULATION SCHEDULE

Area	Insulation Details
Roof	Sarking OR R1.3 Anticon sarking
Ceiling	R4.1 bulk insulation (or equivalent) excluding GARAGE
Walls (external)	R2.0 bulk insulation (or equivalent) with 1 layer sisalation. Sisalation only to GARAGE
Walls (internal)	N/A or R2.0 bulk insulation (or equivalent) to internal walls adjacent to GARAGE / SUBFLOOR / ROOFSPACE
Floors	R2.0 bulk insulation (or equivalent) to all timber floors

NOTE:
Clearance is required for uncompressed installation of bulk insulation and timbers should be sized accordingly.
210mm for R4.1 Bulk Insulation
240mm for R5.0 Bulk Insulation
260mm for R6.0 Bulk Insulation
These dimensions are nominal and may vary depending on the type of insulation to be installed.
Where solar tubes are located, diffusers are to be installed.
Where skylights are located, ceiling insulation is to be installed to length of shaft.

WINDOW SCHEDULE

WINDOW NUMBER	TYPE	ID	SIZE	GLASS	Uw	SHGC	RESTRICTED
W01	???	???	???	???	???	???	YES / NO
W02	???	???	???	???	???	???	YES / NO
W03	???	???	???	???	???	???	YES / NO
W04	???	???	???	???	???	???	YES / NO
W05	???	???	???	???	???	???	YES / NO
W06	???	???	???	???	???	???	YES / NO
W07	???	???	???	???	???	???	YES / NO
W08	???	???	???	???	???	???	YES / NO
W09	???	???	???	???	???	???	YES / NO
W10	???	???	???	???	???	???	YES / NO
W11	???	???	???	???	???	???	YES / NO
W12	???	???	???	???	???	???	YES / NO

LEGEND:
SW = Sliding window, AW = Awning window, SD = Sliding door, FW = Fixed window, GD = Glazed Door, FD = French door, BRPG = Bushfire Rated Privacy Glass
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* - Glass specification changed to comply with Bushfire requirements (Refer to sheet ??)

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Builder to ensure that all construction methods / materials comply with AS3959 - 2009 and sheets T.B.C.

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				Designer:	Client / Project info:
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No.	Amendment	Date	Init.		

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UNIT 2 CALCULATIONS
& SCHEDULES

DrawnLHWH712120
Date15 August 2019Sheet
ScaleN/A

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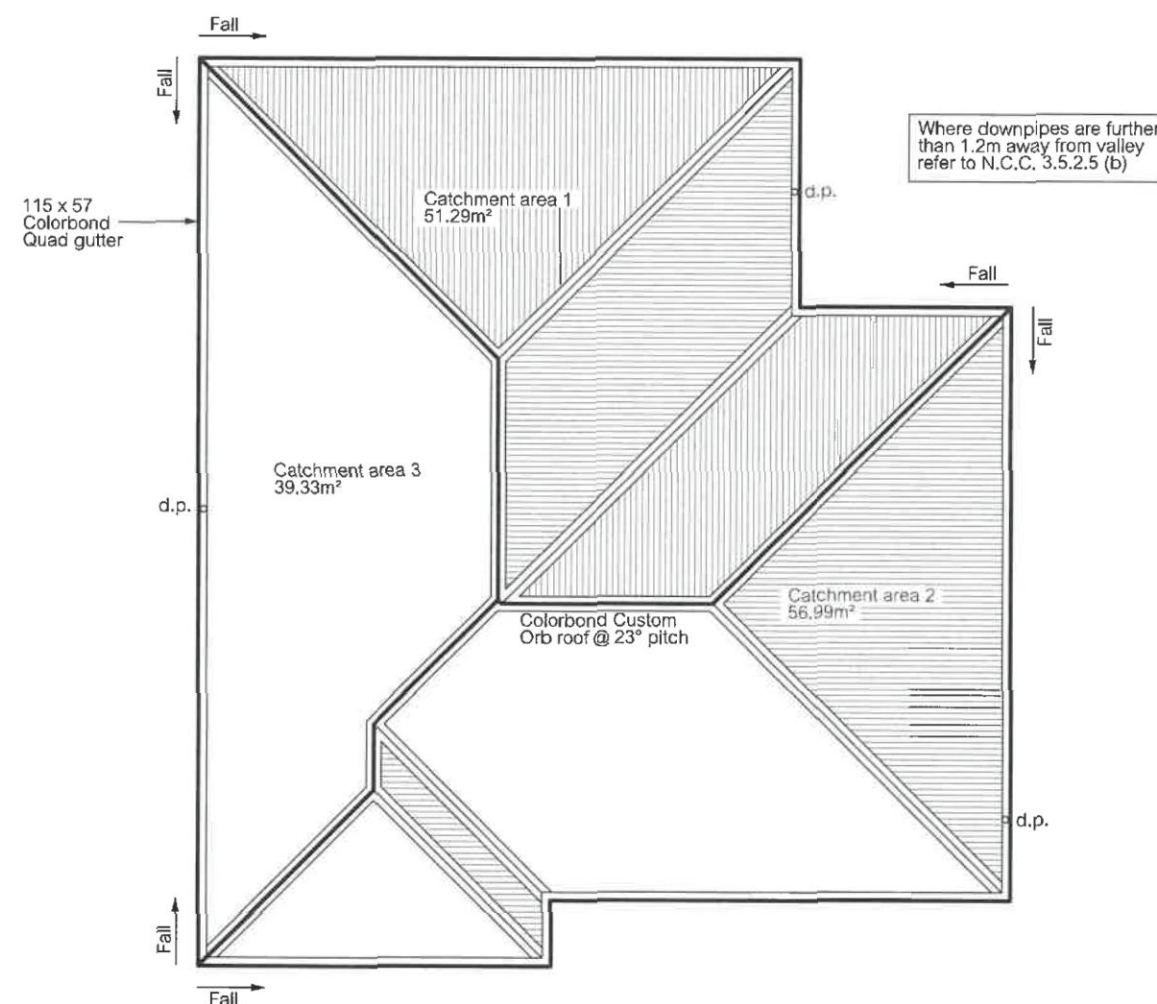


GUTTER OVERFLOW
REQUIREMENTS as per
N.C.C. Table 3.5.2.4:
Controlled front bead height
with the front bead of the
gutter installed a minimum of
10 mm below the top of the
fascia.

Batten fixings:
100mm type 17, 14g bugle
screws to comply with
AS1684, or refer to AS1684
for alternatives

Batten spacing:
75 x 38 F8
@ 900¢ nom.

Colorbond fixings:
50mm M6 11 x 50 EPDM
seal to comply with AS3566
or refer to AS3566 for
alternatives.



Position and quantity of downpipes
are not to be altered without
consultation with designer

Area's shown are surface areas /
catchment areas, NOT plan areas.

DOWNPIPE AND ROOF CATCHMENT AREA CALCULATIONS (as per AS/NZS 3500.3)

A_h	121.99	Area of Roof (including 115mm Quad gutter) (m^2)
A_c	147.60	$A_h \times$ Slope factor (Table 3.2 from AS/NZS 3500.3) (m^2)
A_g	6555	Cross sectional area of assumed 57 x 115 Quad Gutter. (mm^2)
DRI	100	Design Rainfall Intensity (determined from Figure E8 from AS/NZS 3500.3)
A_{cdp}	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3) (m^2)
Required Downpipes	2.31	$A_c + A_{cdp}$
Downpipes provided	3	

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SORELL

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UNIT 1 ROOF PLAN

Drawn	LH	WH712120
Date	14 August 2019	Sheet
Scale	1:100	

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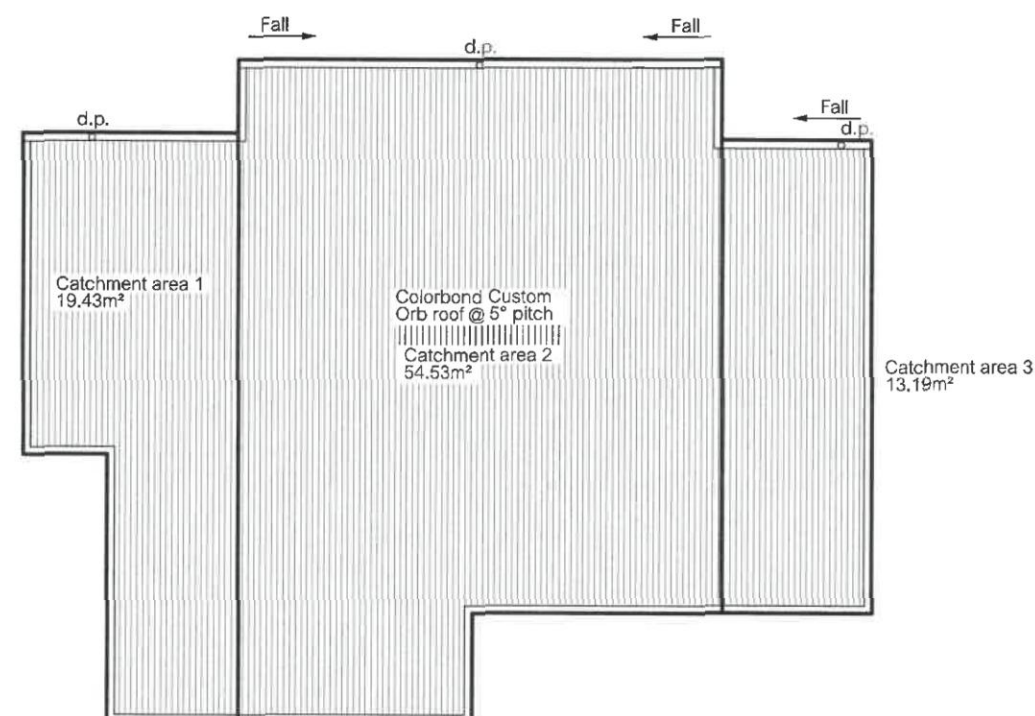


GUTTER OVERFLOW
REQUIREMENTS as per
N.C.C. Table 3.5.2.4:
Controlled front bead height
with the front bead of the
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10 mm below the top of the
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screws to comply with
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for alternatives

Batten spacing:
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@ 900c nom.

Colorbond fixings:
50mm M6 11 x 50 EPDM
seal to comply with AS3566
or refer to AS3566 for
alternatives.



Position and quantity of downpipes
are not to be altered without
consultation with designer

ROOF DRAINAGE NOTE:
Min. medium rectangular gutter & min. 90Ø
downpipe specified as per N.C.C. part 3.5.2.
These sizes and downpipe quantities are
based on a max. roof catchment area of 70m²

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C	Changes as per cover sheet	26 Aug. 20	LH
No.	Amendment	Date	Init.

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UNIT 2 ROOF PLAN

Drawn	LH	WH712120
Date	14 August 2019	Sheet
Scale	1:100	

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